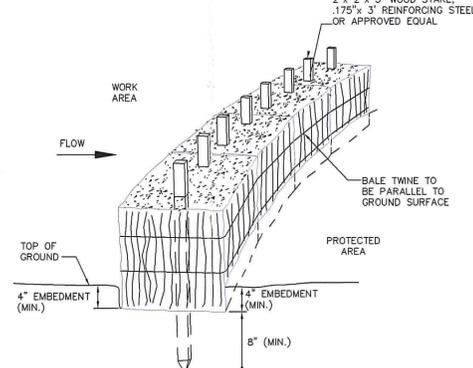
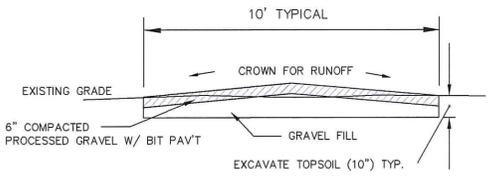


SILT FENCE DETAIL



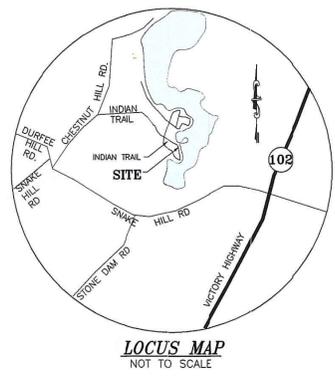
HAYBALE DETAIL



DRIVEWAY DETAIL

LEGEND

- X 250 EXISTING SPOT ELEVATIONS
- (437) EXISTING CONTOUR ELEVATION
- STONEWALL
- (430) PROPOSED CONTOUR ELEVATION
- EXISTING CONDITION
- PROPOSED CONDITION
- PROPERTY LINE
- BUILDING SETBACKS
- TH 1 ISDS TEST HOLE
- EXISTING WELL
- EXISTING WELL
- MAX. POND ELEVATION
- DELINEATED WETLANDS EDGE
- WETLANDS SETBACK
- LIMIT OF DISTURBANCE / EROSION CONTROLS



GENERAL NOTES

1. A PORTION OF THIS LOT IS IN A FLOOD HAZARD ZONE AE, BASE FLOOD ELEVATION DETERMINED TO BE 438' MSL, ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP: COMMUNITY PANEL NUMBER 440034 0010 C, REVISED MARCH 3, 1992. NO SIGNIFICANT GRADE CHANGES OR WORK IS PROPOSED WITHIN THE FLOOD ZONE.
2. THE ISDS SYSTEM SIZE AND LOCATION ARE SHOWN APPROXIMATE, THE FINAL DESIGN, INCLUDING ALL GRADING AND SYSTEM COMPONENTS, SHALL BE LOCATED WITHIN THE LIMITS SHOWN ON THE PLAN. GROUNDWATER DEPTH WILL BE BASED UPON THE SOIL EVALUATION CONDUCTED ON 12/04/03 & WET SEASON READINGS.
3. DUE TO THE EXISTING LOT CONFIGURATION, PORTIONS OF THE PROPOSED ISDS AND LANDSCAPING LIE WITHIN THE 50' WETLANDS BUFFER.
4. PROPERTY LINES HAVE BEEN REPRODUCED FROM A PLAT RECORDED IN THE OFFICE OF THE TOWN CLERK IN GLOCESTER, RHODE ISLAND; ENTITLED "SUNRISE GARDENS, SECTION NO. 2, GLOCESTER R.I. OWNED BY L.W. EBBETS, SCALE 1" = 60 FT., SHEET NO. 1 OF 2, SURVEYED 1953 BY ALANSON ST. JOHN HALL, REGISTERED LAND SURVEYOR, REDRAWN 1961."
5. THE PROPOSED SEPTIC SYSTEM IS AN ADVANCED TREATMENT SYSTEM CAPABLE OF SIGNIFICANTLY REDUCING BOD, TSS, AND NUTRIENTS. THE OWNER WILL BE REQUIRED TO CONTRACT WITH A MAINTENANCE PROVIDER TO ENSURE OPTIMAL SYSTEM PERFORMANCE.
6. LOW WATER-USE DEVICES & APPLIANCES ARE PROPOSED FOR USE IN THE DWELLING.
7. VEGETATION WILL BE ESTABLISHED ON THE PROPERTY AND MAINTAINED. NO HARMFUL PESTICIDES OR HERBICIDES SHALL BE USED IN PROXIMITY OF THE POND OR WETLANDS BUFFER.

EROSION CONTROL & SEDIMENT CONTROL NOTES

1. THE INSTALLER MUST NOTIFY THE LICENSED DESIGNER AT LEAST 5 DAYS PRIOR TO THE START OF ANY CONSTRUCTION. A PRE-CONSTRUCTION MEETING WITH THE ENGINEER, CONTRACTOR, HOMEOWNER, AND/OR RIDEM OFFICIAL SHALL THEN BE SCHEDULED PRIOR TO COMMENCING ANY WORK.
2. THE DESIGNER SHALL STAKE OUT THE LIMITS OF DISTURBANCE, LOCATION OF ISDS, AND HOUSE FOUNDATION. THE RIDEM, DIVISION OF WETLANDS RESOURCES, WILL THEN BE NOTIFIED PRIOR TO BEGINNING WORK.
3. EROSION CONTROLS SHALL BE ESTABLISHED, AS DIRECTED ON THE PLANS, PRIOR TO ANY CONSTRUCTION OR CLEARING. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONTROLS UNTIL ALL AREAS ARE ESTABLISHED.
4. EXTREME CARE SHALL BE EXERCISED TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING A CRITICAL RESOURCE AREA (WETLAND, BUFFER ZONE, ADJUTING PROPERTY). IF A DISTURBANCE OCCURS, THE CONTRACTOR SHALL IMMEDIATELY CLEAN AND RESTORE THE AREA.
5. PERMANENT GROUND COVER SHALL BE ESTABLISHED AS SOON AS POSSIBLE DURING THE PROJECT. IF IT IS NOT FEASIBLE TO ESTABLISH PERMANENT GROUND COVER, TEMPORARY VEGETATION, MULCHES, AND/OR EROSION MATTING SHALL BE UTILIZED UNTIL PERMANENT GROUND COVER CAN BE ESTABLISHED.
6. EROSION AND RUNOFF OF SEDIMENTS FROM TEMPORARY STOCKPILES, SPOIL AREAS, OR BORROW AREAS SHALL BE PREVENTED BY THE USE OF SILT FENCES BARRIERS OR HAYBALES AROUND THE PERIMETER OF THE PILES.
7. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL AND STATE PERMITS. GUIDELINES PROVIDED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK SHALL BE INCORPORATED INTO THE CONSTRUCTION PRACTICES ON THE SITE.
8. THE SILT FENCE SHALL BE INSTALLED WITH OAK STAKES 8' O.C; WITH THE FABRIC EMBEDDED IN AN EARTH TRENCH AT LEAST 4" DEEP.

MAINTENANCE NOTES

1. HAYBALES AND SILT FENCE SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EVERY RAINFALL EVENT FOR EFFECTIVENESS. THE CONTRACTOR SHALL REPLACE OR REPAIR THE CONTROLS AS REQUIRED AND SHALL ALSO REMOVE ANY SEDIMENTS WHICH ACCUMULATE UP TO ONE-HALF THE HEIGHT OF THE BALE/FENCE.
2. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR AT ANY TIME EXPOSED, SHALL BE SEEDED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK REGULARLY TO INSURE THAT A GOOD STAND IS MAINTAINED.
3. THE CONTRACTOR MUST REPAIR, REPLANT, AND RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL COST TO THE OWNER.
4. ALL EROSION CONTROLS SHALL BE MAINTAINED IN WORKING ORDER BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN-PLACE UNTIL AFTER AN APPROVED GROUND COVER IS ESTABLISHED.

ACCEPTABLE PLANTING MATERIALS:

THE ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15TH. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM. LOAM - THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, BRUSH, WEEDS AND OTHER MATERIAL WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED.

SEED MIXTURE (GENERAL PURPOSED LAWN):
(PER RI SOIL EROSION & SEDIMENT CONTROL HANDBOOK):

MIX	% BY WEIGHT
RED FESCUE	75
KENTUCKY BLUEGRASS	15
COLONIAL BENTGRASS	5
PERENNIAL RYEGRASS	5

- SEEDING RATE = 100 LBS. PER ACRE -

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 23 2004 FILE # 04-0043
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT THE PROJECT SITE.

FEB - 2 2004

NO.	DATE	REVISIONS



PREPARED BY:
JEFFREY J. CAMPOPIANO, P.E.
16 WEST MAIN STREET
WICKFORD, RHODE ISLAND 02852
(401) 295-3037

SITE PLAN
INDIAN TRAIL
SUNRISE GARDENS PLAT SECTION 1 / LOT 12
GLOCESTER, RHODE ISLAND

DATE: 1/23/04
SCALE: 1" = 30'
DESIGNED: JJC

DRAWING NUMBER

1
SHEET 1 OF 1