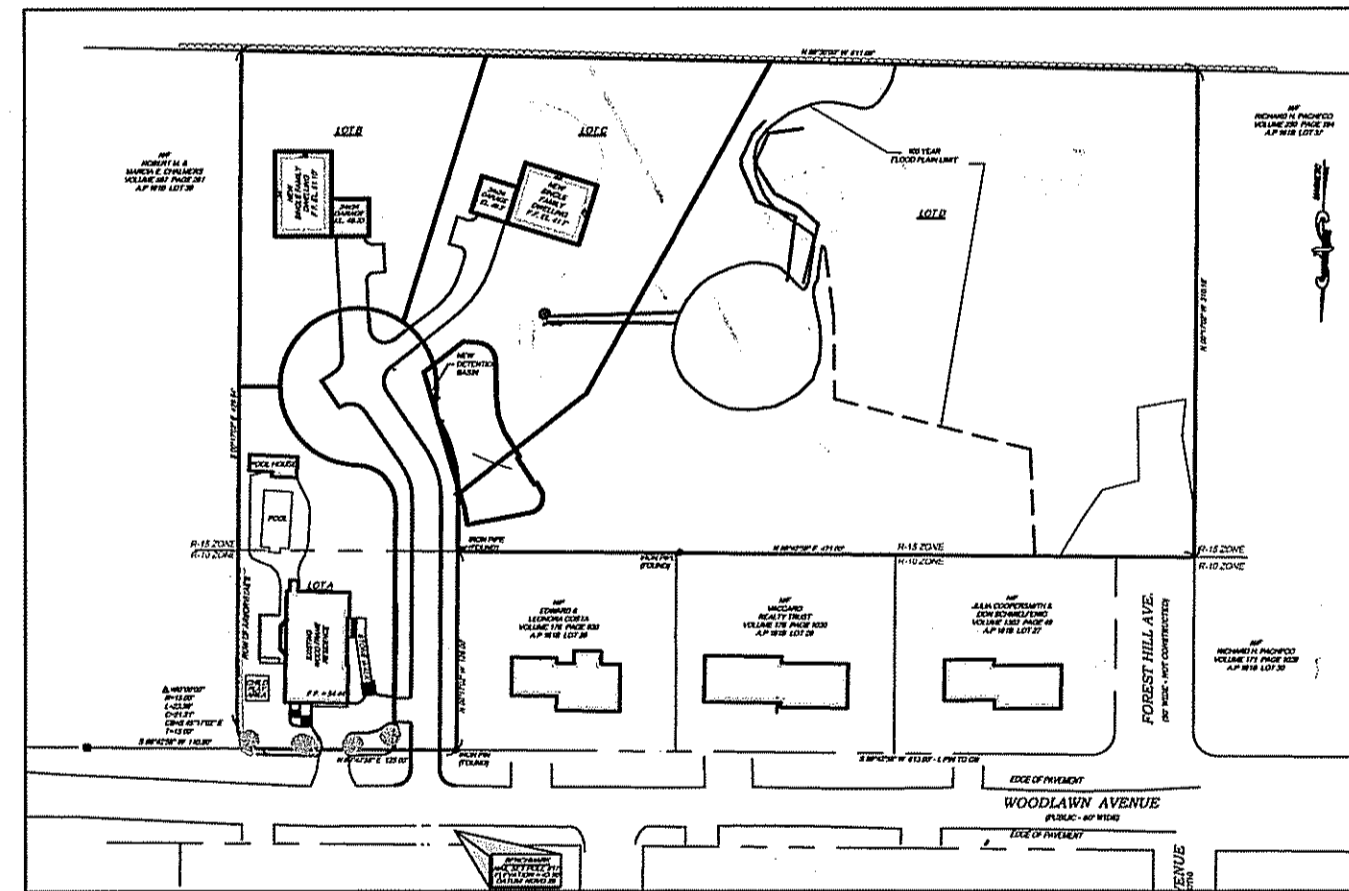


CONSTANCIA WAY SUBDIVISION WOODLAWN AVENUE BRISTOL, RHODE ISLAND FOR F.C.C. INC.

AUGUST 14, 2008

REVISED: NOVEMBER 6, 2008



NOT TO SCALE

WATERMAN ENGINEERING CO.

CIVIL ENGINEERS / SURVEYORS ~ EST. 1894

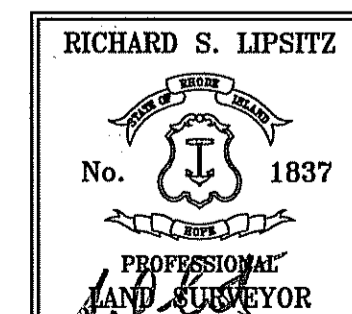
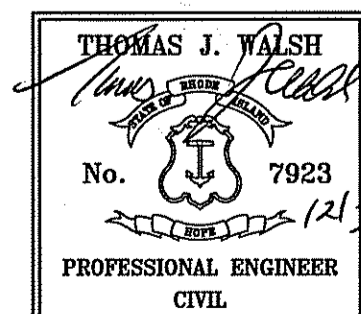


46 SUTTON AVENUE
EAST PROVIDENCE, RI 02914

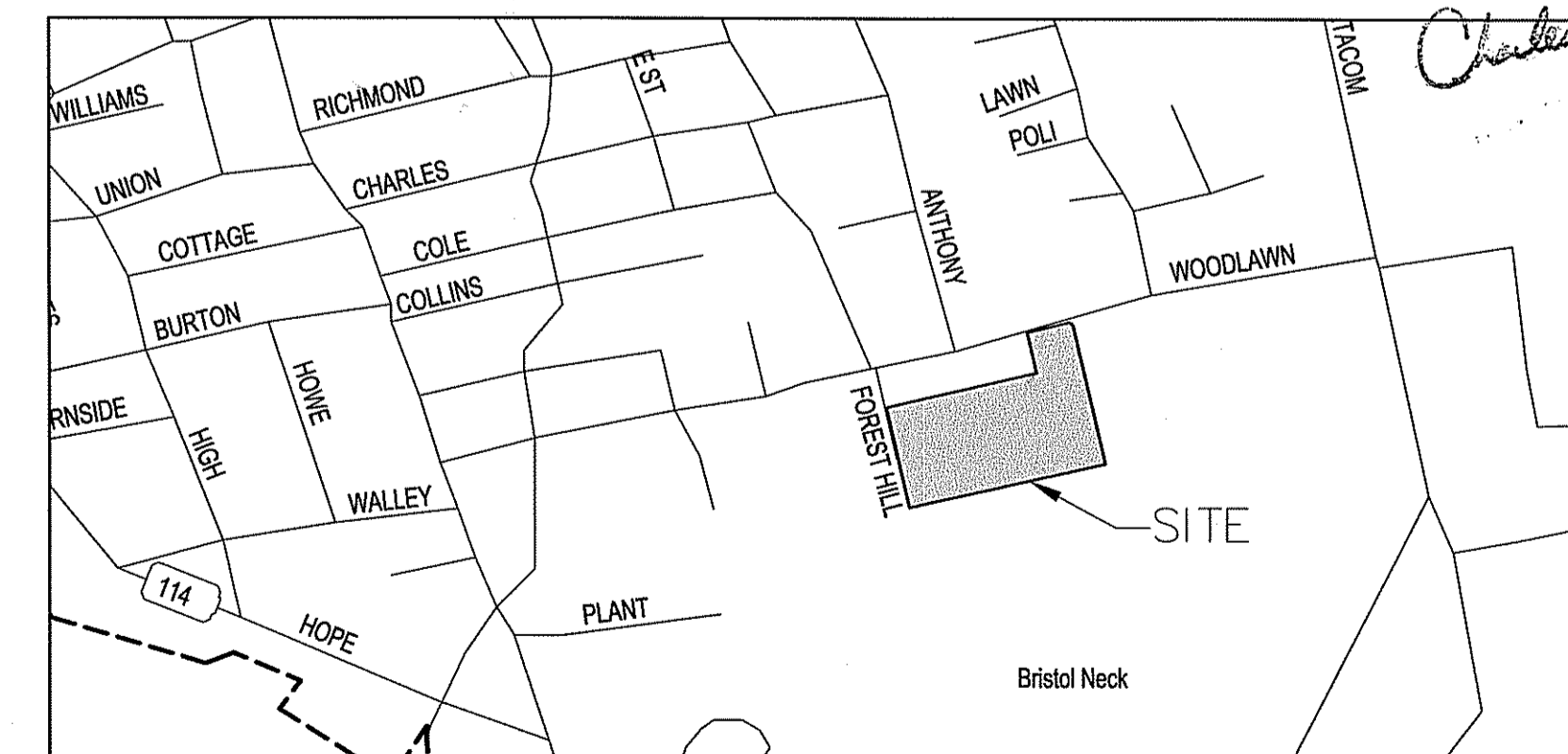
PHONE: 1-(401)-438-5775

FAX: 1-(401)-438-5773

WWW.WATERMANENGINEERING.NET



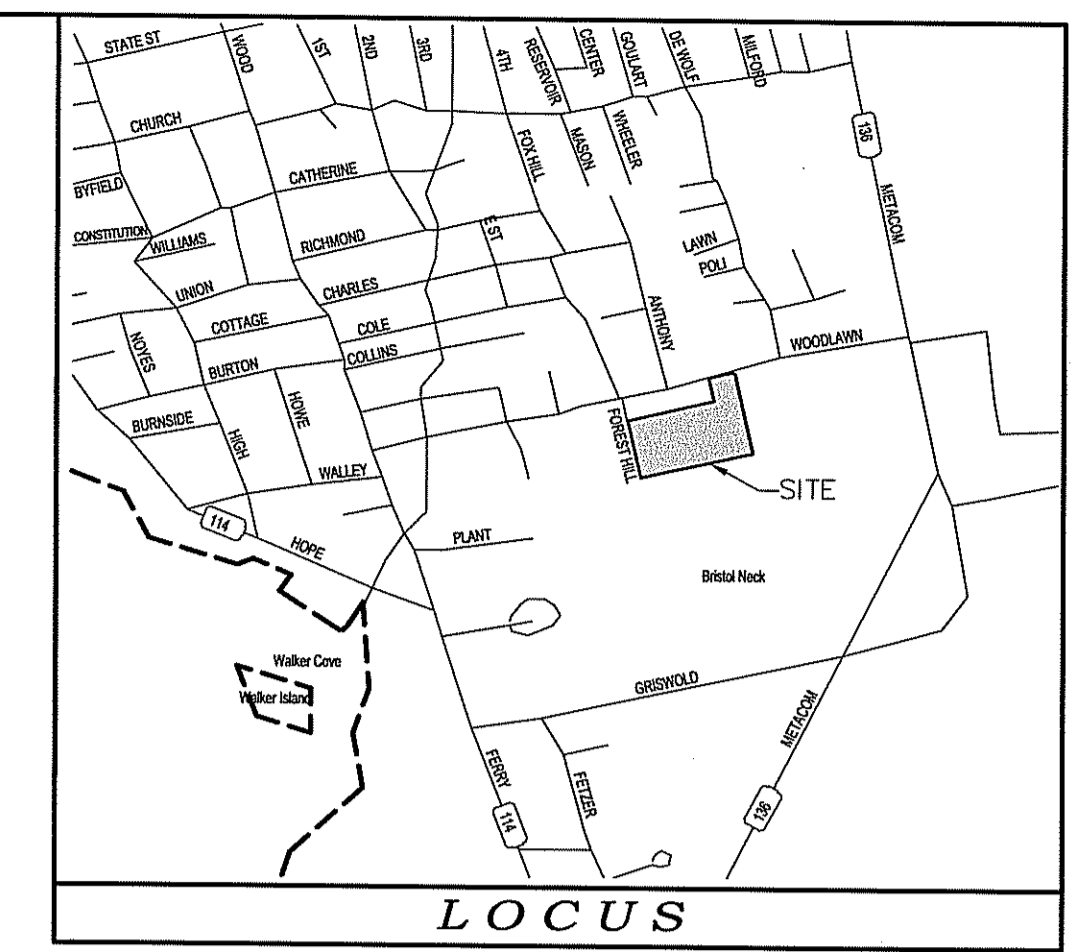
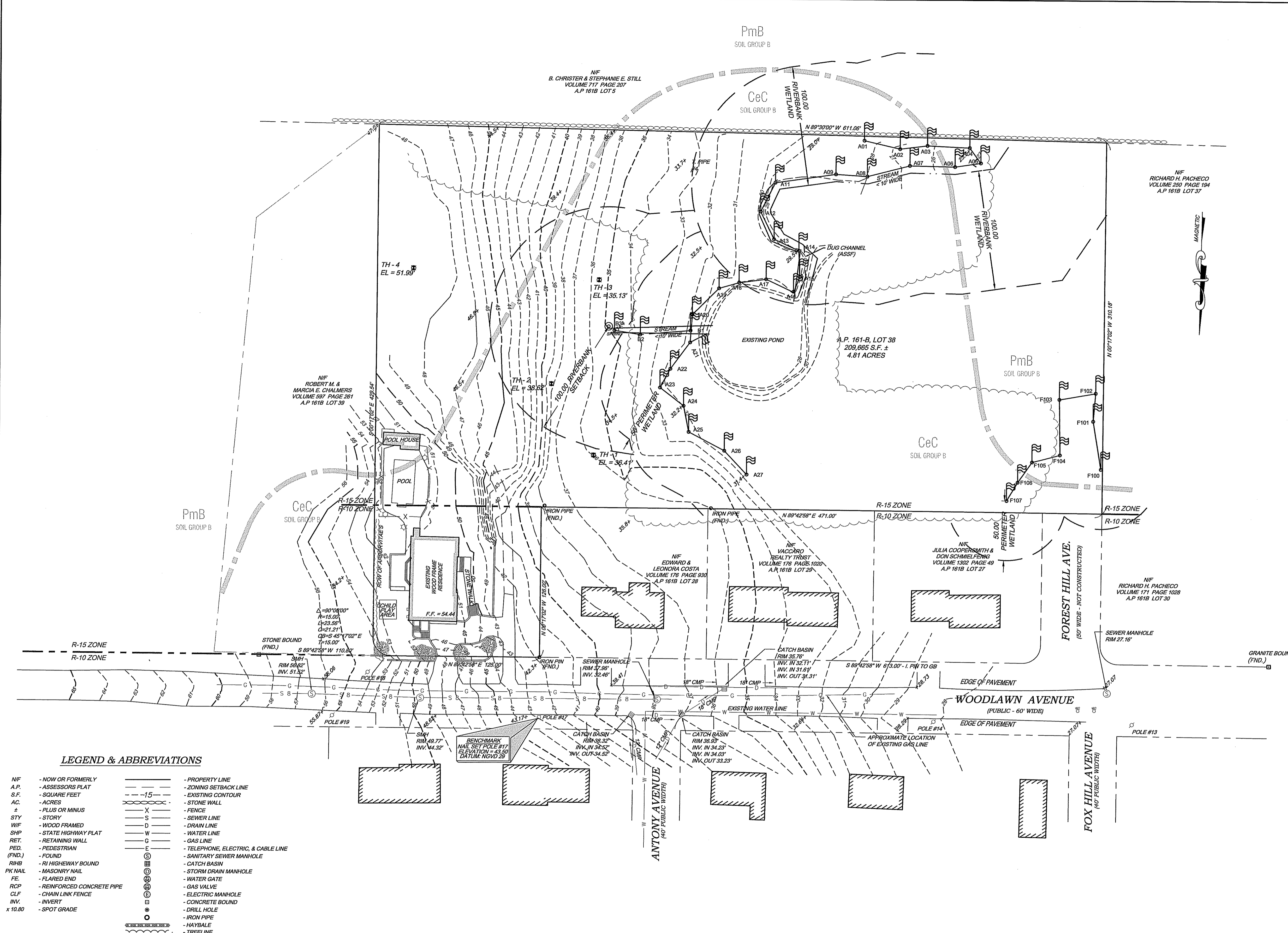
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 20 2009 FILE # 05-0133
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



LOCATION MAP

SHEET INDEX

EXISTING CONDITIONS PLAN	SHEET-1
MAJOR SUBDIVISION PLAN	SHEET-2
SITE PLAN	SHEET-3
UTILITY PLAN	SHEET-4
GRADING & DRAINAGE	SHEET-5
ROAD PLAN & PROFILE	SHEET-6
SOIL EROSION & SEDIMENT CONTROL PLAN	SHEET-7
DETAIL SHEET 1	SHEET-8
DETAIL SHEET 2	SHEET-9
200' RADIUS PLAN	SHEET-10



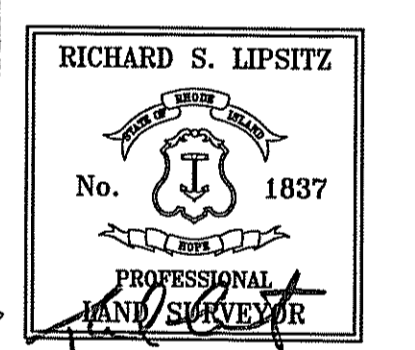
NOTES & REFERENCES

- REFERENCE IS MADE TO THE FOLLOWING PLANS AND MAPS:
 - PROPERTY LINE SURVEY A.P. 161 LOT 38 BRISTOL, R.I. SCALE: 1"=40' DATE: MARCH 22, 2001 PETER V. CIPOLLA, PLS CRANSTON, R.I.
 - FOREST HILL ESTATE SECTION 'A' OWNED BY MR. & MRS. RICHARD DALLAIRE BRISTOL, R.I. SCALE: 1"=50' DATE: JAN., 1967 JOSEPH MURGO, P.E.
- THESE PREMISES ARE SITUATED IN A ZONE 'X' (AREA OUTSIDE THE 500 YEAR FLOOD PLAIN) AS SCALED FROM NATIONAL FLOOD INSURANCE PROGRAM FIRM FLOOD INSURANCE RATE MAP FOR THE TOWN OF BRISTOL, RHODE ISLAND COMMUNITY PANEL NUMBER 44010004 F NOVEMBER 16, 2006 FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THESE PREMISES ARE SITUATED IN AN R-10 & R-15 (RESIDENTIAL) ZONES.

DIMENSIONAL REQUIREMENTS	
R-10 ZONE	R-15 ZONE
AREA = 10,000 SF	AREA = 15,000 SF
MIN. FRONTAGE = 80'	MIN. FRONTAGE = 100'
MIN. LOT WIDTH = 80'	MIN. LOT WIDTH = 100'
FRONT S/B = 30'	FRONT S/B = 35'
REAR S/B = 30'	REAR S/B = 35'
SIDE S/B = 30'	SIDE S/B = 20'
MAX. BLDG. HGT. = 30'	MAX. BLDG. HGT. = 30'
MAX. LOT COVERAGE = 25%	MAX. LOT COVERAGE = 25%

NOTE - R-15 ZONE IS A MANDATORY CLUSTER OVERLAY.
- ONLY VISIBLE UTILITY APPURTENANCES ARE SHOWN. THE CONTRACTOR IS TO VERIFY LOCATIONS, SIZES AND MATERIALS PRIOR TO COMMENCING ANY CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO NOTIFY DIG-SAFE BEFORE COMMENCING ANY SITE EXCAVATION.
- THE FRESHWATER WETLANDS WERE FLAGGED BY ECOTONES, INC., ROCKY HOLLOW ROAD, EAST GREENWICH, R.I., SEPTEMBER 2003 AND LOCATED BY FIELD SURVEY.
- SOIL TYPES
 PmB = PITTSFORD SILT LOAM
 CeC = CANTON AND CHARLTON FINE SANDY LOAM

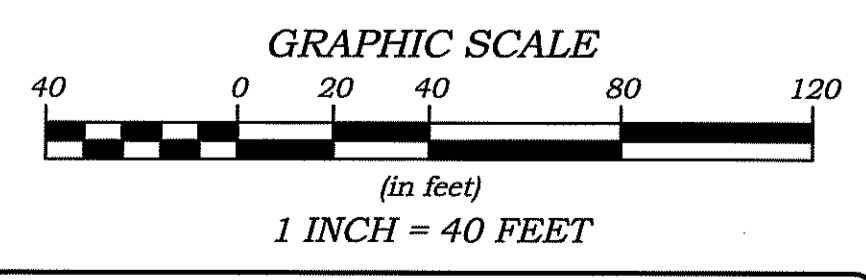
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 20 2009 FILE # 05-033
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



CERTIFICATION
 THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1894.
 BOUNDARY SURVEY - CLASS I
 TOPOGRAPHIC SURVEY - CLASS III
 RICHARD S. LIPSITZ
 WATERMAN ENGINEERING COMPANY
 1837 REG. NO. DATE 12-03-08

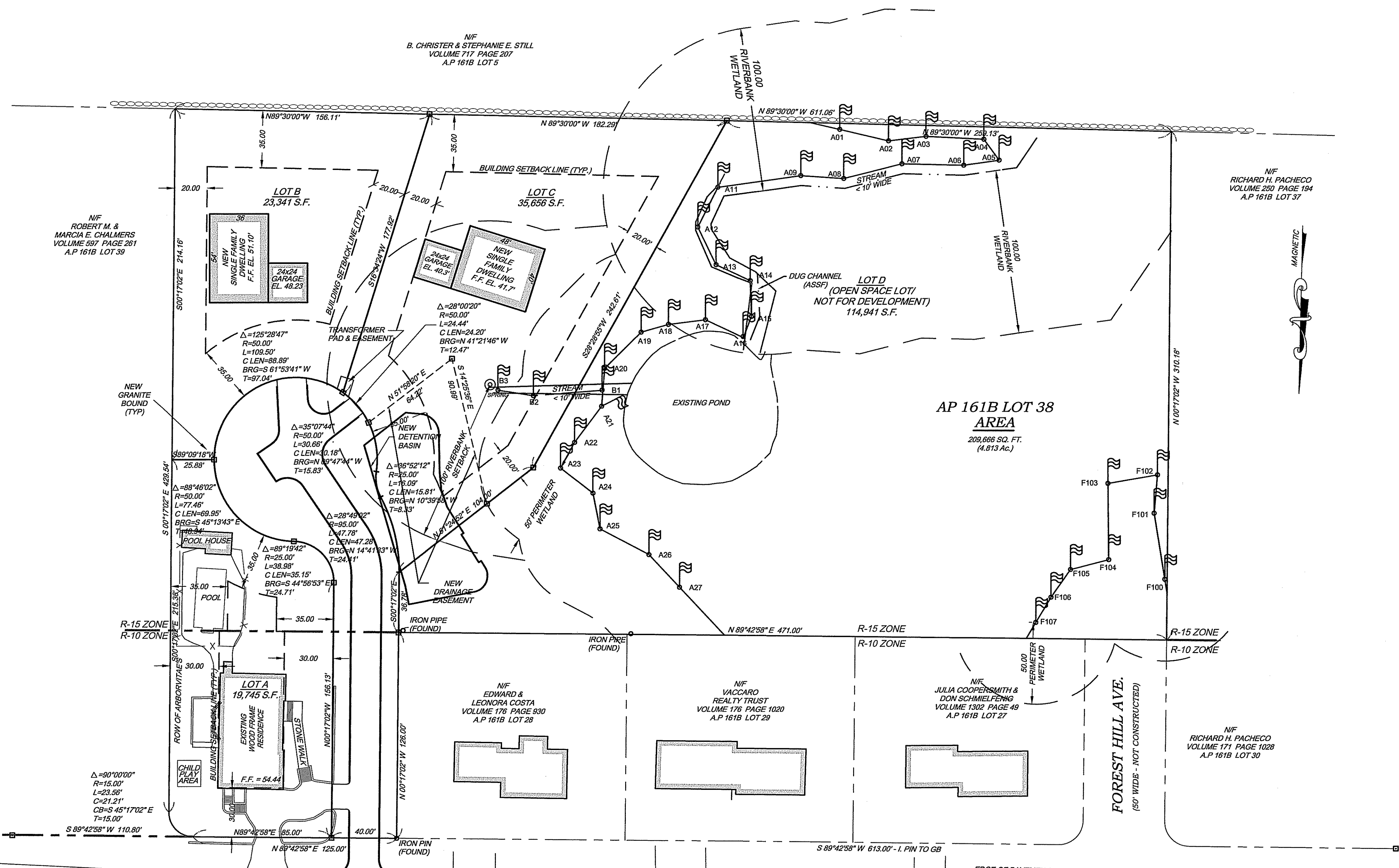
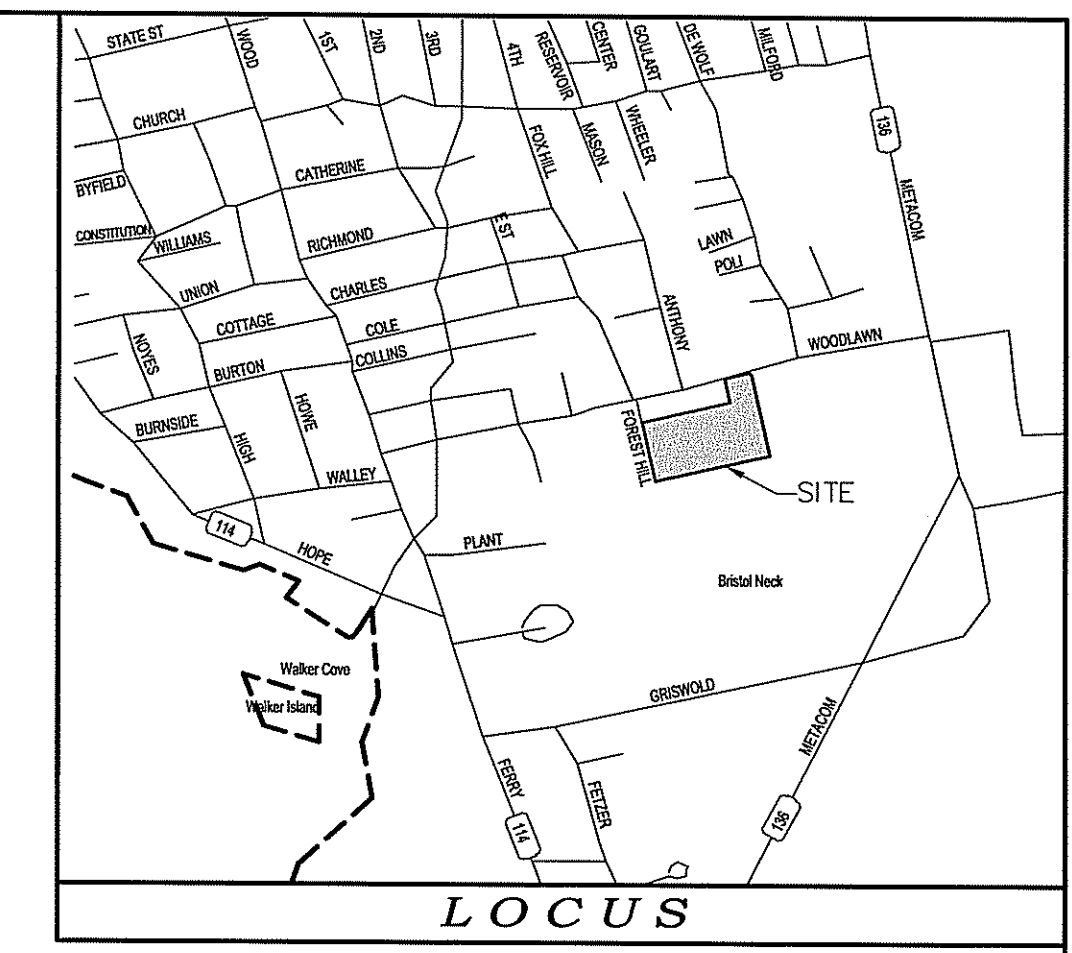
LEGEND & ABBREVIATIONS

- | | | | |
|---------|----------------------------|-------|-------------------------------------|
| NF | - NOW OR FORMERLY | --- | - PROPERTY LINE |
| A.P. | - ASSESSORS PLAT | - - - | - ZONING SETBACK LINE |
| S.F. | - SQUARE FEET | - - - | - EXISTING CONTOUR |
| AC. | - ACRES | --- | - STONE WALL |
| ± | - PLUS OR MINUS | X | - FENCE |
| STY | - STORY | S | - SEWER LINE |
| W/F | - WOOD FRAMED | D | - DRAIN LINE |
| SH/P | - STATE HIGHWAY PLAT | W | - WATER LINE |
| RET. | - RETAINING WALL | G | - GAS LINE |
| PED. | - PEDESTRIAN | E | - TELEPHONE, ELECTRIC, & CABLE LINE |
| (FND.) | - FOUND | ⊙ | - SANITARY SEWER MANHOLE |
| R/HB | - RI HIGHWAY BOUND | ⊙ | - CATCH BASIN |
| PK NAIL | - MASONRY NAIL | ⊙ | - STORM DRAIN MANHOLE |
| FE | - FLARED END | ⊙ | - WATER GATE |
| RCP | - REINFORCED CONCRETE PIPE | ⊙ | - GAS VALVE |
| CLF | - CHAIN LINK FENCE | ⊙ | - ELECTRIC MANHOLE |
| INV. | - INVERT | ⊙ | - CONCRETE BOUND |
| x 10.00 | - SPOT GRADE | ⊙ | - DRILL HOLE |
| | | ⊙ | - IRON PIPE |
| | | ⊙ | - HAYBALE |
| | | ⊙ | - TREELINE |



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 WATERMAN ENGINEERING CO.
 CIVIL ENGINEERS / SURVEYORS - EST. 1894
 46 SUTTON AVENUE
 EAST PROVIDENCE, RI 02914-2096

NO.	DATE	REVISION	CHECKED BY
1	10/31/08	PER TOWN'S COMMENTS.	TJW
EXISTING CONDITIONS PLAN A.P. 161-B, LOT 38 WOODLAWN AVENUE BRISTOL, RHODE ISLAND			
FCC, INC. 103 BAYVIEW AVENUE BRISTOL, RI 02809			
WATERMAN ENGINEERING CO. CIVIL ENGINEERS / SURVEYORS - EST. 1894 46 SUTTON AVENUE EAST PROVIDENCE, RHODE ISLAND 02914 PH. (401) 438-5775 FAX (401) 438-5773			



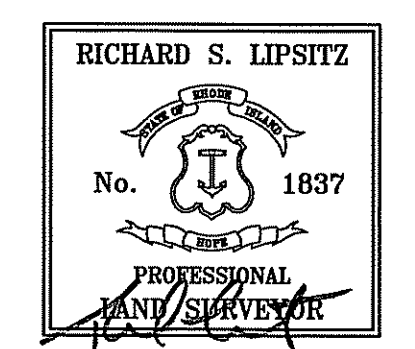
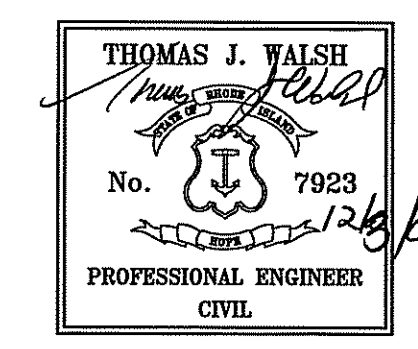
NOTES & REFERENCES

- 1. REFERENCE IS MADE TO THE FOLLOWING PLANS AND MAPS:
A. 'PROPERTY LINE SURVEY A.P. 161 LOT 38 BRISTOL, R.I. SCALE: 1"=40' DATE: MARCH 22, 2001 PETER V. CIPOLLA, PLS CRANSTON, R.I.'
B. 'FOREST HILL ESTATE SECTION 'N' OWNED BY MR. & MRS. RICHARD DALLAIRE BRISTOL, R.I. SCALE: 1"=50' DATE: JAN. 1987 JOSEPH MURGO, P.E.'
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3. THESE PREMISES ARE SITUATED IN AN R-10 & R-15 (RESIDENTIAL) ZONES.

DIMENSIONAL REQUIREMENTS

Table comparing R-10 and R-15 zone requirements for area, frontage, setbacks, height, and coverage.

- NOTE - R-15 ZONE IS A MANDATORY CLUSTER OVERLAY.
4. ONLY VISIBLE UTILITY APPURTENANCES ARE SHOWN. THE CONTRACTOR IS TO VERIFY LOCATIONS, SIZES AND MATERIALS PRIOR TO COMMENCING ANY CONSTRUCTION.
5. THE CONTRACTOR IS REQUIRED TO NOTIFY DIG-SAFE BEFORE COMMENCING ANY SITE EXCAVATION.
6. THE FRESHWATER WETLANDS WERE FLAGGED BY ECOTONES, INC., ROCKY HOLLOW ROAD, EAST GREENWICH, R.I., SEPTEMBER 2003 AND LOCATED BY FIELD SURVEY.
7. SOIL TYPES: PmB = PITTSFORD SILT LOAM, CcC = CANTON AND CHARLTON FINE SANDY LOAM
8. THE HOUSES ARE REQUIRED TO BE PROVIDED WITH INTERIOR SPRINKLER SYSTEMS.



CERTIFICATION

THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1984.

BOUNDARY SURVEY - CLASS I
TOPOGRAPHIC SURVEY - CLASS III
Richard S. Lipsitz, 12-03-08

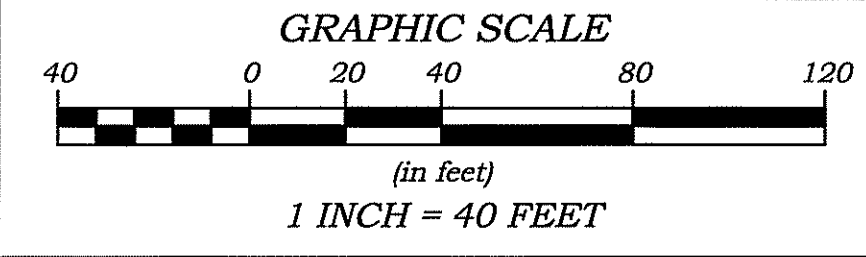
Table with columns for NO., DATE, REVISION, and CHECKED BY, showing approval history.

MAJOR SUBDIVISION PLAN
A.P. 161-B, LOT 38
WOODLAWN AVENUE
BRISTOL, RHODE ISLAND

FCC, INC.
103 BAYVIEW AVENUE
BRISTOL, RI 02809

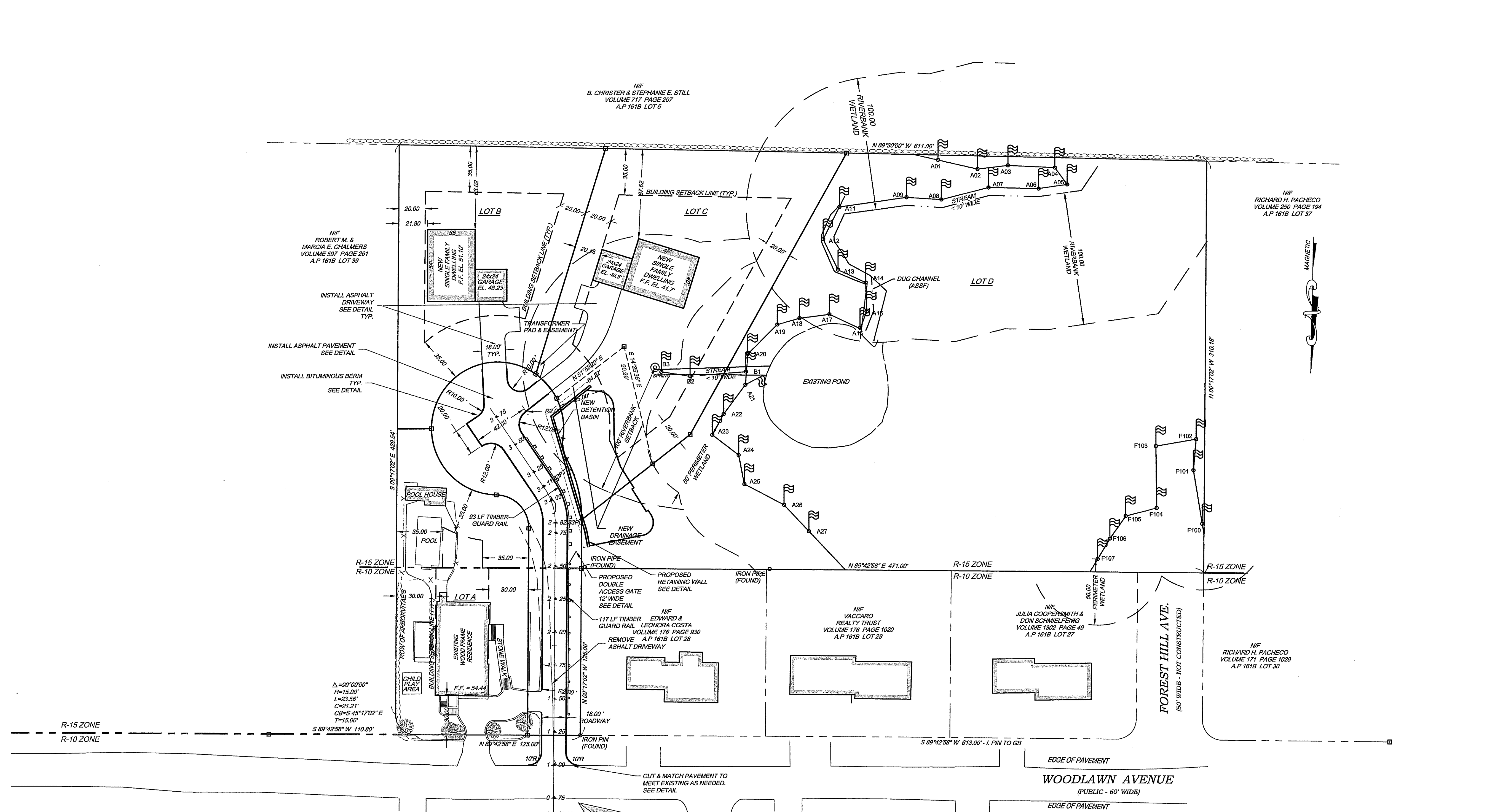
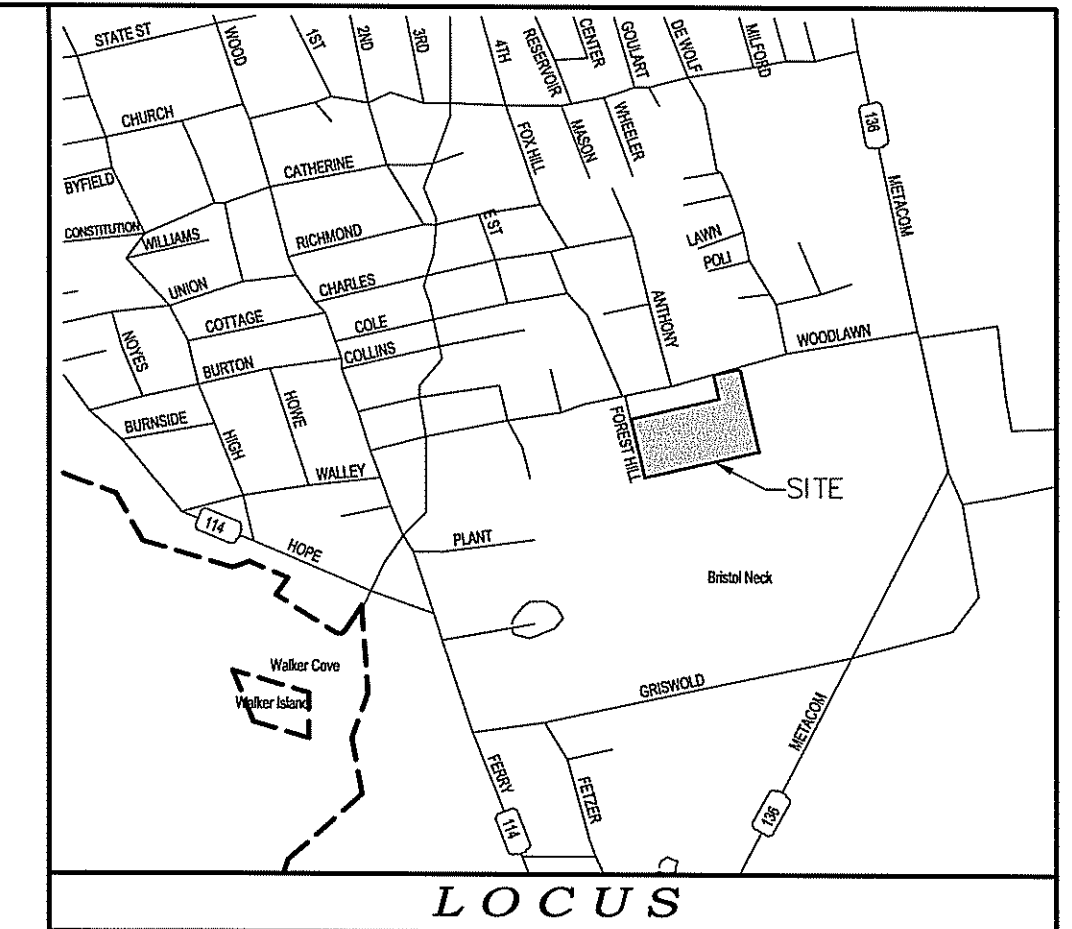
WATERMAN ENGINEERING CO.
CIVIL ENGINEERS / SURVEYORS - EST. 1894
46 SUTTON AVENUE
EAST PROVIDENCE, RHODE ISLAND 02914
PH. (401) 438-5775 FAX - (401) 438-5773

- LEGEND & ABBREVIATIONS
NIF - NOW OR FORMERLY
A.P. - ASSESSORS PLAT
S.F. - SQUARE FEET
AC. - ACRES
+ - PLUS OR MINUS
STY - STORY
WFF - WOOD FRAMED
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RET. - RETAINING WALL
PED. - PEDESTRIAN
(FND.) - FOUND
RHHB - RI HIGHWAY BOUND
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RCP - REINFORCED CONCRETE PIPE
CLF - CHAIN LINK FENCE
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x 10.80 - SPOT GRADE

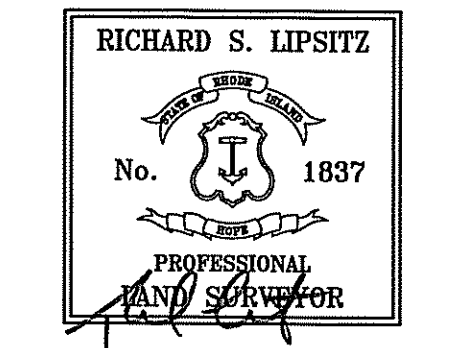
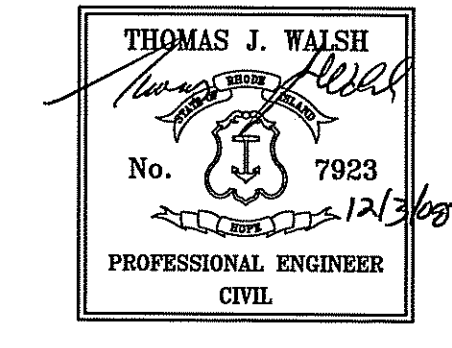
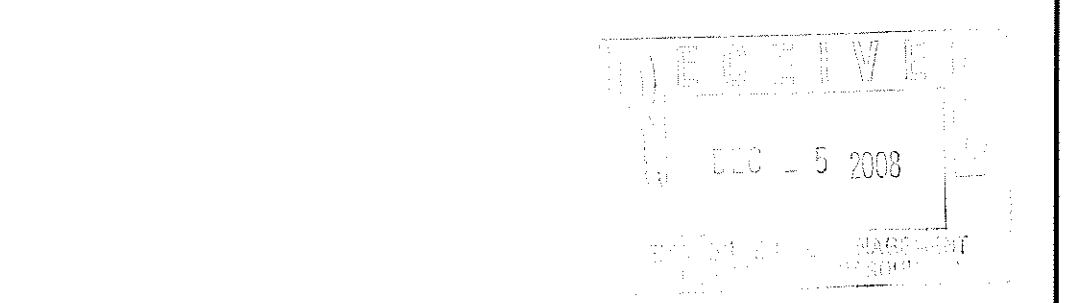


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Table with columns for LOT #, TOTAL LOT AREA (SF), TOWN OF BRISTOL (WETLANDS, UPLANDS), and RIDEM JURISDICTIONAL (WETLANDS, UPLANDS).

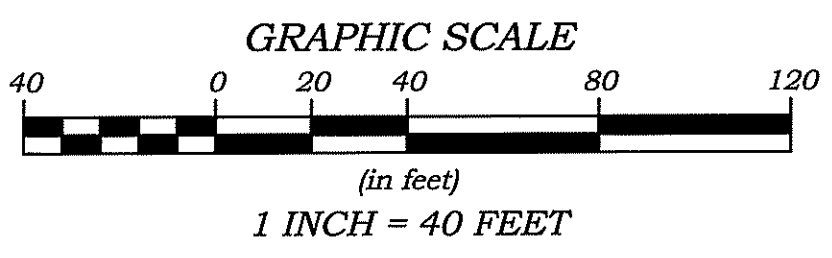


- NOTES:**
- 1.) ALL WATER LINE INSTALLATION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF BRISTOL COUNTY WATER AUTHORITY.
 - 2.) THE CONTRACTOR IS REQUIRED TO NOTIFY DIG-SAFE BEFORE COMMENCING ANY SITE EXCAVATIONS.
 - 3.) ONLY VISIBLE UTILITY APPURTENANCES AND INFORMATION PROVIDED BY UTILITY COMPANY RECORDS ARE SHOWN. THE CONTRACTOR IS TO VERIFY LOCATIONS, SIZES AND MATERIALS PRIOR TO COMMENCING ANY CONSTRUCTION.
 - 4.) THE WATER SYSTEM, SERVICES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BRISTOL COUNTY WATER AUTHORITY AND APPLICABLE FEDERAL AND STATE REGULATIONS.
 - 5.) THE SANITARY SEWER SYSTEM, SERVICES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BRISTOL SEWER DEPARTMENT AND APPLICABLE FEDERAL AND STATE REGULATIONS.
 - 6.) ALL HOUSES ARE REQUIRED TO BE PROVIDED WITH INTERIOR SPRINKLER SYSTEMS.



CERTIFICATION
 THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1984.
 BOUNDARY SURVEY - CLASS III
 TOPOGRAPHIC SURVEY - CLASS III
 AS SPECIFIED IN THE LETTER OF APPROVAL DATED FEB 20 2008
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

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 - x 10.80 - SPOT GRADE
 - PROPERTY LINE
 - ZONING SETBACK LINE
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 - SANITARY SEWER MANHOLE
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 - GUARD RAIL
 - TREELINE



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NO.	DATE	REVISION	CHECKED BY
2	11/6/08	PER TOWN'S COMMENTS.	TJW
1	10/31/08	PER TOWN'S COMMENTS.	TJW

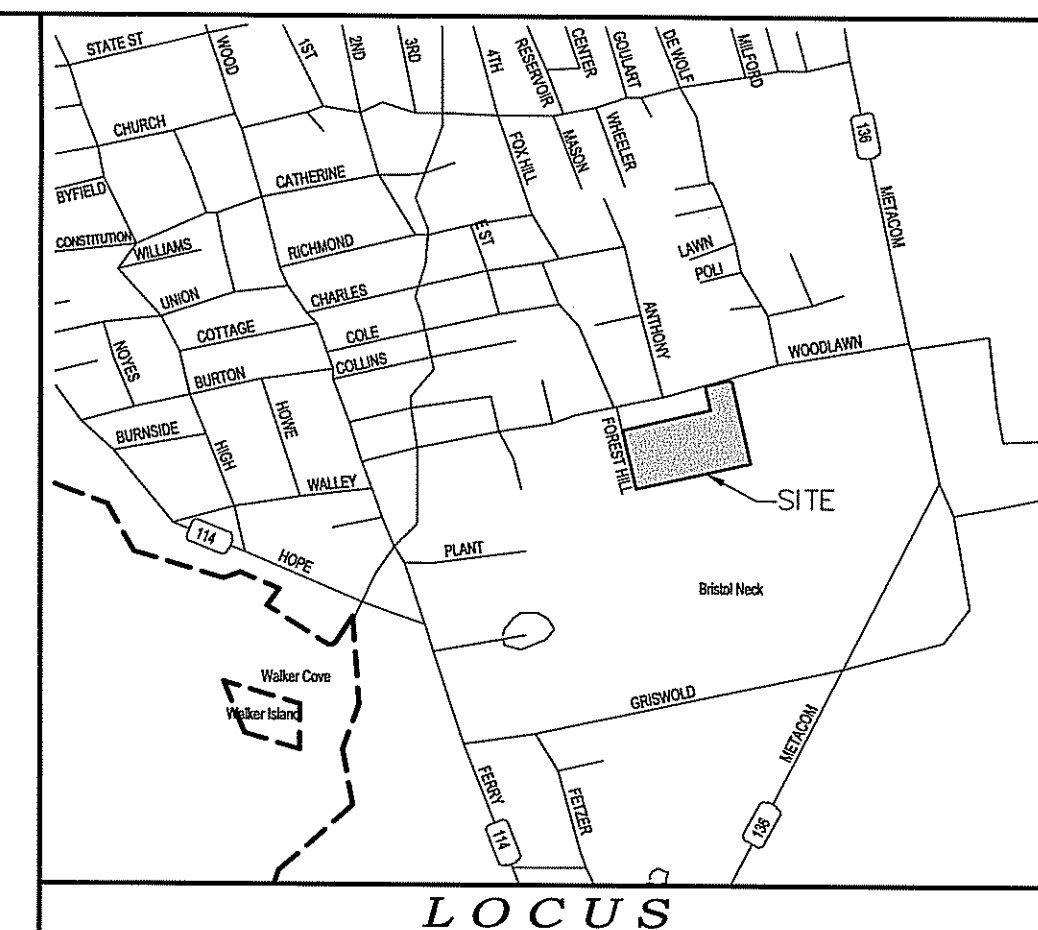
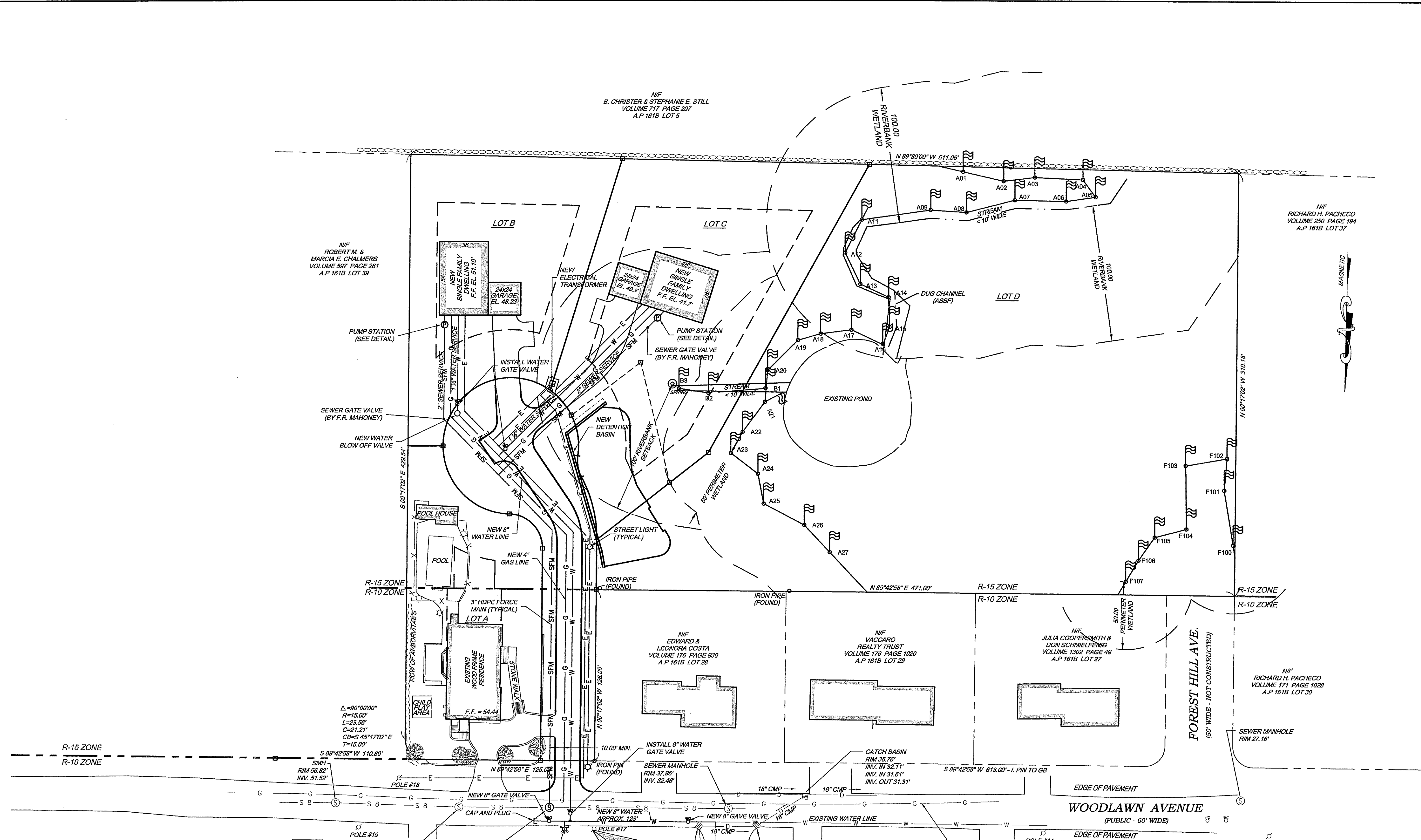
SITE PLAN
 A.P. 161-B, LOT 38
 WOODLAWN AVENUE
 BRISTOL, RHODE ISLAND

FCC, INC.
 103 BAYVIEW AVENUE
 BRISTOL, RI 02809

DATE: JUNE 30, 2008
 DRAWN BY: MS
 CHECKED BY: TJW
 FILENAME: 03093_MAJORSUB
 3 of 10 SHOTS
 DRAWING # C-2

WATERMAN ENGINEERING CO.
 CIVIL ENGINEERS / SURVEYORS - EST. 1894

46 SUTTON AVENUE
 EAST PROVIDENCE, RHODE ISLAND 02914
 PH. - (401) 438-5775 FAX - (401) 438-5773



NOTES:

- 1.) ALL WATER LINE INSTALLATION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF BRISTOL COUNTY WATER AUTHORITY.
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- 5.) THE SANITARY SEWER SYSTEM, SERVICES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BRISTOL SEWER DEPARTMENT AND APPLICABLE FEDERAL AND STATE REGULATIONS.



THOMAS J. WALSH
No. 7923
PROFESSIONAL ENGINEER
CIVIL

RICHARD S. LIPSITZ
No. 1837
PROFESSIONAL LAND SURVEYOR

CERTIFICATION

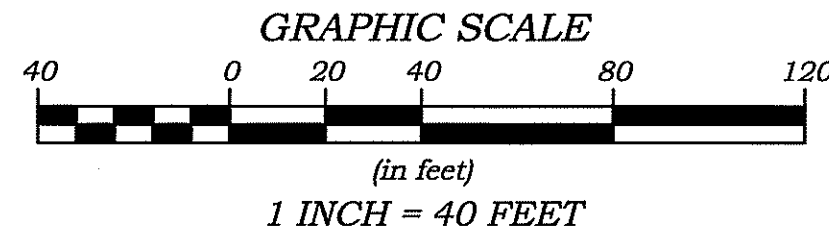
THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS, EFFECTIVE APRIL 1, 1998.

BOUNDARY SURVEY - CLASS III FRESHWATER WETLANDS PROGRAM
TOPOGRAPHIC SURVEY - CLASS III APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL DATED FEB 21, 2009 #08-05-0133

RICHARD S. LIPSITZ
WATERMAN ENGINEERING COMPANY
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
REVISED PLANS MUST BE AT CONSTRUCTION SITE

LEGEND & ABBREVIATIONS

- NF - NOW OR FORMERLY
 - A.P. - ASSESSORS PLAT
 - S.F. - SQUARE FEET
 - AC. - ACRES
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 - - - - - FENCE
 - - - - - SEWER LINE
 - - - - - DRAIN LINE
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 - - - - - GAS VALVE
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 - - - - - GUARD RAIL
 - - - - - TREELINE



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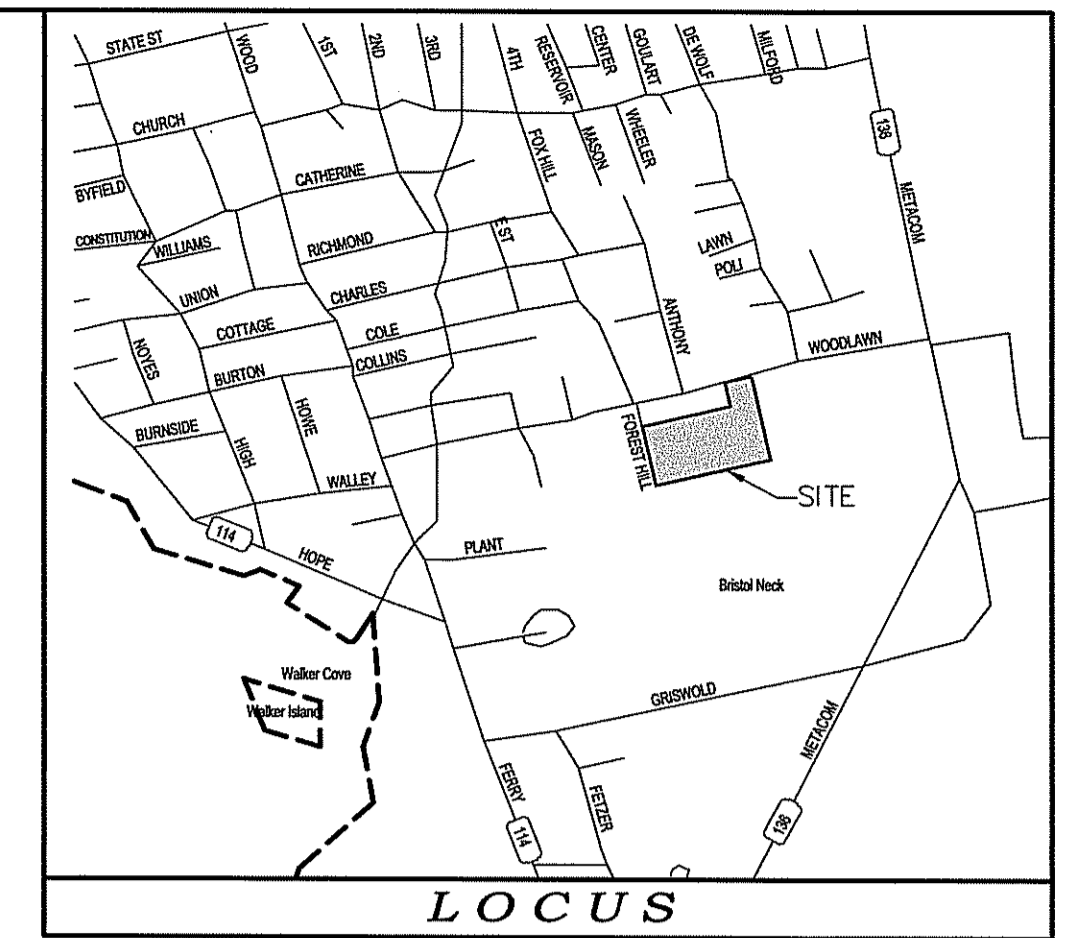
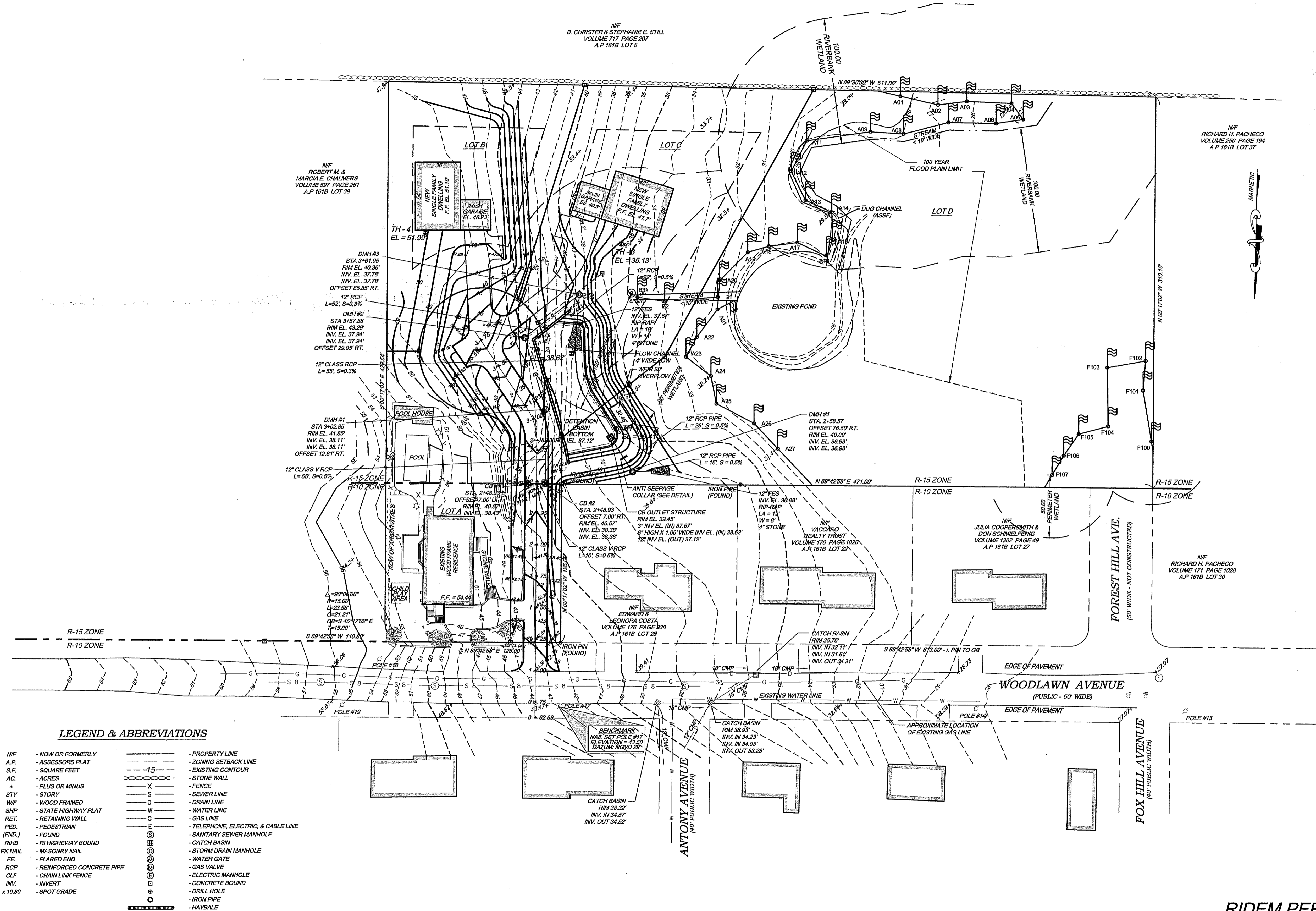
NO.	DATE	REVISION	CHECKED BY
2	11/6/08	PER TOWN'S COMMENTS.	TJW
1	10/31/08	PER TOWN'S COMMENTS.	TJW

UTILITY PLAN
A.P. 161-B, LOT 38
WOODLAWN AVENUE
BRISTOL, RHODE ISLAND

FCC, INC.
103 BAYVIEW AVENUE
BRISTOL, RI 02809

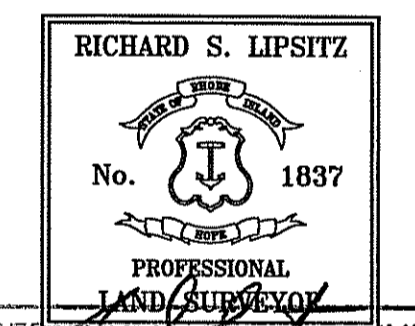
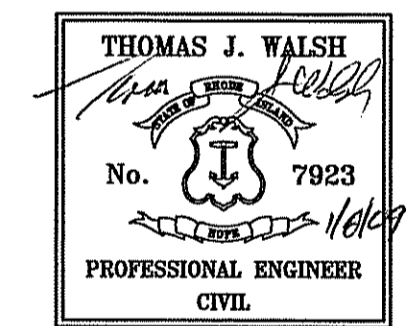
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4 of 10 SHEETS
DRAWING #: C-3

WATERMAN ENGINEERING CO.
CIVIL ENGINEERS / SURVEYORS - EST. 1894
46 SUTTON AVENUE
EAST PROVIDENCE, RHODE ISLAND 02914
PH. - (401) 438-5775 FAX - (401) 438-5773



NOTES & REFERENCES

- 100 YEAR FLOOD PLAIN ASSESSMENT**
1. FEMA HAS NOT ESTABLISHED THE 100 YEAR FLOOD PLAIN FOR THE STREAMS WITHIN THE SUBJECT PROPERTY AREA. BY DEFINITION PROVIDED IN THE RIDEM FRESHWATER WETLAND REGULATIONS, THE STREAMS DO HAVE A 100 YEAR FLOOD PLAIN.
 2. THE ENGINEERING ANALYSIS OF THIS SITE, WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS, INDICATES THAT THE PROPOSED WORK WILL BE ABOVE THE LOCAL 100 YEAR FLOOD PLAIN LINES AND ELEVATIONS AND WILL NOT ADVERSELY IMPACT THEM.

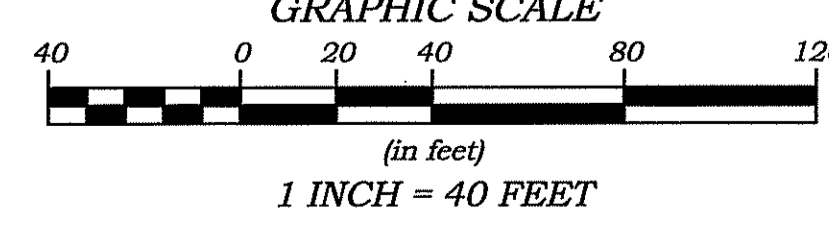


CERTIFICATION
 THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING: APPROVED WITH CONDITIONS
 ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1984.
 DATED FEB 20 2009 FILE # 05-0133
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

THOMAS J. WALSH
 RICHARD S. LIPSITZ
 WATERMAN ENGINEERING COMPANY
 REG. NO. 1837 DATE 1-9-09

LEGEND & ABBREVIATIONS

- | | | |
|--------------------------------|-----------|-----------------------------------|
| NF - NOW OR FORMERLY | — — — — — | PROPERTY LINE |
| A.P. - ASSESSORS PLAT | - - - - - | ZONING SETBACK LINE |
| S.F. - SQUARE FEET | — — — — — | EXISTING CONTOUR |
| AC. - ACRES | ⊗ ⊗ ⊗ ⊗ | STONE WALL |
| ± - PLUS OR MINUS | X | FENCE |
| STY - STORY | S | SEWER LINE |
| WF - WOOD FRAMED | D | DRAIN LINE |
| SHP - STATE HIGHWAY PLAT | W | WATER LINE |
| RET. - RETAINING WALL | G | GAS LINE |
| PED. - PEDESTRIAN | E | TELEPHONE, ELECTRIC, & CABLE LINE |
| (FIND.) - FOUND | ⊙ | SANITARY SEWER MANHOLE |
| RIHB - RI HIGHWAY BOUND | ⊞ | CATCH BASIN |
| PK NAIL - MASONRY NAIL | ⊞ | STORM DRAIN MANHOLE |
| FE - FLARED END | ⊞ | WATER GATE |
| RCP - REINFORCED CONCRETE PIPE | ⊞ | GAS VALVE |
| CLF - CHAIN LINK FENCE | ⊞ | ELECTRIC MANHOLE |
| INV. - INVERT | ⊞ | CONCRETE BOUND |
| x 10.80 - SPOT GRADE | ⊞ | DRILL HOLE |
| | ⊞ | IRON PIPE |
| | ⊞ | HAYBALE |
| | ⊞ | GUARD RAIL |
| | ⊞ | TREELINE |



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RIGL 34-13-1
 ABUTTING STREET INDEX
 1. WOODLAWN AVENUE
 2. FOREST HILL AVENUE

RIDEM PERMIT PLAN SUBMISSION SET

I DO HEREBY CERTIFY THAT THIS RECORD PLAT HAS MET THE REQUIREMENTS OF THE BRISTOL LAND DEVELOPMENT AND SUBDIVISION REVIEW RULES AND REGULATIONS, AND IS NOW ELIGIBLE FOR RECORDING.

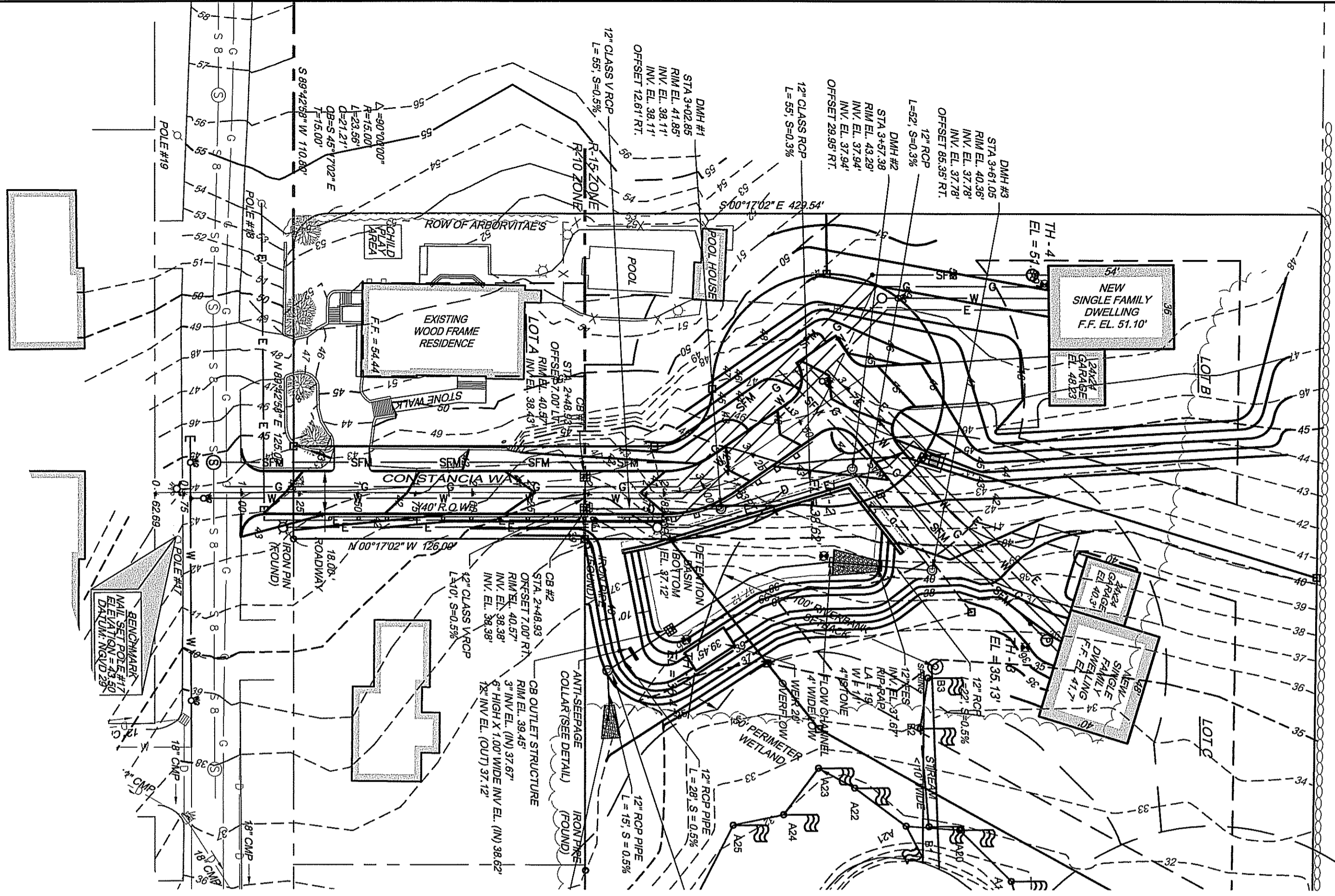
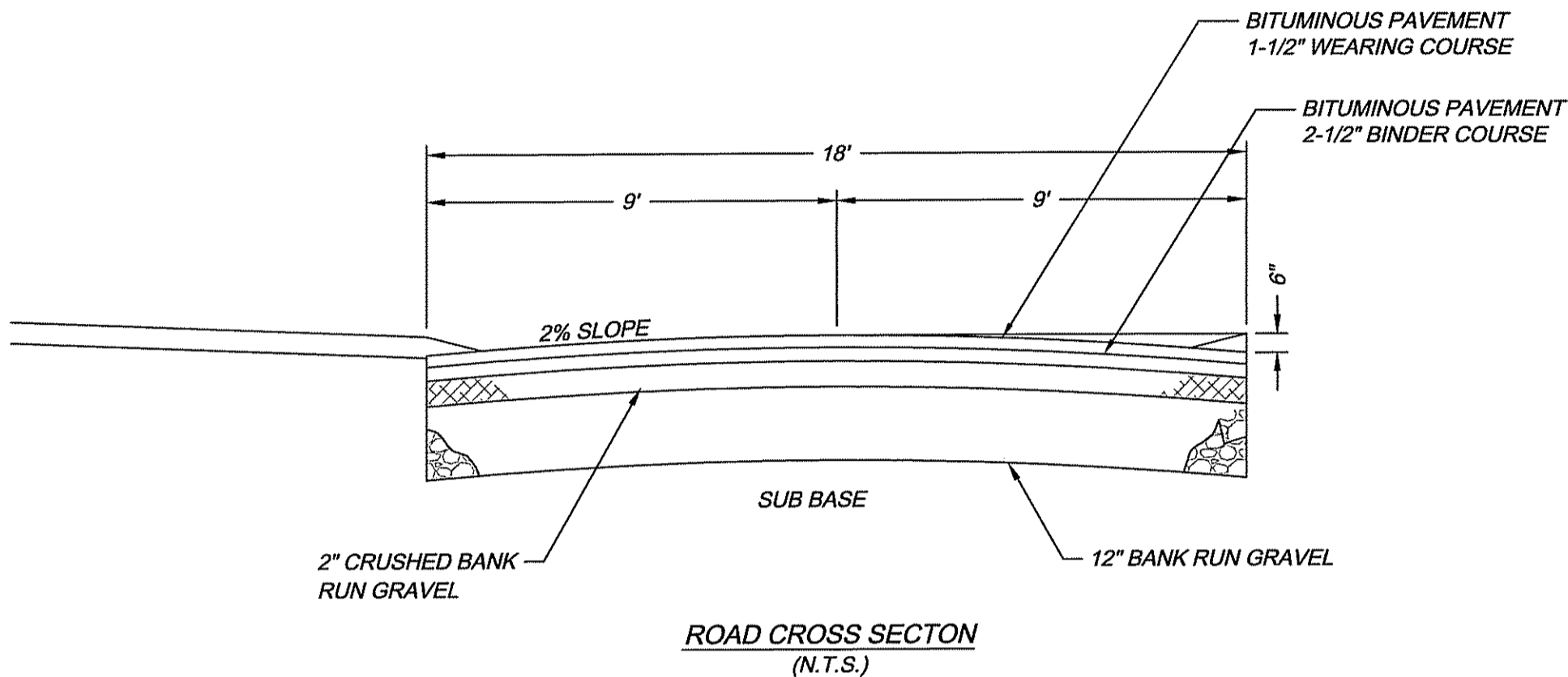
NO.	DATE	REVISION	CHECKED BY
3	1/6/09	PER RIDEM COMMENTS.	TJW
2	11/6/08	PER TOWN'S COMMENTS.	TJW
1	10/31/08	PER TOWN'S COMMENTS.	TJW

GRADING & DRAINAGE PLAN
 A.P. 161-B, LOT 38
 WOODLAWN AVENUE
 BRISTOL, RHODE ISLAND

FCC, INC.
 103 BAYVIEW AVENUE
 BRISTOL, RI 02809
 JAN 12 2009

WATERMAN ENGINEERING CO.
 CIVIL ENGINEERS / SURVEYORS - EST. 1894
 46 SUTTON AVENUE
 EAST PROVIDENCE, RHODE ISLAND 02914
 PH. - (401) 438-5775 FAX - (401) 438-5773

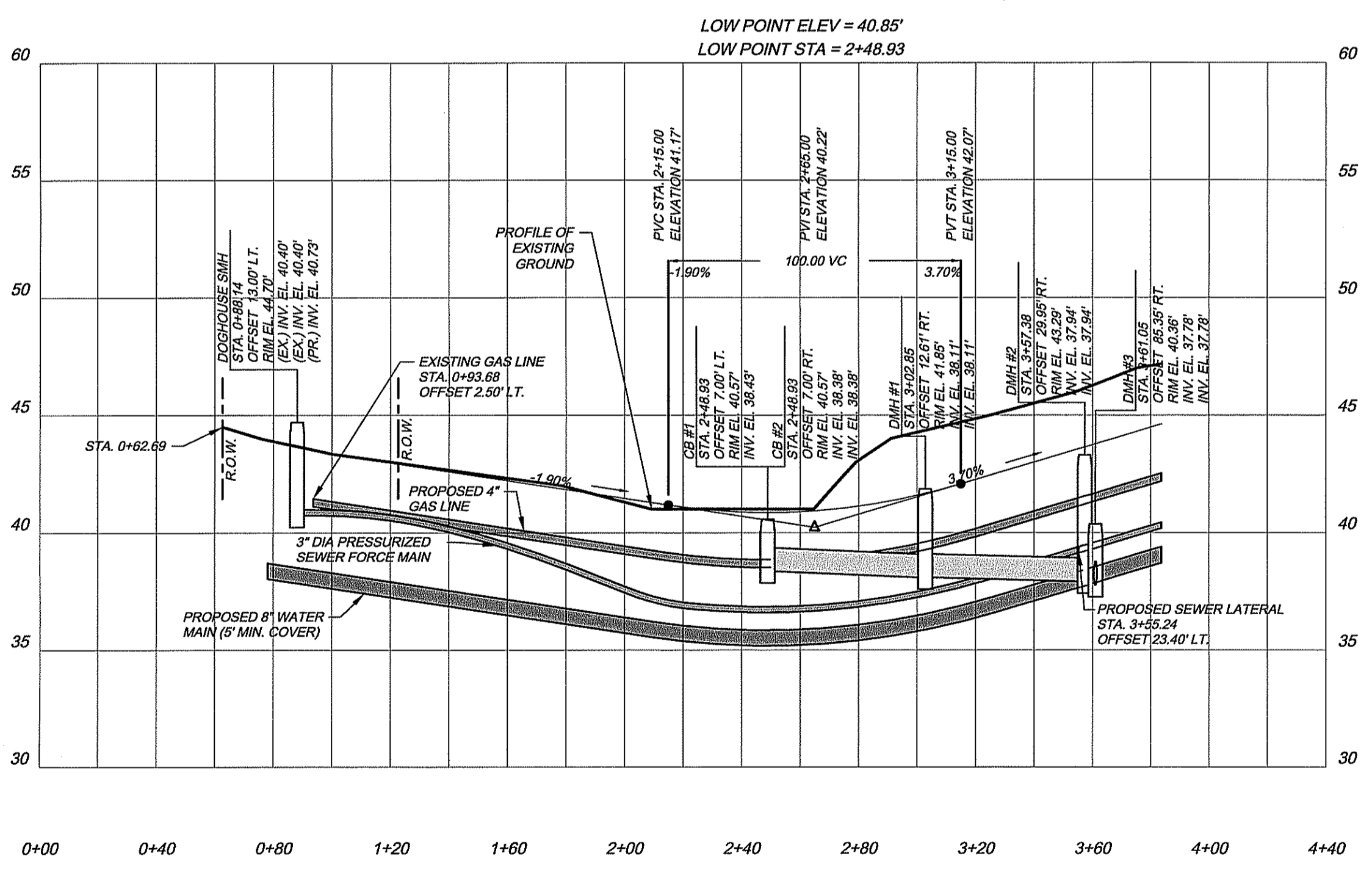
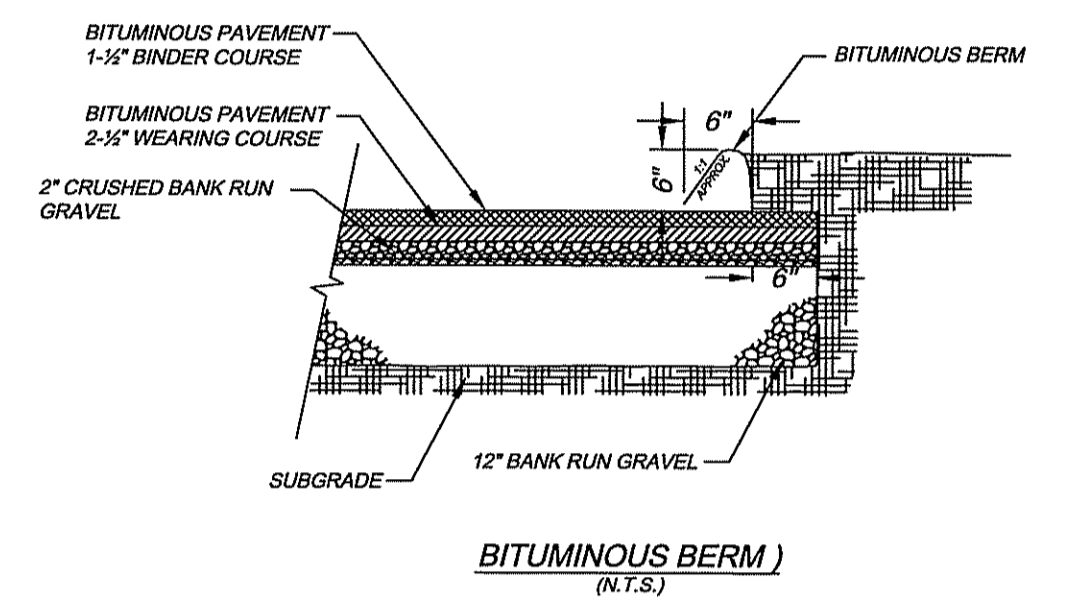
SMH INVERT SCHEDULE	
LOT B PUMP STATION	LOT C PUMP STATION
RIM=51.00'	RIM=38.00'
GRAVITY INV. IN 39.00"	GRAVITY INV. IN 34.55"
PRESSURIZED INV. OUT 39.00"	PRESSURIZED INV. OUT 34.55"
HIGH ALARM 38.00"	HIGH ALARM 34.55"
PUMP ON 38.00"	PUMP ON 33.55"
PUMP OFF 36.00"	PUMP OFF 31.55"
BOTTOM 35.50"	BOTTOM 31.05"



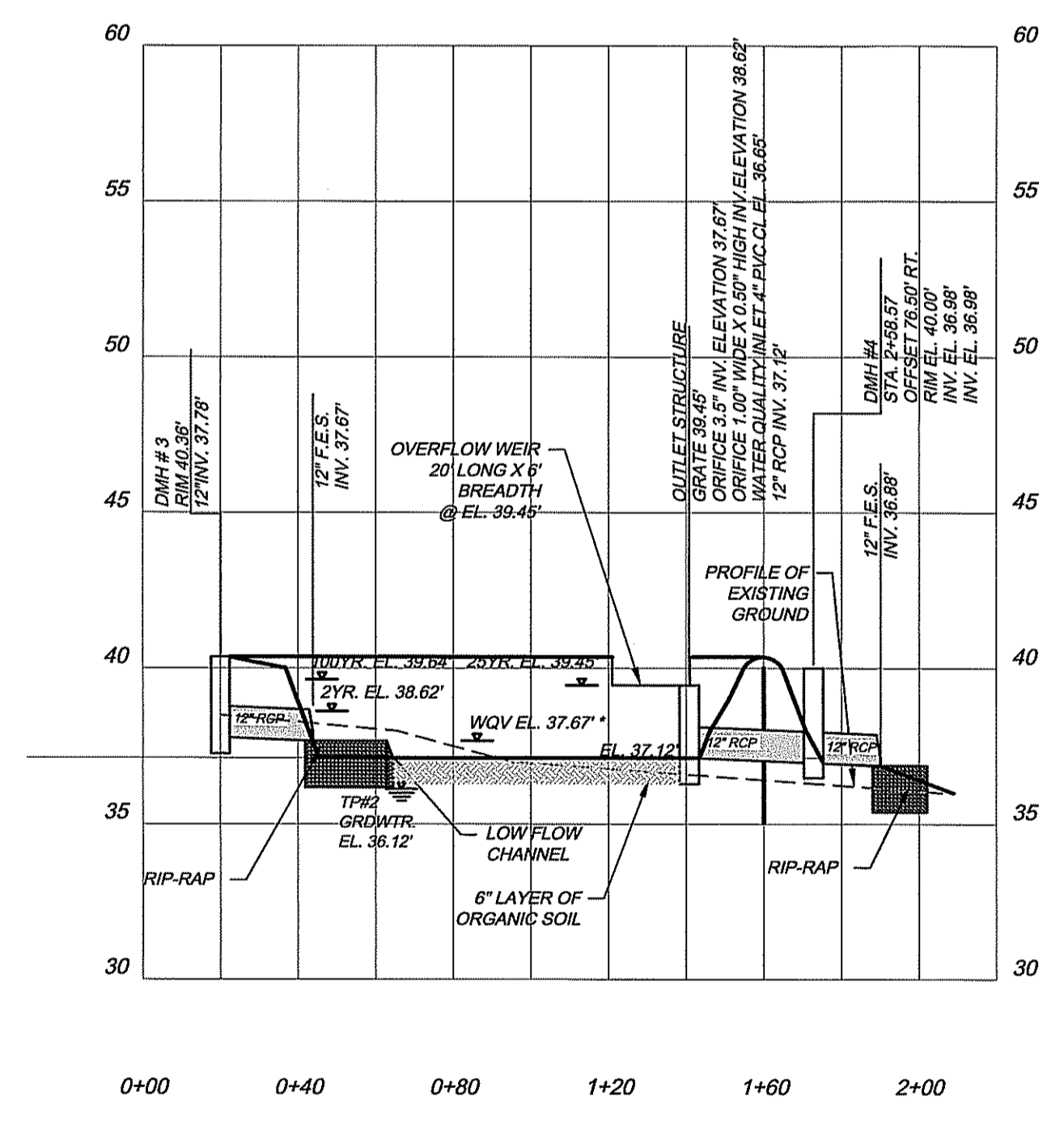
CONSTANCIA WAY
SCALE: 1" = 40'

TEST PIT DATA*			
TEST PIT NO.	ELEVATION (FT.)	GROUNDWATER ELEVATION (FT.)	LEDGE ELEVATION (FT.)
1	36.41	35.24	31.08
2	38.62	36.12	35.62
3	35.13	34.13	30.63
4	51.99	49.16	46.99

* SEE DRAINAGE REPORT FOR TEST PIT FORMS

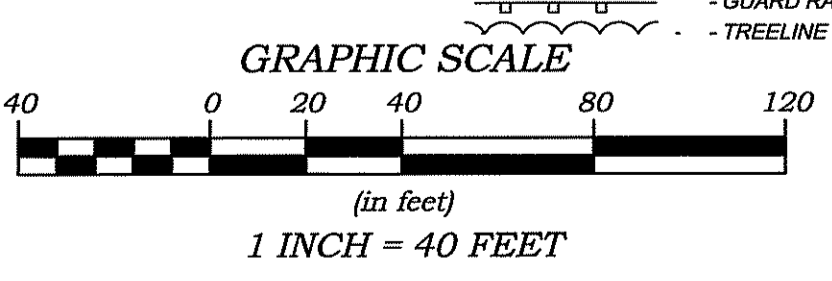


CONSTANCIA WAY PROFILE
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 8'

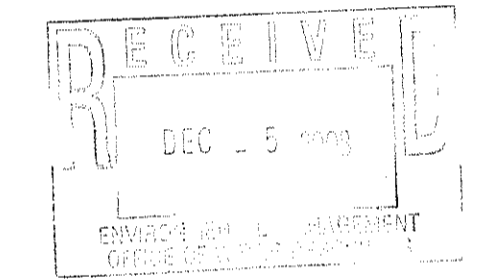


DETENTION BASIN PROFILE
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 8'

- LEGEND & ABBREVIATIONS**
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 - AC. - ACRES
 - ± - PLUS OR MINUS
 - STY - STORY
 - W/F - WOOD FRAMED
 - SHP - STATE HIGHWAY PLAT
 - RET. - RETAINING WALL
 - PEDE. - PEDESTRIAN
 - (FND.) - FOUND.
 - R/HB - R/H HIGHWAY BOUND
 - M/NAIL - MASONRY NAIL
 - FE - FLARED END
 - RCP - REINFORCED CONCRETE PIPE
 - CLF - CHAIN LINK FENCE
 - INV. - INVERT
 - x 10.00 - SPOT GRADE
 - PROPERTY LINE
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 - DRILL HOLE
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 - HAYBALE
 - GUARD RAIL
 - TREELINE



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<p>THOMAS J. WALSH No. 7923 PROFESSIONAL ENGINEER CIVIL</p>	<p>RICHARD S. LIPSITZ No. 1837 PROFESSIONAL ENGINEER CIVIL</p>
---	--

CERTIFICATION
THIS SURVEY AND PLAN CONFORM TO THE REQUIREMENTS OF THE R.I. BOARD OF PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1993.
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
FILE # 05-D-123
12-03-08

NO.	DATE	REVISION	CHECKED BY
2	11/6/08	PER TOWN'S COMMENTS.	TJW
1	10/31/08	PER TOWN'S COMMENTS.	TJW

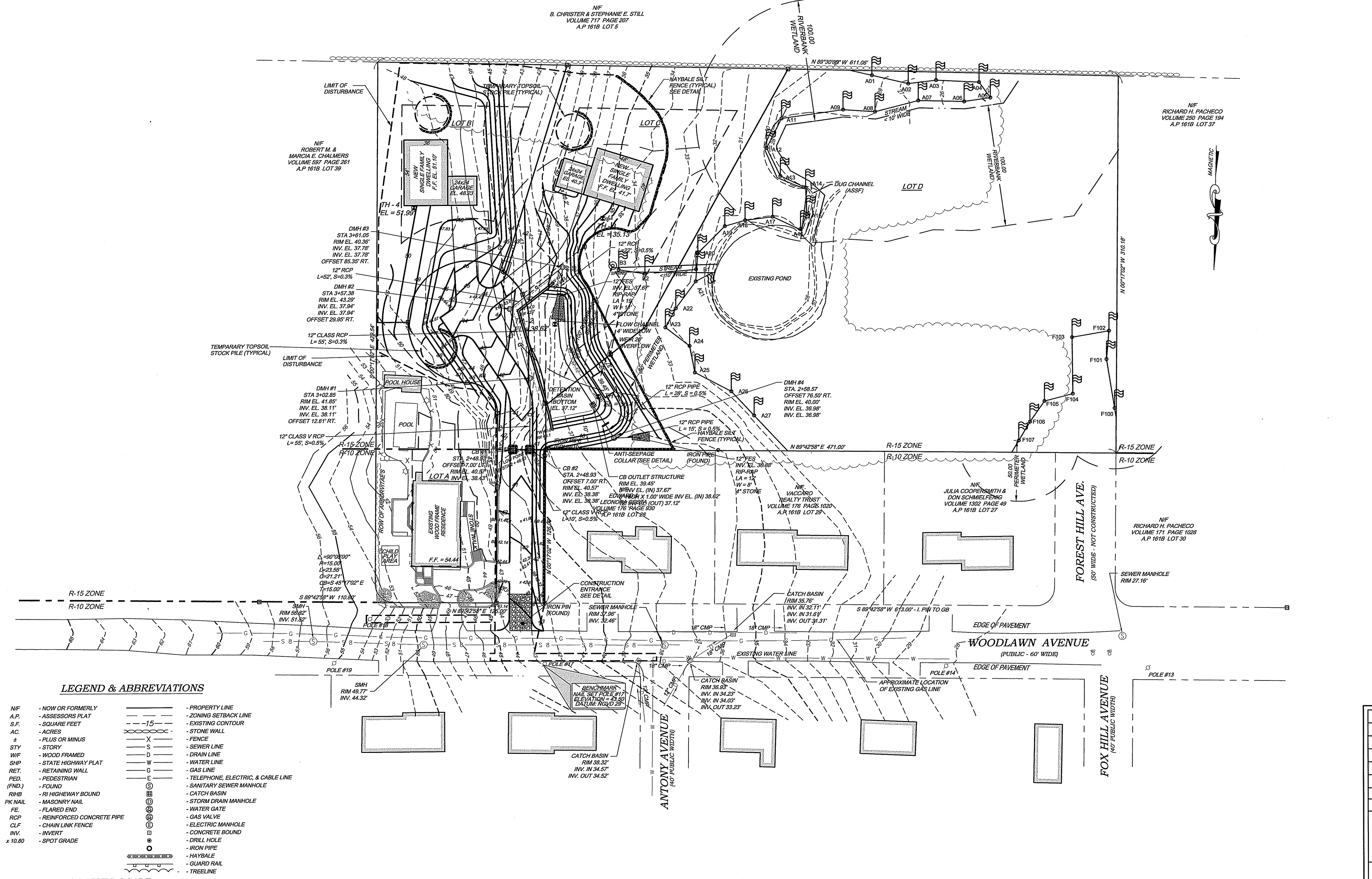
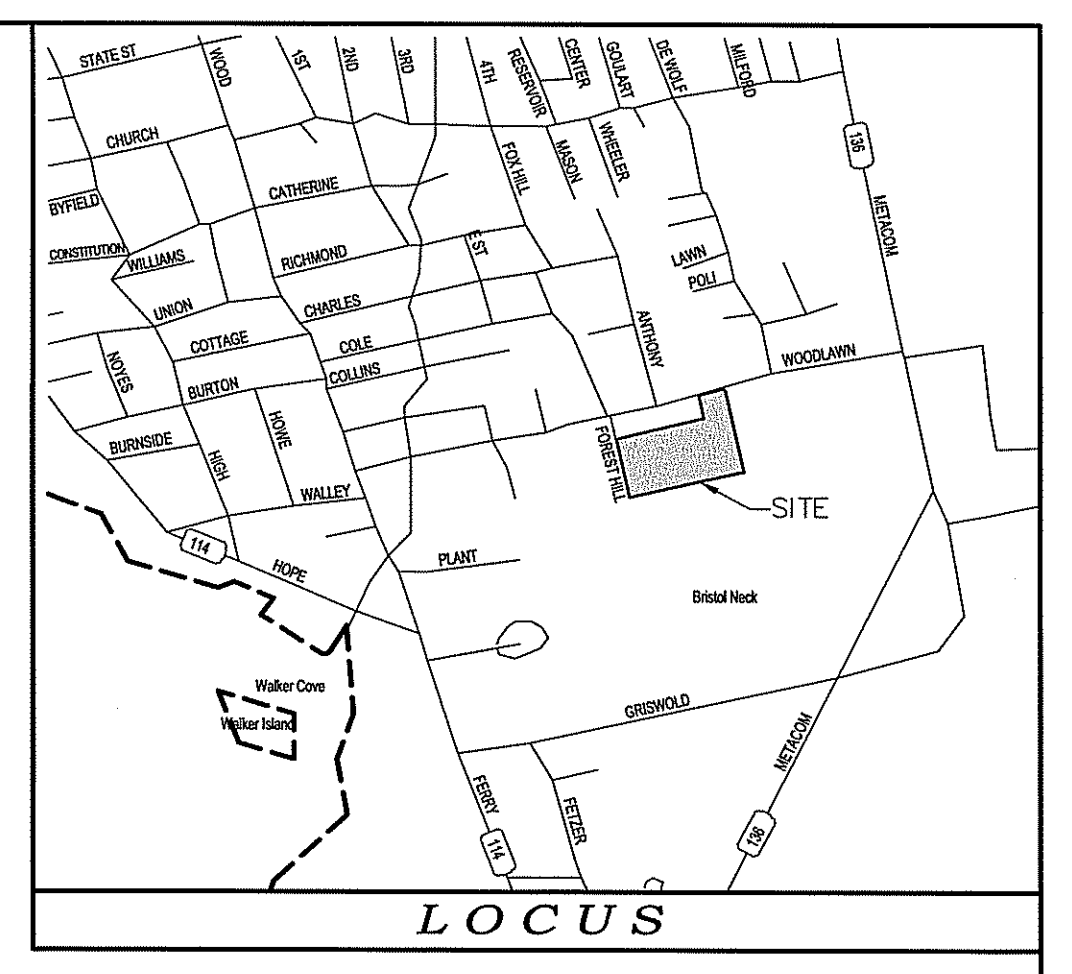
ROAD PLAN & PROFILE
A.P. 161-B, LOT 38
WOODLAWN AVENUE
BRISTOL, RHODE ISLAND

FCC, INC.
103 BAYVIEW AVENUE
BRISTOL, RI 02809

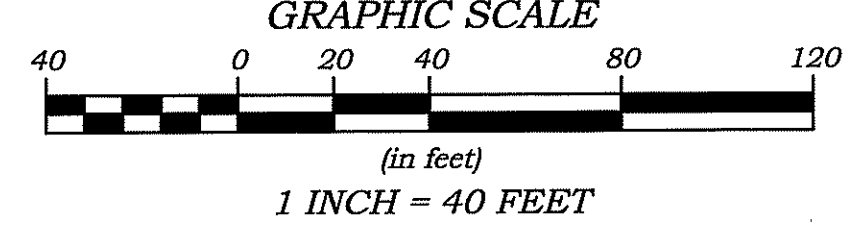
PROJECT NO. 03093
SCALE AS SHOWN
DATE: JUNE 30, 2008
DRAWN BY: MS
CHECKED BY: TJW
FILE NO. 03093.MAJOR.SUB
6 OF 10 SHEETS
DRAWING # C-5

WATERMAN ENGINEERING CO.
CIVIL ENGINEERS / SURVEYORS - EST. 1894

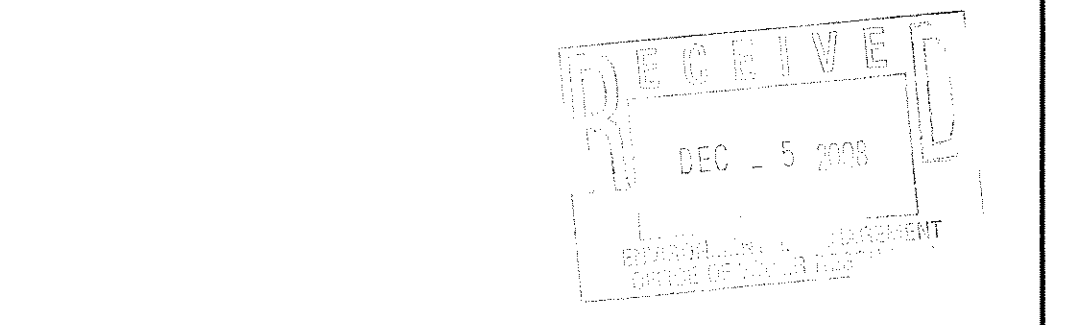
46 SUTTON AVENUE
EAST PROVIDENCE, RHODE ISLAND 02914
PH. - (401) 438-5775 FAX - (401) 438-5773



- LEGEND & ABBREVIATIONS**
- NF - NOW OR FORMERLY
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 - S.F. - SQUARE FEET
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 - + - PLUS OR MINUS
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 - RET. - RETAINING WALL
 - PED. - PEDESTRIAN
 - (FND.) - FOUND
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 - IRON PIPE
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 - TREELINE



THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THIS OWNER OR ONE OF ITS DIRECTORS.



THOMAS J. WALSH
No. 7923
PROFESSIONAL ENGINEER
CIVIL DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES

RICHARD S. LIPSITZ
No. 1837
PROFESSIONAL ENGINEER
MANAGEMENT

CERTIFICATION APPROVED WITH CONDITIONS
THIS SURVEY AND PLAN CONFORM TO THE STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTERED PROFESSIONAL LAND SURVEYORS, EFFECTIVE JANUARY 1, 2008. NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL. BOUNDARY SURVEY - CLASS APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

REG. NO. 1837 DATE 12-03-08
RICHARD S. LIPSITZ
WATERMAN ENGINEERING COMPANY

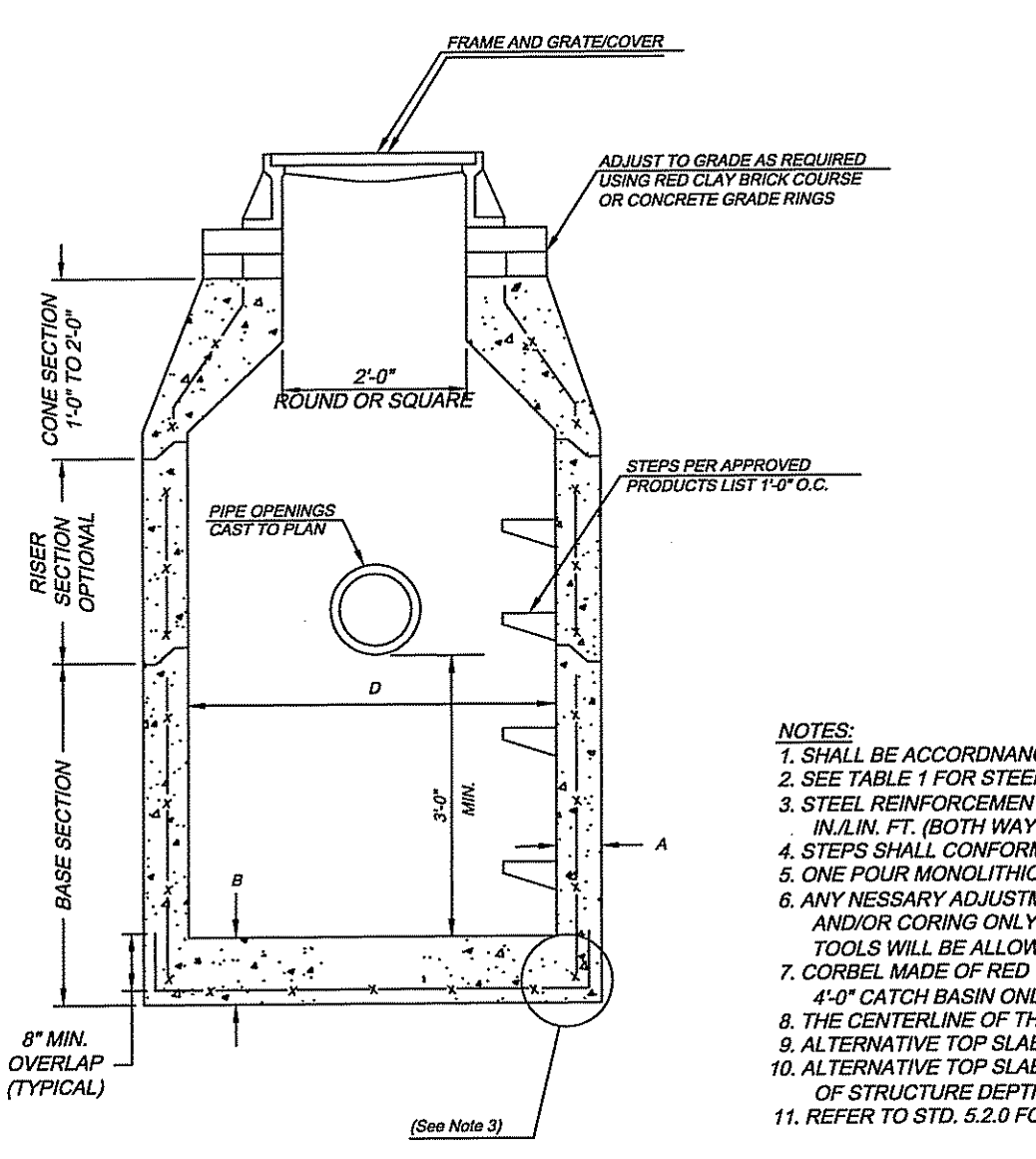
NO.	DATE	REVISION	CHECKED BY
2	11/6/08	PER TOWN'S COMMENTS.	TJW
1	10/31/08	PER TOWN'S COMMENTS.	TJW

SOIL EROSION & SEDIMENT CONTROL PLAN
A.P. 161-B, LOT 38
WOODLAWN AVENUE
BRISTOL, RHODE ISLAND

PROJECT NO. 03093
SCALE: 1" = 40'
DATE: JUNE 30, 2008
DRAWN BY: MS
CHECKED BY: TJW
FILENAME: 03093_MAJORSUB
7 of 10 SHTS
DRAWING # C-6

WATERMAN ENGINEERING CO.
CIVIL ENGINEERS / SURVEYORS - EST. 1894

46 SUTTON AVENUE
EAST PROVIDENCE, RHODE ISLAND 02914
PH. (401) 438-5775 FAX (401) 438-5773



ALTERNATIVE TOP SLAB
(See Notes 9 & 10)

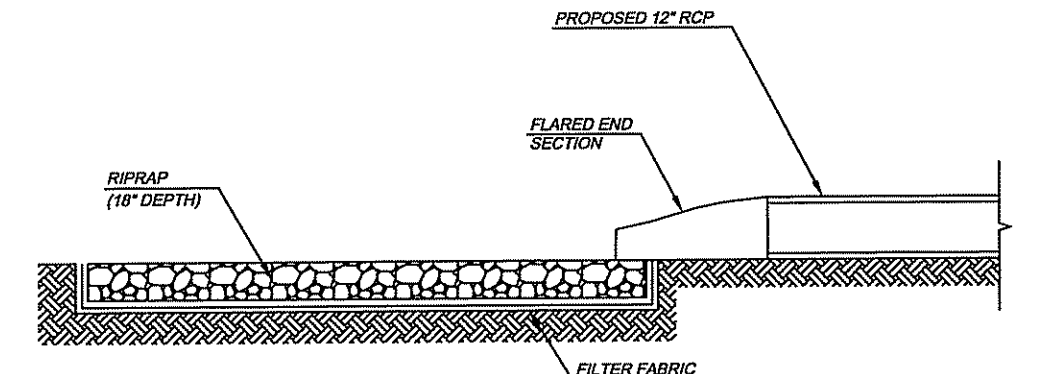
AS REQUIRED

D

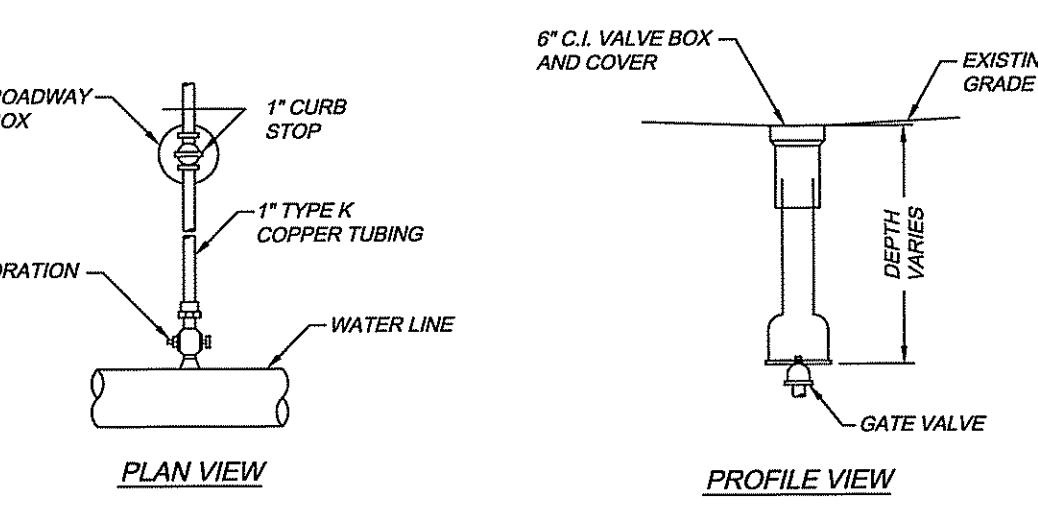
TABLE 1		CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*
CATCH BASIN DIAMETER (D)	A	B
4'-0"	5"	6"
		0.12 SQ. IN./LIN. FT.

- * FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM 0476, ITEM 6.1.2
- NOTES:
1. SHALL BE ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATION.
 2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 5. ONE FOUR MONOLITHIC BASE SECTION.
 6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 7. CORREL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 8. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 9. ALTERNATIVE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 10. ALTERNATIVE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 11. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

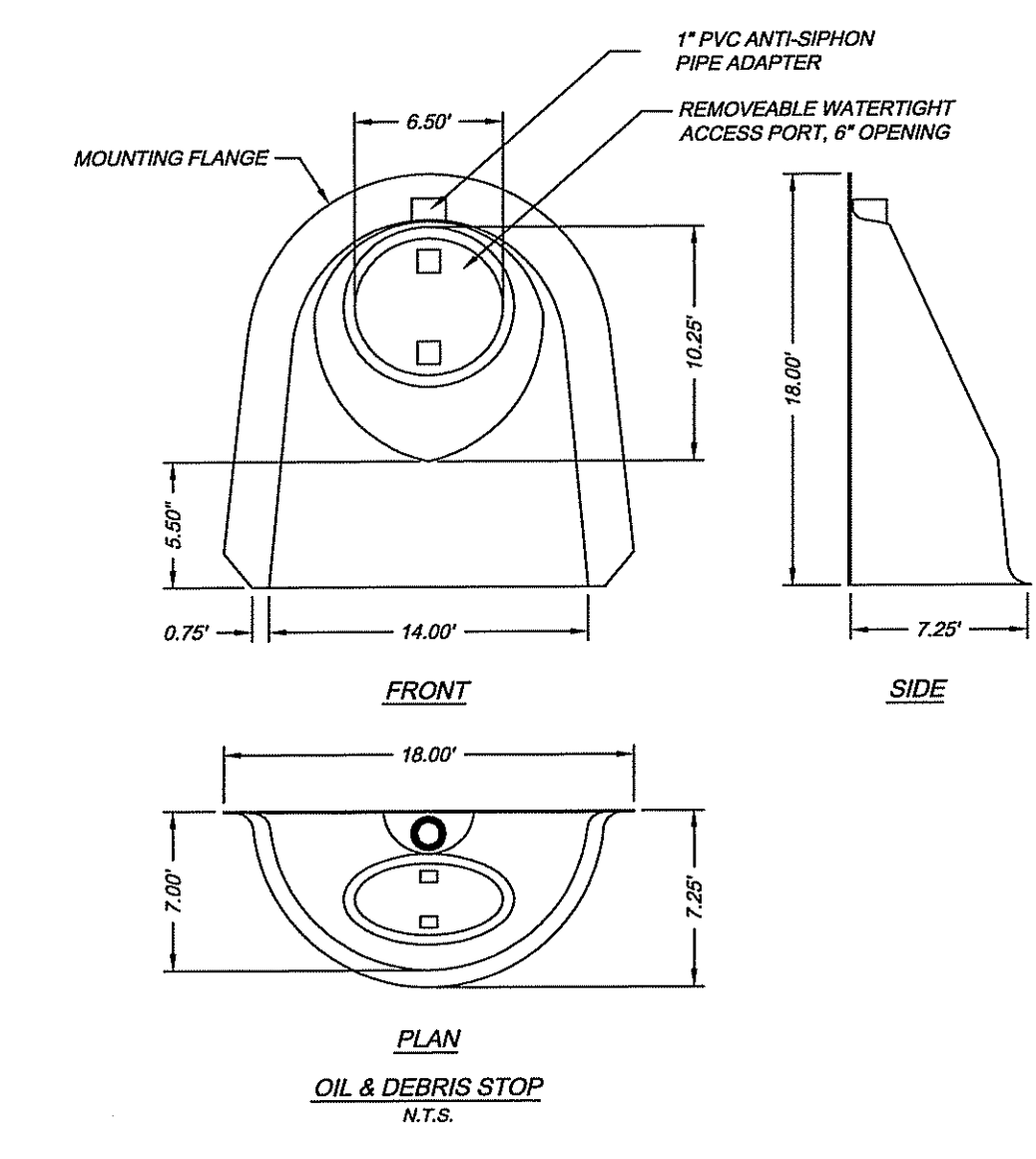
4'-0" PRECAST ROUND CATCH BASIN (RIDOT 4.4.0) (N.T.S.)



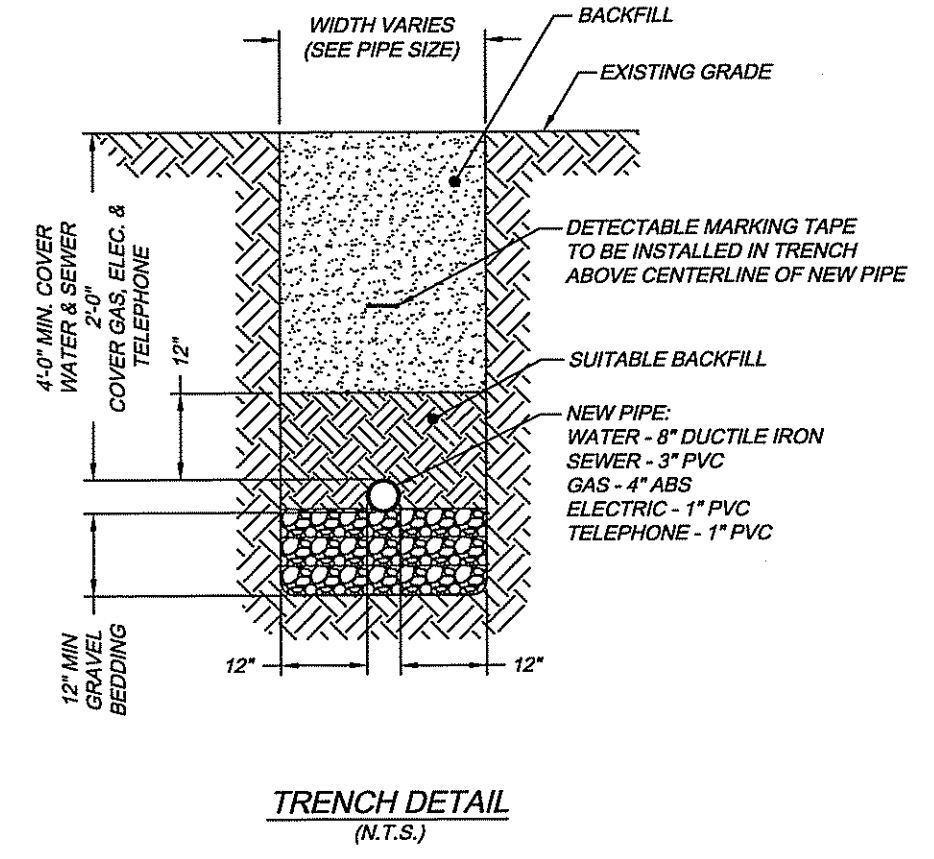
FLARED END SECTION (N.T.S.)



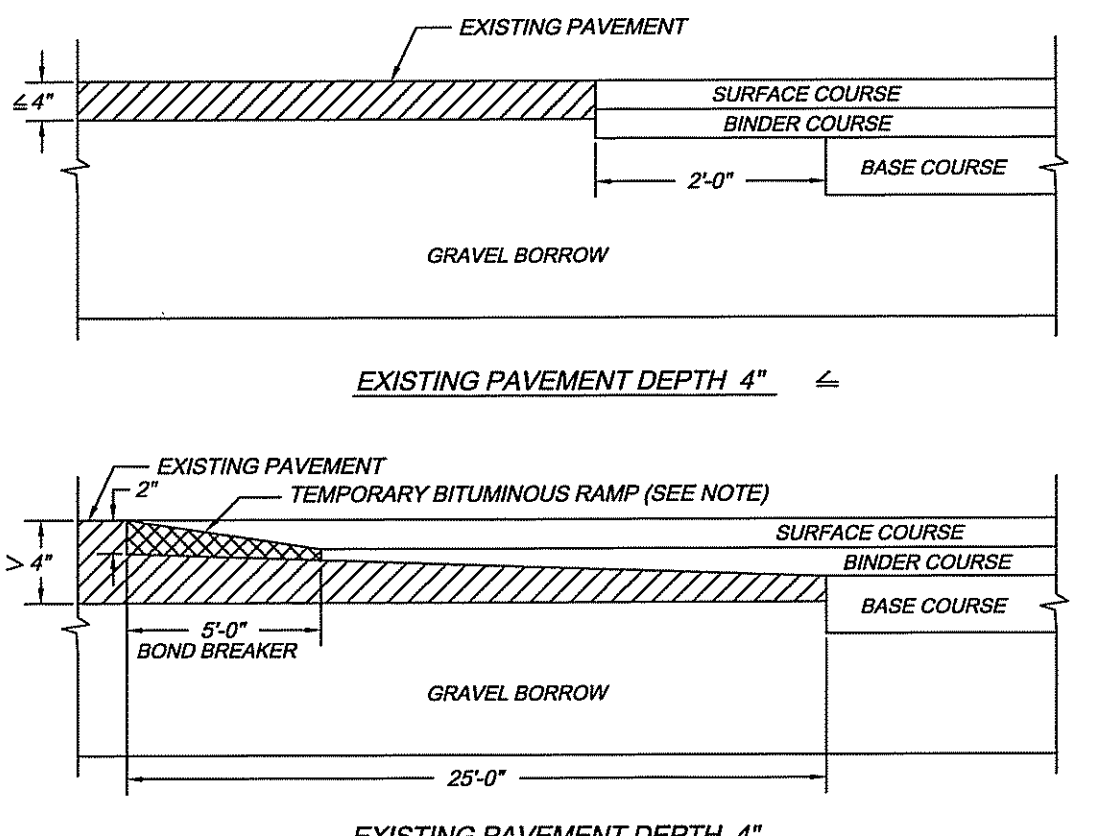
WATER GATE VALVE/SERVICE CURB STOP (N.T.S.)



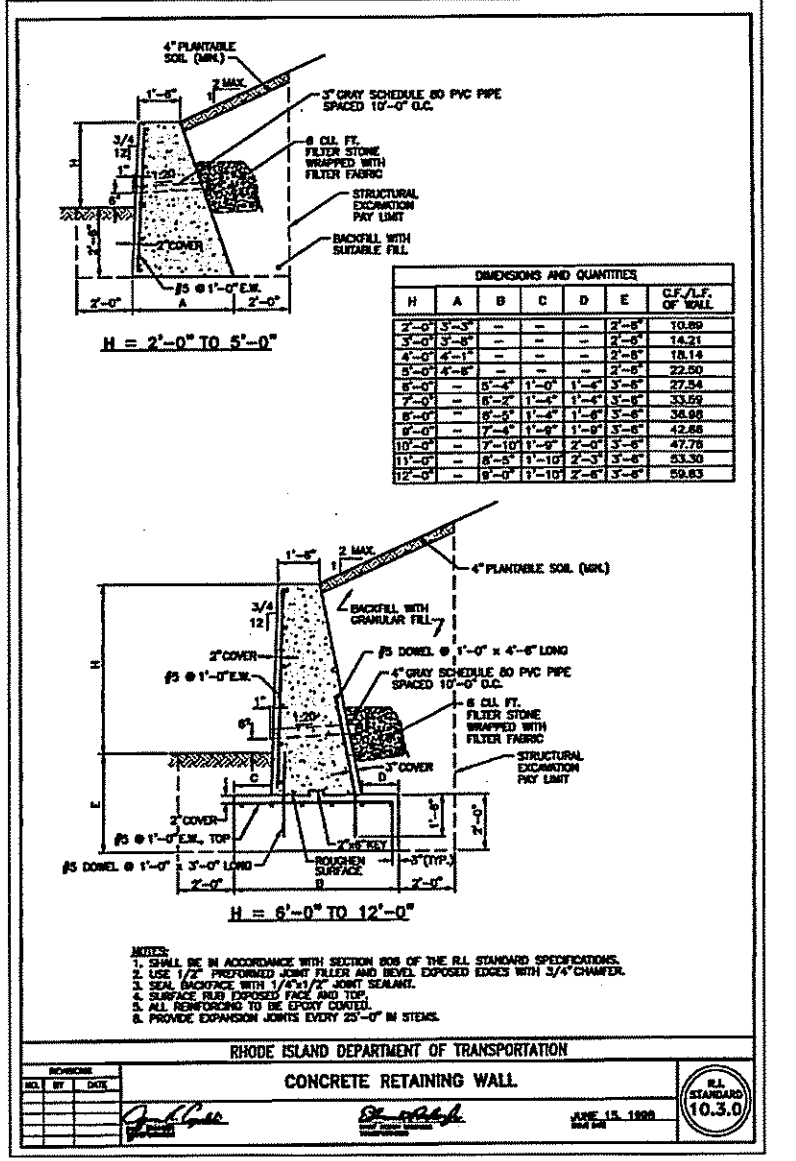
OIL & DEBRIS STOP (N.T.S.)



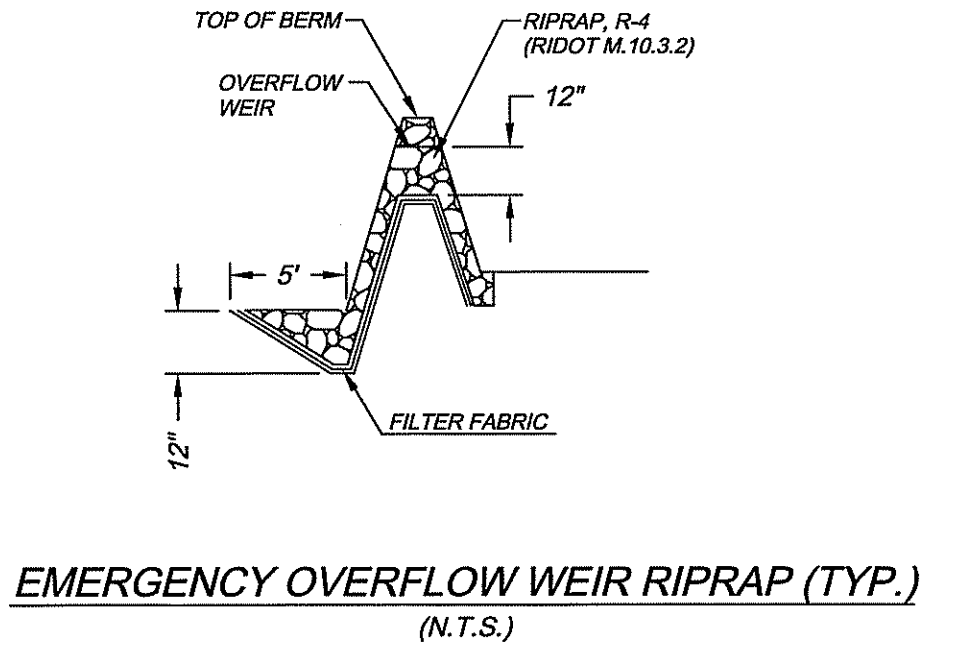
TRENCH DETAIL (N.T.S.)



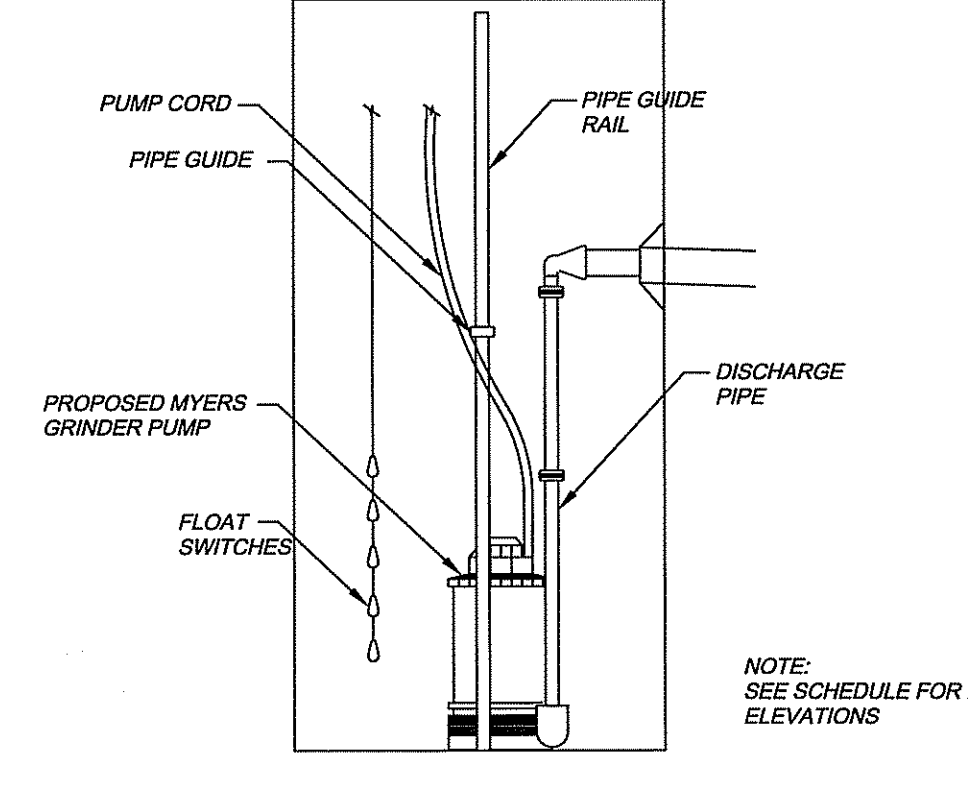
CUT AND MATCH PAVEMENT DETAIL (N.T.S.)



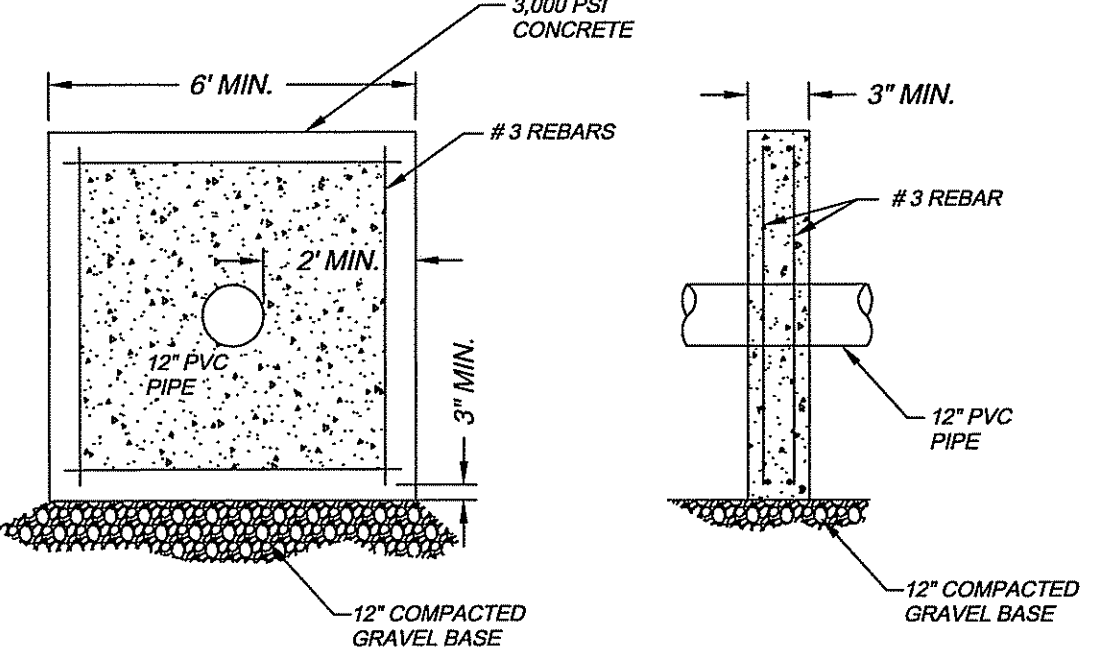
CONCRETE RETAINING WALL (R.I.S. 100)



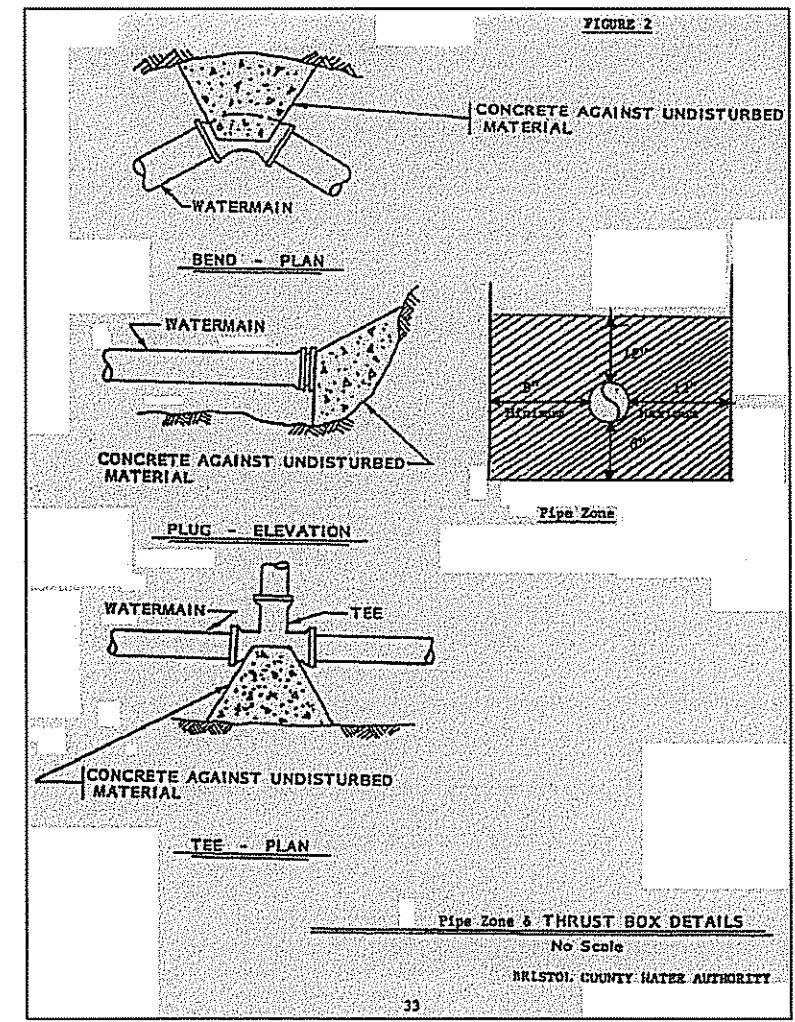
EMERGENCY OVERFLOW WEIR RIPRAP (TYP.) (N.T.S.)



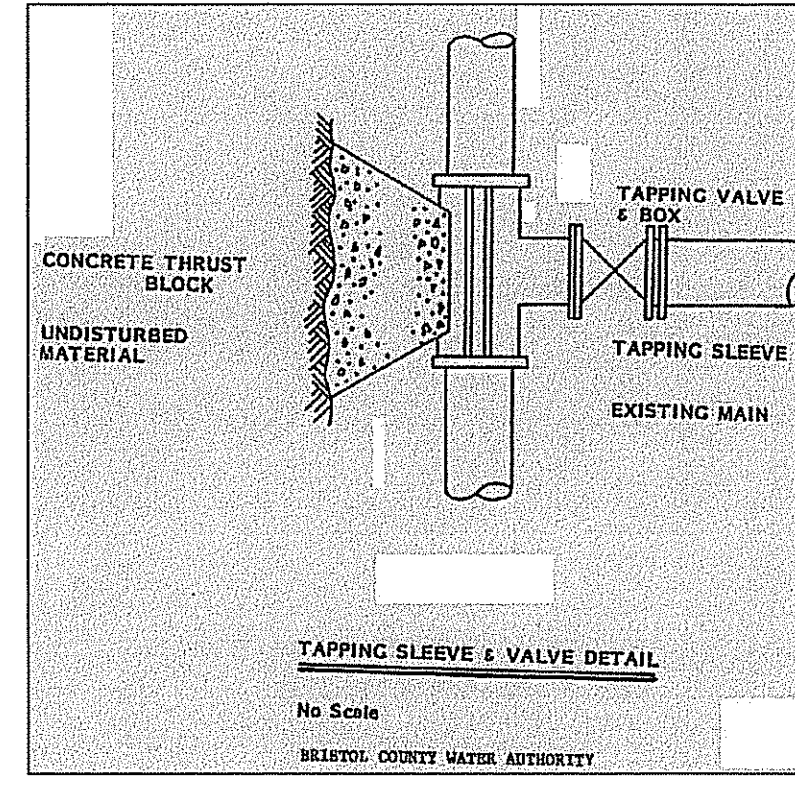
PUMP STATION DETAIL (N.T.S.)



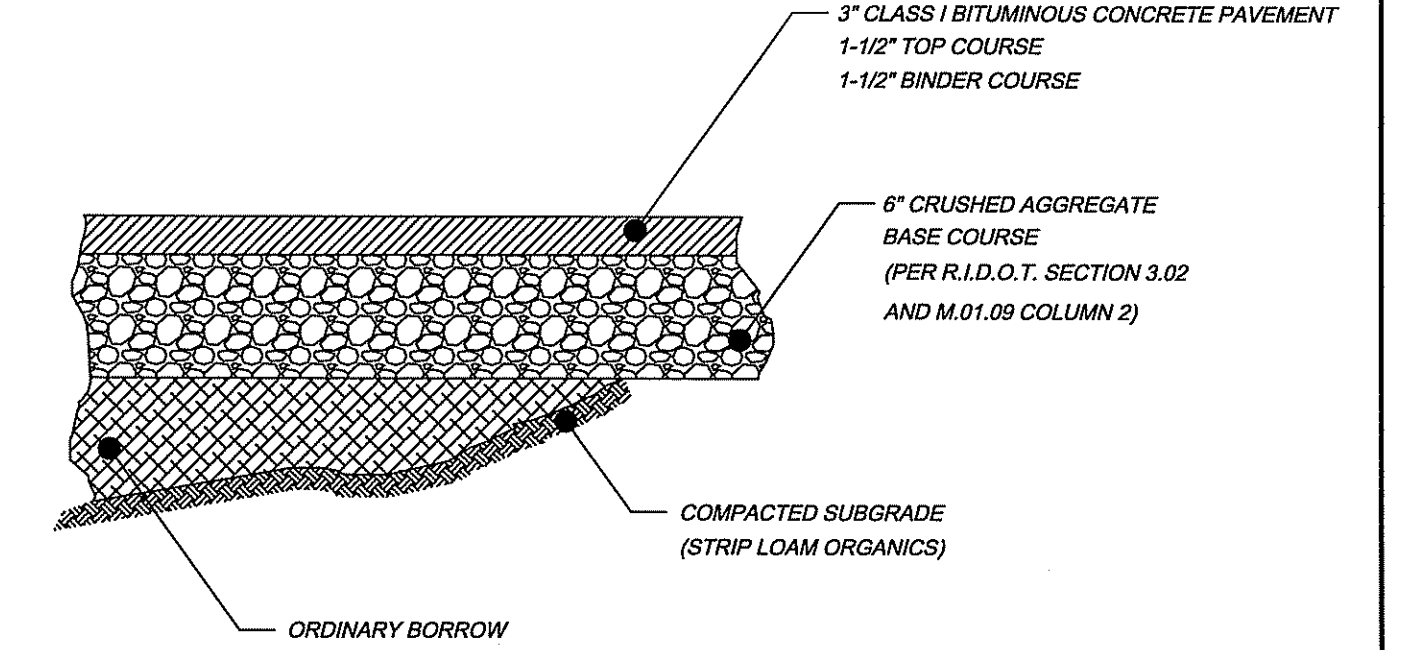
ANTI-SEEPAGE COLLAR (N.T.S.)



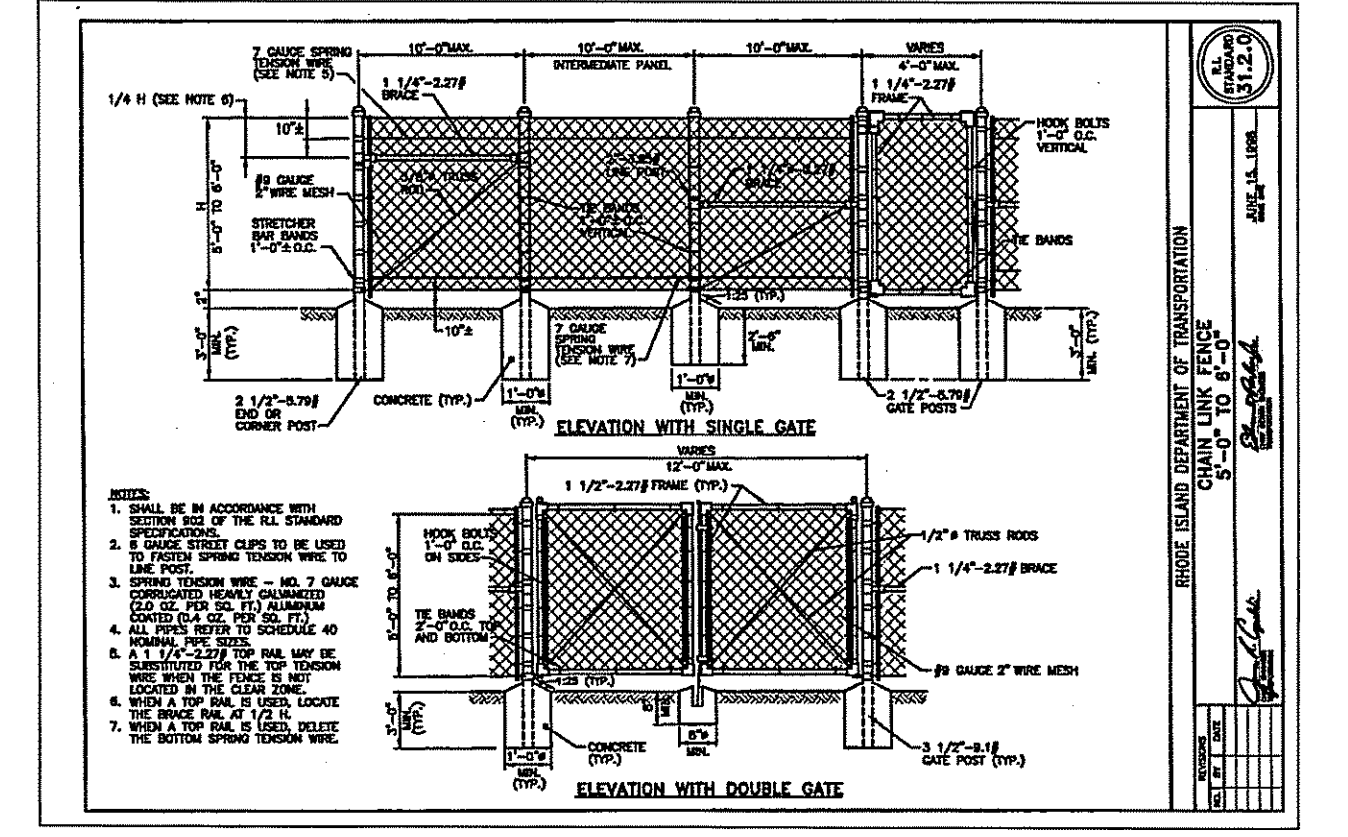
TAPPING SLEEVE & VALVE DETAIL (No Scale)



TAPPING SLEEVE & VALVE DETAIL (No Scale)

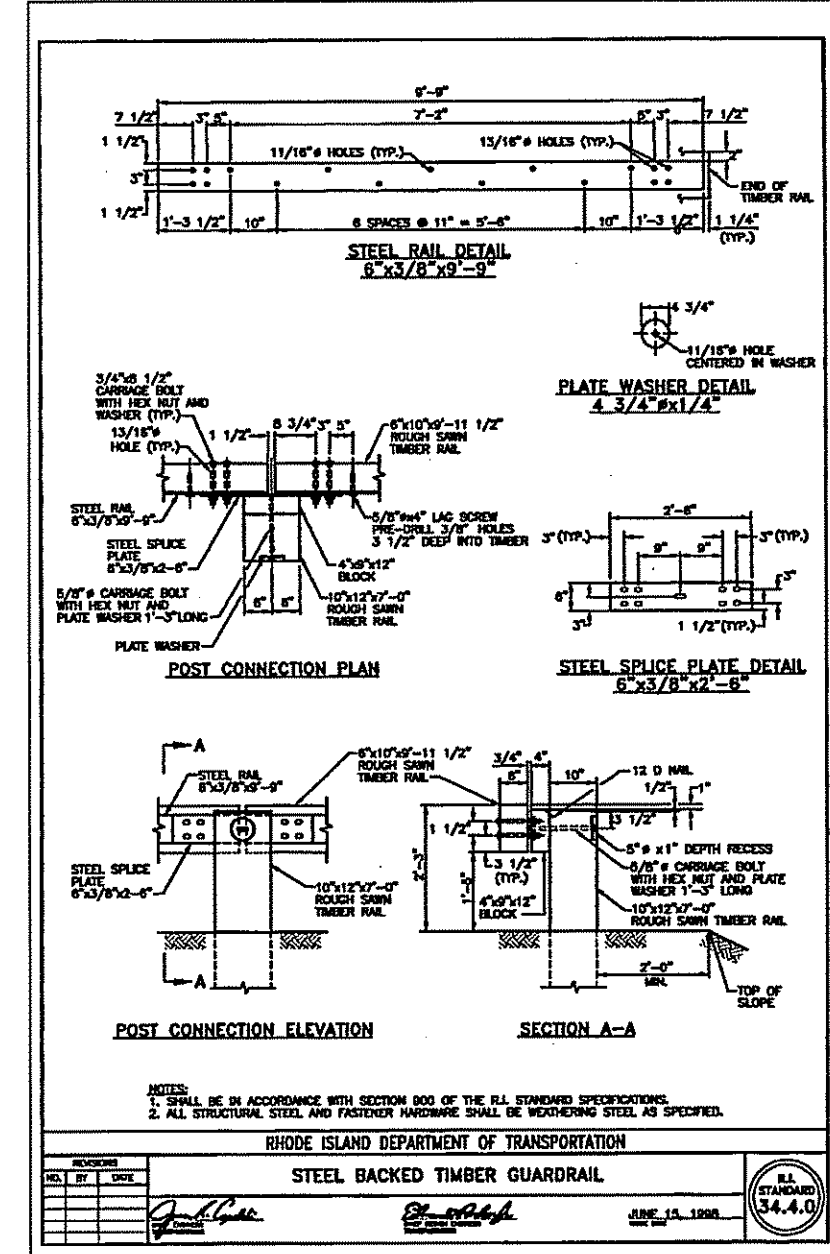


TYPICAL DRIVEWAY PAVEMENT SECTION (N.T.S.)

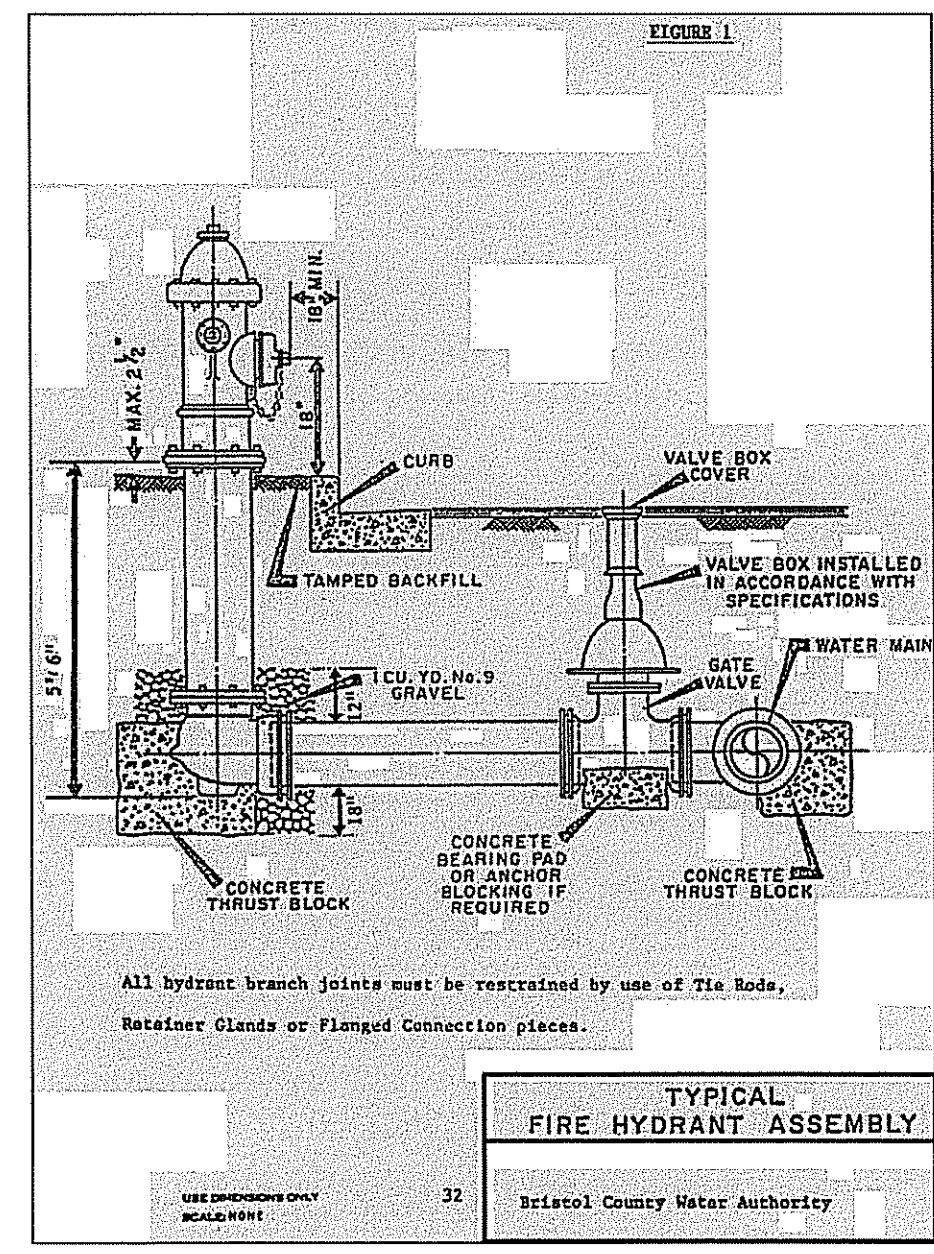


ELEVATION WITH SINGLE GATE (No Scale)

ELEVATION WITH DOUBLE GATE (No Scale)



STEEL BACKED TIMBER GUARDRAIL (R.I.S. 100)



TYPICAL FIRE HYDRANT ASSEMBLY (Bristol County Water Authority)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS

THOMAS J. WALSH
REGISTERED PROFESSIONAL ENGINEER
CIVIL

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

FEB 20 2009 FILE # 05-0133

NO.	DATE	REVISION	CHECKED BY
2	11/6/08	PER TOWN'S COMMENTS.	TJW
1	10/31/08	PER TOWN'S COMMENTS.	TJW

PROJECT NO. 03093
SCALE: N.T.S.
DATE: JUNE 30, 2008
DRAWN BY: MS
CHECKED BY: TJW
FILENAME: 03093.MA080818
8 of 10 SHEETS
DRAWING # C-7

DETAIL SHEET 1
A.P. 161-B, LOT 38
WOODLAWN AVENUE
BRISTOL, RHODE ISLAND

FCC, INC.
103 BAYVIEW AVENUE
BRISTOL, RI 02809

WATERMAN ENGINEERING CO.
CIVIL ENGINEERS / SURVEYORS - EST. 1894
46 SUTTON AVENUE
EAST PROVIDENCE, RHODE ISLAND 02914
PH. (401) 438-5775 FAX (401) 438-5773

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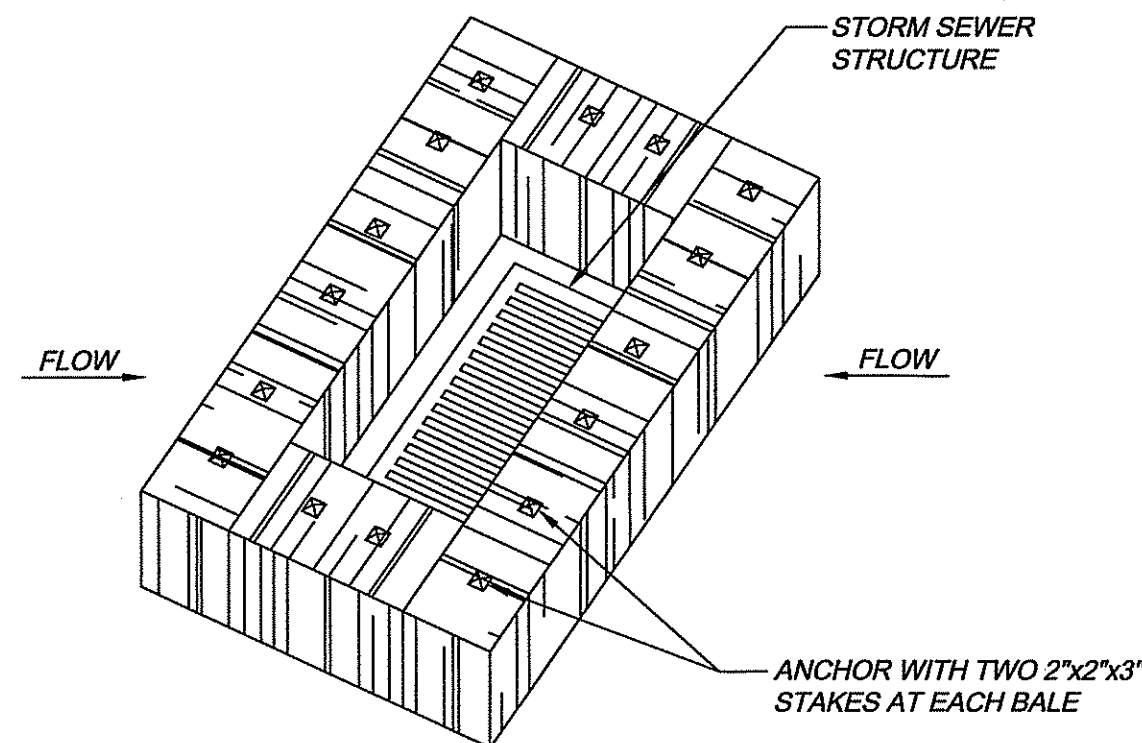
EROSION CONTROL NOTES

- CONSTRUCTION SEQUENCE:**
 - DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON PLAN. CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THESE ENTRANCES.
 - INSTALL SILT FENCES AND/OR HAY BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF STREAMS AND WETLANDS PRIOR TO ANY EARTH MOVING ACTIVITIES.
 - REMOVE TREES WHERE NECESSARY.
 - EXCAVATE BASINS/PONDS IN ACCORDANCE WITH THE PLANS AND DETAILS.
 - START BUILDING AND ROAD CONSTRUCTION.
 - INSTALL THE REQUIRED DRAINAGE.
 - CONSTRUCT LANDSCAPED AREAS. MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.
- GENERAL NOTES:**
 - DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
 - ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
 - AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
 - ALL FILL SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
 - FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
 - ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 12" IN THICKNESS.
 - FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 - FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
 - FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
 - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
- VEGETATIVE PRACTICE PERMANENT MEASURES:**
 - SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
 - LOAM AND SEED SHALL MEET THE STANDARDS SPECIFIED IN RIDOT L.01 AND L.02.
 - A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED. TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)
 - LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10): 600 LBS/ACRE
 - SEED SHALL BE APPLIED AT THE FOLLOWING RATES:
RED FESCUE: 75 LB/ACRE
KENTUCKY BLUEGRASS: 15 LB/ACRE
COLONIAL BENTGRASS: 5 LB/ACRE
PERENNIAL RYEGRASS: 5 LB/ACRE
 - HAY MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.
 - BASIN/POND BOTTOM SEED SHALL BE AT THE FOLLOWING RATES:
CREEPING RED FESCUE: 20 LB/ACRE
TALL FESCUE OR
REED CANARYGRASS: 20 LB/ACRE

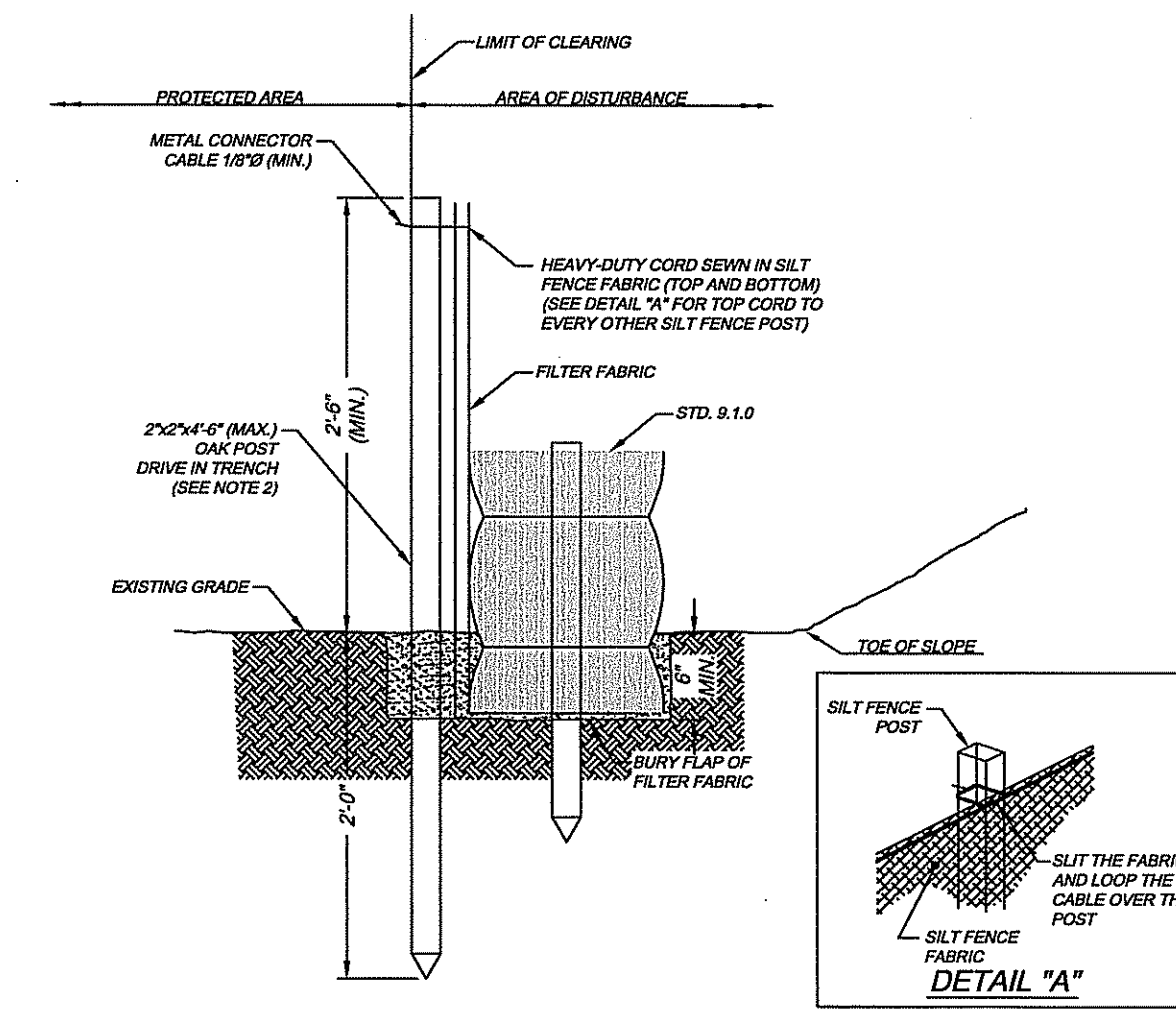
- BASIN/POND EXCAVATION:**
 - INSTALL SILT FENCE AND SILT CURTAIN AS INDICATED ON THE PLANS.
 - EXCAVATE THE PROPOSED BASINS/PONDS.
 - SEED IN ACCORDANCE WITH RIDOT L.01 AND L.02 NOTES.
 - REMOVE SILT FENCE FROM THE BASINS/PONDS.
 - LEAVE SILT CURTAIN IN PLACE IN FRONT OF OUTLETS UNTIL BASINS/PONDS ARE STABILIZED.
 - IF DEWATERING IS REQUIRED FOR PROPER CONSTRUCTION, USE DEWATERING BASIN AS SHOWN ON THIS SHEET.
- MAINTENANCE DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED:**
 - SILT FENCES AND HAY BALES SHALL BE INSPECTED AS INDICATED IN THE DETAILS. AT A MINIMUM THE SILT FENCING AND HAY BALES SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND/OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - ANY EXCELSIOR MATTING SHALL BE INSPECTED ON A WEEKLY BASIS.
 - STONE APRONS SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
 - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED WEEKLY, AND REESTABLISHED AS NECESSARY.
 - SEEDING AREAS SHALL BE FERTILIZED AND RESEEDING AS NECESSARY TO INSURE ESTABLISHMENT OF VEGETATION.

STORMWATER SYSTEM MAINTENANCE SCHEDULE

- GRASSES SHALL BE PLANTED AROUND AND WITHIN ALL DETENTION BASINS IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION. TREES AND SHRUBS ARE NOT TO BE PLANTED ON BASIN SLOPES.
- ALL OUTFLOW STRUCTURES ARE TO BE INSPECTED AT LEAST THREE TIMES IN THE FIRST SIX MONTHS OF OPERATION. EVIDENCE OF CLOGGING OR RAPID RELEASE OF FLOW SHALL BE REPORTED AND REMEDIATED IMMEDIATELY.
- SIDE SLOPES, EMBANKMENTS, AND THE UPPER STAGES OF ALL DETENTION BASINS ARE TO BE MOWED AT LEAST THREE TIMES PER GROWING SEASON, TO PREVENT UNWANTED GROWTH, AND TO MAINTAIN THE CAPACITY AND INTEGRITY OF THE FACILITIES. MOWING SHOULD INCLUDE THE REMOVAL OF WOODY GROWTH, WHICH MAY COMPROMISE THE INTEGRITY OF THE BASIN SLOPES.
- THE GRASSED AREAS OF ALL BASINS ARE TO BE INSPECTED AT LEAST TWICE A YEAR TO CHECK FOR EROSION PROBLEMS. AREAS SUBJECT TO EROSION PROBLEMS SHOULD BE RE-SEEDING IMMEDIATELY TO STABILIZE ANY EXPOSED SOILS. WHERE POOLS OF STAGNANT WATER ARE OBSERVED IN A DETENTION BASIN, THE DEFICIENCY SHOULD BE CORRECTED IMMEDIATELY. THIS WILL PREVENT THE FORMATION OF A NUISANCE HABITAT FOR INSECTS.
- TRASH, LITTER AND OTHER DEBRIS ARE TO BE REMOVED FROM ALL STORMWATER FACILITIES AT LEAST TWICE A YEAR TO PREVENT BLOCKAGE OF INLET AND OUTLET STRUCTURES, AND HENCE FAILURE OF THE STRUCTURE. WHERE THE AMOUNTS OF DEBRIS FOUND ARE LARGE, A CAREFUL INSPECTION OF ALL ADJACENT INLET AND OUTLET STRUCTURES SHALL BE UNDERTAKEN, TO IDENTIFY ANY DAMAGE THAT MAY HAVE OCCURRED.
- IF A BLOCKAGE OCCURS TO A BASIN OUTLET, IT MAY BE NECESSARY TO DRAIN THE BASIN IN ORDER TO EFFECT A REPAIR. ALL WATER THAT IS DRAINED FROM THE BASIN SHALL BE ADEQUATELY FILTERED TO REMOVE SUSPENDED SOLIDS PRIOR TO DISCHARGE TO A RECEIVING BODY.
- ALL CATCH BASINS SHALL BE INSPECTED AT LEAST TWICE A YEAR TO CHECK FOR DEBRIS REMOVAL AND THE PRESENCE OF POTENTIAL POLLUTANTS. CATCH BASINS AND MANHOLES SHALL BE INSPECTED TWICE A YEAR FOR STRUCTURAL INTEGRITY. MAINTENANCE OF THE STORMWATER SYSTEM DURING THE CONSTRUCTION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF STANDING WATER IS OBSERVED WITHIN THE BASIN MORE THAN 3 DAYS AFTER A RAINFALL EVENT, THEN FAILURE OF THE BASIN HAS OCCURRED AND SHALL BE ADDRESSED THROUGH REPAIR OR REPLACEMENT.
- ON COMPLETION OF CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE TOWN OF BRISTOL PUBLIC WORKS DEPARTMENT.

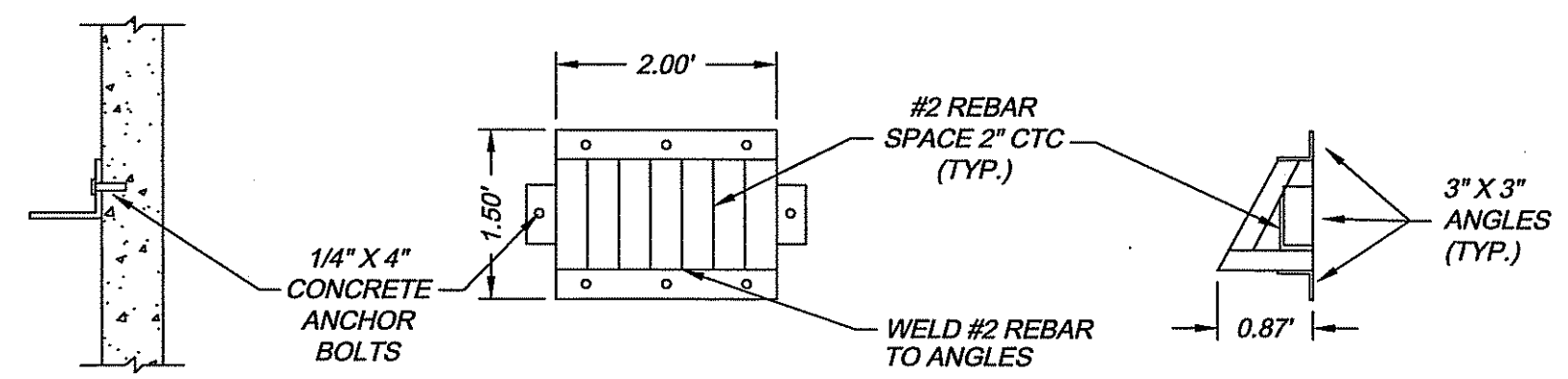


HAYBALE INLET PROTECTION AT CATCH BASINS
(N.T.S.)

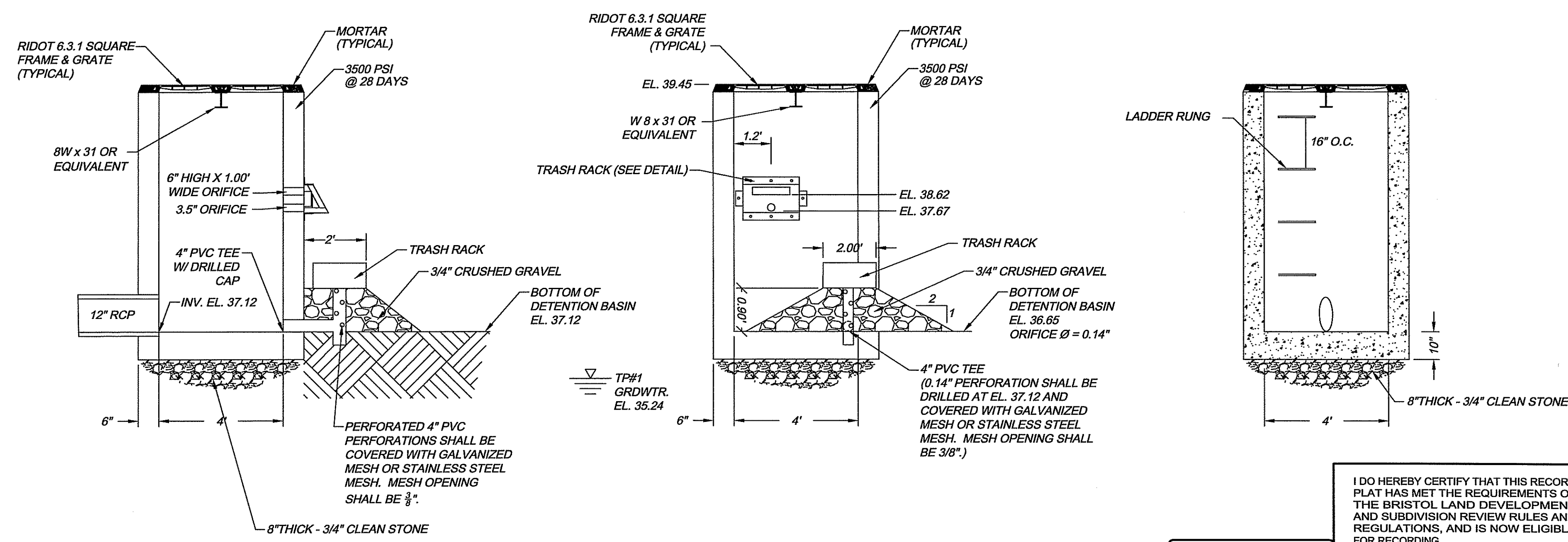


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 - STD. 8.1.0 IS INSTALLED "TIGHT" AGAINST SILT FENCE. THOROUGHLY COMPACT EXCAVATED SOILS BACK INTO TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICE. SILT FENCE FABRIC SHALL NOT BE SLIT. STD. 8.1.0 POST SHALL BE DRIVEN THROUGH SILT FENCE FABRIC. 2"x2"x4"-6" (MAX.) OAK POST FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAINE, GULLY OR DROP OFF AREAS AS SHOWN ON PLANS.
 - 1"x1"x4"-6" (MIN.) POSTS ARE PERMITTED FOR PRE-FABRICATED SILT FENCE.
 - SILT FENCE AND BALED HAY SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

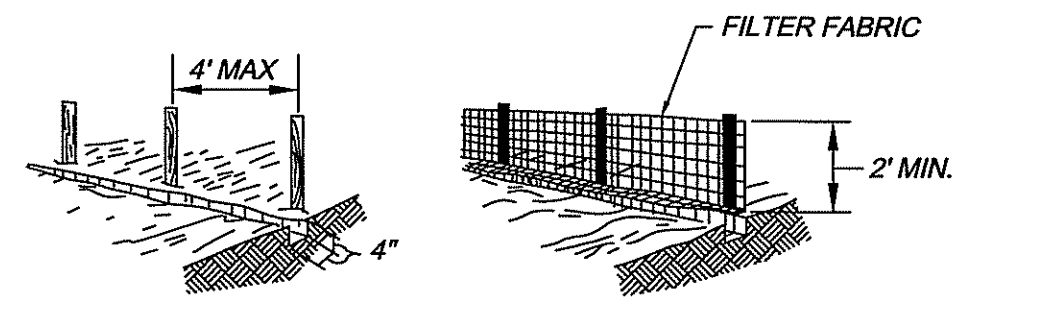
BALED HAY EROSION CHECK AND SILT FENCE COMBINED (RIDOT 9.3.0)
(N.T.S.)



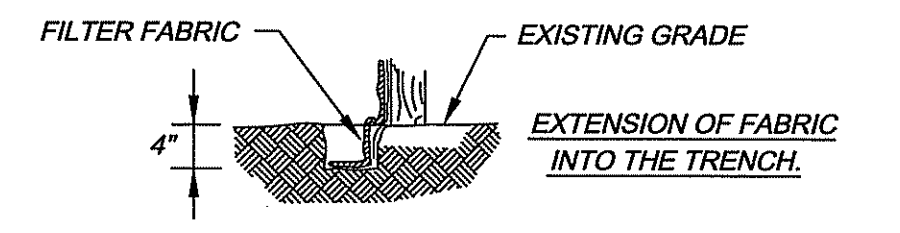
TRASH RACK DETAIL
N.T.S.



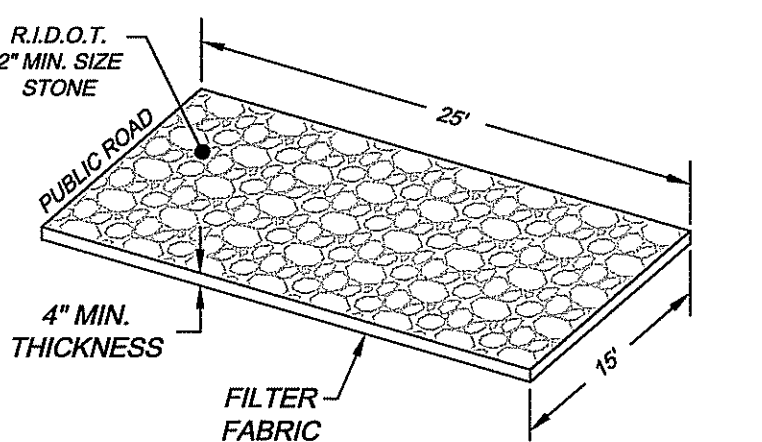
OUTLET STRUCTURE
N.T.S.



- SET POSTS AND EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
- STAPLE FILTER FABRIC TO THE POSTS AND EXTEND INTO TRENCH.
- BACK FILL AND COMPACT THE EXCAVATED SOIL INTO THE TRENCH.



SILT FENCE
(N.T.S.)



CONSTRUCTION ENTRANCE
(N.T.S.)

OUTLET STRUCTURE	
DESCRIPTION	ELEVATION
GRATE	39.45
6" H X 1.00' W ORIFICE	38.62
3.5" ORIFICE	37.67
.14" (.012) ORIFICE	37.12
12" DRAINAGE	37.12

THOMAS J. WALSH
Professional Engineer
No. 7923
STATE OF RHODE ISLAND
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 20 2009 FILE # 05-0139
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

RIDEM PERMIT PLAN SUBMISSION SET

NO.	DATE	REVISION	CHECKED BY
3	1/6/09	PER RIDEM COMMENTS.	TJW
2	11/6/08	PER TOWN'S COMMENTS.	TJW
1	10/31/08	PER TOWN'S COMMENTS.	TJW

DETAIL SHEET 2
A.P. 161-B, LOT 38
WOODLAWN AVENUE
BRISTOL, RHODE ISLAND

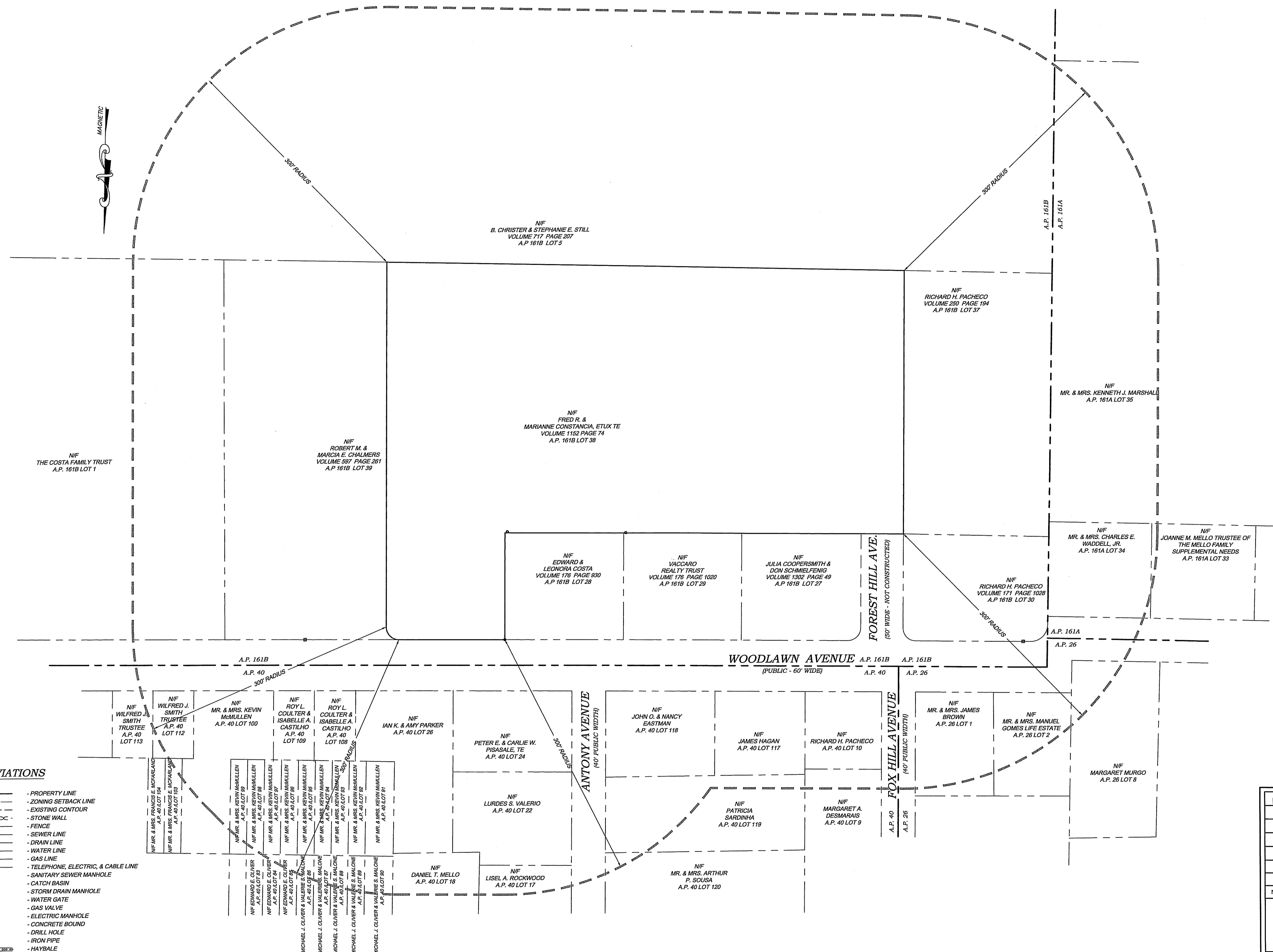
FCC, INC.
103 BAYVIEW AVENUE
BRISTOL, RI 02809

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JAN 12 2009

WATERMAN ENGINEERING CO.
CIVIL ENGINEERS / SURVEYORS - EST. 1894

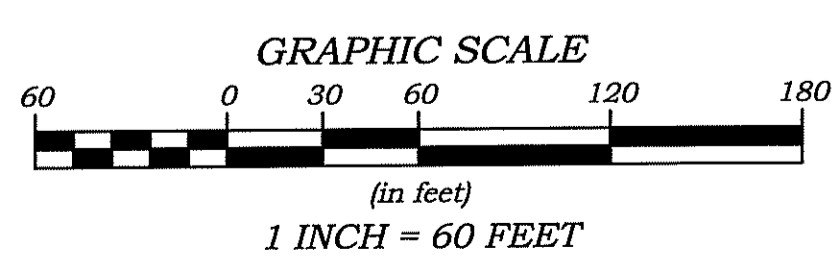
46 SUTTON AVENUE
EAST PROVIDENCE, RHODE ISLAND 02914
PH. (401) 438-5775 FAX. (401) 438-5773

PLANNING BOARD CHAIRPERSON

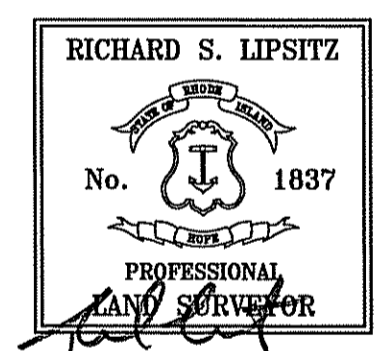
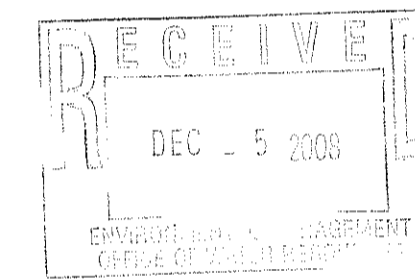


LEGEND & ABBREVIATIONS

- NF - NOW OR FORMERLY
 - A.P. - ASSESSORS PLAT
 - S.F. - SQUARE FEET
 - AC. - ACRES
 - S - PLUS OR MINUS
 - STY - STORY
 - WF - WOOD FRAMED
 - SHP - STATE HIGHWAY PLAT
 - RET. - RETAINING WALL
 - FED. - PEDESTRIAN
 - (FND.) - FOUND
 - RHB - RI HIGHWAY BOUND
 - PK NAIL - MASONRY NAIL
 - FE - FLARED END
 - RCP - REINFORCED CONCRETE PIPE
 - CLF - CHAIN LINK FENCE
 - INV. - INVERT
 - x 10.80 - SPOT GRADE
- PROPERTY LINE
 - ZONING SETBACK LINE
 - EXISTING CONTOUR
 - STONE WALL
 - FENCE
 - SEWER LINE
 - DRAIN LINE
 - WATER LINE
 - GAS LINE
 - TELEPHONE, ELECTRIC, & CABLE LINE
 - SANITARY SEWER MANHOLE
 - CATCH BASIN
 - STORM DRAIN MANHOLE
 - WATER GATE
 - GAS VALVE
 - ELECTRIC MANHOLE
 - CONCRETE BOUND
 - DRILL HOLE
 - IRON PIPE
 - HAYBALE



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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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1	10/31/08	PER TOWN'S COMMENTS.	TJW
NO.	DATE	REVISION	CHECKED BY
300' RADIUS PLAN A.P. 161-B, LOT 38 WOODLAWN AVENUE BRISTOL, RHODE ISLAND			PROJECT NO. 03093 SCALE 1" = 60' DATE JUNE 30, 2008 DRAWN BY: MS CHECKED BY: RSL FILENAME 03093_RADIUS 10 of 10_SHTS DRAWING# C-9
FCC, INC. 103 BAYVIEW AVENUE BRISTOL, RI 02809			WATERMAN ENGINEERING CO. CIVIL ENGINEERS / SURVEYORS - EST. 1894 46 SUTTON AVENUE EAST PROVIDENCE, RHODE ISLAND 02914 PH. - (401) 438-5775 FAX - (401) 438-5773

