

SITE PLAN

FOR

"IRON GATE COMMONS"

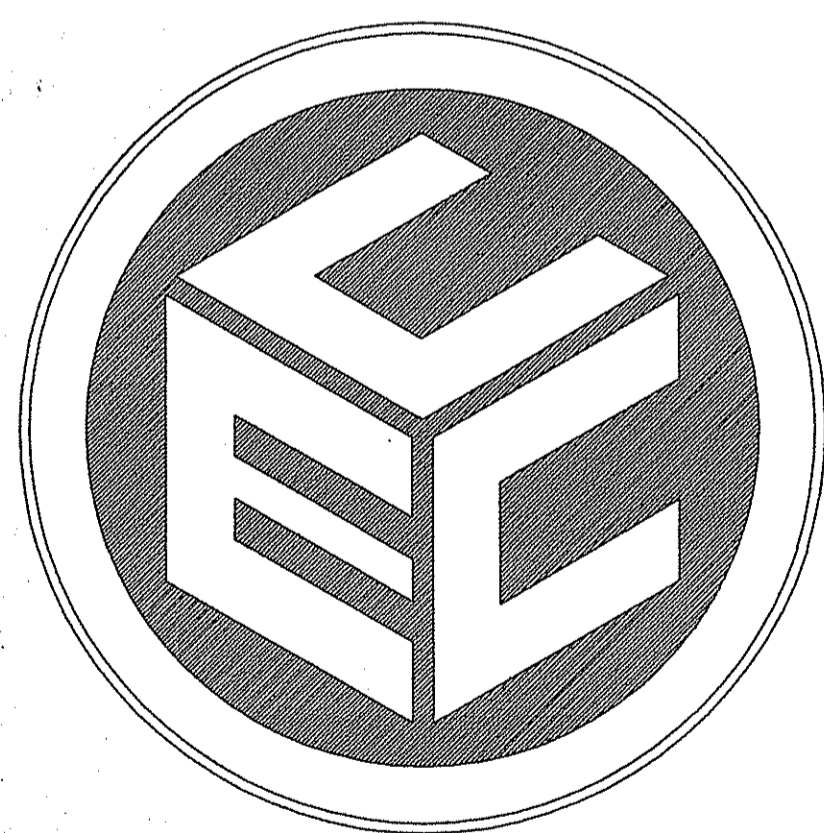
ASSESSORS MAP 35 LOT 28

IRONS AVENUE

in

JOHNSTON, RHODE ISLAND

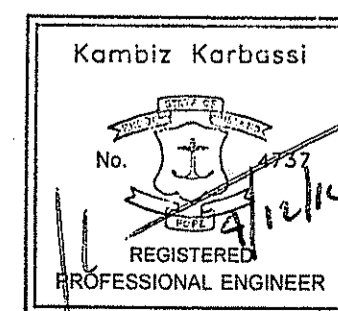
APPLICANT/OWNER:
 IRON GATE COMMONS, LLC
 201 HOFFMAN AVENUE, UNIT 19
 CRANSTON, RI 02920
 TELEPHONE: 944-9344



PREPARED BY:
COMMONWEALTH
 ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 (401) 273-6600

APRIL 5, 2016



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAY 16 2016 FILE # 06-0117
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

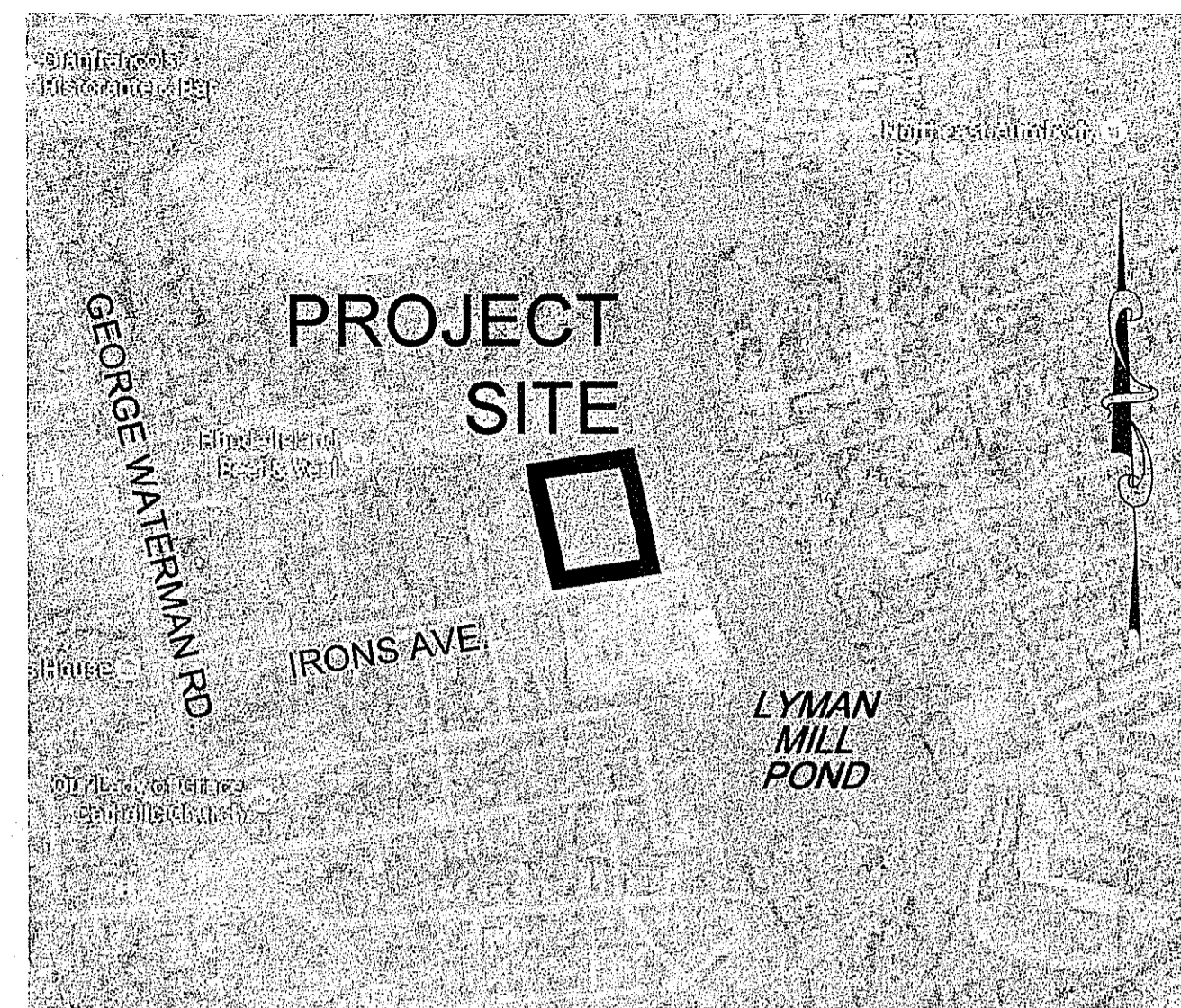
PRELIMINARY PLAN SUBMISSION

PERMIT AGENCY REVIEW SET

LIST OF DRAWINGS

1. TITLE SHEET
2. 500' RADIUS MAP/ABUTTERS LIST
3. EXISTING CONDITIONS
4. PROPOSED DEVELOPMENT
5. PROPOSED GRADING AND UTILITY PLAN
6. PROFILE
7. SOIL EROSION AND SEDIMENT CONTROL PLAN
8. SESC NOTES & DETAILS
9. BMP DETAILS
10. CONSTRUCTION DETAILS
11. PROVIDENCE WATER DETAILS

PLAN SHOWING SURVEY OF LOTS 28 AND 185
 JOHNSTON A.P. 35 LOCATED AT EASTERLY END
 OF IRONS AVE. (SHT 1 OF 1, BY OTHERS)



AERIAL MAP ©2015 GOOGLE
 SCALE: 1"=500'

PROJECT DATA

ASSESSORS REFERENCE:
 A.P. 35, LOT 28
 TOTAL AREA 1.94 ACRES

ZONING REFERENCE:
 EXISTING ZONING: I DISTRICT (INDUSTRIAL)
 PROPOSED ZONING: PD (PLANNED DISTRICT)

ZONING

Business and Industrial District and Use	Minimum Distance of Structure from Residential Zone Boundary (feet)	Minimum Yard Depths			Maximum Building Coverage (%)	Maximum Building Height (feet)
		Front (feet)	Side (feet)	Rear (feet)		
Industrial I						
Any permitted use or by special use permit	100	50	50	50	40%	40
Industrial I-S						
Any permitted use or by special use permit	100	50	50	50	40%	40
Industrial I-L						
Any permitted use or by special use permit	150	50	50	50	40%	40

NOTES:
¹ Minimum side yard and minimum rear yard depth may be decreased to zero where adjacent lots or land parcels are to be combined for the purpose of simultaneous development of one large structure or of interconnected structures as part of a planned integrated commercial or industrial development.
² Towers, chimneys and similar vertical elements may exceed the maximum height specified for the district, provided that any such vertical element shall be set back from any lot line one additional foot for each foot by which it exceeds the maximum building height limit for the district.

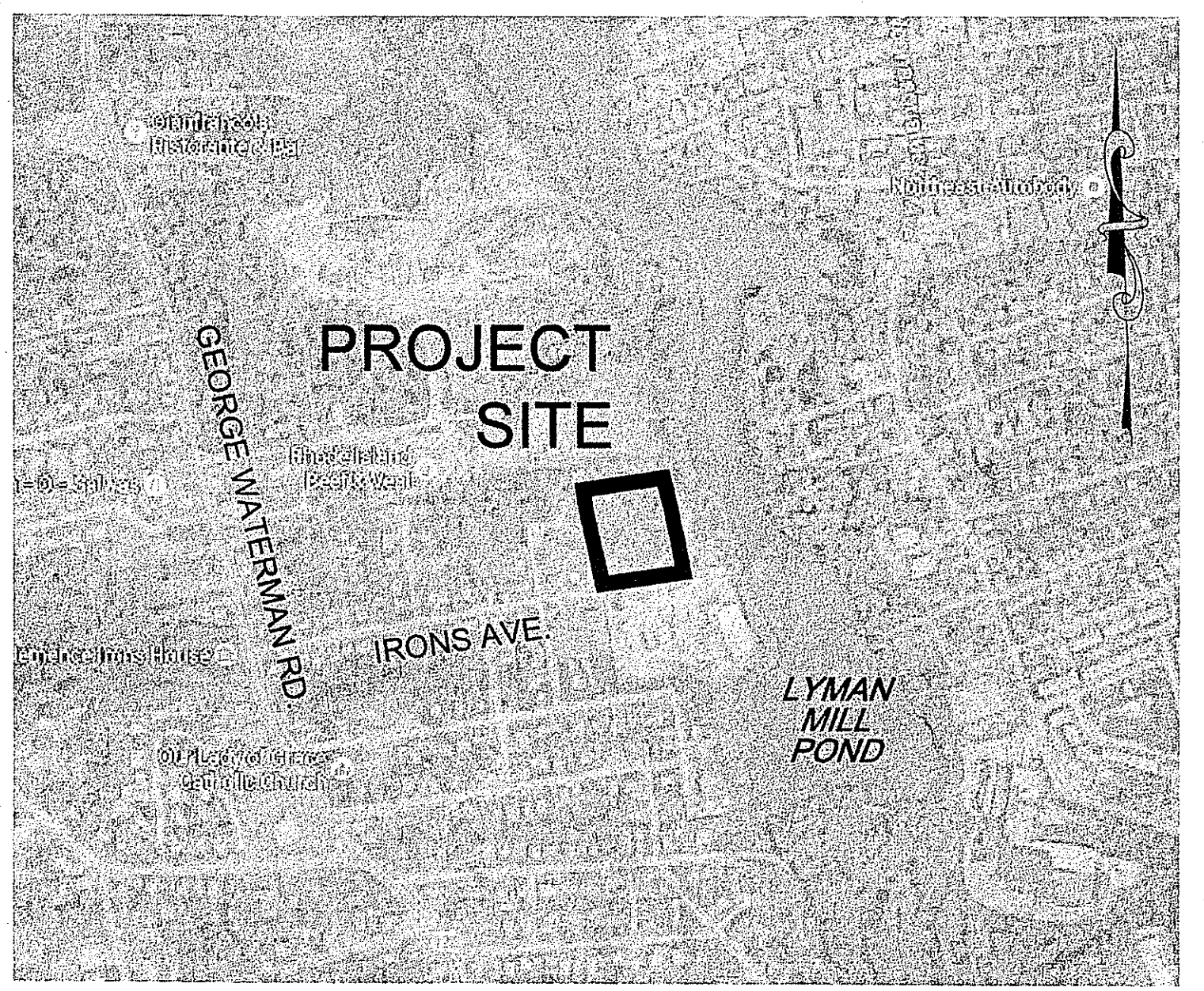
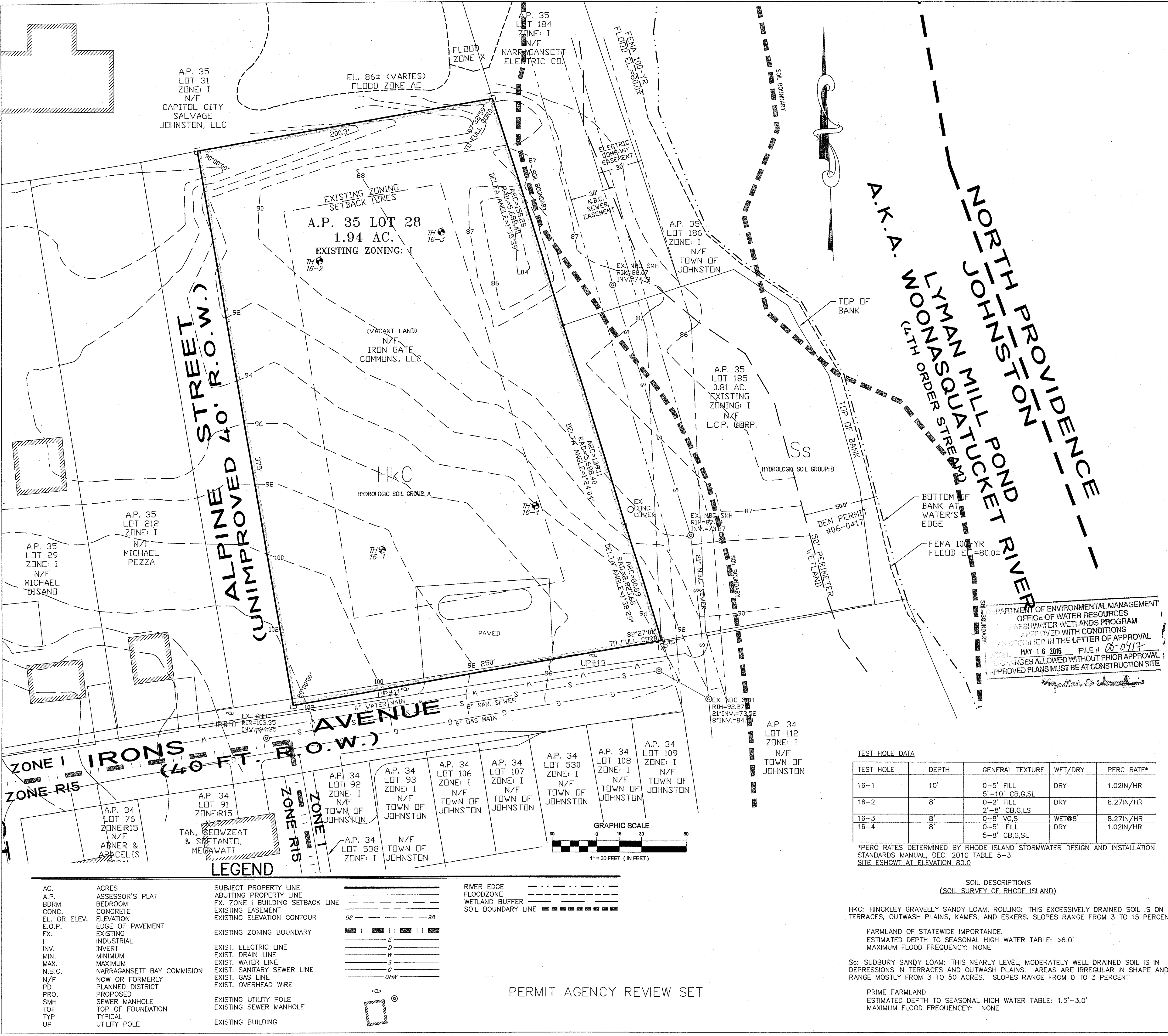
ZONING

340 Attachment 3

Town of Johnston
 Table of Dimensional Regulations for Planned Districts, Planned Mixed Use Development
 Districts and Continuing Care Retirement Community Districts
 (Amended 11-10-2003 by Ord. No. 2003-15; 4-9-2007 by Ord. No. 2006-6;
 2-17-2011 by Ord. No. 2010-24; 2-17-2011 by Ord. No. 2010-30)

	Minimum Distance Between Structures (feet) ¹	Minimum Yards: Front, Side and Rear ² (feet)	Maximum Height (feet)
Single-family detached dwelling	45	15	30
Single-family detached dwelling, cluster	30	15	30
Two-family duplex dwelling	45	15	30
Two-family dwelling	60	15	35
Multifamily dwelling	25	30	35
Mixed multifamily dwelling and business use structure	35	5	35 ³
Business and other nonresidential uses	35	5	35 ³
Other permitted uses or by special use permits	45	15 ⁴	35 ³

NOTES:
¹ Or RI Fire Safety Code minimums, whichever is greater.
² "Minimum yards" refers to the overall property, not individual structures; see also the requirements relating to the distance between types of structures.
³ The maximum building height may be exceeded, provided that for each foot of building height over 35 feet, one additional foot of distance between adjacent structures is added.
⁴ If the dwelling or structure is located adjacent to an R-15, R-20 or R-40 zone, there shall be a buffer maintained between the properties in accordance with § 340-99.



LOCUS MAP
SCALE: 1"=500'

REFERENCE NOTES:

- PROPERTY LINES, SURVEY INFORMATION, AND UTILITY LOCATIONS OBTAINED FROM SURVEY PLAN TITLED "PLAN SHOWING SURVEY OF LOTS 28 AND 185 JOHNSTON A.P. 35 LOCATED AT EASTERLY END OF IRONS AVE." DATED 12/30/14, BY ALEXANDER AND ASSOCIATES.
- FLOOD ZONE INFORMATION OBTAINED FROM FEMA FLOOD RATE INSURANCE MAP NUMBER 44007C0303H PANEL 303 OF 451, EFFECTIVE DATE OCTOBER 2, 2015.
- ABUTTING PROPERTY LINES FROM TOWN OF JOHNSTON ASSESSOR'S MAPS 34 AND 35.
- REFERENCE PLAN SHEET 13 OF 33 TITLED "RAILROAD CENTRAL INTERCEPTOR STA. 0+00 TO STA. 11+58" OF THE JOHNSTON INTERCEPTOR REPLACEMENT PROJECT CONTRACT NO. 504, PLAN BY KEYES ASSOCIATES DATED JAN. 1996 REV. NOV. 1999.
- TEST BORING DATA TAKEN FROM SITE DEVELOPMENT PLAN ENTITLED "SITE PLAN, IRONS AVENUE CONDOMINIUMS, SHEET 2 OF 6, DATED AUGUST 2006 BY HUDSON PLACE ASSOCIATES".
- ELEVATIONS BASED ON NAVD 1988 DATUM.

SITE NOTES:

- EXISTING GROUND COVER FOR THIS PROPERTY IS PRIMARILY GRASSED AREA.
- PROJECT SITE DOES NOT ENCOMPASS ANY HISTORIC AREAS, CEMETERIES, FOUNDATIONS, OR EXTRAORDINARY/UNUSUAL NATURAL FEATURES.
- THE PROPERTY DRAINS TO THE WOONASQUATUCKET RIVER (4TH ORDER STREAM).
- THERE ARE NO POTENTIAL ADVERSE IMPACTS TO THE SURROUNDING AREA DUE TO THE PROPOSED DEVELOPMENT.
- THERE IS NO PROPOSED PHASING FOR THE PROJECT.

PROPERTY DESCRIPTION:

THE SUBJECT PROPERTY ENCOMPASSES LOT 28 ON ASSESSOR'S PLAT MAP 35. THE LOT IS CURRENTLY ZONED INDUSTRIAL. THE LOT ENCOMPASSES APPROXIMATELY 84,431 SQUARE FEET OF LAND. THE LAND IS CURRENTLY UNDEVELOPED AND MOSTLY CLEARED OF VEGETATION. THERE IS A PAVED AREA FRONTING ON IRONS AVENUE. THE SUBJECT SITE IS BOUND TO THE EAST BY THE WOONASQUATUCKET RIVER AND LIES OUTSIDE THE 100-YR FLOOD ZONE.

SURVEY NOTE:

- REFER TO SURVEY PLAN FOUND IN THIS PLAN SET FOR SURVEYOR'S CLASS I CERTIFICATION AND SIGNATURE.

APPLICANT/OWNER:
IRON GATE COMMONS, LLC
201 HOFFMAN AVENUE, UNIT 19
CRANSTON, RI 02920
TELEPHONE: 944-9344

PRELIMINARY PLAN SUBMISSION
EXISTING CONDITIONS

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908

SITE PLAN
FOR
"IRON GATE COMMONS"
A.P. 35 LOT 28
LOCATION
IRONS AVENUE
JOHNSTON, RHODE ISLAND

REVISIONS			
No.	DATE	DRWN	CHKD

SCALE: AS SHOWN	SHEET NO: 3 OF 11
DRAWN BY: DKM	DESIGN BY: TJB
DATE: 04/05/16	CHECKED BY: KK
PROJECT NO.: 15028.00	

TEST HOLE DATA

TEST HOLE	DEPTH	GENERAL TEXTURE	WET/DRY	PERC RATE*
16-1	10'	0-5' FILL 5'-10' CB,G,SL	DRY	1.02IN/HR
16-2	8'	0-2' FILL 2'-8' CB,G,LS	DRY	8.27IN/HR
16-3	8'	0-8' VG,S	WET@8'	8.27IN/HR
16-4	8'	0-5' FILL 5-8' CB,G,SL	DRY	1.02IN/HR

*PERC RATES DETERMINED BY RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, DEC. 2010 TABLE 5-3
SITE ESHGWT AT ELEVATION 80.0

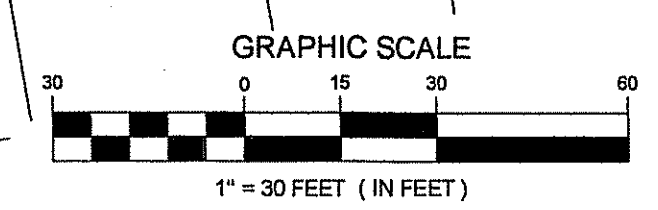
SOIL DESCRIPTIONS (SOIL SURVEY OF RHODE ISLAND)

HKC: HINCKLEY GRAVELLY SANDY LOAM, ROLLING: THIS EXCESSIVELY DRAINED SOIL IS ON TERRACES, OUTWASH PLAINS, KAMES, AND ESKERS. SLOPES RANGE FROM 3 TO 15 PERCENT.

FARMLAND OF STATEWIDE IMPORTANCE.
ESTIMATED DEPTH TO SEASONAL HIGH WATER TABLE: >6.0'
MAXIMUM FLOOD FREQUENCY: NONE

Ss: SUBBURY SANDY LOAM: THIS NEARLY LEVEL, MODERATELY WELL DRAINED SOIL IS IN DEPRESSIONS IN TERRACES AND OUTWASH PLAINS. AREAS ARE IRREGULAR IN SHAPE AND RANGE MOSTLY FROM 3 TO 50 ACRES. SLOPES RANGE FROM 0 TO 3 PERCENT

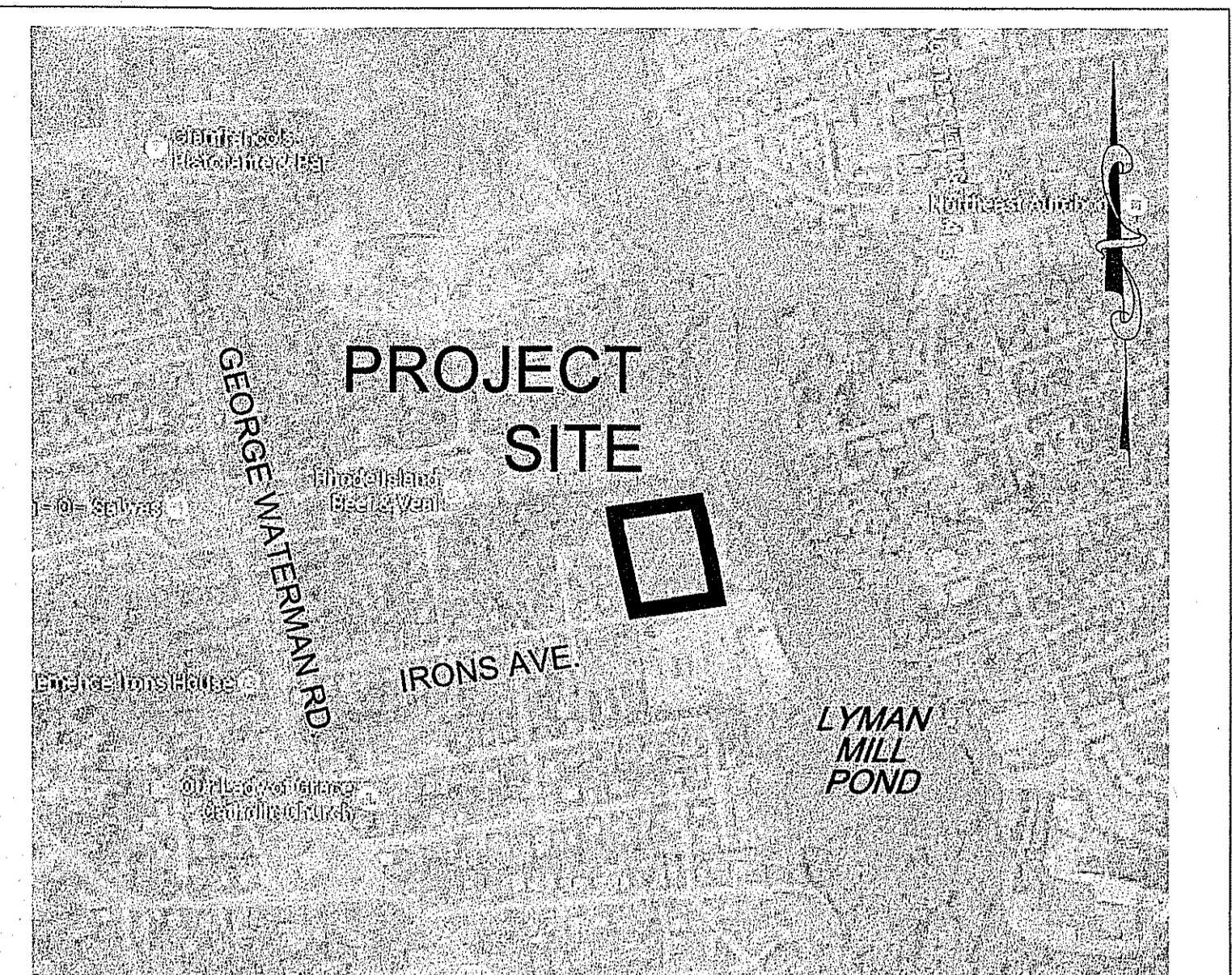
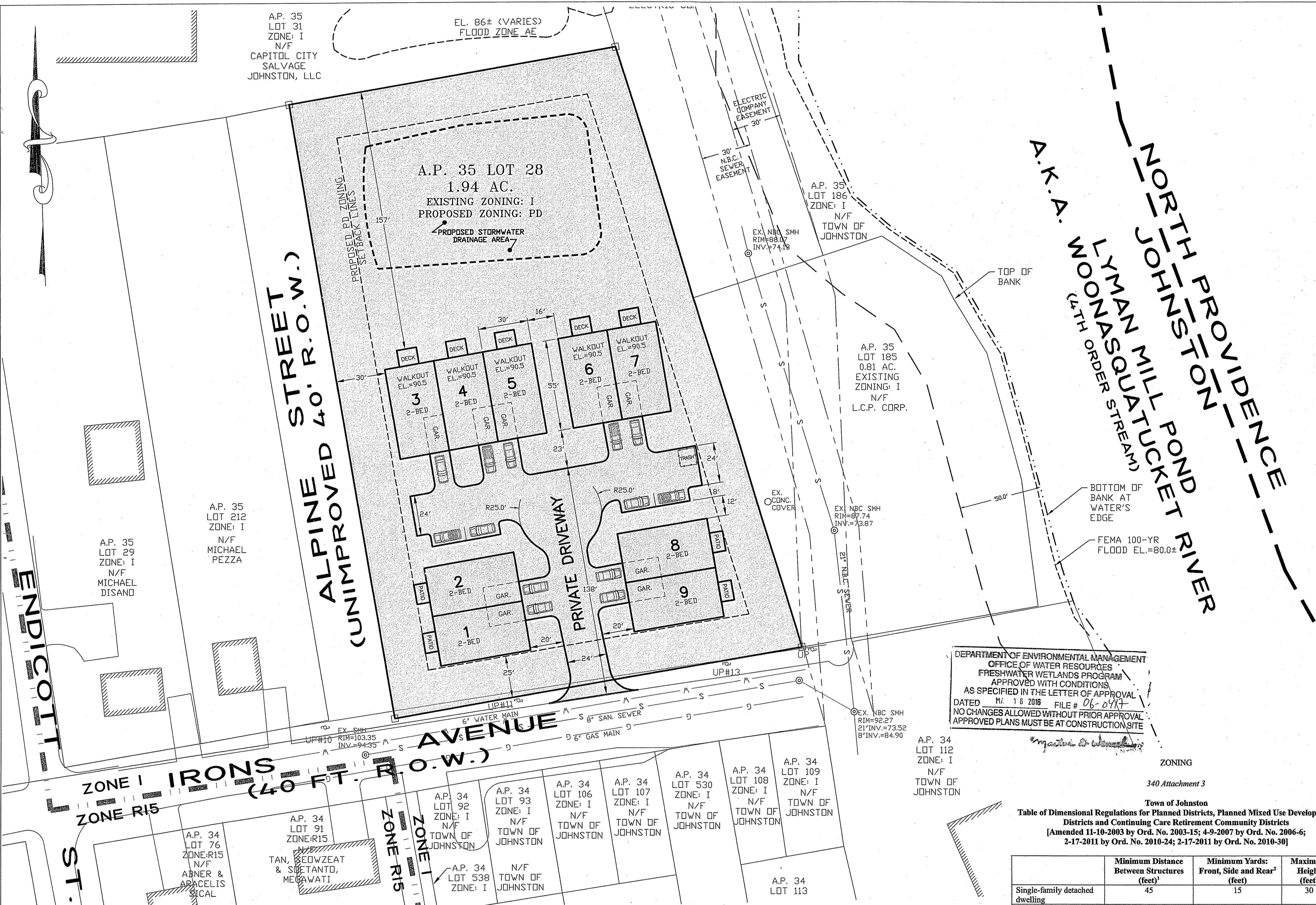
PRIME FARMLAND
ESTIMATED DEPTH TO SEASONAL HIGH WATER TABLE: 1.5'-3.0'
MAXIMUM FLOOD FREQUENCY: NONE



LEGEND

AC.	ACRES	SUBJECT PROPERTY LINE	—————
A.P.	ASSESSOR'S PLAT	ABUTTING PROPERTY LINE	—————
BDRM	BEDROOM	EX. ZONE I BUILDING SETBACK LINE	—————
CONC.	CONCRETE	EXISTING EASEMENT	—————
EL. OR ELEV.	ELEVATION	EXISTING ELEVATION CONTOUR	98 ——— 98
E.O.P.	EDGE OF PAVEMENT	EXISTING ZONING BOUNDARY	
EX.	EXISTING	EXIST. ELECTRIC LINE	—E—
I	INDUSTRIAL	EXIST. DRAIN LINE	—D—
INV.	INVERT	EXIST. WATER LINE	—W—
MIN.	MINIMUM	EXIST. SANITARY SEWER LINE	—S—
MAX.	MAXIMUM	EXIST. GAS LINE	—G—
N.B.C.	NARRAGANSETT BAY COMMISSION	EXIST. OVERHEAD WIRE	—OHW—
N/F	NOW OR FORMERLY	EXISTING UTILITY POLE	⊙
PD	PLANNED DISTRICT	EXISTING SEWER MANHOLE	⊙
PRO.	PROPOSED	EXISTING WATER MAIN	—M—
SMH	SEWER MANHOLE	EXISTING GAS MAIN	—G—
TOF	TOP OF FOUNDATION	EXISTING UTILITY POLE	⊙
TYP	TYPICAL	EXISTING SEWER MANHOLE	⊙
UP	UTILITY POLE	EXISTING BUILDING	⊠

PERMIT AGENCY REVIEW SET



LOCUS MAP
SCALE: 1"=500'

NOTES:
1. PLAN DEVELOPED IN ACCORDANCE WITH ZONING ORDINANCE, ARTICLE XV, PLANNED DISTRICTS.
2. APPLICANT IS PETITIONING TO AMEND THE ZONING MAP TO CREATE A PLANNED DISTRICT ZONE.

WAIVERS:
1. ORDINANCE 340-98: NET AREA EQUAL TO AT LEAST 20 ACRES. PROJECT SITE IS 1.94 AC.
2. ORDINANCE 340-96: MINIMUM DISTANCE BETWEEN ABUTTING ENDS OF TOWN HOUSES IN THE SAME GENERAL PLANE OR ROW SHALL BE 30 FEET. THE PROJECT PROPOSES A DISTANCE OF 16 FEET BETWEEN TWO BUILDINGS IN LIEU OF ATTACHING BOTH BUILDINGS TOGETHER.

DENSITY:
1. THE MAXIMUM DENSITY PER ZONING ORDINANCE 340-96 IS 10 UNITS/NET ACRE.
2. THE PROPOSED PLAN HAS A DENSITY OF 4.7 UNITS/NET ACRE.

LOT COVERAGE (BUILDING AREA):
1. MAXIMUM LOT COVERAGE IS 40% PER ORDINANCE 340-98.
2. THE PROPOSED PLAN HAS A LOT COVERAGE OF 18%.

OPEN SPACE:
1. MINIMUM OPEN SPACE IS 20% OF GROSS LAND AREA PER ORDINANCE 340-101.
2. THE PROPOSED PLAN HAS AN OPEN SPACE AREA 69%.
3. OPEN SPACE WILL BE LANDSCAPED WITH TREES AND SHRUBS AND OTHER AREAS WILL HAVE A GRASS SURFACE.

BUFFERS:
1. A 25' WIDE BUFFER AROUND THE DEVELOPMENT HAS BEEN PROVIDED IN ACCORDANCE WITH 340-99.

PROPOSED STREETS:
1. APPROXIMATELY 250 LINEAR FEET OF NEW PRIVATE STREET/DRIVEWAY.
2. THE PROPOSED STREET/DRIVEWAYS WILL BE KEPT PRIVATE.

SUMMARY OF AREAS:
1. TOTAL PARCEL AREA (GROSS AREA) = 1.94 AC.
2. LAND UNSUITABLE FOR DEVELOPMENT = 0 AC. (NO WETLANDS OR EASEMENTS)*
3. NET BUILDABLE AREA = 1.94 AC. (GROSS) - 0 AC. (UNUSABLE) = 1.94 AC.
4. AREA OF ROADWAYS/DRIVEWAYS = 0.24 AC. OR 12% OF SITE.
5. AREA OF BUILDINGS (LOT COVERAGE) = 0.34 AC. OR 18% OF SITE.
6. AREA OF PATIOS = 0.02 AC. OR 1%
7. AREA OF OPEN SPACE (REMAINING AREA) = 1.34 AC. OR 69%
*PER RHODE ISLAND LAW: 45-23-44 GENERAL PROVISIONS-PHYSICAL DESIGN REQUIREMENTS.
(C) "THE SLOPE OF LAND SHALL NOT BE EXCLUDED FROM THE CALCULATION OF THE BUILDABLE LOT AREA OR THE MINIMUM LOT SIZE, OR IN THE CALCULATION OF THE NUMBER OF BUILDABLE LOTS OR UNITS."

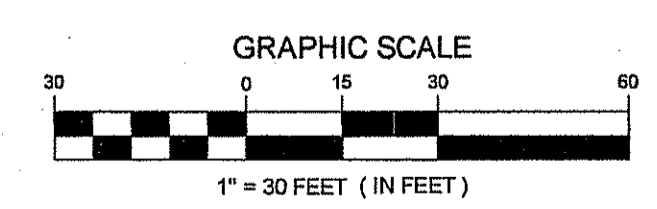
PARKING:
REQUIRED PARKING (PER 340-29 AND 340-60):
1. 2 SPACES PER UNIT=18 SPACES REQUIRED
2. NO PARKING WITHIN 10 FEET OF BOUNDARY LINE OR WITHIN THE REQUIRED MINIMUM FRONT YARD (PER 340-60).

PROVIDED PARKING:
1. 13 EXTERIOR PARKING SPACES PROVIDED.
2. 9 GARAGE PARKING SPACES PROVIDED.
TOTAL PARKING PROVIDED = 22 SPACES > 18; THEREFORE, OK.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED M. 18 2016 FILE # 06-0417
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

ZONING
340 Attachment 3
Town of Johnston
Table of Dimensional Regulations for Planned Districts, Planned Mixed Use Development Districts and Continuing Care Retirement Community Districts
[Amended 11-10-2003 by Ord. No. 2003-15; 4-9-2007 by Ord. No. 2006-6; 2-17-2011 by Ord. No. 2010-24; 2-17-2011 by Ord. No. 2010-30]

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Two-family dwelling	60	15	35
Multifamily dwelling	25	30	35
Mixed multifamily dwelling and business use structure	35	5	35 ³
Business and other nonresidential uses	35	5	35 ³
Other permitted uses or by special use permits	45	15 ⁴	35 ³



- UNIT DESCRIPTION:**
- EACH UNIT WILL HAVE 2 BEDROOMS AND A GARAGE. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAIL.
 - OWNERSHIP OF ALL UNITS WILL BE RESTRICTED TO AGES 55 AND OLDER.
 - ALL UNITS WILL BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.

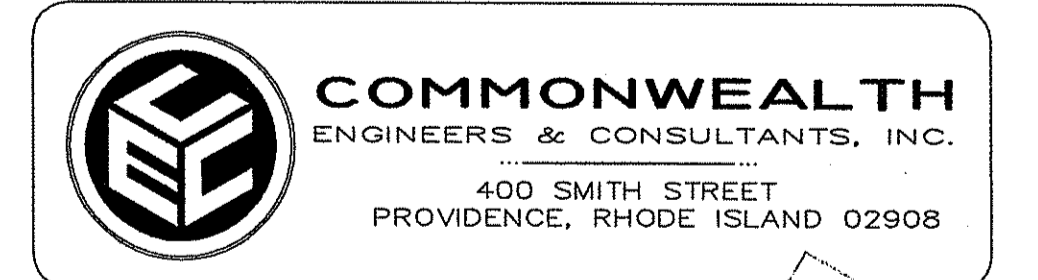
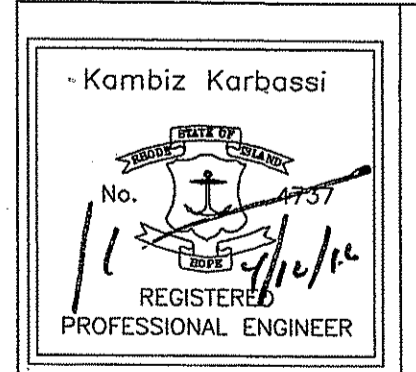
APPLICANT/OWNER:
IRON GATE COMMONS, LLC
201 HOFFMAN AVENUE, UNIT 19
CRANSTON, RI 02920
TELEPHONE: 944-9344

LEGEND

AC.	ACRES	SUBJECT PROPERTY LINE	---
A.P.	ASSESSOR'S PLAT	ABUTTING PROPERTY LINE	---
BDRM	BEDROOM	EX. ZONE I BUILDING SETBACK LINE	---
CONC.	CONCRETE	PRO. ZONE PD BUILDING SETBACK LINE	---
EL. OR ELEV.	ELEVATION	EXISTING EASEMENT	---
E.O.P.	EDGE OF PAVEMENT	EXISTING ELEVATION CONTOUR	98 --- 98
EX.	EXISTING	PROPOSED ELEVATION CONTOUR	98 --- 98
I	INDUSTRIAL	EXISTING ZONING BOUNDARY	---
INV.	INVERT	EXIST. ELECTRIC LINE	---
MIN.	MINIMUM	EXIST. DRAIN LINE	---
MAX.	MAXIMUM	EXIST. WATER LINE	---
N.B.C.	NARRAGANSETT BAY COMMISSION	EXIST. SANITARY SEWER LINE	---
N/F	NOW OR FORMERLY	EXIST. GAS LINE	---
PD	PLANNED DISTRICT	EXIST. OVERHEAD WIRE	---
PRO.	PROPOSED	PROPOSED GAS LINE	---
SMH	SEWER MANHOLE	PROPOSED SEWER LINE	---
TOF	TOP OF FOUNDATION	PROPOSED WATER LINE	---
TYP	TYPICAL	EXISTING UTILITY POLE	---
UP	UTILITY POLE	EXISTING SEWER MANHOLE	---
EXIST. BLDG.	EXISTING BUILDING	PROPOSED SEWER MANHOLE	---

PERMIT AGENCY REVIEW SET

PRELIMINARY PLAN SUBMISSION
DEVELOPMENT PLAN



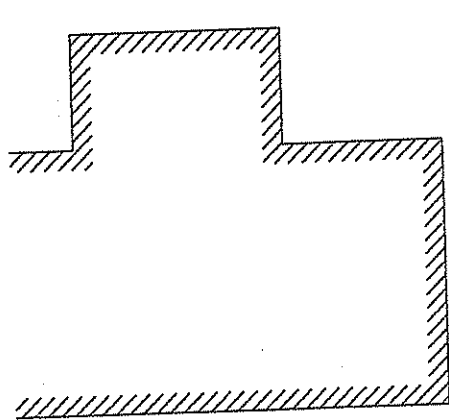
SITE PLAN
FOR
"IRON GATE COMMONS"
A.P. 35 LOT 28
LOCATION
IRONS AVENUE
JOHNSTON, RHODE ISLAND

SCALE: AS SHOWN	SHEET NO: 4 OF 11	
DRAWN BY: DKM	DESIGN BY: TUB	CHECKED BY: KK
DATE: 04/05/16	PROJECT NO.: 15028.00	

REVISIONS

No.	DATE	DRWN	CHKD

NOTES:
1. Or RI Fire Safety Code minimums, whichever is greater.
2. "Minimum yards" refers to the overall property, not individual structures; see also the requirements relating to the distance between types of structures.
3. The maximum building height may be exceeded, provided that for each foot of building height over 35 feet, one additional foot of distance between adjacent structures is added.
4. If the dwelling or structure is located adjacent to an R-15, R-20 or R-40 zone, there shall be a buffer maintained between the properties in accordance with § 340-99.



A.P. 35
LOT 31
ZONE: I
N/F
CAPITOL CITY
SALVAGE
JOHNSTON, LLC

A.P. 35
LOT 184
ZONE: I
N/F
NARRAGANSETT
ELECTRIC CO.

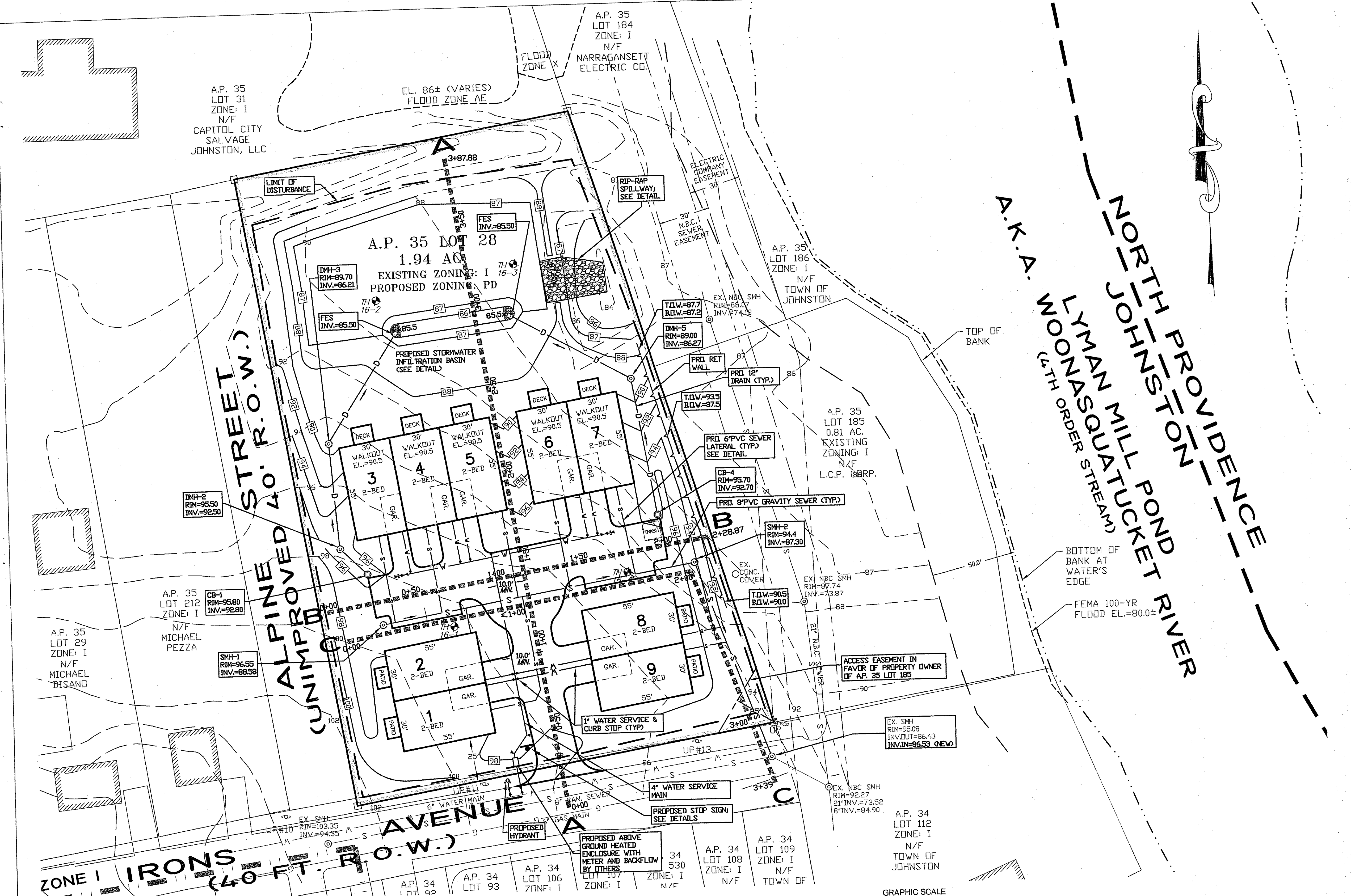
A.P. 35
LOT 186
ZONE: I
N/F
TOWN OF
JOHNSTON

A.P. 35
LOT 185
0.81 AC.
EXISTING ZONING: I
N/F
L.C.P. CORP.

A.P. 34
LOT 112
ZONE: I
N/F
TOWN OF
JOHNSTON

ALPINE STREET
(40' R.O.W.)
UNIMPROVED

A.A.K.A. LYMAN'S MILL
(4TH ORDER STREAM)
NORTH JOHNSTON
PRUDENCE
MILL TUCKER RIVER



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 16 2016 FILE # 06-0477
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PERMIT AGENCY REVIEW SET

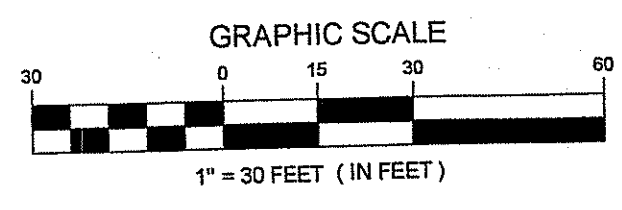
PRELIMINARY PLAN SUBMISSION

PROPOSED GRADING & UTILITY PLAN

LEGEND

AC.	ACRES	SUBJECT PROPERTY LINE	---
A.P.	ASSESSOR'S PLAT	ADJUTING PROPERTY LINE	---
BED	BEDROOM	EX. ZONE I BUILDING SETBACK LINE	---
CB	CATCH BASIN	PRO. ZONE PD BUILDING SETBACK LINE	---
CONC.	CONCRETE	EXISTING EASEMENT	---
DMH	DRAIN MANHOLE	EXISTING ELEVATION CONTOUR	98 --- 98
E.O.P.	EDGE OF PAVEMENT	PROPOSED ELEVATION CONTOUR	--- 98 ---
EX.	EXISTING	EXISTING ZONING BOUNDARY	---
FES	FLARED END SECTION	EXIST. ELECTRIC LINE	E ---
GAR.	GARAGE	EXIST. DRAIN LINE	D ---
I	INDUSTRIAL	EXIST. WATER LINE	W ---
INV.	INVERT	EXIST. SANITARY SEWER LINE	S ---
MIN.	MINIMUM	EXIST. GAS LINE	G ---
MAX.	MAXIMUM	EXIST. OVERHEAD WIRE	OHW ---
N.B.C.	NARRAGANSETT BAY COMMISSION	PROPOSED GAS LINE	G ---
N/F	NOW OR FORMERLY	PROPOSED SEWER LINE	S ---
PD	PLANNED DISTRICT	PROPOSED WATER LINE	W ---
PRO.	PROPOSED	PROPOSED DRAIN LINE	D ---
SMH	SEWER MANHOLE	PROPOSED SEGMENTAL BLOCK	---
TOP	TOP OF FOUNDATION	RETAINING WALL	---
TYP	TYPICAL	EXISTING UTILITY POLE	○
UP	UTILITY POLE	EXISTING SEWER MANHOLE	⊙
EXISTING BLDG.		PROPOSED SEWER MANHOLE	⊙
		WATER ISOLATION VALVE	⊙
		WATER CURB STOP	⊙
		CONCRETE THUST BLOCK	⊙

GRADING NOTES:
1. AVERAGE SITE SLOPE PRE-CONSTRUCTION = APPROX. 5%
2. AVERAGE SITE SLOPE POST-CONSTRUCTION = APPROX. 5%
3. ANY TOPSOIL REMOVED FROM ITS NATURAL POSITION IN THE PROCESS OF GRADING THE DEVELOPMENT SITE, SHALL BE REPLACED WITH MATERIAL OF A SIMILAR OR BETTER QUALITY AND TO A DEPTH OF AT LEAST APPROXIMATELY EQUIVALENT TO THAT EXISTING PRIOR TO SUCH GRADING, EXCEPT IN STREETS, DRIVEWAYS, AND FOUNDATION AREAS.



Kambiz Karbassi
No. 4737
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908

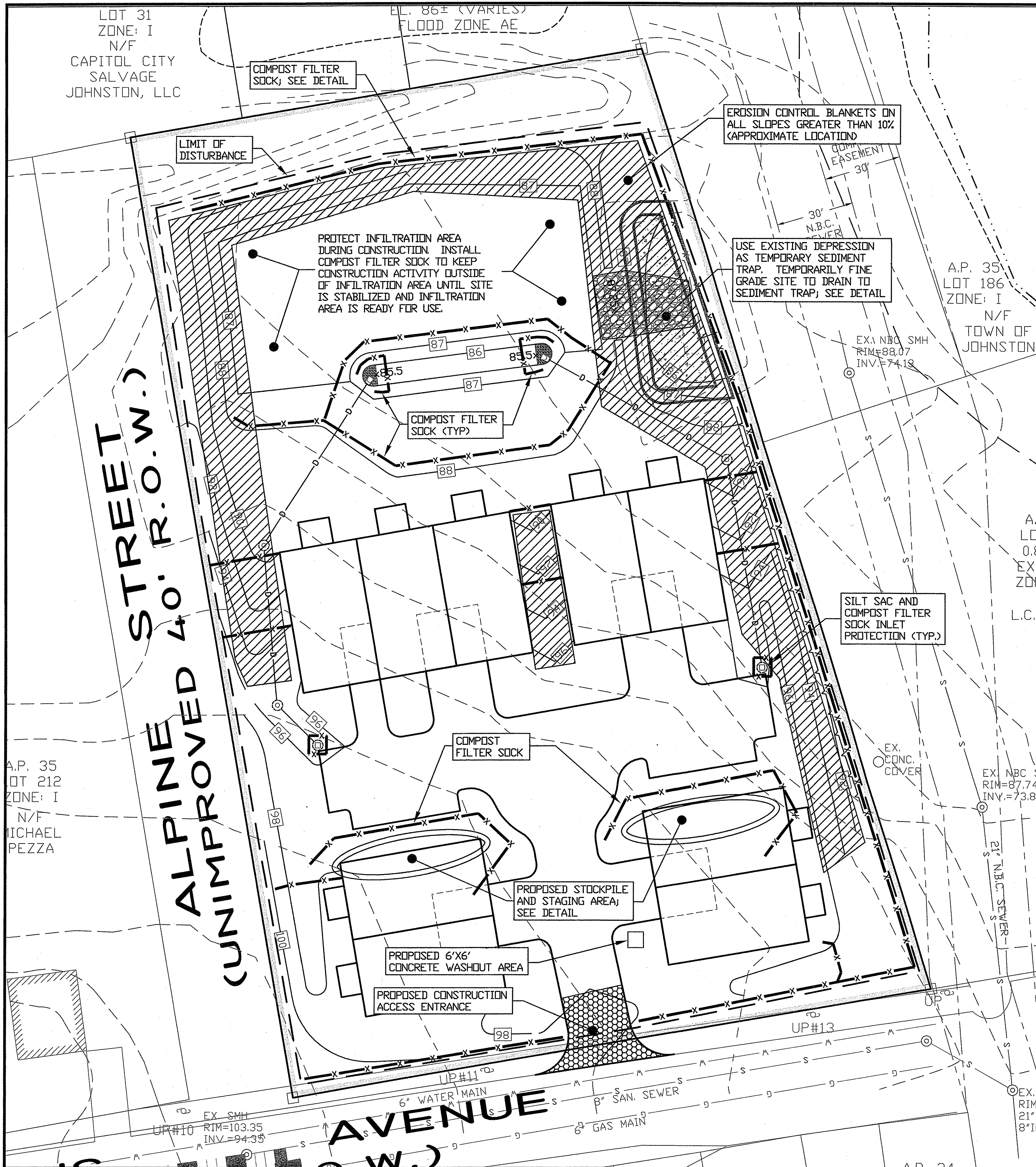
REVISIONS

No.	DATE	DRWN	CHKD

SITE PLAN
FOR
"IRON GATE COMMONS"
A.P. 35 LOT 28
LOCATION
IRONS AVENUE
JOHNSTON, RHODE ISLAND

SCALE: AS SHOWN SHEET NO: 5 OF 11
DRAWN BY: DKM DESIGN BY: TJB CHECKED BY: KK
DATE: 04/05/16 PROJECT NO.: 15028.00

APPLICANT/OWNER:
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CRANSTON, RI 02920
TELEPHONE: 944-9344



LOT 31
ZONE: I
N/F
CAPITOL CITY
SALVAGE
JOHNSTON, LLC

EL. 86± (VARIES)
FLOOD ZONE AE

COMPOST FILTER
SOCK; SEE DETAIL

LIMIT OF
DISTURBANCE

EROSION CONTROL BLANKETS ON
ALL SLOPES GREATER THAN 10%
(APPROXIMATE LOCATION)

PROTECT INFILTRATION AREA
DURING CONSTRUCTION. INSTALL
COMPOST FILTER SOCK TO KEEP
CONSTRUCTION ACTIVITY OUTSIDE
OF INFILTRATION AREA UNTIL SITE
IS STABILIZED AND INFILTRATION
AREA IS READY FOR USE.

USE EXISTING DEPRESSION
AS TEMPORARY SEDIMENT
TRAP. TEMPORARILY FINE
GRADE SITE TO DRAIN TO
SEDIMENT TRAP; SEE DETAIL

A.P. 35
LOT 186
ZONE: I
N/F
TOWN OF
JOHNSTON

COMPOST FILTER
SOCK (TYP)

EX. NBC SMH
RIM=88.07
INV.=74.18

SILT SAC AND
COMPOST FILTER
SOCK INLET
PROTECTION (TYP.)

EX. CONC.
COVER

EX. NBC S
RIM=87.74
INV.=73.87

A.P. 35
LOT 212
ZONE: I
N/F
MICHAEL
PEZZA

COMPOST
FILTER SOCK

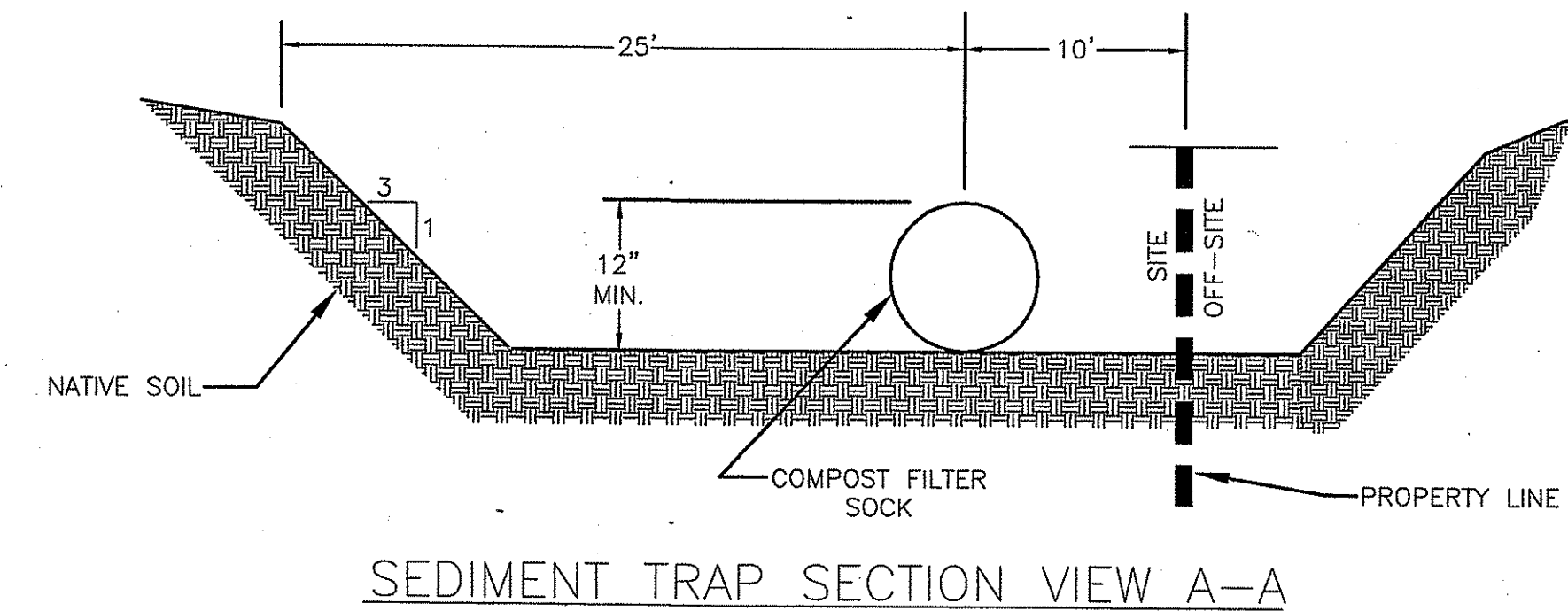
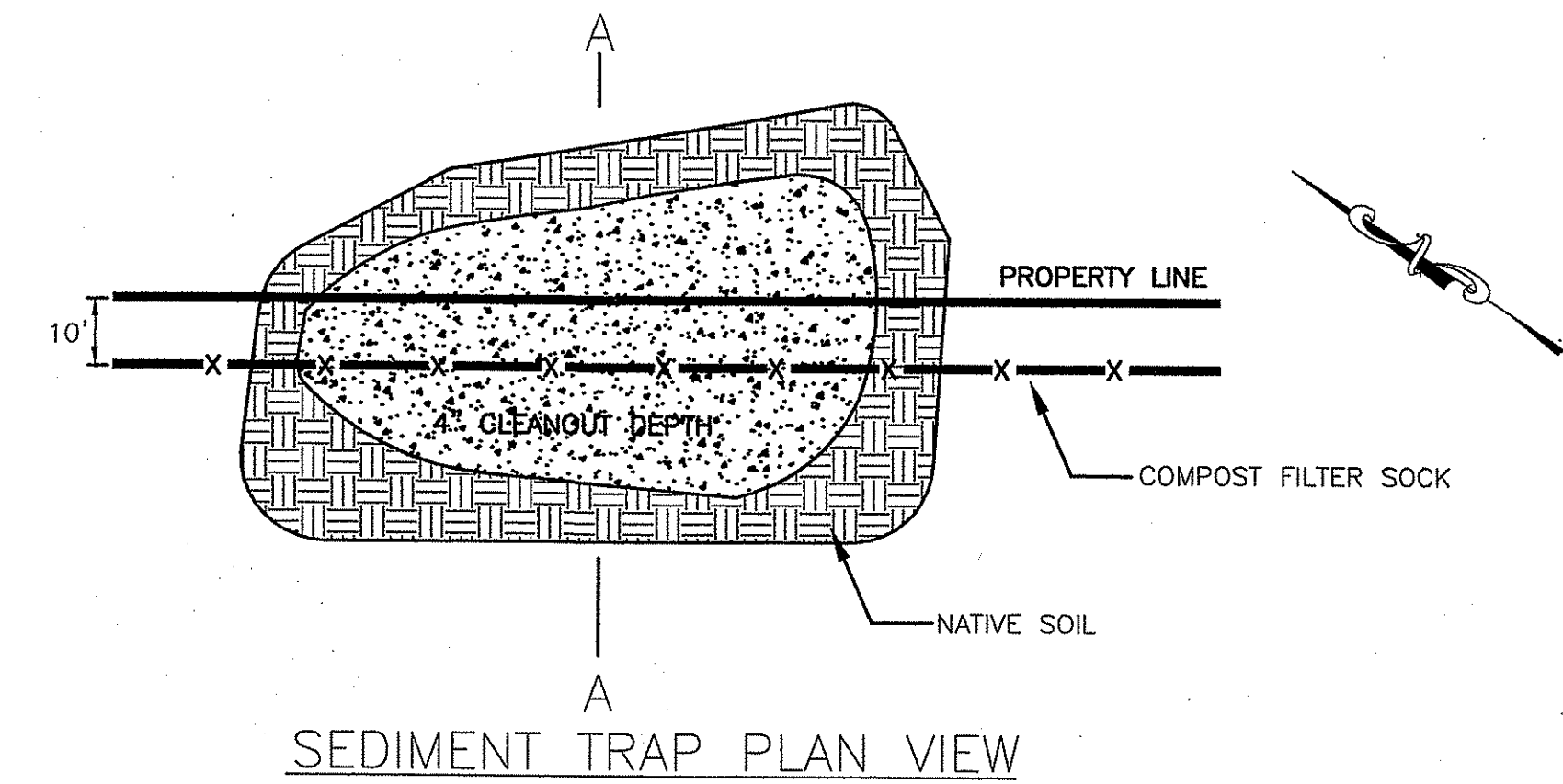
PROPOSED STOCKPILE
AND STAGING AREA;
SEE DETAIL

PROPOSED 6'X6'
CONCRETE WASHOUT AREA

PROPOSED CONSTRUCTION
ACCESS ENTRANCE

6" WATER MAIN
8" SAN. SEWER
8" GAS MAIN

EX. SMH
RIM=103.35
INV.=94.35



SEDIMENT TRAP NOTES:

1. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
2. CHECK THE COMPOST FILTER SOCK TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
3. THE HEIGHT OF THE COMPOST FILTER SOCK SHOULD BE MAINTAINED AT LEAST 1 FOOT BELOW THE CREST OF THE EMBANKMENT.
4. REPLACE THE COMPOST FILTER SOCK AS NEEDED.
5. CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
6. WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, DEWATER THE TRAP AS NEEDED, REMOVE SEDIMENTS AND RESTORE THE TRAP TO ITS ORIGINAL DIMENSIONS. DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE SEDIMENTATION PROBLEMS.
7. THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

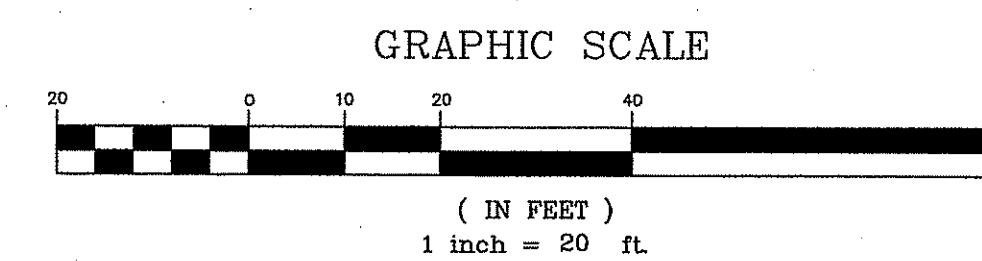
LEGEND

- COMPOST FILTER SOCK — X — X — X —
- EROSION CONTROL BLANKET [Hatched Box]
- SILT SAC & COMPOST FILTER SOCK INLET PROTECTION [Square with X]
- LIMIT OF DISTURBANCE - - - - -

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAY 16 2016 FILE # 06-0417
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**PRELIMINARY PLAN SUBMISSION
SOIL EROSION AND SEDIMENT CONTROL**

PERMIT AGENCY REVIEW SET



APPLICANT/OWNER:
IRON GATE COMMONS, LLC
201 HOFFMAN AVENUE, UNIT 19
CRANSTON, RI 02920
TELEPHONE: 944-9344

Kambiz Korbassi
No. 737
REGISTERED
PROFESSIONAL ENGINEER

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS			
No.	DATE	DRWN	CHKD

SITE PLAN
FOR
"IRON GATE COMMONS"
A.P. 35 LOT 28
LOCATION
IRONS AVENUE
JOHNSTON, RHODE ISLAND

SCALE: AS SHOWN	SHEET NO: 7 OF 11
DRAWN BY: DKM	DESIGN BY: TB
DATE: 04/05/16	CHECKED BY: KK
PROJECT NO.: 15028.00	

GENERAL EROSION CONTROL NOTES:

- THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE 2004 STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION WEB PAGE. THESE SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE TOWN ENGINEER. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
- LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 48 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY, BUT NOT LIMITED TO, THE STATE OF RHODE ISLAND, THE FEDERAL GOVERNMENT, LOCAL (TOWN/CITY) GOVERNMENT AND ALL INDIVIDUAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).

EROSION CONTROL AND SOIL STABILIZATION PROGRAM:

- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.20.01, AS AMENDED.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDING SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT	SEEDING DATE
CREeping RED FESCUE	70	APRIL 1 - JUNE 15
ASTORIA BENTGRASS	5	AUGUST 15 - OCT.
BIRDFOOT TREFOIL	15	
PERENNIAL RYEGRASS	10	

- APPLICATION RATE 100 LBS/ACRE
LIMING AND FERTILIZING AS REQUIRED TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS.
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILE SHALL ALSO BE SEEDING AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
- TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
- ALL PROPOSED PLANTINGS MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
- ALL PROPOSED PLANTINGS MUST BE MAINTAINED BY THE PROPERTY OWNER TO ENSURE SURVIVAL.
- SHOULD ANY OR ALL OF THE PROPOSED PLANTS FAIL TO SURVIVE AT LEAST ONE (1) FULL GROWING SEASON FROM THE TIME THEY HAVE BEEN PLANTED, THE OWNER SHALL BE FULLY RESPONSIBLE FOR REPLACING AND MAINTAINING THE SAME PLANT SPECIES FOR ONE (1) ADDITIONAL GROWING SEASON.
- ALL DISTURBED AREAS MUST BE SEEDING OR PLANTED WITHIN THE CONSTRUCTION SEASON.
- TEMPORARY SEEDING MUST BE DONE WITHIN ONE (1) MONTH AFTER DISTURBANCE.
- ALL DISTURBED AREAS MUST BE PERMANENTLY SEEDING OR PLANTED BEFORE OCTOBER 1ST, IF NOT THEY MUST BE TEMPORARILY SEEDING.
- SLOPES CONSTRUCTED AT, OR STEEPER THAN, 15% SHALL HAVE TEMPORARY EROSION CONTROL MATTING UTILIZED AS A SUPPORTIVE METHOD IN ADDITION TO THE METHODS DESCRIBED ABOVE.
- ALL PROPOSED INLETS AND OUTLETS SHALL BE PROTECTED WITH RIPRAP BOTH TEMPORARILY AND PERMANENTLY. SEE DETAIL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN THE TOWN SUBDIVISION REGULATIONS AND ZONING ORDINANCES; RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL DEC. 2010 AS PREPARED BY THE RIDEM AND GRMC; AND RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK AS PREPARED BY RHODE ISLAND STATE CONSERVATION COMMITTEE, REVISED 2014, (AS REVISED).

- CONSTRUCTED INFILTRATION PRACTICES SHALL NEVER SERVE AS A SEDIMENT CONTROL DEVICE DURING SITE CONSTRUCTION PHASE. GREAT CARE MUST BE TAKEN TO PREVENT ANY INFILTRATION AREA FROM COMPACTION BY MARKING OFF THE LOCATION BEFORE THE START OF CONSTRUCTION AT THE SITE AND CONSTRUCTING THE INFILTRATION PRACTICE LAST, CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE, AND THE CONTAINING AREA IS STABILIZED. THE CONTRACTOR SHALL SUBMIT A PLAN TO THE TOWN (FOR APPROVAL) HOW SEDIMENT WILL BE PREVENTED FROM ENTERING THE SITE OF AN INFILTRATION FACILITY. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED DOWN TO NATIVE UNDISTURBED MATERIAL PRIOR TO CONSTRUCTING THE FINAL INFILTRATION PRACTICES. CONTRACTOR SHALL SUBMIT A SEQUENCING PLAN TO TOWN DETAILING THE HOW/WHEN THE SEDIMENT TRAPS WILL BE CONVERTED TO FINAL INFILTRATION PRACTICES. GENERALLY, ALL UPGRADIENT AREAS SHALL BE PAVED AND VEGETATIVELY RESTORED SO SEDIMENT LAIDEN RUNOFF WILL NOT ENTER THE INFILTRATION PRACTICE.
- EXTREME CARE SHALL BE EXERCISED AS TO PREVENT ANY MATERIALS FROM ENTERING WETLANDS, THE ROADWAYS, ROADWAY DRAINAGE SYSTEMS, AND ADJACENT PROPERTY.
- STAKED HAY BALES OR SILT FENCE SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND AS REQUIRED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTIES, WETLANDS AND THE ROADWAY DRAINAGE SYSTEM.
- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR MORE THAN 2 WEEKS OF TIME OR FOR THE INACTIVE WINTER SEASON.
- NO UNDISTURBED AREAS SHALL BE CLEARED OF EXISTING VEGETATION AFTER OCTOBER 15 OF ANY CALENDAR YEAR OR DURING ANY PERIOD OF FULL OR LIMITED WINTER SHUTDOWN. ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15 OF ANY CALENDAR YEAR SHALL BE SEEDING OR PROTECTED BY THAT DATE. ANY SUCH AREAS THAT DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION, AS DETERMINED BY THE RESIDENT ENGINEER OR ENVIRONMENTAL INSPECTOR, BY NOVEMBER 15 OF ANY CALENDAR YEAR, MUST BE STABILIZED THROUGH THE USE OF EROSION CONTROL MATTING OR HAY MULCH, IN ACCORDANCE WITH SPECIFICATIONS CONTAINED WITHIN THE R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15 THROUGH APRIL 15, CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THAT DAY'S WORK IS EXPOSED, AND ALL EXPOSED AREAS BE RESTABILIZED WITHIN 5 WORKING DAYS. ANY WORK TO CORRECT PROBLEMS RESULTING FROM FAILURE TO COMPLY WITH THIS PROVISION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THERE WILL BE NO SEPARATE PAYMENT FOR THIS PROVISION. IT SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION OPERATIONS. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 2 WEEKS OF FINAL GRADING.
- PREPARE TEMPORARY SEEDING AREA, PROVIDE AND PLANT SEED IN ACCORDANCE WITH "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" AS PREPARED BY THE RHODE ISLAND STATE CONSERVATION COMMITTEE, REVISED 2014, (AS REVISED).

SEED MIX:
ANNUAL RYE GRASS 1.5 LBS/1,000 SQ. FT.

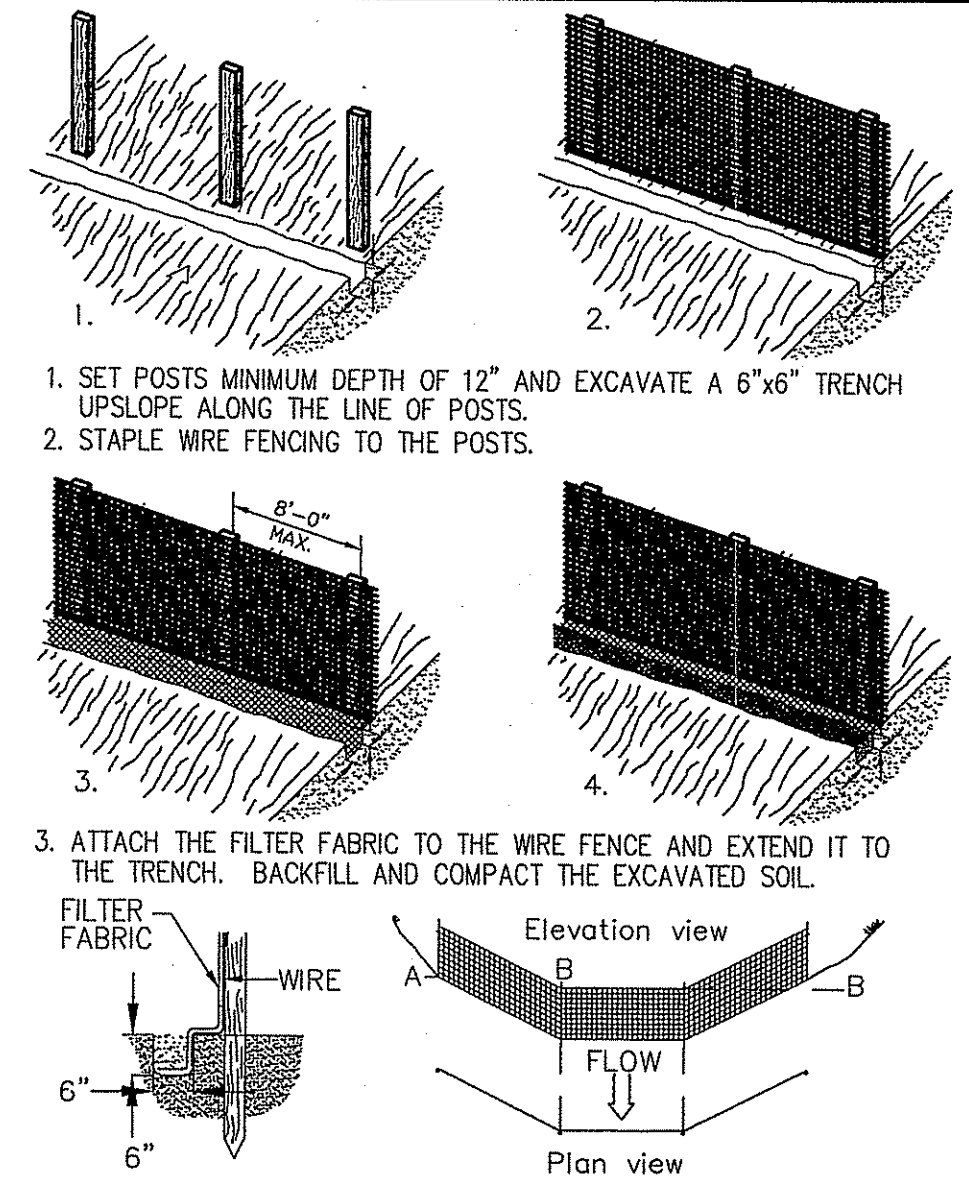
- TEMPORARY TREATMENTS TO STABILIZE EXPOSED SOILS SHALL CONSIST OF HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK WHEN SOILS ARE EXPOSED FOR TWO WEEKS OR MORE OR AS ORDERED BY THE TOWN, ENGINEER OR OWNER AT NO ADDITIONAL COST.
- HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- ALL NEW HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
- STOCKPILES SHALL HAVE NO SLOPE GREATER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES, SILT FENCE, OR COMPOST FILTER SOCK. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS OF TIME SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF PLANTING ANNUAL RYE GRASS OR PROTECTING WITH HAY, STRAW OR FIBER MATTING.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- ADDITIONAL HAY BALE/SILT FENCE OR OTHER TREATMENTS SHALL BE PROVIDED AS DIRECTED BY ENGINEER, RIDEM OR LOCAL REPRESENTATIVES AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL INSPECT THE SOIL EROSION CONTROL DEVICES AFTER EVERY RAIN STORM EVENT AND EVERY 7 DAYS (WHICH EVER COMES FIRST). ANY SOIL MIGRATION PAST THE DEVICES SHALL BE REMOVED AND THE SOIL EROSION CONTROL DEVICES SHALL BE RE-ESTABLISHED TO PREVENT SOIL EROSION. ALL ACCUMULATED SEDIMENT IN FRONT OF THE DEVICES SHALL BE REMOVED AFTER EVERY RAIN STORM EVENT.
- ALL DISTURBED SOIL AREAS SHALL BE PROTECTED AGAINST SOIL EROSION BY PLACEMENT OF COMPOST FILTER SOCKS, HAY BALES, AND/OR SILT FENCE ON THE DOWN GRADIENT SIDE OF THE DISTURBED AREA(S). SHOULD THE VOLUME AND/OR RATE OF STORMWATER RUNOFF BE TOO GREAT FOR A SINGLE DEVICE, THEN MULTIPLE DEVICES ARE REQUIRED SUCH AS SILT FENCE BACKED-UP WITH HAYBALES. THESE ADDITIONAL DEVICES ARE NOT SHOWN ON THE PLAN BUT SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- AT THE END OF THE PROJECT ALL SEDIMENT IN MANHOLE SUMPS SHALL BE REMOVED.
- CONTRACTOR SHALL RESTORE INFILTRATION CAPACITY OF ALL COMPACTED SOILS BY TILLING OR SCARIFYING COMPACTED SOILS AND AMENDING SOILS AS NECESSARY TO ENSURE A MINIMUM DEPTH OF 4" TOPSOIL IS AVAILABLE IN THESE AREAS.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

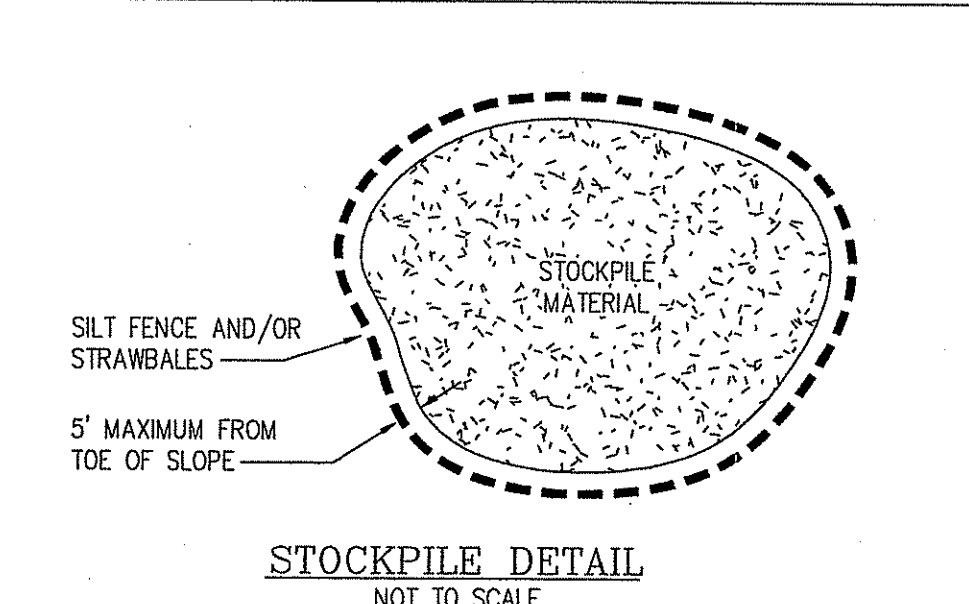
- CONTRACTOR TO REFER TO RIDEM RIDES SOIL EROSION AND SEDIMENT CONTROL PLAN (SESCP) REPORT AS WELL AS THESE DRAWINGS.
- SURVEY AND STAKE LIMIT OF DISTURBANCE FOR PLACEMENT OF SEDIMENTATION CONTROL DEVICES.
- PLACE PERIMETER SEDIMENTATION CONTROL DEVICES (HAYBALE OR SILT FENCE). IN NO CASE SHALL THE LIMIT OF WORK EXTEND BEYOND THE SEDIMENTATION CONTROL DEVICES.
- CONSTRUCT CONSTRUCTION ENTRANCE DEVICE 9.9.0.
- CLEAR AND GRUB SITE.
- BEGIN CONSTRUCTION OF ROAD (EXCAVATING AND GRADING, ETC.). TOPSOIL AND SUBSOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS FOR LATER REUSE. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION DEVICES AS SHOWN ON DETAIL. CONSTRUCT ROUGH GRADED SWALES.
- INSTALL HAYBALE CHECK DAMS 9.4.0. DEVICES TO TRAP SEDIMENT IN ANY ROUGHED-IN CHANNEL WHICH WILL TEMPORARILY CONVEY RUNOFF DURING CONSTRUCTION. CHECK DAMS SHALL BE SPACED 100' APART FROM EACH OTHER FOR THE ENTIRE LENGTH OF THE CHANNEL.
- CONSTRUCT UTILITIES (ELECTRIC, ETC.) AND FINISH ROADWAY.
- FINISH CONSTRUCTING DRAINAGE SYSTEMS WHEN PERIMETER AREAS ARE STABILIZED SO SEDIMENT CONTAMINATED RUNOFF WILL NOT FLOW INTO COMPLETED DRAINAGE DEVICES SUCH AS THE TREE FILTER BIOTRETENTION UNITS OR THE WESVALE.
- PROTECT DRAINAGE SYSTEMS UNTIL ALL AREAS ARE STABILIZED.
- START HOUSE LOT CONSTRUCTION. CONSTRUCT HOUSE, DRIVEWAYS AND SERVICES.
- FINISH CONSTRUCTION OF BUILDINGS.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDING WITH GRASS.
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER A PERMANENT GROWTH OF VEGETATION IS ESTABLISHED. REMOVE ALL ACCUMULATED SEDIMENTS IN DRAINAGE SYSTEMS.

POLLUTION PREVENTION NOTES:

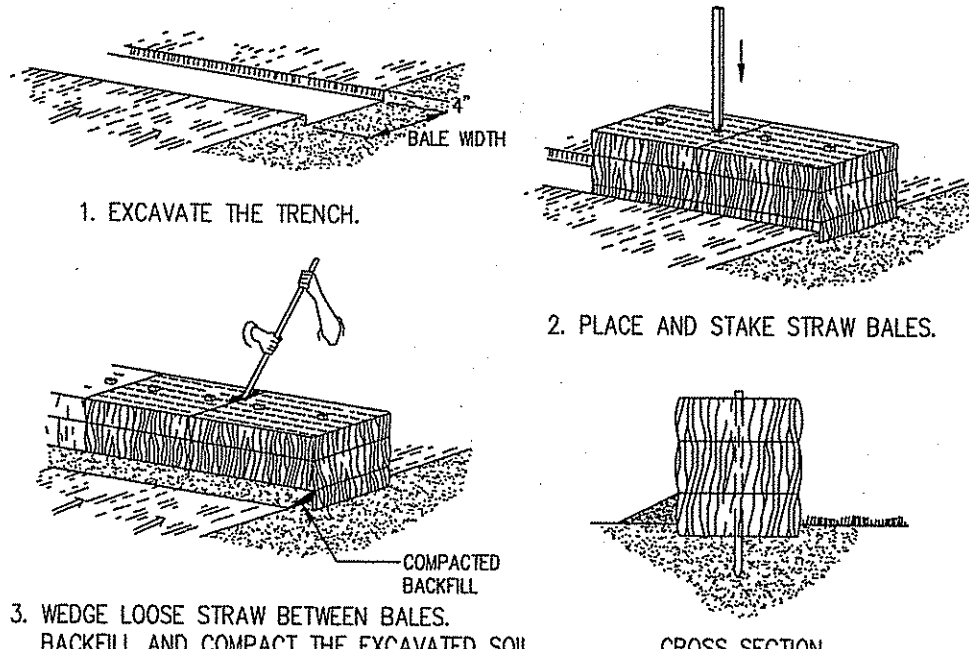
- REFERENCE IS MADE TO APPENDIX G "POLLUTION PREVENTION AND SOURCE CONTROLS" OF THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, DECEMBER 2010 AS AMENDED. THIS DOCUMENT SHALL BE REFERRED TO WHEN IMPLEMENTING THE POLLUTION PREVENTION TECHNIQUES. A BRIEF SUMMARY OF THE TECHNIQUES IS PROVIDED BELOW, REFER TO THE ABOVE REFERENCE FOR ALL TECHNIQUES TO BE IMPLEMENTED.
- SOLID WASTE CONTAINMENT:**
 - OWNER TO PROVIDE TRASH CONTAINER. CONTAINER TO HAVE A COVER TO PREVENT TRASH FROM BLOWING OFF.
 - SWEEP STREET/PARKING AREA ANNUALLY.
 - HAZARDOUS MATERIALS CONTAINMENT:**
 - CONTRACTOR TO STORE ALL HAZARDOUS MATERIALS INSIDE STORAGE LOCKERS OR OTHER APPROVED METHODS WHICH HAVE SECONDARY CONTAINMENT SYSTEMS.
 - SECONDARY CONTAINMENT MUST BE INCLUDED WHEREVER SPILLS MIGHT OCCUR (E.G. FUELING AND HAZARDOUS MATERIAL TRANSFER AND LOADING AREAS).
- ROADS AND PARKING AREA MANAGEMENT:**
 - SWEEP STREET/PARKING AREA ANNUALLY.
 - USE DEICING CHEMICALS AND SAND JUDICIOUSLY SINCE THEY CAUSE WATER QUALITY PROBLEMS. PROVIDE AND SPREAD IN ACCORDANCE WITH APPENDIX G RECOMMENDATIONS.
 - * PLOW SNOW AND STORE ACCUMULATED SNOW PILES AWAY FROM INFILTRATION PRACTICES. KEEP SNOW PILES 50 FEET FROM WETLAND EDGE AND AREA SUBJECT TO STORM FLOW.
 - * DEBRIS SHOULD BE REMOVED FROM THE SITE PRIOR USING THE SITE FOR SNOW DISPOSAL.
 - * DEBRIS SHOULD BE CLEARED FROM THE SITE AND PROPERLY DISPOSED OF AT THE END OF THE SNOW SEASON.
 - ONLY USE ASPHALT BASED SEALANTS WHEN SEALING THE PAVEMENTS. DO NOT USE COAL-TAR BASED SEALANTS SINCE THESE ARE MORE TOXIC.
- SEPTIC SYSTEM:**
 - NO SEPTIC SYSTEMS PROPOSED.
- LAWN, GARDEN, AND LANDSCAPE MANAGEMENT:**
 - LAWN CONVERSION** - REDUCE THE AMOUNT OF LAWN BY REPLANTING LAWN WITH GARDEN BEDS CONTAINING FLOWERS/SHRUBS. LAWNS REQUIRE MORE MAINTENANCE THAN FLOWER BEDS.
 - SOIL BUILDING** - MAINTAIN A HEALTHY LAWN BY TESTING SOIL FOR PH, FERTILITY, COMPACTION, TEXTURE, AND EARTH WORM CONTENT. GRASS SELECTION - SELECT DROUGHT TOLERANT GRASS SPECIES. REFER TO APPENDIX G FOR ADDITIONAL INFORMATION.
 - MOWING AND THATCH MANAGEMENT** - KEEP GRASS HEIGHT HIGH SUCH AS 2 TO 3 INCHES IN HEIGHT. THIS WILL REDUCE WEED GROWTH.
 - FERTILIZATION** - MINIMIZE FERTILIZATION. FERTILIZE NO MORE THAN TWICE A YEAR. APPLY CAREFULLY SO FERTILIZER DOES NOT SPREAD ONTO IMPERVIOUS SURFACES. REFER TO APPENDIX G FOR ADDITIONAL INFORMATION.
 - WEED MANAGEMENT** - NEVER USE CHEMICAL HERBICIDES TO ELIMINATE OR CONTROL WEEDS. OWNER SHALL REMOVE WEEDS BY PULLING OR DIGGING OUT. REFER TO APPENDIX G FOR ADDITIONAL INFORMATION.
 - PEST MANAGEMENT** - LIMIT PESTICIDE USE. CHOOSE PESTICIDES THAT POSE THE LEAST RISK TO HUMAN HEALTH AND THE ENVIRONMENT. REFER TO APPENDIX G FOR ADDITIONAL INFORMATION.
 - SENSIBLE IRRIGATION** - WATER NO MORE THAN 1" PER WEEK. USE DROUGHT-RESISTANT GRASSES. CUT GRASS AT 2-3 INCHES.



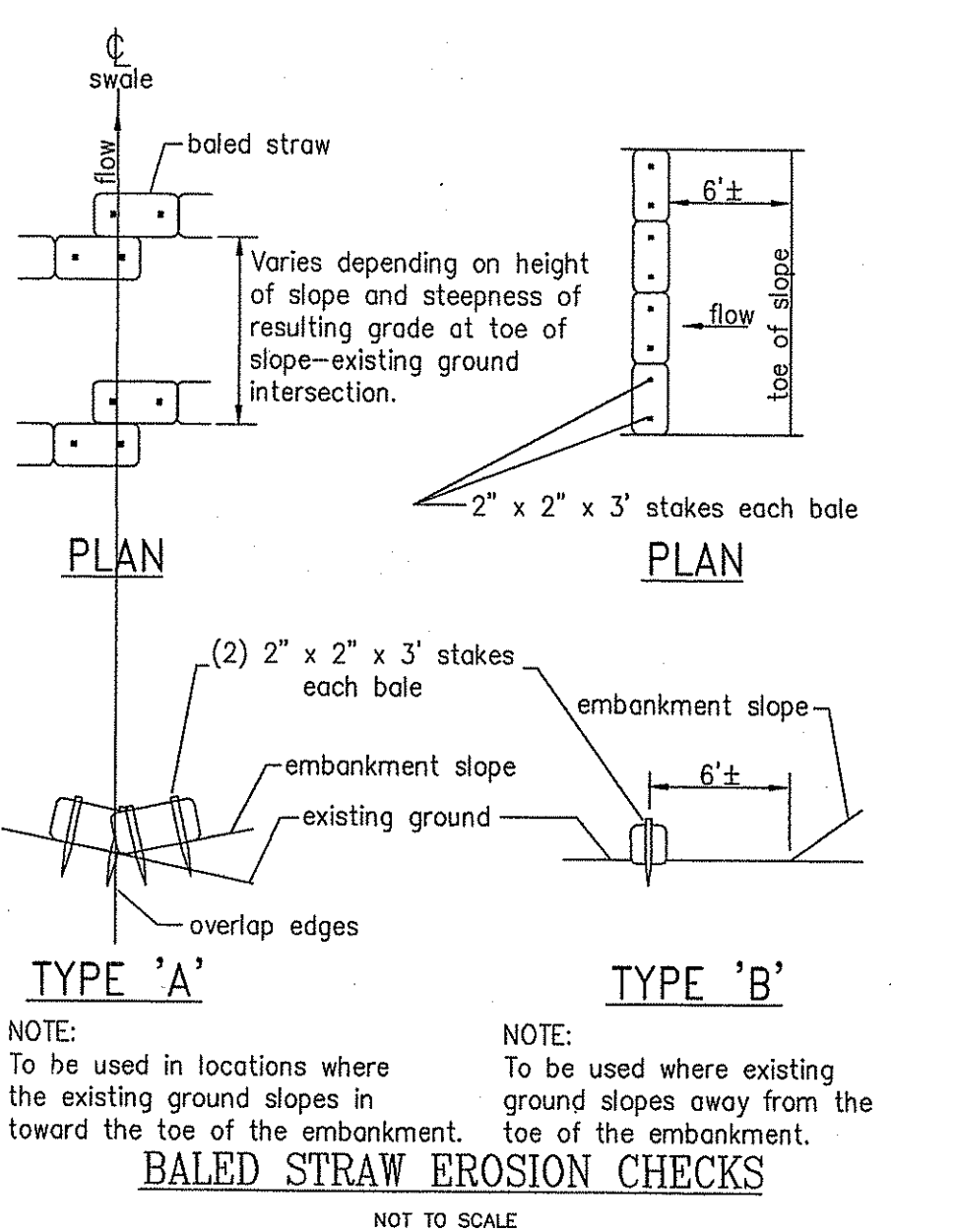
SILT FENCE BARRIER DETAIL
NOT TO SCALE
SILT FENCE TO BE WEBBER ECONOFENCE - 36" OR APPROVED EQUAL.



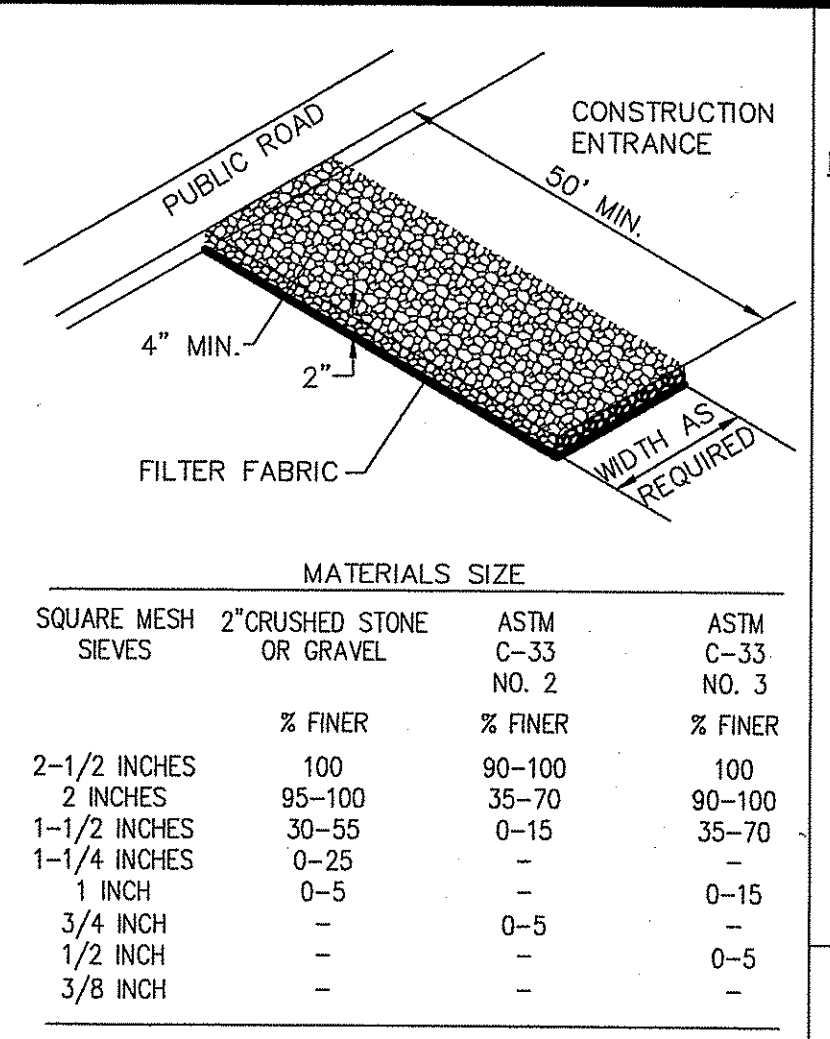
STOCKPILE DETAIL
NOT TO SCALE



PLACEMENT AND CONSTRUCTION OF STRAWBALE EROSION CHECK
NOT TO SCALE



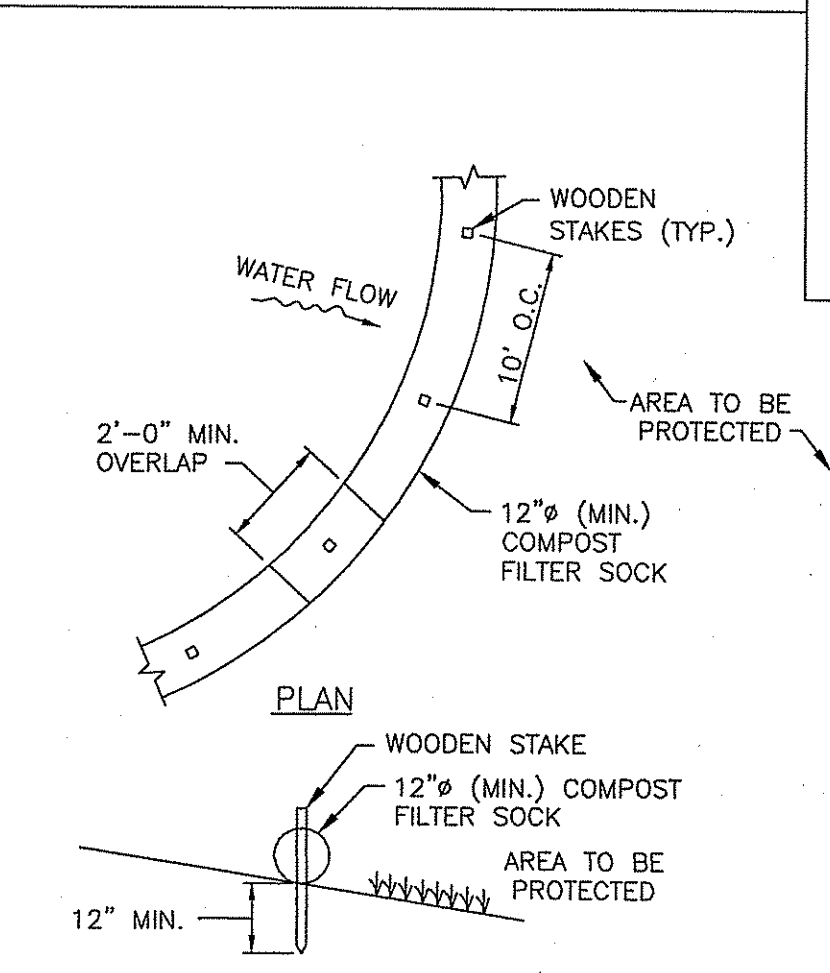
BALED STRAW EROSION CHECKS
NOT TO SCALE



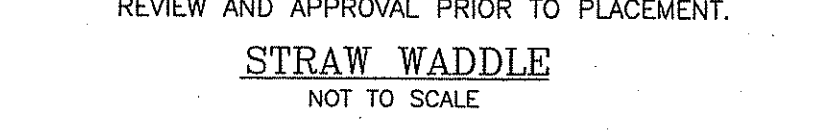
RIP-RAP STABILIZATION PAD @ CONSTRUCTION ENTRANCE
NOT TO SCALE

SQUARE MESH OR GRAVEL	2" CRUSHED STONE	ASTM C-33	ASTM C-33
SEIVES	NO. 2	NO. 2	NO. 3
	% FINER	% FINER	% FINER
2-1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1-1/2 INCHES	30-55	0-15	35-70
1-1/4 INCHES	0-25	-	-
1 INCH	0-5	-	0-15
3/4 INCH	-	0-5	-
1/2 INCH	-	-	0-5
3/8 INCH	-	-	-

NOTE: STABILIZATION PAD TO BE IN CONFORMANCE WITH STANDARDS SET FORTH IN THE "RHODE ISLAND GUIDELINES FOR SOIL & SEDIMENT CONTROL".



CONCRETE WASHOUT
NOT TO SCALE

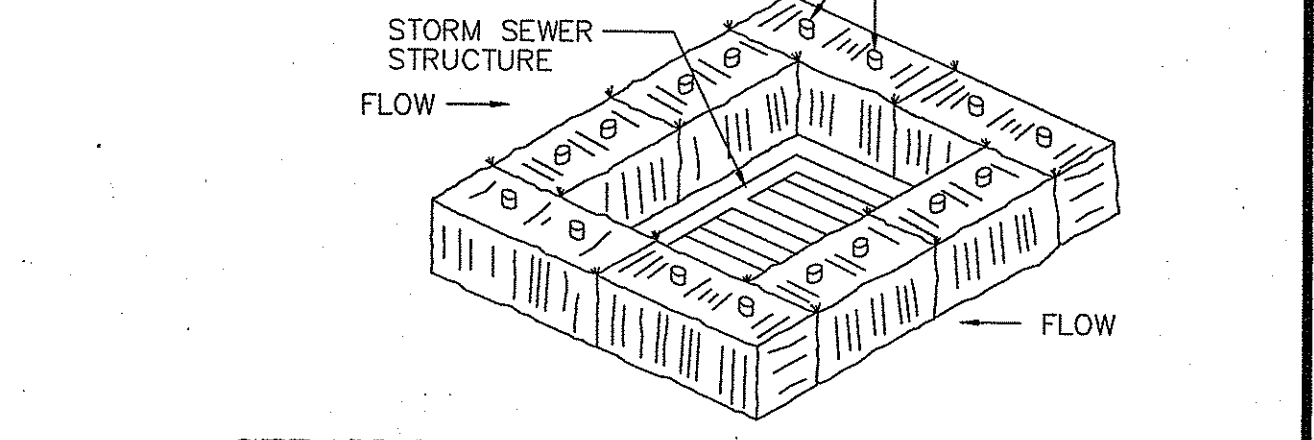


STRAW WADDLE
NOT TO SCALE

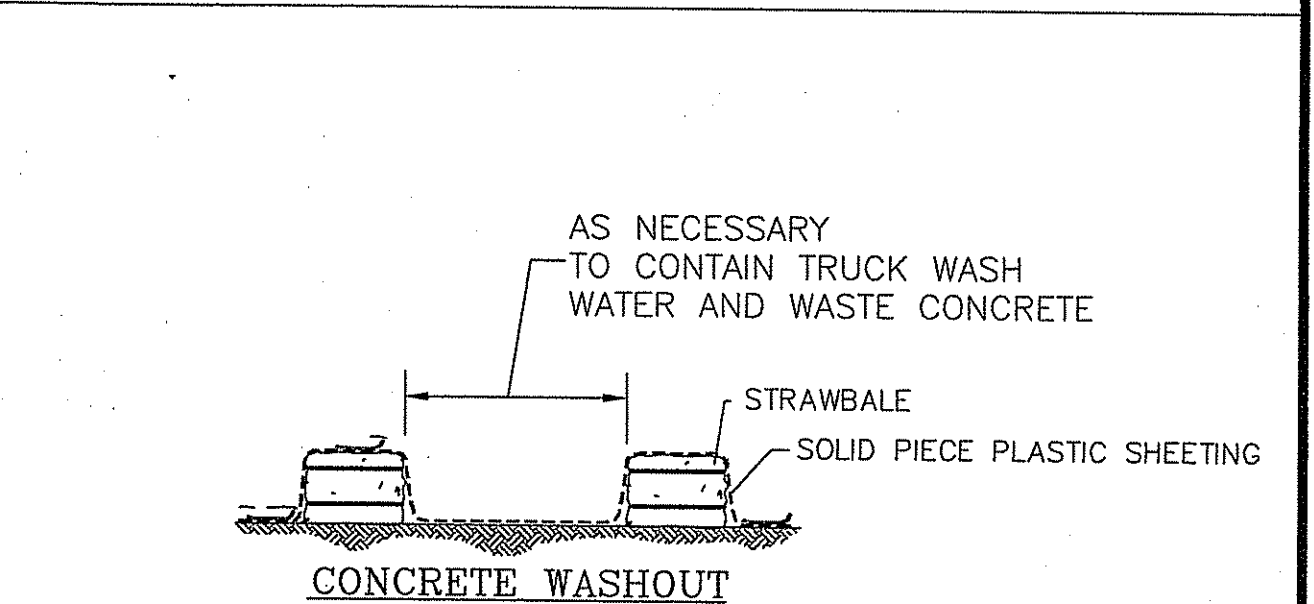
NOTES:
1. ALL MATERIAL TO MEET REQUIREMENTS OF SECTION 206 OF RI STANDARD SPECIFICATIONS.
2. SUBMIT SHOP DRAWING OF COMPOST MATERIAL FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.

APPLICANT/OWNER:
IRON GATE COMMONS, LLC
201 HOFFMAN AVENUE, UNIT 19
CRANSTON, RI 02920
TELEPHONE: 944-9344

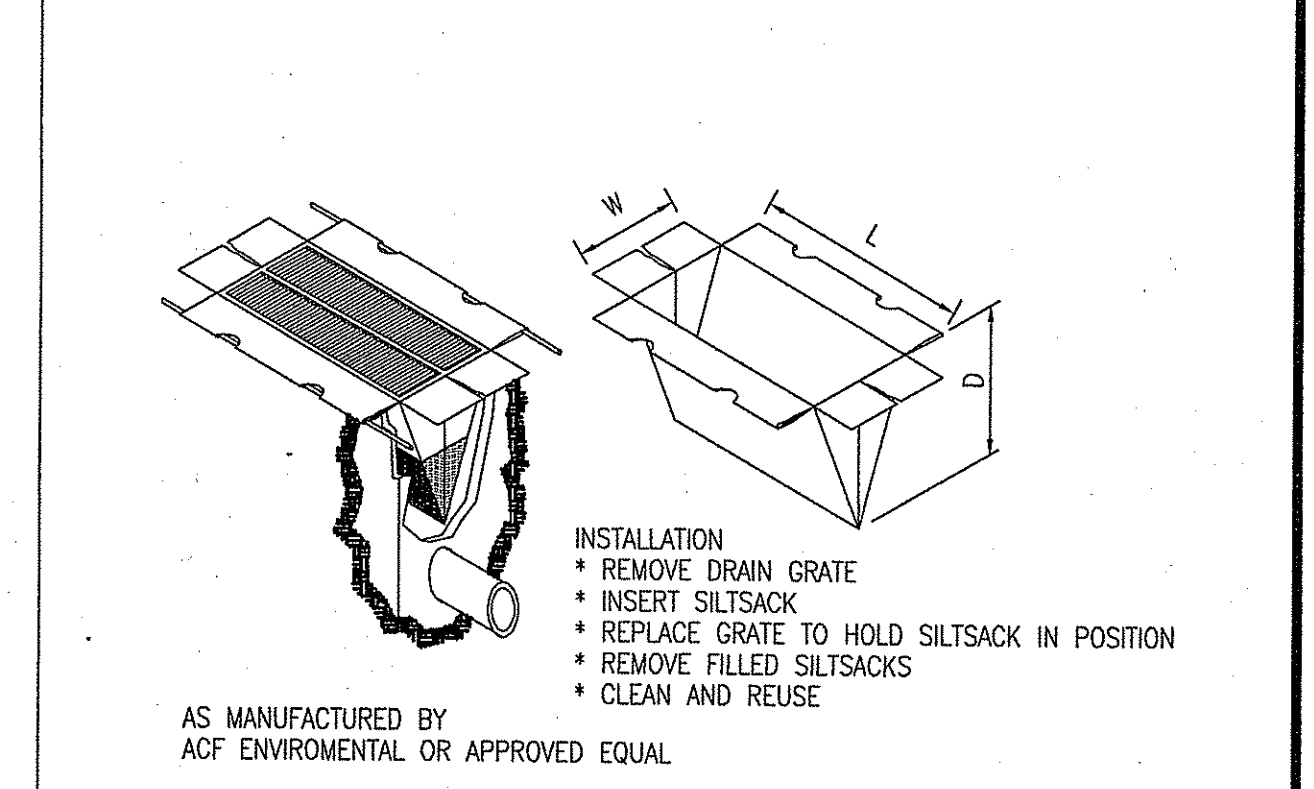
NOTE: WHERE INDICATED ON THE PLANS, CATCH BASIN GRATE SHALL INITIALLY BE SET 1'-0" HIGHER THAN DESIGN ELEVATION TO ALLOW FOR SEDIMENTATION. AFTER VEGETATIVE COVER HAS BEEN ESTABLISHED, RIM SHALL BE LOWERED TO DESIGN ELEVATION.



STRAW BALE CATCH BASIN PROTECTION
NOT TO SCALE



CONCRETE WASHOUT
NOT TO SCALE



SILT SACK DETAIL
NOT TO SCALE

AS MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL

PERMIT AGENCY REVIEW SIGNATURE

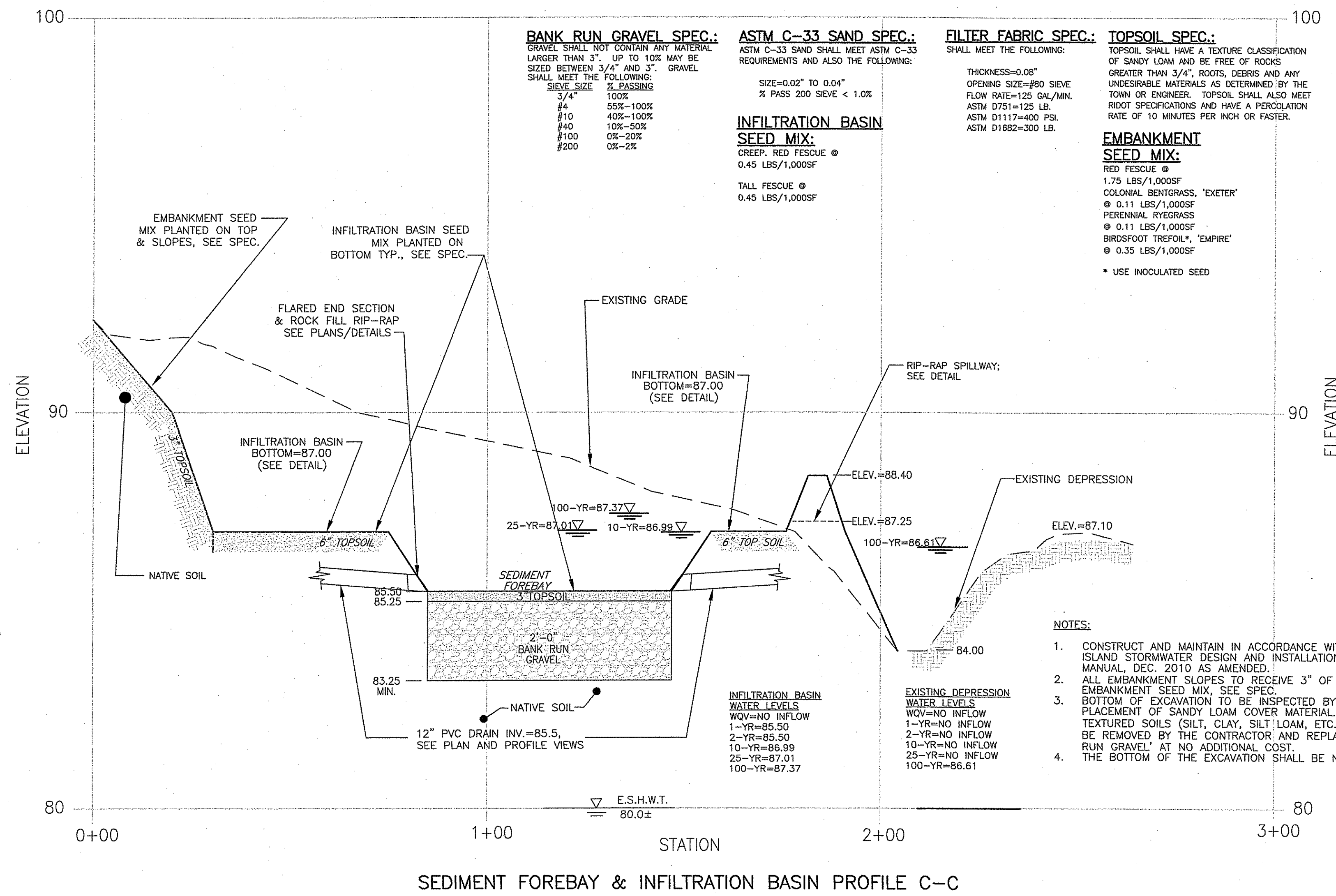
PRELIMINARY PLAN SUBMISSION SESC NOTES & DETAILS

Kombiz Korbassi
No. 4737
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

SITE PLAN FOR "IRON GATE COMMONS" A.P. 35 LOT 28
LOCATION
IRONS AVENUE
JOHNSTON, RHODE ISLAND

SCALE: AS SHOWN SHEET NO: 8 OF 11
DRAWN BY: DKM DESIGN BY: TB CHECKED BY: KK
DATE: 04/05/16 PROJECT NO.: 15028.00

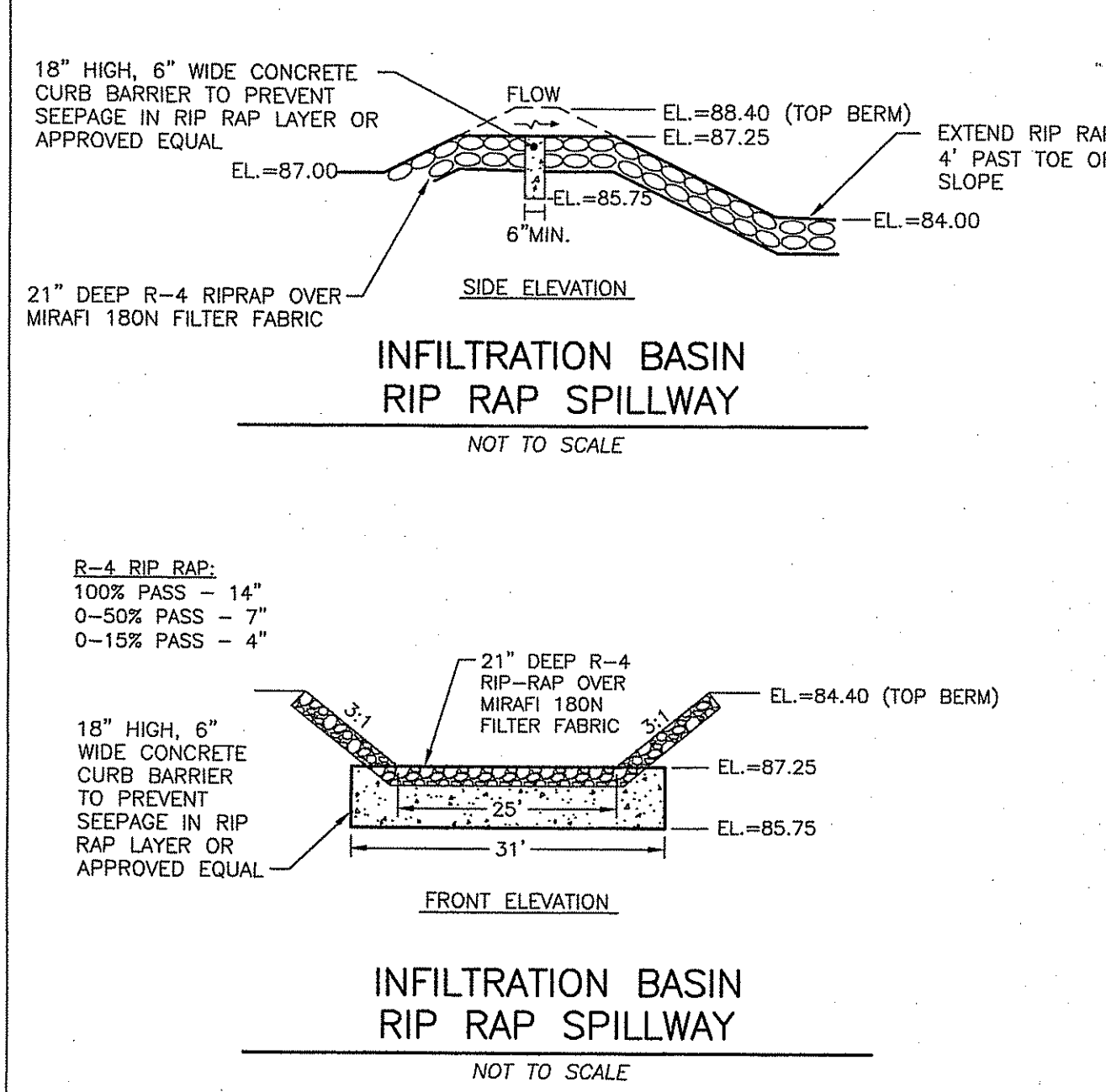


SEDIMENT FOREBAY & INFILTRATION BASIN PROFILE C-C

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=2'

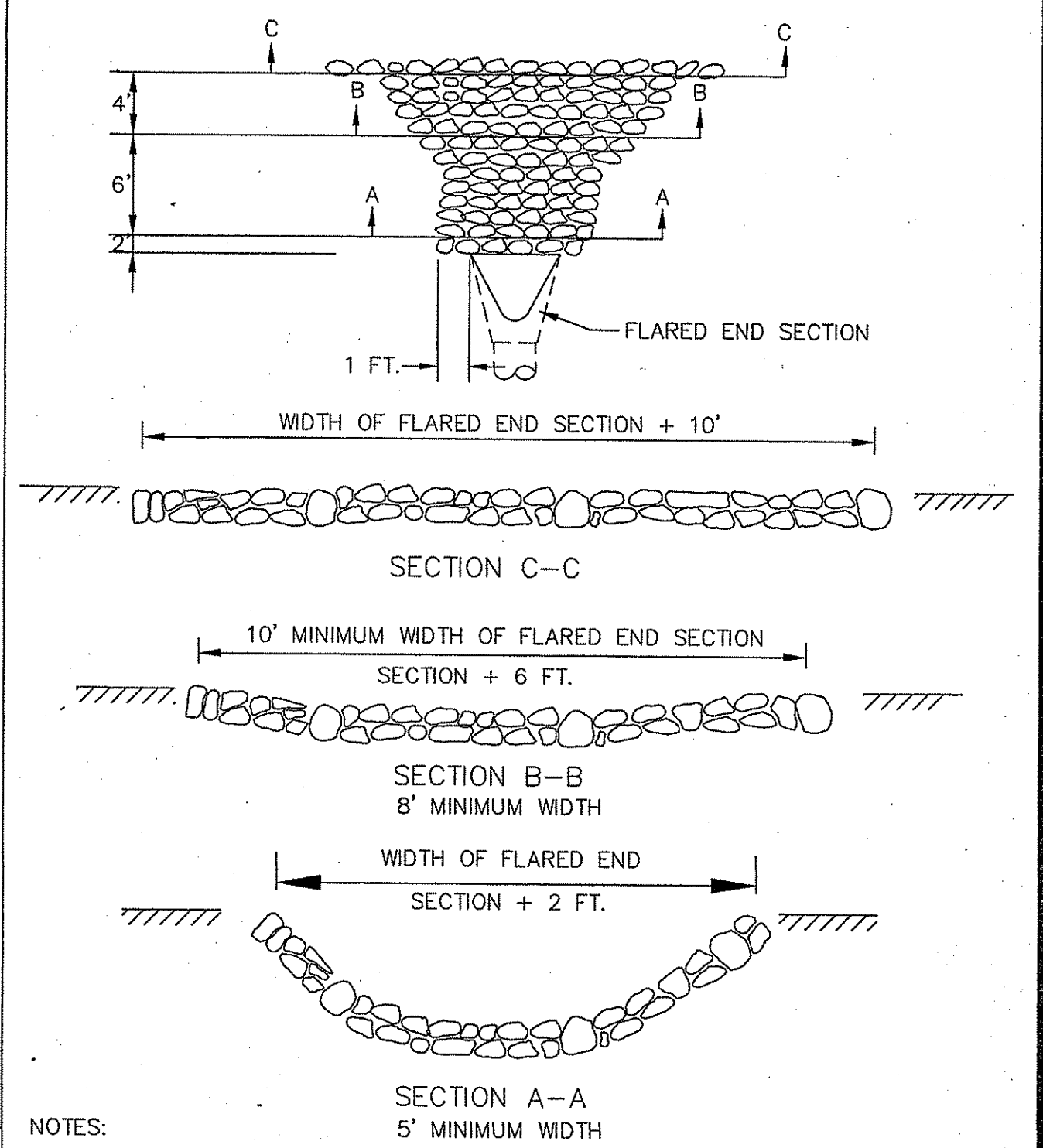
- BANK RUN GRAVEL SPEC.:**
GRAVEL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 3". UP TO 10% MAY BE SIZED BETWEEN 3/4" AND 3". GRAVEL SHALL MEET THE FOLLOWING:
- | SIEVE SIZE | % PASSING |
|------------|-----------|
| 3/4" | 100% |
| #4 | 50%-100% |
| #10 | 40%-100% |
| #40 | 10%-50% |
| #100 | 0%-20% |
| #200 | 0%-2% |
- ASTM C-33 SAND SPEC.:**
ASTM C-33 SAND SHALL MEET ASTM C-33 REQUIREMENTS AND ALSO THE FOLLOWING:
- INFILTRATION BASIN SEED MIX:**
CREEP, RED FESCUE @ 0.45 LBS/1,000SF
TALL FESCUE @ 0.45 LBS/1,000SF
- FILTER FABRIC SPEC.:**
SHALL MEET THE FOLLOWING:
THICKNESS=0.08"
OPENING SIZE=#80 SIEVE
FLOW RATE=125 GAL/MIN.
ASTM D751=125 LB.
ASTM D1117=400 PSL.
ASTM D1882=300 LB.
- TOPSOIL SPEC.:**
TOPSOIL SHALL HAVE A TEXTURE CLASSIFICATION OF SANDY LOAM AND BE FREE OF ROCKS GREATER THAN 3/4", ROOTS, DEBRIS AND ANY UNSOUNDABLE MATERIALS AS DETERMINED BY THE TOWN OR ENGINEER. TOPSOIL SHALL ALSO MEET ROOT SPECIFICATIONS AND HAVE A PERCOLATION RATE OF 10 MINUTES PER INCH OR FASTER.
- EMBANKMENT SEED MIX:**
RED FESCUE @ 1.75 LBS/1,000SF
COLONIAL BENTGRASS, 'EXETER' @ 0.11 LBS/1,000SF
PERENNIAL RYEGRASS @ 0.11 LBS/1,000SF
BIRDFOOT TREFLOIL, 'EMPIRE' @ 0.35 LBS/1,000SF
* USE INOCULATED SEED

- NOTES:**
1. CONSTRUCT AND MAINTAIN IN ACCORDANCE WITH THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, DEC. 2010 AS AMENDED.
 2. ALL EMBANKMENT SLOPES TO RECEIVE 3" OF LOAM AND EMBANKMENT SEED MIX, SEE SPEC.
 3. BOTTOM OF EXCAVATION TO BE INSPECTED BY ENGINEER PRIOR TO PLACEMENT OF SANDY LOAM COVER MATERIAL. ALL FINE TEXTURED SOILS (SILT, CLAY, SILT LOAM, ETC...) AND FILL SHALL BE REMOVED BY THE CONTRACTOR AND REPLACED WITH 'BANK RUN GRAVEL' AT NO ADDITIONAL COST.
 4. THE BOTTOM OF THE EXCAVATION SHALL BE NATIVE SOIL.



INFILTRATION BASIN MAINTENANCE NOTES

1. A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE FACILITY OWNER AND THE RESPONSIBLE AUTHORITY TO ENSURE THE FOLLOWING:
-INFILTRATION PRACTICES SHALL NEVER SERVE AS A SEDIMENT CONTROL DEVICE DURING SITE CONSTRUCTION PHASE.
-GREAT CARE MUST BE TAKEN TO PREVENT THE INFILTRATION AREA FROM COMPACTION BY MARKING OFF THE BMP LOCATION BEFORE THE START OF CONSTRUCTION AT THE SITE AND CONSTRUCTING THE INFILTRATION PRACTICE LAST, CONNECTING UPSTREAM DRAINAGE AREAS ONLY AFTER CONSTRUCTION IS COMPLETE, AND THE CONTRIBUTING AREA IS STABILIZED.
2. INFILTRATION PRACTICES SHALL BE INSPECTED ANNUALLY AND AFTER STORMS EQUAL TO OR GREATER THAN THE 1-YEAR, 24-HOUR TYPE III STORM EVENT.
3. IF SEDIMENT OR ORGANIC DEBRIS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES TO BELOW THE DESIGN RATE, THE TOP 6 INCHES SHALL BE REMOVED AND THE SURFACE ROTO-TILLED TO A DEPTH OF 12 INCHES. THE BASIN BOTTOM SHOULD BE RESTORED ACCORDING TO ORIGINAL DESIGN SPECIFICATIONS.



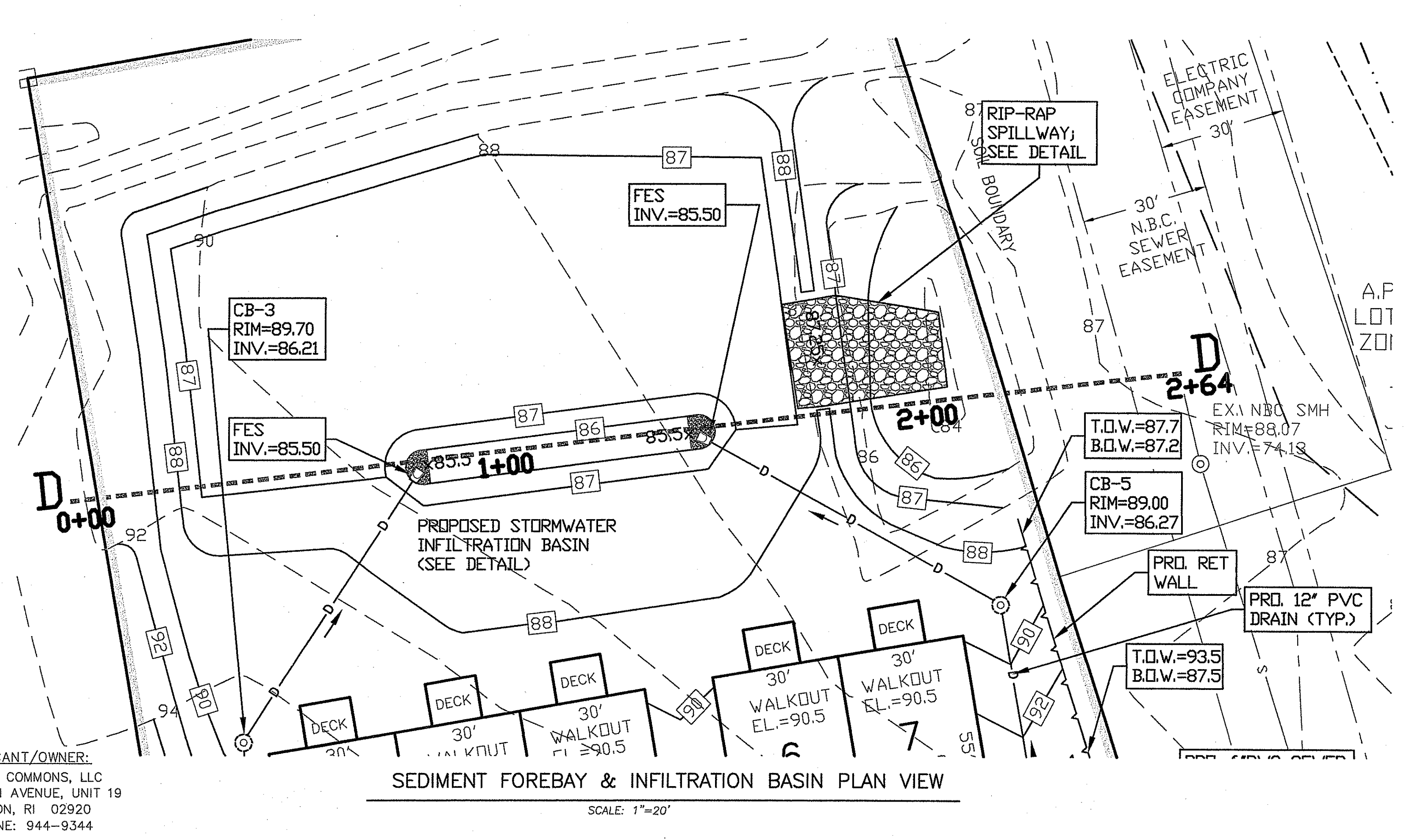
- NOTES:**
1. CLASS OF RIP-RAP AND BEDDING TO BE SPECIFIED IN CONTRACT DOCUMENTS.
 2. DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS
 3. UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.

RIP-RAP TABLE

	STONE	BEDDING
SAND FILTER #4	OUTLET PIPE 6"	MO2.02.4 / 12"
	8"	95 / 100%
	4"	0 / 25%
	2 1/2"	0 / 5%

ROCK FILL RIPRAP AT FLARED END SECTIONS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
NOTICE TO SOIL & WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL



SEDIMENT FOREBAY & INFILTRATION BASIN PLAN VIEW

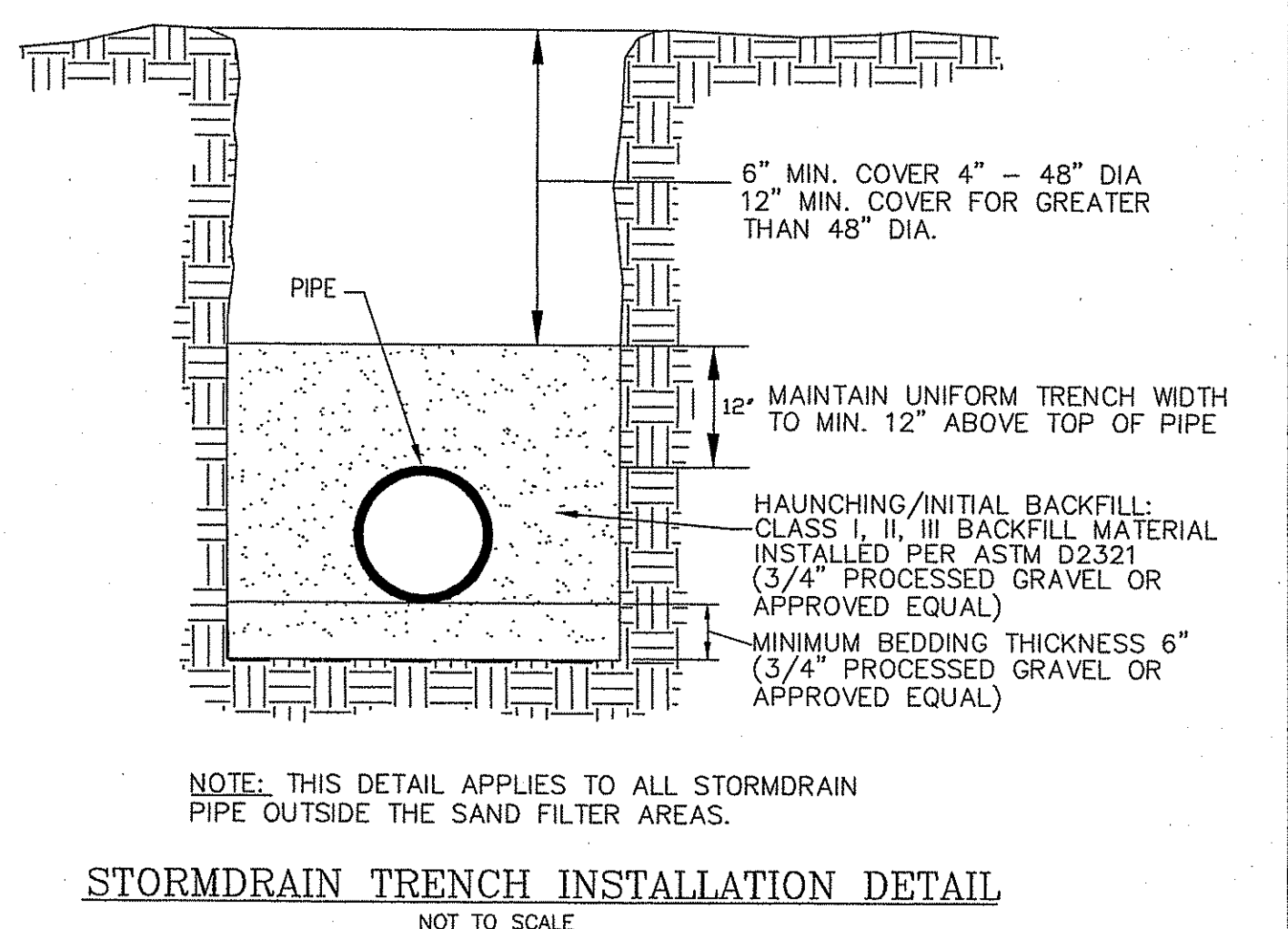
SCALE: 1"=20'

APPLICANT/OWNER:
IRON GATE COMMONS, LLC
201 HOFFMAN AVENUE, UNIT 19
CRANSTON, RI 02920
TELEPHONE: 944-9344

RECOMMENDED MINIMUM TRENCH WIDTH

PIPE DIAMETER IN. (MM)	TRENCH WIDTH IN. (M)
4 - 8 (100-200)	*
10 (250)	24 (0.6)
12 (300)	28 (0.7)
15 (375)	35 (0.9)
18 (450)	43 (1.1)
24 (600)	56 (1.4)
30 (750)	60 (1.5)
36 (900)	65 (1.7)
42 (1050)	84 (2.1)
48 (1200)	91 (2.3)
54 (1350)	97 (2.5)
60 (1500)	103 (2.6)

* USUALLY BASED ON SMALLEST BUCKET SIZE AVAILABLE



STORMDRAIN TRENCH INSTALLATION DETAIL
NOT TO SCALE

DATE: MAY 16 2016 FILE # 06-0417
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

HDPE FLARED END SECTION
NOT TO SCALE

PERMIT AGENCY REVIEW SET
PRELIMINARY PLAN SUBMISSION
BMP DETAILS

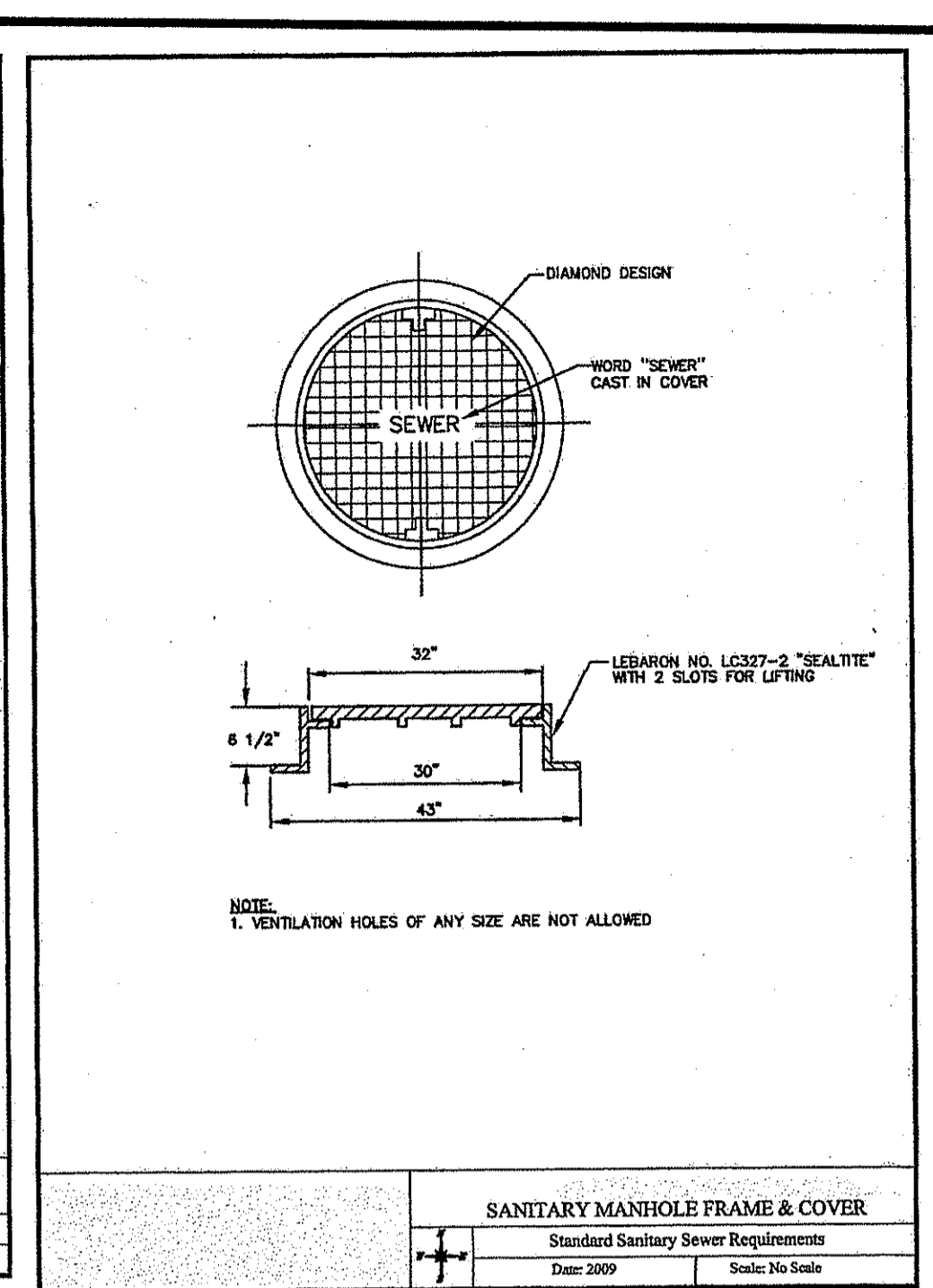
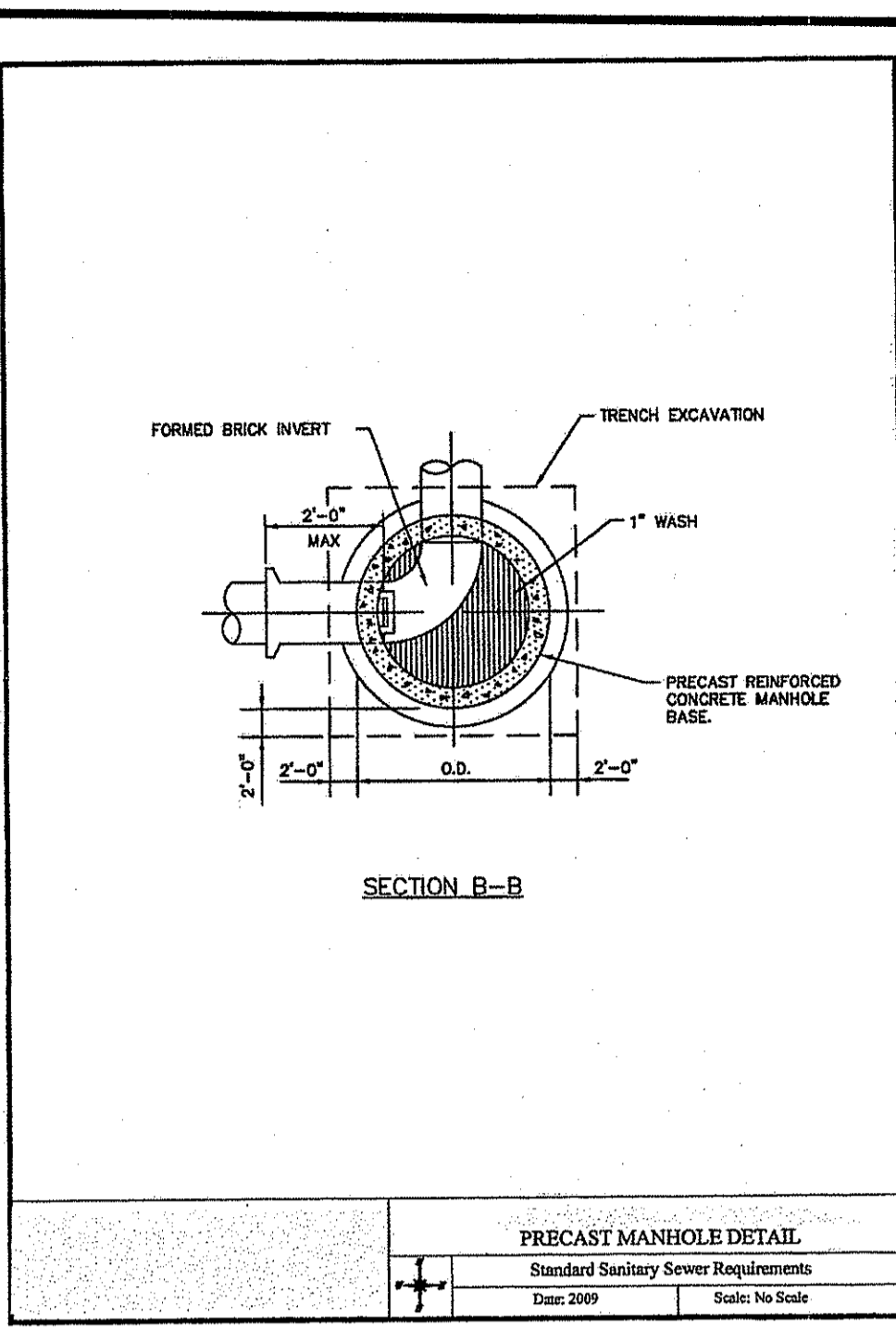
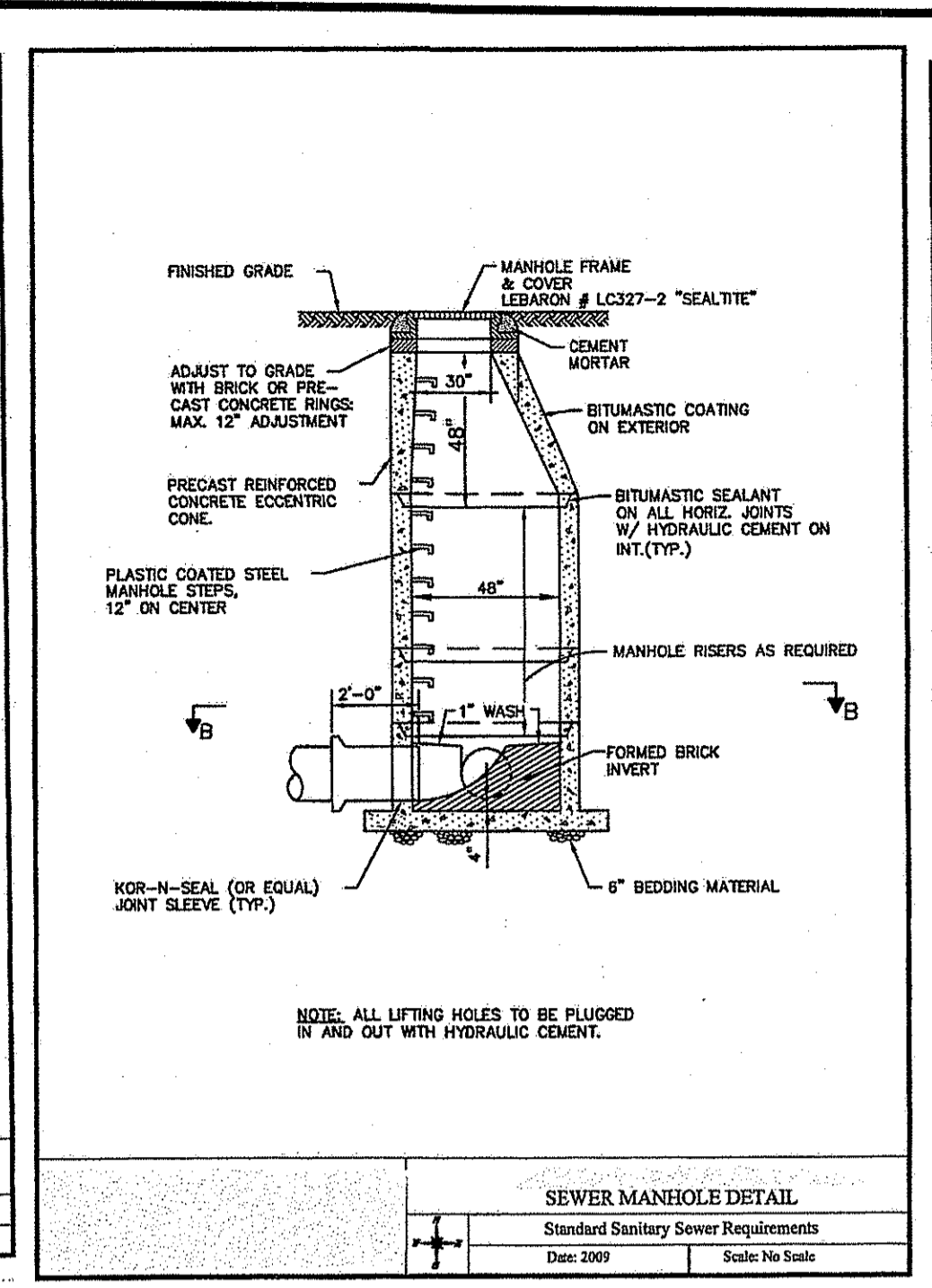
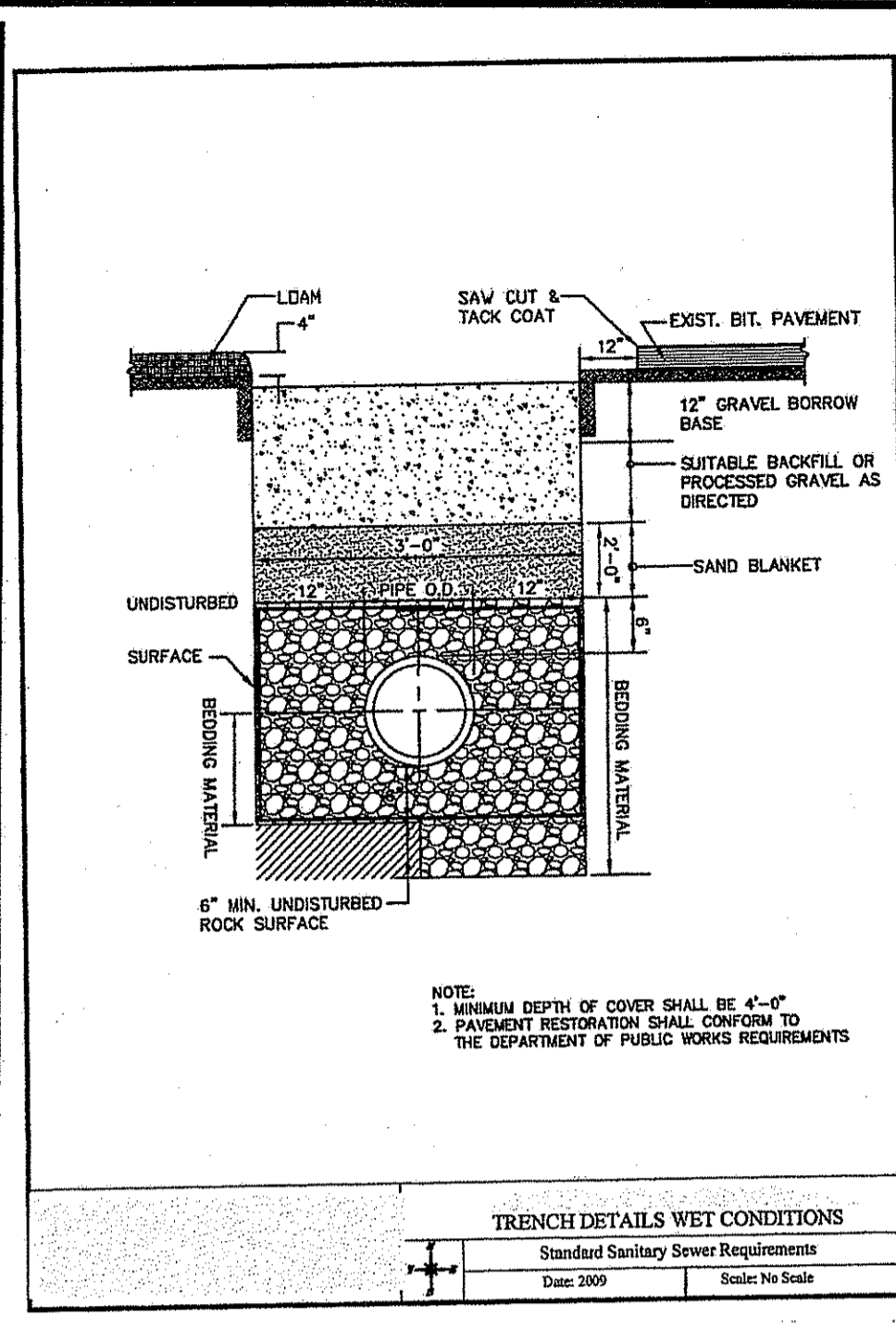
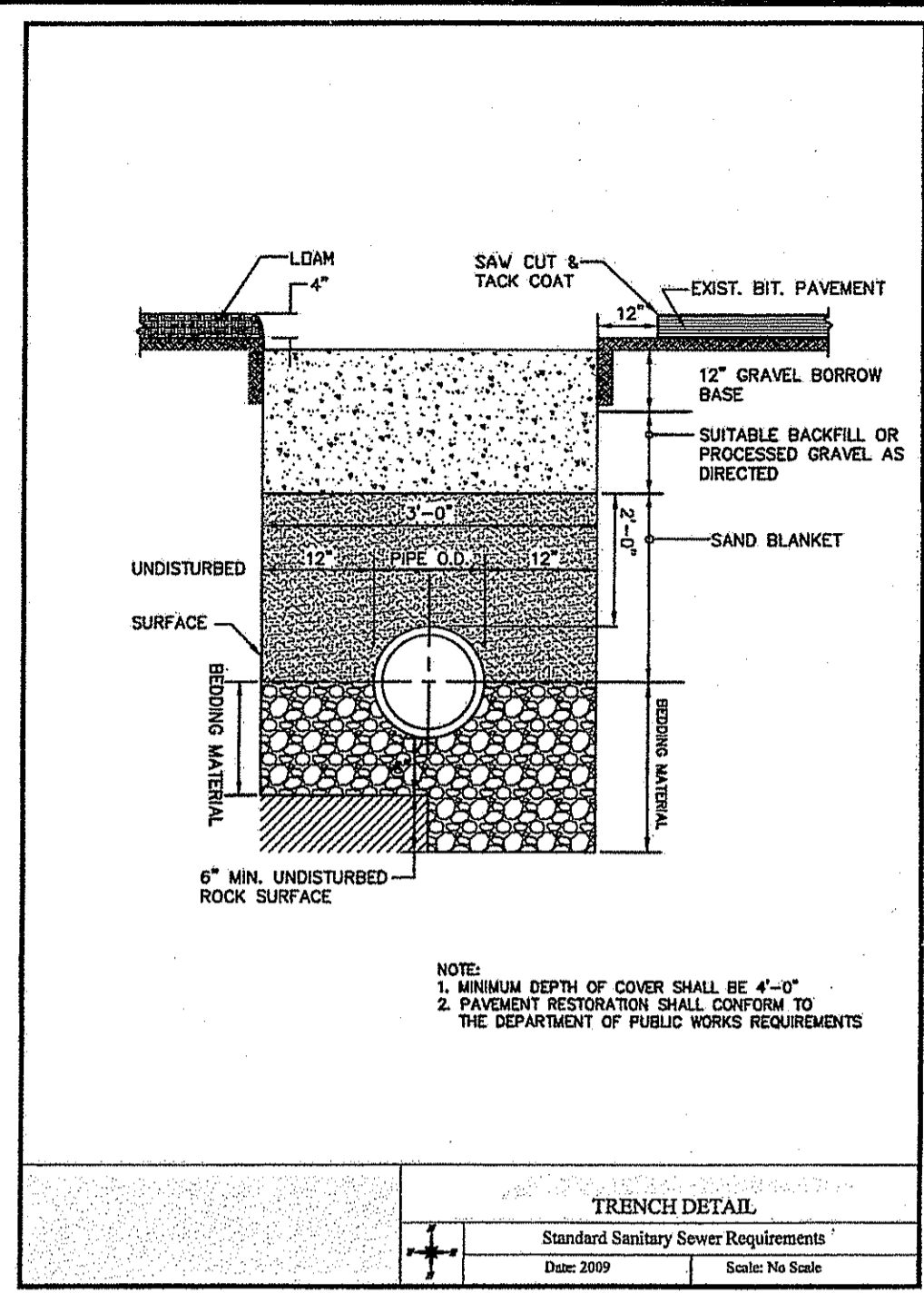
DIAMETER	PIPE DIAMETER (INCHES)				
	10/12	15	18	24	30
A	42	41	49	59.5	88
B	14.5	19	22	28	43
C	33	34	43	48	63.5
D	6	6	6	6	6

Kombiz Karbassi
REGISTERED PROFESSIONAL ENGINEER

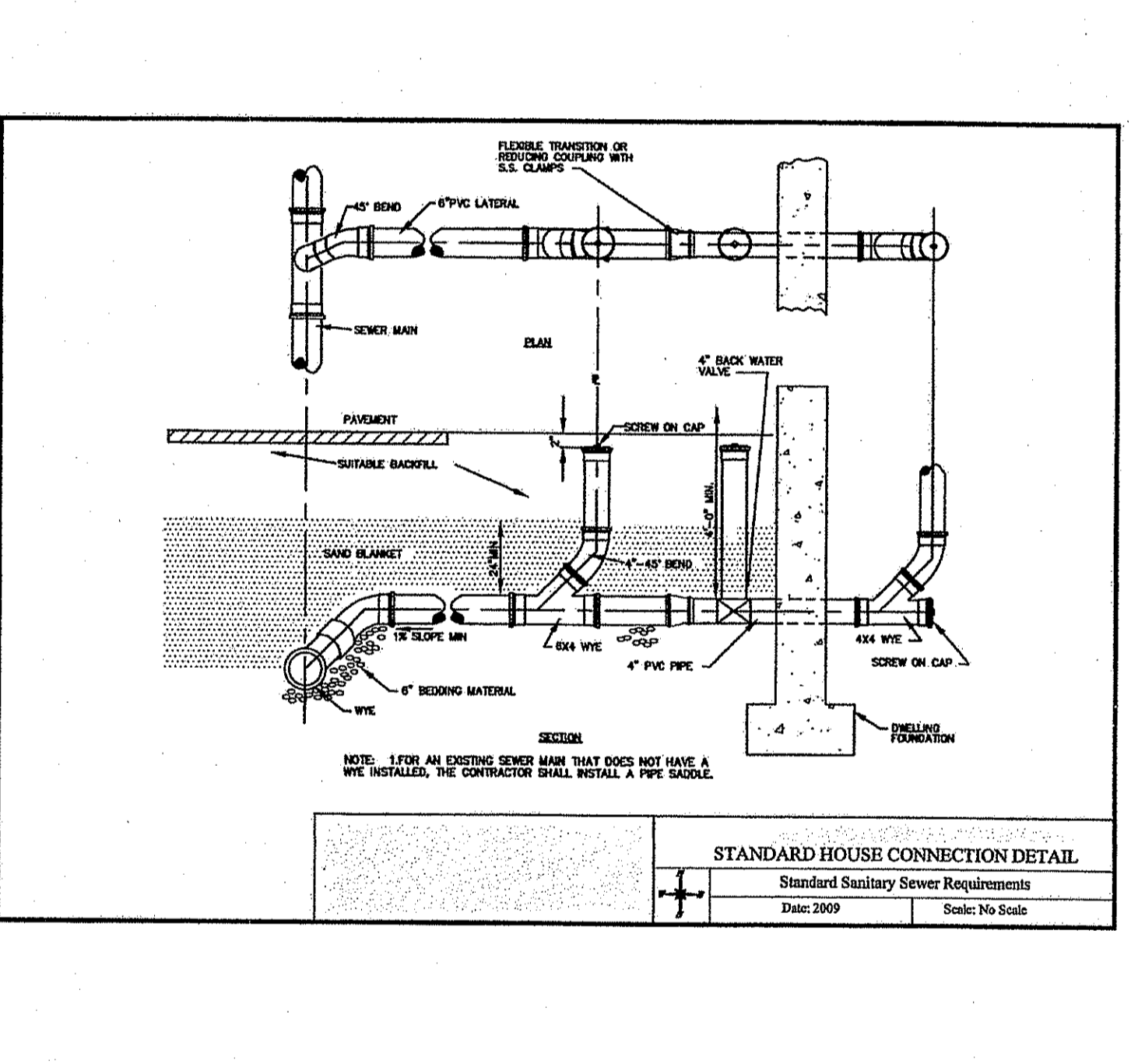
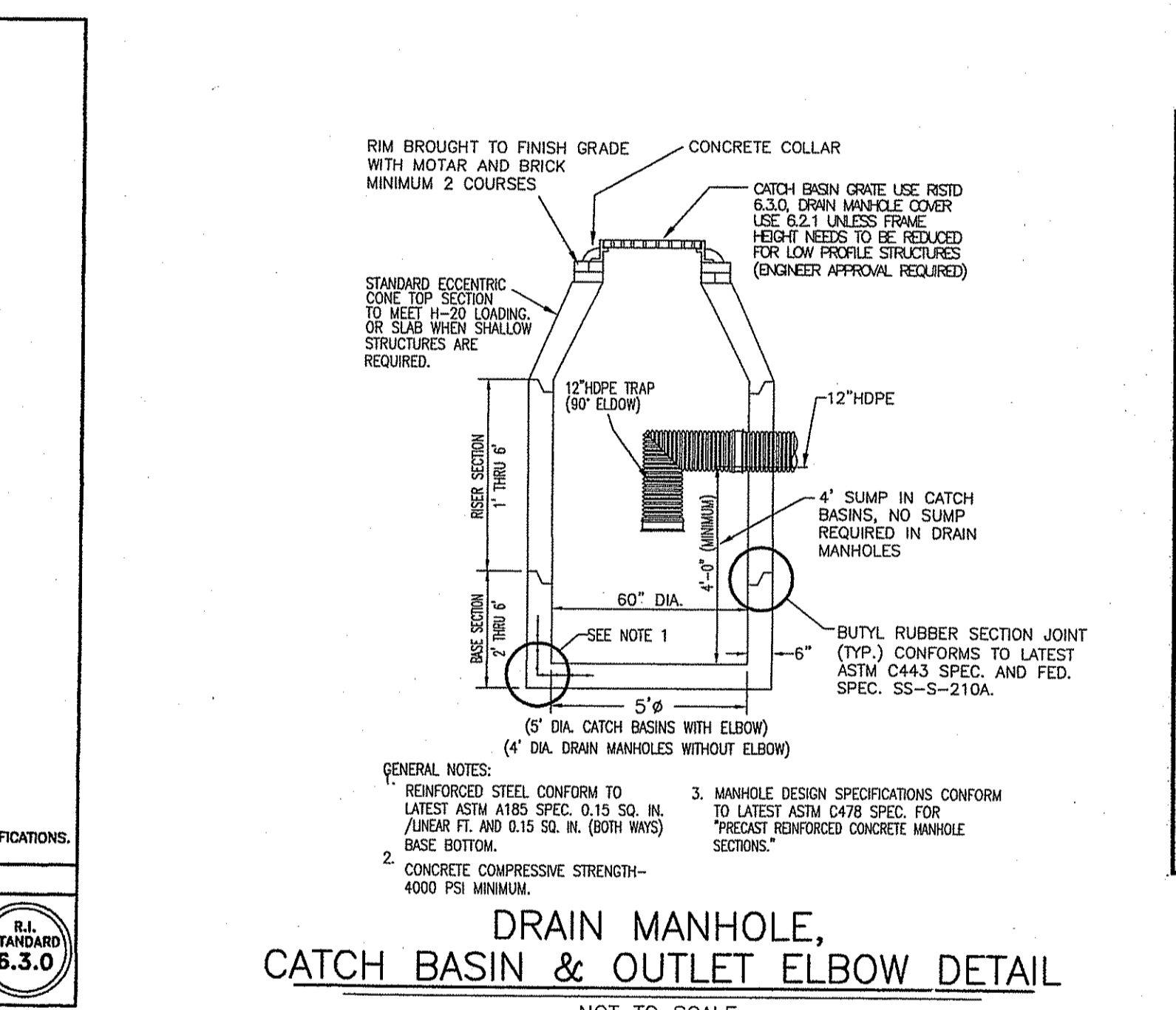
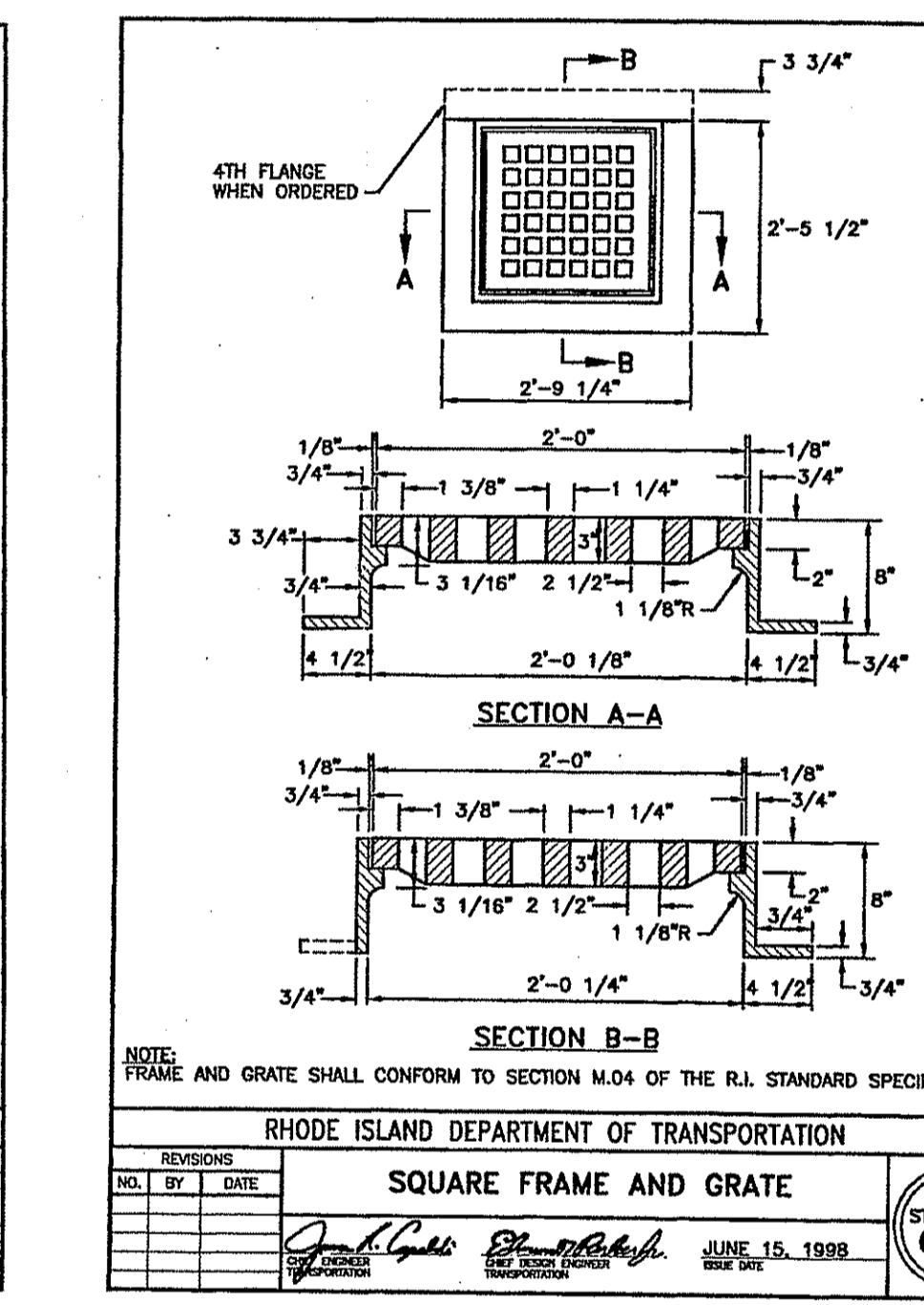
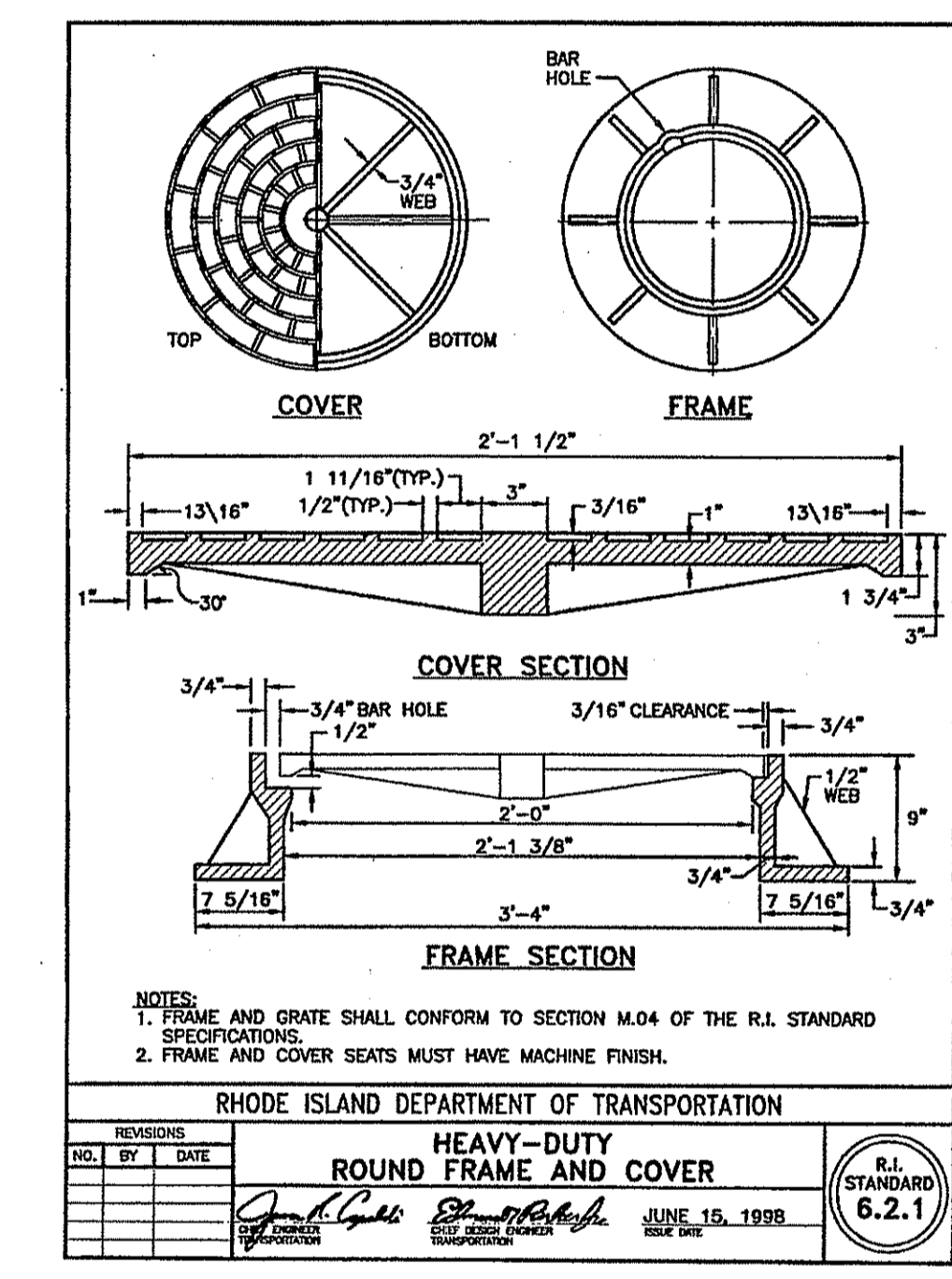
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

SITE PLAN FOR "IRON GATE COMMONS"
A.P. 35 LOT 28
LOCATION
IRONS AVENUE
JOHNSTON, RHODE ISLAND

SCALE: AS NOTED SHEET NO: 9 OF 11
DRAWN BY: DKM DESIGN BY: TJB CHECKED BY: KK
DATE: 04/05/16 PROJECT NO: 15028.00



- SEWER NOTES:**
- ALL CONSTRUCTION, MATERIALS, SPECIFICATIONS, AND PROCEDURES SHALL CONFORM WITH THE "STANDARD SANITARY SEWER REQUIREMENTS OF THE TOWN OF JOHNSTON AND NARRAGANSETT BAY COMMISSION AND ALL APPLICABLE FEDERAL, STATE AND TOWN BUILDING AND PLUMBING CODES. ANY DEVIATIONS FROM THESE PRESCRIBED PROCEDURES AND MATERIALS SHALL BE APPROVED BY THE SUPERINTENDANT BEFORE INSTALLATION. THE CONTRACTOR SHALL REVIEW SAID STANDARD PRIOR TO ANY WORK. THE SEWER AUTHORITY'S STANDARDS SUPERSEDE THESE DESIGN PLANS WHERE CONFLICTS EXIST.
 - PROTECTION OF WATER LINES:
 - HORIZONTAL SEPARATION: SEWERS SHALL BE LAID AT A MINIMUM AT LEAST 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN OR SERVICE. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, THE SEWER LINE SHALL BE CONSTRUCTED OF AWWA C900 POLYVINYL CHLORIDE PRESSURE PIPE.
 - VERTICAL SEPARATION: WHENEVER SEWERS CROSS UNDER WATER MAINS, OR SERVICES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CANNOT BE RELOCATED TO PROVIDE THIS SEPARATION THE SEWER LINE SHALL BE CONSTRUCTED OF AWWA C900 POLYVINYL CHLORIDE PRESSURE PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE WATER MAIN.
 - CLEAN-OUTS TO GRADE ON THE 6" SERVICE LINES SHALL BE INSTALLED AT EVERY FITTING OVER 22-1/2 DEGREES AND AT 75 FOOT INTERVALS. MAXIMUM BEND ON THE PRESSURE SEWER SHALL BE 22-1/2 DEGREES WITH BENDS SEPARATED BY 2 FEET WITH A SECTION OF STRAIGHT PIPE.
 - PIPE SHALL BE LAID IN THE DRY AND AT NO TIME SHALL WATER IN THE TRENCH BE PERMITTED TO FLOW INTO THE SEWER.
 - BACKFILL FROM THE CENTERLINE OF THE PIPE TO A HEIGHT OF TWO FEET ABOVE THE PIPE SHALL BE SAND BLANKET MATERIAL PLACED EVENLY THE FULL WIDTH OF THE TRENCH AND COMPACTED IN 12- INCH LAYERS. THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED EVENLY WITH SUITABLE EXCAVATED OR BORROWED BACKFILL MATERIAL AND COMPACTED IN 12-INCH LAYERS. CUSHION AND BACKFILL MATERIAL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY BY TAMPING AND COMPACTING IN LAYERS (ONE (1) FOOT MAXIMUM) TO ACHIEVE THE REQUIRED COMPACTION.
 - THE CONTRACTOR SHALL SUBMIT AN AS-BUILT DRAWING AFTER COMPLETION OF THE SERVICE CONNECTION UTILIZING DISTANCES FROM PERMANENT STRUCTURES. THE DEPTH AT THE SEWER MAIN PROPERTY LINE AND AT THE DWELLING UNIT SHALL BE RECORDED AS WELL AS TIES TO ALL CLEANOUTS AND BENDS.
 - ALL GRAVITY PIPE AND FITTINGS SHALL BE PVC SDR35 MEETING ASTM D3034 UNLESS NOTED OTHERWISE. PRESSURE SEWER PIPE SHALL BE SDR21 PVC PRESSURE PIPE WITH SDR21 PVC GASKETED JOINTS.
 - BACKFLOW PREVENTER: NOT REQUIRED FOR THIS APPLICATION (DWELLING SLAB ON GRADE CONSTRUCTION).
 - INSPECTION: ALL SEWER LINE CONSTRUCTION SHALL BE INSPECTED BY THE SEWER AUTHORITY PRIOR TO BACKFILLING.
 - TESTING: THE CONTRACTOR SHALL TEST EACH MANHOLE REACH AS SOON AS CONSTRUCTION OF SUCH REACH IS COMPLETE. THE CONTRACTOR WILL BE REQUIRED TO PERFORM THE PIPE DEFLECTION TEST ON EACH SECTION OF PIPE INSTALLED, VACUUM TEST OF MANHOLES AND TANKS AND AN INFILTRATION TEST OR LOW PRESSURE TEST AS APPLICABLE ON GRAVITY SEWERS. PRESSURE SEWERS SHALL BE HYDROSTATICALLY PRESSURE TESTED. ALL TESTING SHALL BE WITNESSED BY THE SEWER AUTHORITY. NO SEWER FLOWS ARE ALLOWED UNTIL AUTHORIZED BY THE SEWER AUTHORITY.
 - MAINTENANCE OF SEWAGE FLOWS: THE CONTRACTOR SHALL MAINTAIN SEWAGE FLOWS ON SUBJECT SITE UNTIL ALL WORK HAS BEEN ACCEPTED BY THE SEWER AUTHORITY. SEWAGE DISCHARGES OR OVERFLOWS ARE STRICTLY PROHIBITED.



TRENCH MATERIAL SPECIFICATION:

- BEDDING MATERIAL: THE BEDDING MATERIAL SHALL BE CRUSHED STONE CONSISTING OF DURABLE CRUSHED ROCK IN DURABLE CRUSHED GRAVEL STONE, FREE FROM ICE, SNOW, SAND, CLAY, LOAM, OR OTHER DELETERIOUS MATERIAL. THE CRUSHED STONE SHALL CONFORM TO THE REQUIREMENTS OF 100% PASSING THE ONE (1) INCH SCREEN, 90-100% PASSING THE THREE-QUARTER (3/4) INCH SCREEN, 10- 50% PASSING THE ONE-HALF (1/2) INCH SCREEN, 0-20% PASSING THE THREE-EIGHTHS (3/8) INCH SCREEN AND 0-5% PASSING THE NUMBER FOUR (4) SIEVE.
- SAND BLANKET: THE SAND SHALL BE FREE FROM ICE, SNOW, ROOTS, RUBBISH, AND OTHER DELETERIOUS OR ORGANIC MATTER. THE SAND BLANKET SHALL CONFORM TO 22 THE REQUIREMENTS OF 100% PASSING ONE-HALF (1/2) INCH SCREEN, 85-100% PASSING THE THREE-EIGHTHS (3/8) INCH SCREEN, 60-85% PASSING THE NUMBER FOUR (#4) SIEVE, 35-60% PASSING THE NUMBER SIXTEEN (#16) SIEVE, 10-35% PASSING THE NUMBER FIFTY (#50) SIEVE AND 2-10% PASSING THE NUMBER ONE-HUNDRED (#100) SIEVE.
- BACKFILL: BACKFILL SHALL BE EXCAVATED MATERIALS FREE-DRAINING CLEAN GRANULAR SOIL SUITABLE FOR BACKFILL UP TO 20 PERCENT OF BACKFILL MATERIAL MAY BE ROCK-LIKE MATERIALS NOT TO EXCEED 0.05 CUBIC FEET IN VOLUME, NOR MORE THAN 6 INCHES IN LENGTH. THE BACKFILL SHALL NOT CONTAIN ANY DEBRIS, PAVEMENT, FROZEN MATERIAL, ORGANIC MATTER, OR PEAT.

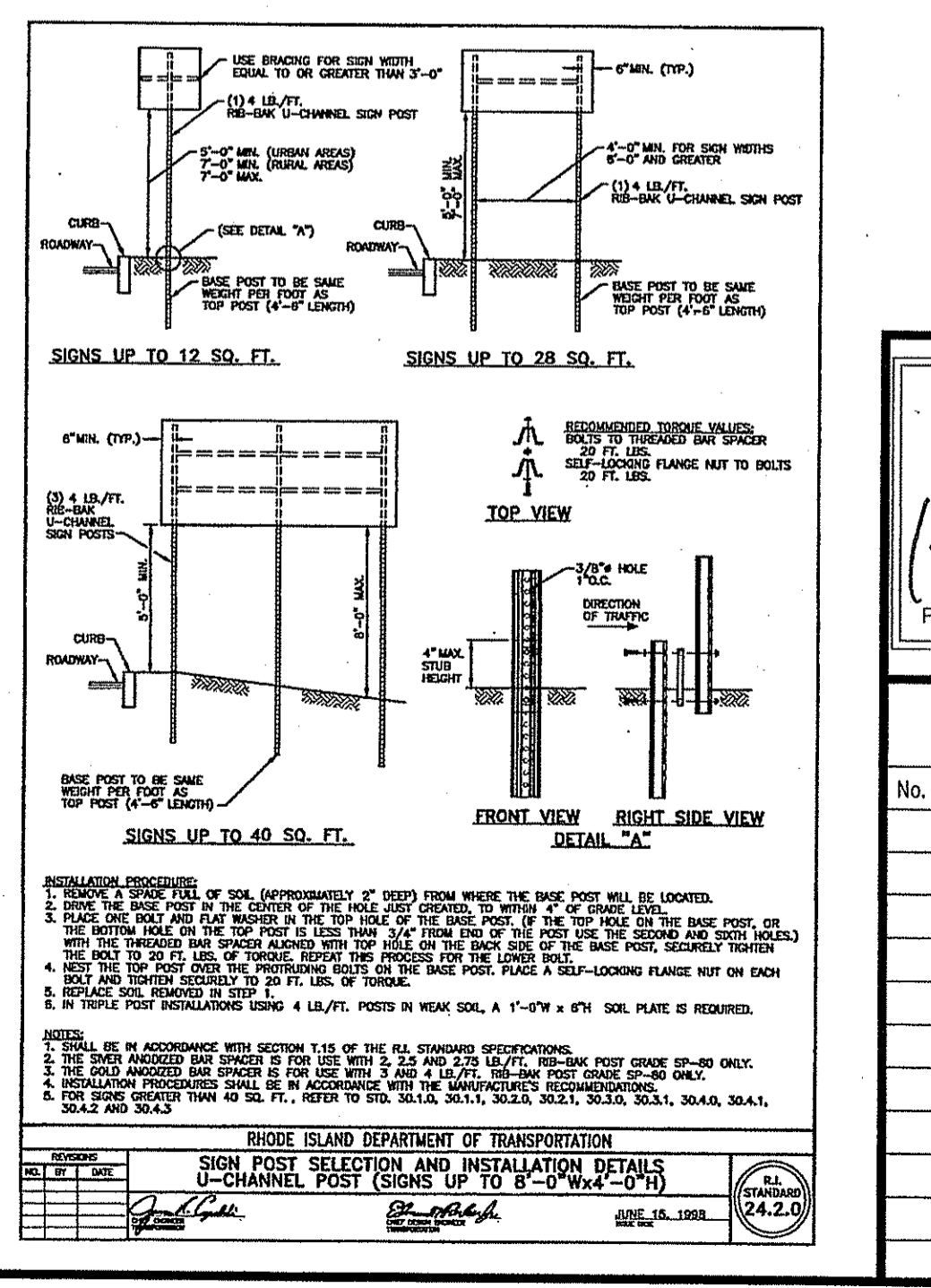
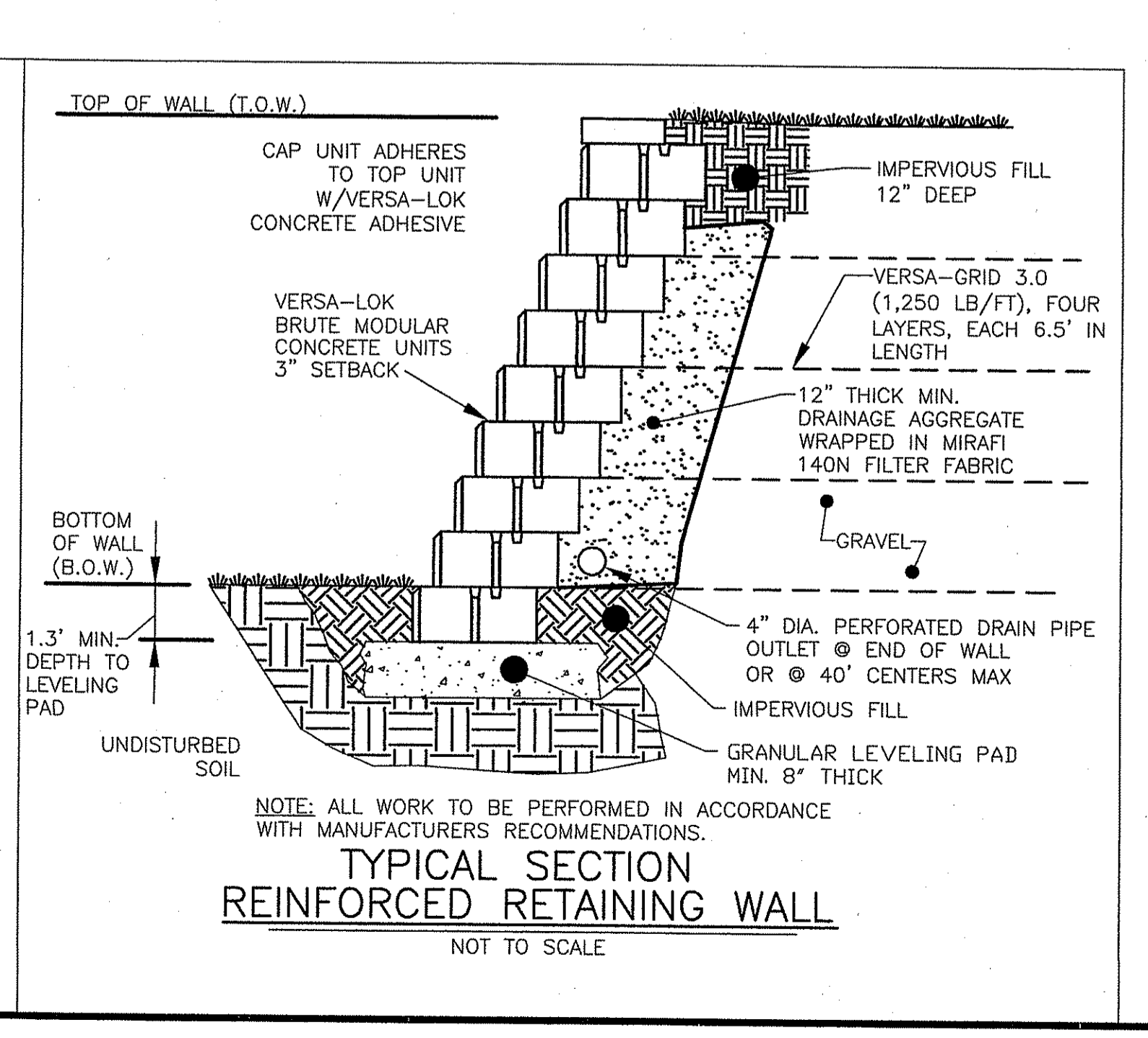
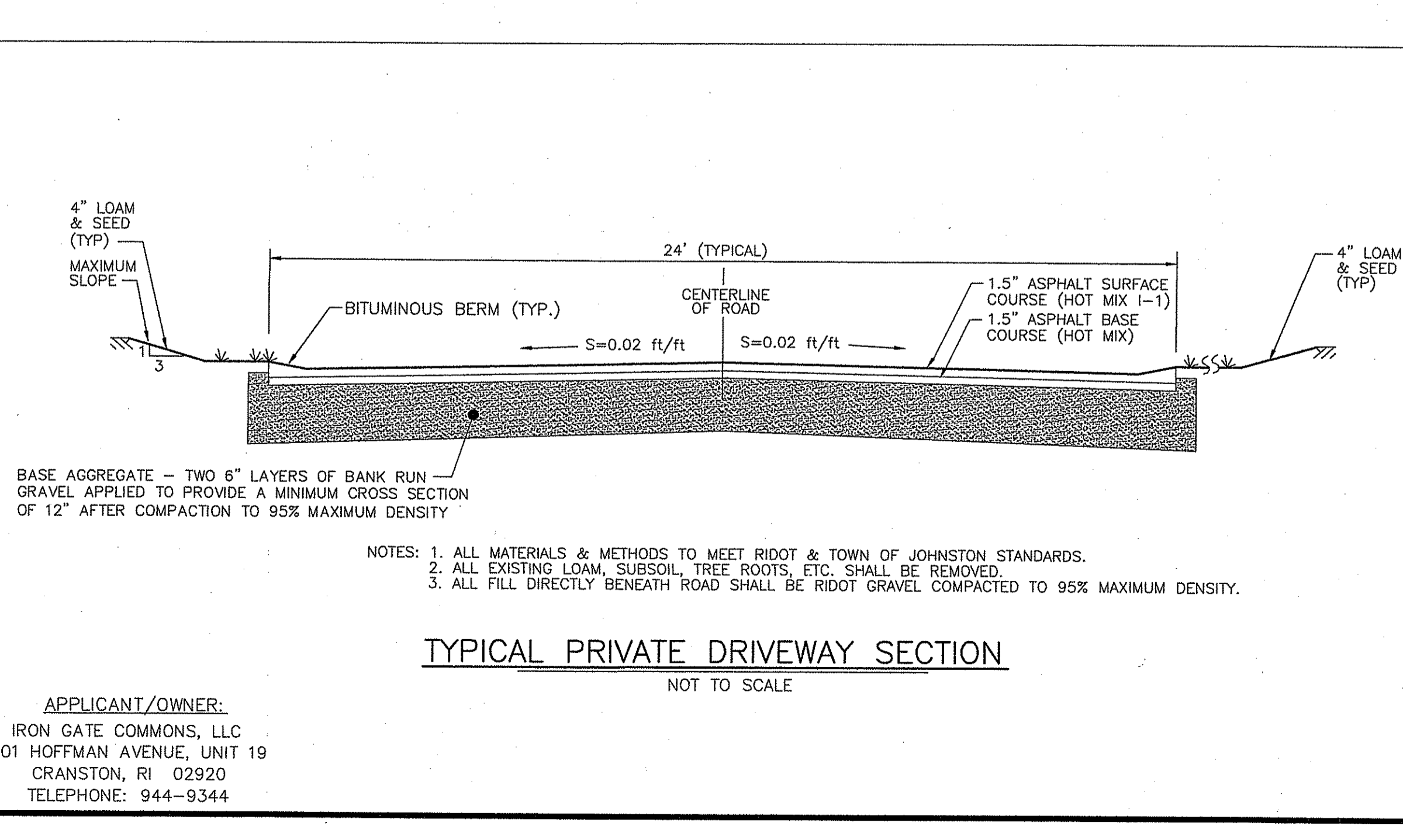
LEGEND

COLOR	BACKGROUND	COPY	WHITE
SIGN DIMENSION	WIDTH	HEIGHT	24" 30" 36" 48"

STOP SIGN DETAIL

NOTE: 1. A 30" STOP SIGN AND POST SHALL BE PROVIDED AT EACH INTERSECTION.

RA STANDARD 27.1.0



PERMIT AGENCY REVIEW SET
PRELIMINARY PLAN SUBMISSION
CONSTRUCTION DETAILS

Kambiz Karbassi
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-773-6600

SITE PLAN
FOR
"IRON GATE COMMONS"
A.P. 35 LOT 28
LOCATION
IRONS AVENUE
JOHNSTON, RHODE ISLAND

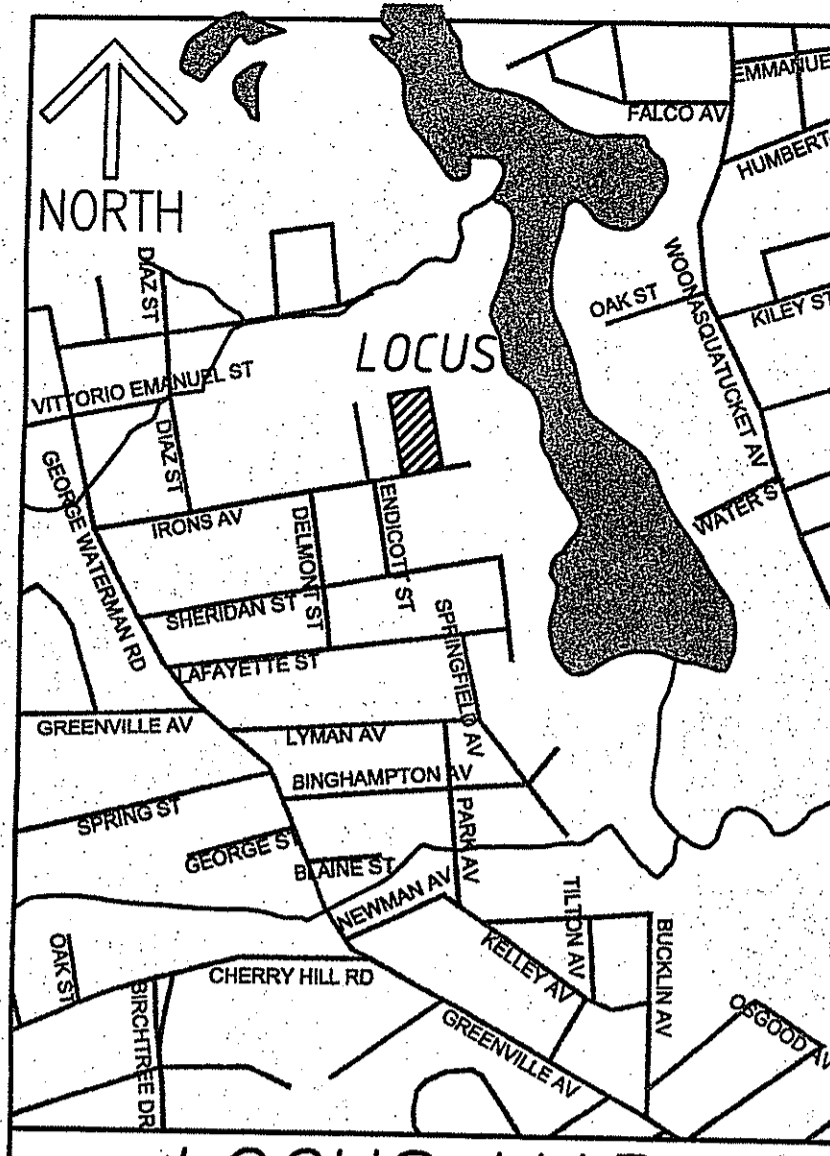
SCALE: AS SHOWN SHEET NO: 10 OF 11
DRAWN BY: DKM DESIGN BY: TB CHECKED BY: KK
DATE: 04/05/16 PROJECT NO.: 15028.00

APPLICANT/OWNER:
IRON GATE COMMONS, LLC
201 HOFFMAN AVENUE, UNIT 19
CRANSTON, RI 02920
TELEPHONE: 944-9344

NOTES: 1. ALL MATERIALS & METHODS TO MEET RIDOT & TOWN OF JOHNSTON STANDARDS.
2. ALL EXISTING LOAM, SUBSOIL, TREE ROOTS, ETC. SHALL BE REMOVED.
3. ALL FILL DIRECTLY BENEATH ROAD SHALL BE RIDOT GRAVEL COMPACTED TO 95% MAXIMUM DENSITY.

NOTE: ALL WORK TO BE PERFORMED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

RA STANDARD 24.2.0
SIGN POST SELECTION AND INSTALLATION DETAILS
U-CHANNEL POST (SIGNS UP TO 8'-0" Wx4'-0" H)
DATE: JUNE 15, 1998



LOCUS MAP
SCALE: 1"=600'

LEGEND

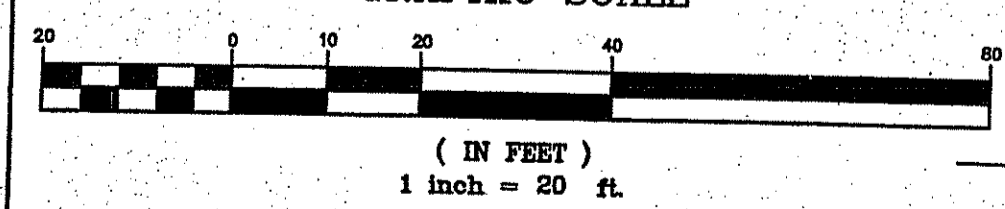
SYMBOL	DESCRIPTION
EXIST. M.H.	SANITARY MANHOLE
PROP. M.H.	SANITARY SEWER CLEANOUT
S	SANITARY SEWER
SC	SEWER SERVICE CONNECTION
FM	SANITARY FORCE MAIN
SM	STORM WATER MANHOLE
SCB	STORM WATER CATCHBASIN
SW	STORM WATER SEWER
WV	WATER VALVE
TC	TOPOGRAPHIC CONTOUR
TB	THRUST BLOCK
WCS	WATER CURB STOP
FH	FIRE HYDRANT
WM	WATER MAIN
GV	GAS VALVE
GM	GAS MAIN
UP	UTILITY POLE
T	TREE
---	PROPERTY LINE

AP 35 LOT 212
N/F MICHAEL A PEZZA
ZONED I

FLOOD DATA:
ENTIRE PARCEL IS LOCATED IN A ZONE X
ON FIRM COMMUNITY PANEL 440018 0010 C
DATED NOVEMBER 17, 1993

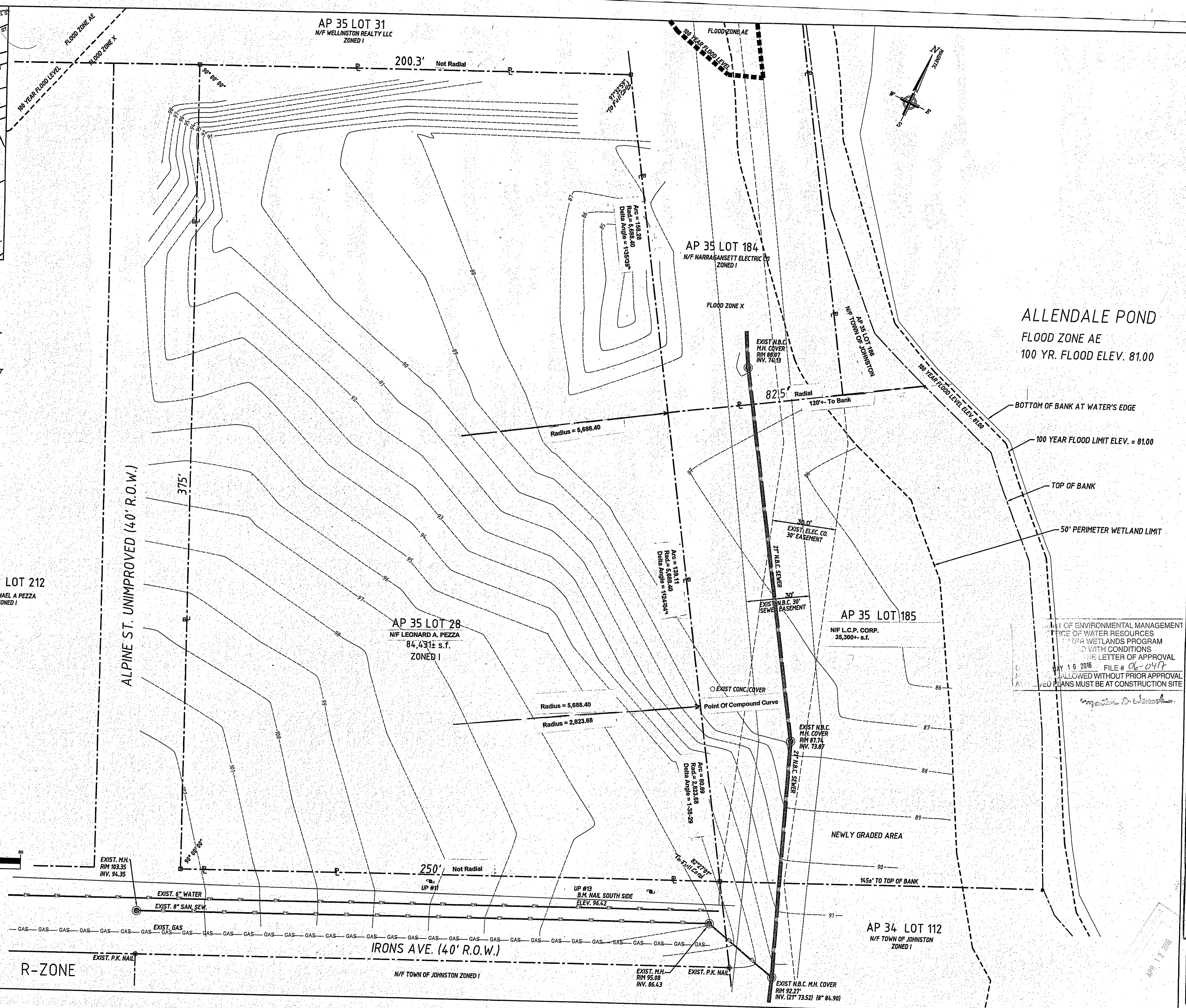
ZONING DATA
ZONE - INDUSTRIAL
FRONT SETBACK - 50'
SIDE YARD SETBACK - 50'
REAR YARD SETBACK - 50'
MAXIMUM COVERAGE - 40%
SETBACK TO RESIDENTIAL ZONE - 100'
MAXIMUM BUILDING HEIGHT - 35'

GRAPHIC SCALE



STREET INDEX

This plan to be indexed under the following streets:
IRONS AVENUE
ALPINE STREET



PLAN SHOWING SURVEY OF LOTS 28 AND 185 OF JOHNSTON A.P. 35 LOCATED AT EASTERLY END OF IRONS AVE.

ALEXANDER A. SCINIO
Professional Land Surveyor
No. 12345
Date: 12-20-16

Mark	Description	Date

OFFICE OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
STATE WETLANDS PROGRAM
WITH CONDITIONS
LETTER OF APPROVAL
MAY 16 2016 FILE # 06-047
ALLOWED WITHOUT PRIOR APPROVAL
REVISED PLANS MUST BE AT CONSTRUCTION SITE

This Survey is subject to all laws, rules and regulations of the State of Rhode Island and the Federal Government.
No part of this Survey shall be used for any purpose other than that for which it was prepared.
ALEXANDER A. SCINIO
Professional Land Surveyor
No. 12345
Date: 12-20-16

We Are
Land Surveying
Land Development
Final Development
Construction Layout

On Target

Alexander And Associates
590 Douglas Avenue
Providence, RI 02908
Phone: 401-265-1028
Cell: 401-265-5656

SHEET REFERENCE NUMBER SURVEY