

Site Plans

Issued for: **Permitting**

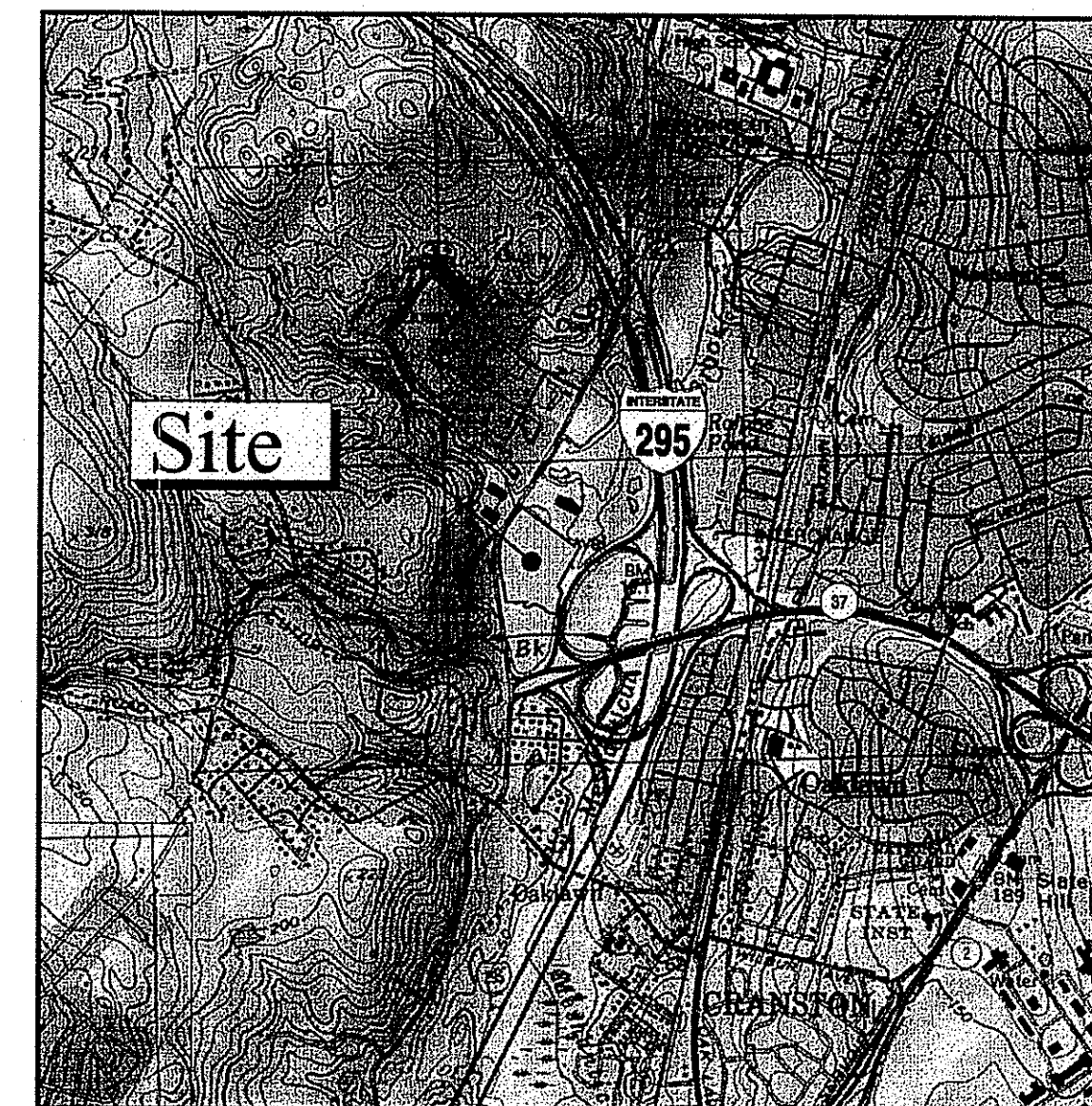
Date Issued: April 21, 2008

Latest Issue: July 23, 2008

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Phenix Terrace

950 Phenix Avenue
Cranston, Rhode Island



Site Location Map



0 1000 2000 Feet

Property Information

Owner/Applicant:
Delbonis Sand Gravel Co. C/O Eustace Pliakas
10 Weybosset Street
Providence, RI 02903

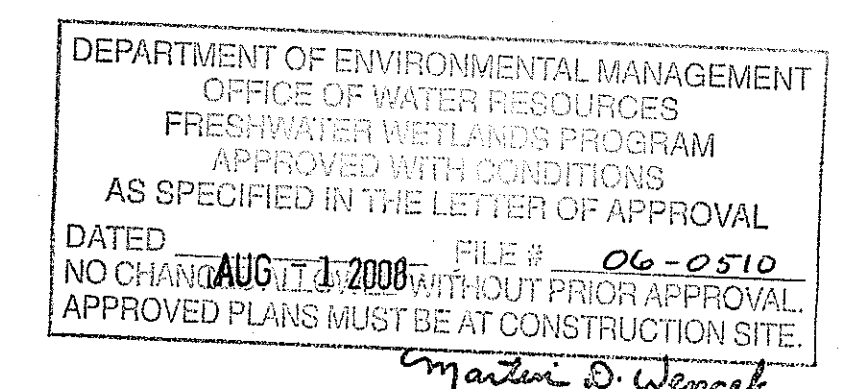
Developer:
Edward A. Fish Associates, LLC
536 Granite Street
Braintree, MA 02184
781-380-1600



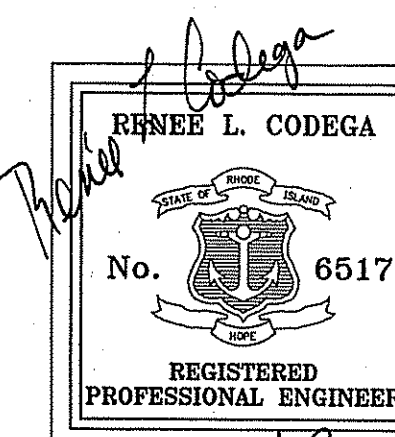
Assessor's Plat: 19/1
Lot: 3

Site Lighting Consultant:
Larry Farrer
Engineering Advantage, Inc.
2 Park Street
Boston, MA 02122
617-288-3969

Sanitary Sewer Design Consultant:
Peter Alviti
Hudson Place Associates
1296 Narragansett Boulevard
Cranston, RI 02905
401-785-3535



Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services
10 Dorrance Street, Suite 400
Providence, Rhode Island 02903
401 272 8100 • 401 273 9694



JUL 24 2008

VHB Project No. 72094.00
950 Phenix Avenue, Cranston, RI
Issued for: Permitting

THESE NOTES PROVIDE A GENERAL OUTLINE OF THE SEQUENCE OF CONSTRUCTION ACTIVITIES THAT MAY BE UNDERTAKEN TO COMPLETE THE WETLAND RESTORATION AND CULTURE REPLACEMENT. CONSTRUCTION ACTIVITIES INCLUDE: INSTALLATION, INSPECTION, AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS; EXCAVATION TO REMOVE FILL, SEDIMENT, AND NATIVE EARTH MATERIALS TO CREATE STREAM CHANNEL; GRADING TO CREATE STABLE SLOPES AND SPREAD PLANTABLE SOILS; APPLICATION OF RESTORATION SEED MIXES AND PROTECTIVE MULCH PRODUCTS; AND THE PLANTING OF TREES, SHRUBS AND HERBACEOUS PLANTS. THESE NOTES ARE NOT MEANT TO SPECIFY THE METHODS OR MEANS THAT THE CONTRACTOR IS TO USE TO COMPLETE THE PROJECT.

- ## Abbreviations

Utility

General

- ## Utilities

- ### Notes:

Layout and Materials

1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURB RADI ARE 3 FEET UNLESS OTHERWISE NOTED.
3. CURBING SHALL BE PCC WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO EXISTING DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
7. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY TO SCALE. FOR THE PURPOSE OF THE PLANS AND LOCATIONS ON THE DRAWINGS, THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
8. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA SHEETS THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Demolition

1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING TREES, FOUNDATIONS AND UNSUBSISTENT BENCH AND FOR A DISTANCE OF 10 FEET BEFORE THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
3. CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

Erosion Control

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

- EXISTING CONDITIONS PLAN WAS PREPARED BY CATALDO ASSOCIATES, INC.
- A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: NATURAL RESOURCES SERVICES, INC.
- B. FLAGS MARKING THE WETLANDS WERE FIELD LOCATED.
- C. GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM LAHLAF GEOTECHNICAL CONSULTING, INC. 978-330-5912.

Long-Term Stormwater Maintenance Program

- ▶ DEEP-SUMP HOODED CATCH BASIN.
 - AFTER CONSTRUCTION IS COMPLETED, CLEAN ALL EXISTING CATCH BASINS IN THE VICINITY OF THE WORK. THE OWNER SHALL REMOVE AND DISPOSE OF ACCUMULATED GRIT AND OIL IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IN THE CASE OF AN OIL SPILL OR BULK POLLUTANT RELEASE, THE SYSTEM SHOULD BE CLEANED AND THE RIDEN DIRECTION OF SITE REMEDIATION SHOULD BE NOTIFIED IMMEDIATELY.
 - FOR THE FIRST THREE MONTHS AFTER CONSTRUCTION, INSPECT EACH BASIN AFTER STORMS GREAT THAN 0.5 INCHES IN 24 HOURS AND IDENTIFY ANY POTENTIAL OBSTRUCTIONS. FOLLOWING THIS, INSPECT EACH CATCH BASIN EVERY SPRING AND FALL. THEREAFTER, REMOVE TRAPPED SEDIMENTS OR FLOATING OILS. REMOVE SEDIMENTS WHEN THE DEPTH OF DEPOSITS IS GREATER THAN OR EQUAL TO ONE HALF THE DEPTH FROM THE BOTTOM OF THE INVERT OF THE LOWEST PIPE IN THE BASIN. REMOVE FLOATING OIL OR DEBRIS AT LEAST ONCE PER YEAR.
- ▶ INFILTRATION BASINS, RAIN GARDENS AND VEGETATED SWALES.
 - IF PRESENT, SEDIMENT SHALL BE REMOVED FROM THE BASINS FOLLOWING VEGETATIVE STABILIZATION. ALL OUTLET STRUCTURES MUST BE INSPECTED WEEKLY AND AFTER EACH RAINFALL. FOR THE FIRST THREE MONTHS AND EVERY SPRING AND FALL THEREAFTER, SEDIMENT SHALL BE REMOVED FROM EACH BASIN AND VEGETATED SWALES WHEN THE SEDIMENT IS SIX INCHES DEEP. SEDIMENT SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH ENVIRONMENTAL REGULATIONS.
 - THE INFILTRATION BASINS MUST BE INSPECTED AFTER EVERY STORM EVENT FOR THE FIRST THREE MONTHS TO ENSURE THE BASINS ARE STABILIZED AND FUNCTIONING. THEREAFTER, INSPECT THE INFILTRATION BASINS EVERY SPRING AND FALL. ITEMS TO CHECK AND CORRECT IMMEDIATELY INCLUDE SIGNS OF DIFFERENTIAL SETTLING, CRACKING, EROSION, LEAKAGE IN EMBANKMENTS, TREE GROWTH, CONDITION OF RIPRAP, SEDIMENT ACCUMULATION, TRASH AND DEBRIS AND HEALTH OF TUL. SEDIMENT REMOVAL FROM THE BASINS MUST BE PERFORMED USING LIGHT EQUIPMENT. DEEPLY TILL THE AREA OF SEDIMENT REMOVAL AND REVEGETATE IMMEDIATELY.
 - THE BASIN BOTTOM AND SIDESLOPES MUST BE MOVED EVERY SPRING AND FALL. THE GRASS CLIPPINGS MUST BE REMOVED.
 - ANY POOLS OF WATER SHOULD BE NOTED AND IT RELATED TO SCOUR, ANY ERODED AREAS SHALL BE REPAIRED WITH LOAM SOIL AND EROSION CONTROL PLANTINGS. NECESSARY EARTH REPAIR AND/OR RESEEDING WILL BE PERFORMED IMMEDIATELY UPON VERIFICATION.
 - DETENTION BASINS CONSTRUCTED IN FORESTED AREAS WILL REQUIRE REMOVAL OF TREES WITHIN 10 FEET OF CONSTRUCTED BERMS.
 - SLOPE EMBANKMENTS SHALL BE INSPECTED QUARTERLY TO ENSURE BURROWING ANIMALS ARE NOT DAMAGING THE STRUCTURAL INTEGRITY OF THE BERM.

➤ DUMPSTER ENCLOSURES.

- INSPECTIONS SHOULD BE ROUTINELY INSPECTED FOR SPILLS. REMOVE ALL TRASH LITTER FROM THE ENCLOSURE AND DISPOSE OF PROPERLY.
- STONE OUTLET PROTECTION.
- INSPECT ALL OUTFALLS EVERY SPRING AND FALL. REMOVE DEBRIS, SUCH AS ACCUMULATED SANDS OR LEAVES. REPAIRS TO INLET AND OUTLET STRUCTURES MUST BE COMPLETED WITHIN 30 DAYS OF INSPECTIONS NOTING THE DEFICIENCIES.

➤ OTHER

- PROHIBIT FROM UP AND REMOVE LITTER FROM THE PARKING AREAS, ISLANDS AND PERIMETER LANDSCAPE AREAS.

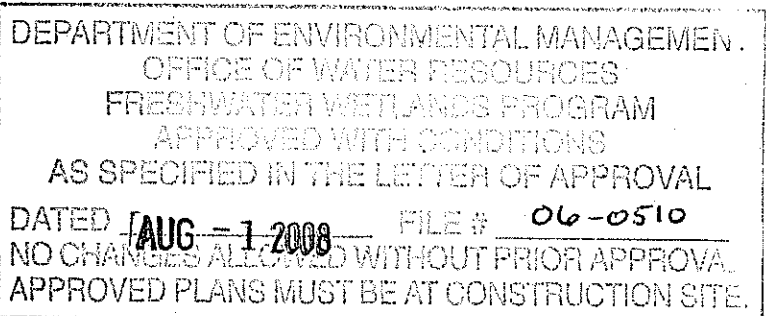


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Edward A. Fish Associates, LLC



1	Per RIDEM Comments	7/23/08	
a.	Revision	Date	Appvd.
Assigned by	Drawn by	Checked by	
AD checked by	Approved by		
Code None	Date April 21, 2008		

Phoenix Terrace Residential Development

50 Phenix Avenue
Cranston, Rhode Island

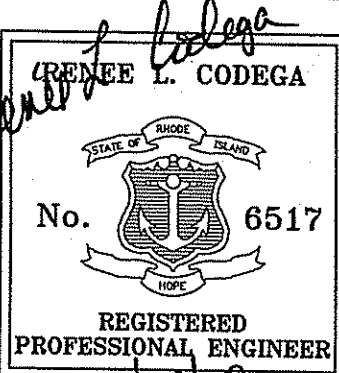
Permitting

Following Title

Legend and General Notes

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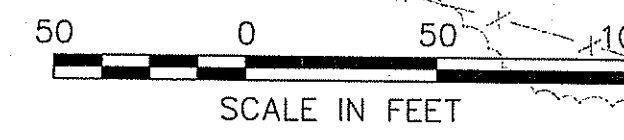
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Sheet 1 of 7

Project Number
72094.00




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 **EA Fish**
ASSOCIATES

Edward A. Fish Associates, LLC

[illegible]

Phenix Terrace Residential Development

950 Phenix Avenue
Cranston, Rhode Island

JUL 24 2008

Project Number

Sheet 2 of 7

Project Number

72094.00

72094.00-PLOT.dwg



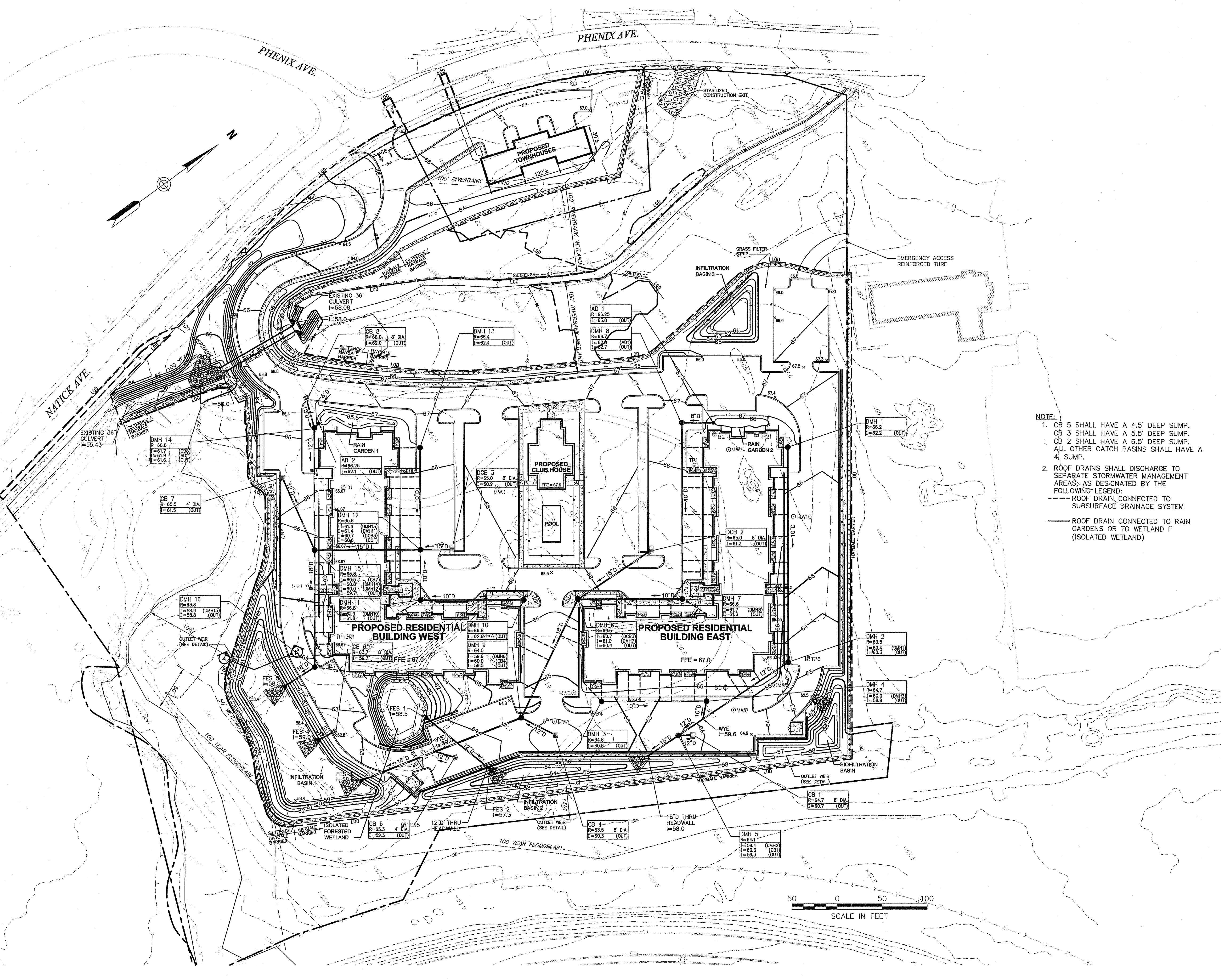
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Edward A. Fish Associates, LLC



- NOTE:
1. CB 5 SHALL HAVE A 4.5' DEEP SUMP.
CB 3 SHALL HAVE A 5.5' DEEP SUMP.
CB 2 SHALL HAVE A 6.5' DEEP SUMP.
ALL OTHER CATCH BASINS SHALL HAVE A 4' SUMP.
 2. ROOF DRAINS SHALL DISCHARGE TO SEPARATE STORMWATER MANAGEMENT AREAS, AS DESIGNATED BY THE FOLLOWING LEGEND:
--- ROOF DRAIN CONNECTED TO SUBSURFACE DRAINAGE SYSTEM
--- ROOF DRAIN CONNECTED TO RAIN GARDENS OR TO WETLAND F (ISOLATED WETLAND)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG - 1 2008 FILE # 06-0510
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Martin D. Weneck

1	Per RIDEM Comments	7/23/08	
No.	Revision	Date	Appr.
Designed by	Drawn by	Checked by	
CAD checked by		Approved by	
Scale 1"=50'		Date	April 21, 2008
Project Title			

Phenix Terrace
Residential Development

950 Phenix Avenue
Cranston, Rhode Island

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Drawing Title

Grading and
Drainage Plan

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72094.00

Drawing Number
C-3

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Edward A. Fish Associates, LLC

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Jonathan D. Wenczek

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1	Per RIDEM Comments	7/23/08
No.	Revision	Date
Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=50'	Date April 21, 2008	
Project Title		

Phenix Terrace
Residential Development

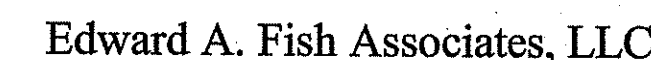
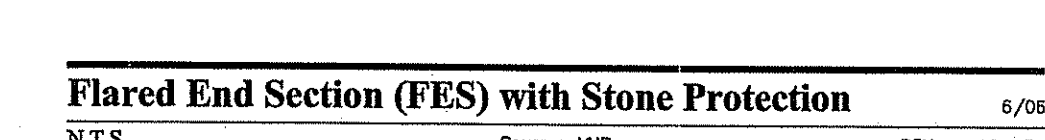
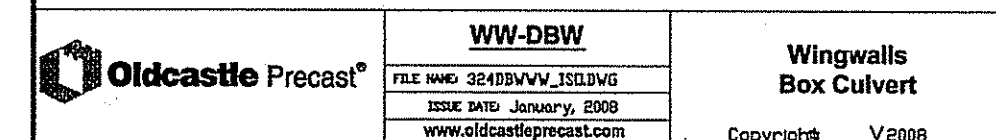
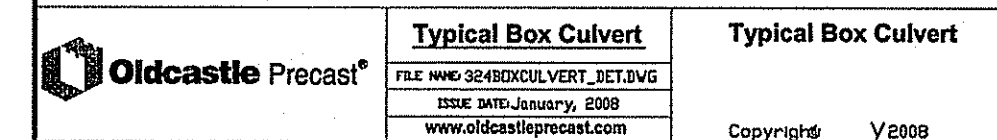
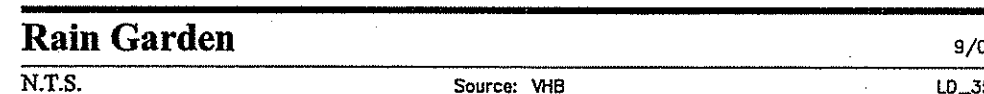
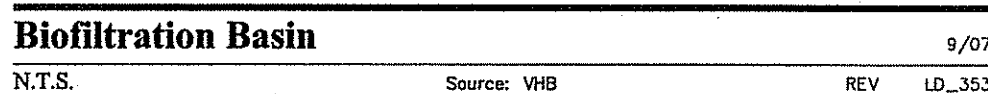
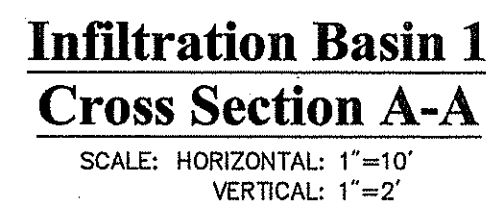
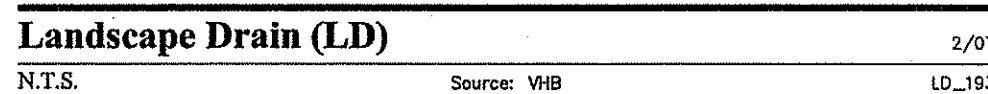
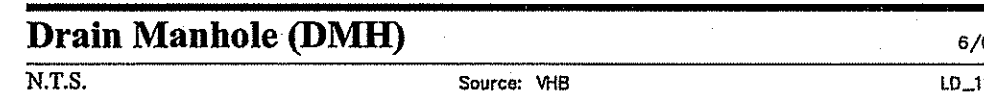
950 Phenix Avenue
Cranston, Rhode Island
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Drawing Title

Utility Plan

JUL 24 2008
Drawing Number
C-4
No. 6517
Sheet 4 of 7
Project Number 72094.00
REGISTERED PROFESSIONAL ENGINEER
7/23/08



Martin D. Wenzel

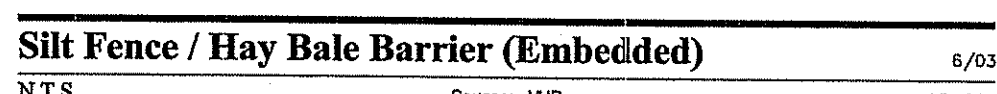
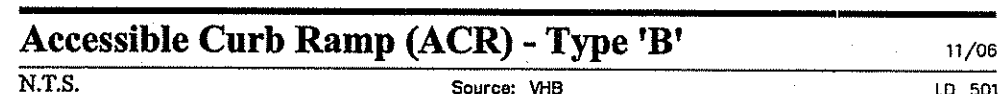
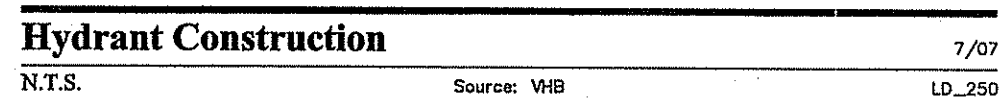
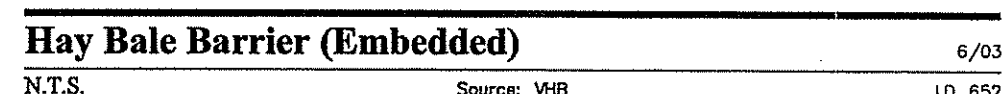
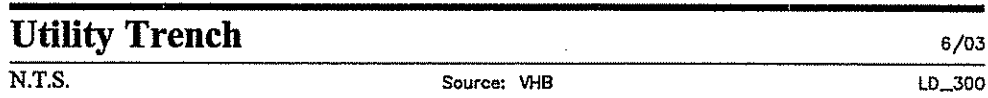
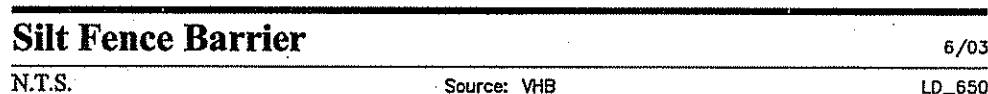
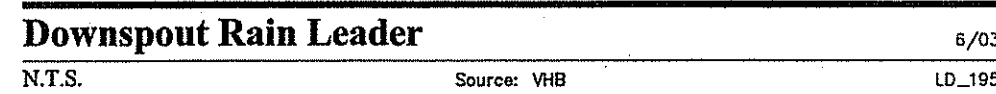
1	Per RIDEM Comments	7/23/08	
No.	Revision	Date	Appvd.
Designed by	Drawn by	Checked by	

Permitting

Drawing Title

JUL 24 2008

Drawing Number



Notes:	
1. PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.	6/03
2. CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.	
3. CONCRETE SHALL BE 3000 PSI-TYPE I.	
Concrete Thrust Block	
N.T.S.	10. 260



1	No Revisions	7/23/08	
No.	Revision	Date	Appvd.
Designed by	Drawn by	Checked by	
CAD checked by	Approved by		
Scale	As Noted	Date	April 21, 2008

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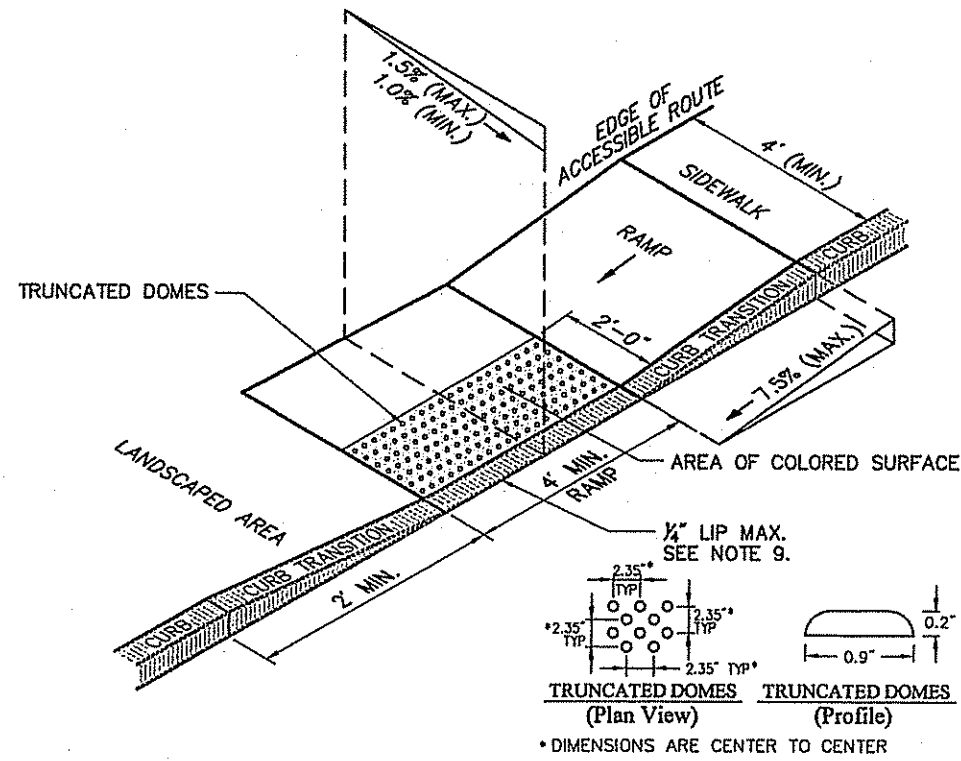
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Sheet of

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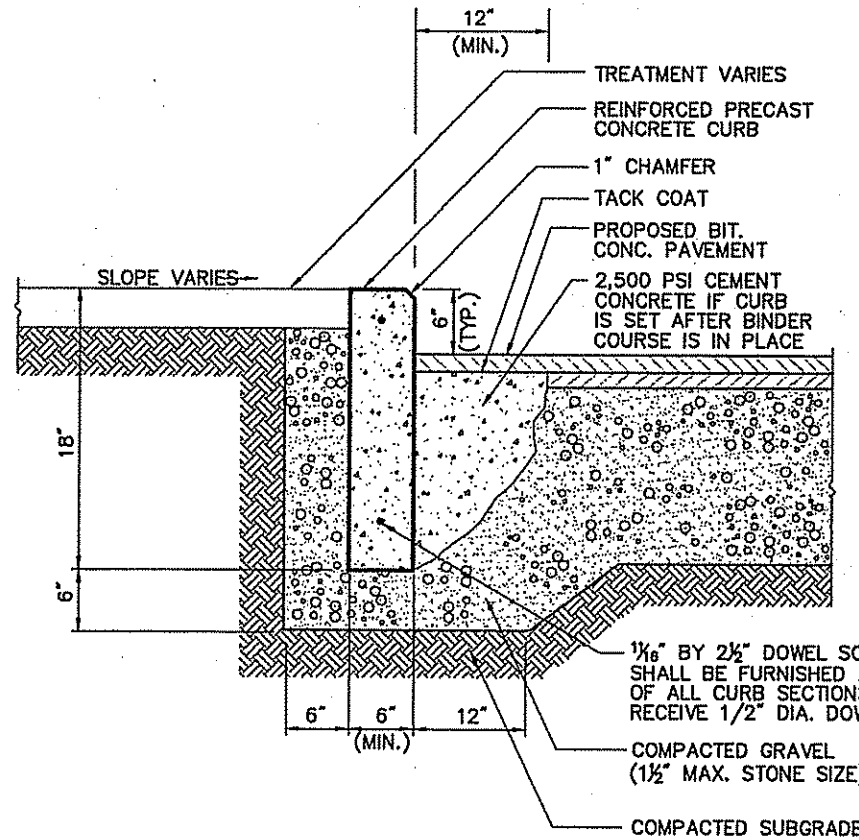
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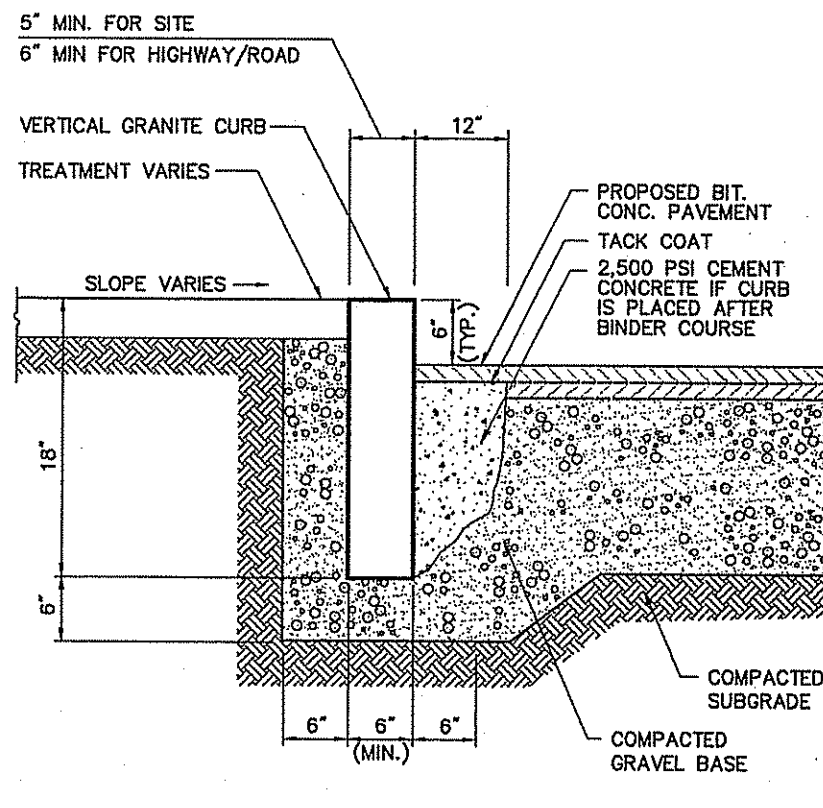


- Notes:**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN.).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. TYPICAL SIDEWALK SECTION FOR RAMP SECTION CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

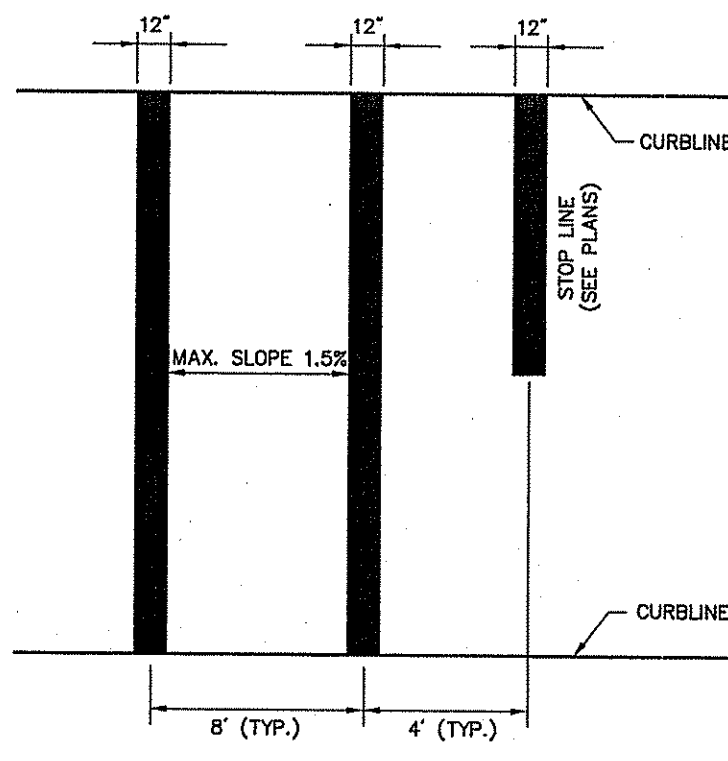
Accessible Curb Ramp (ACR) Type 'G' 11/06
N.T.S. Source: VHB LD...506



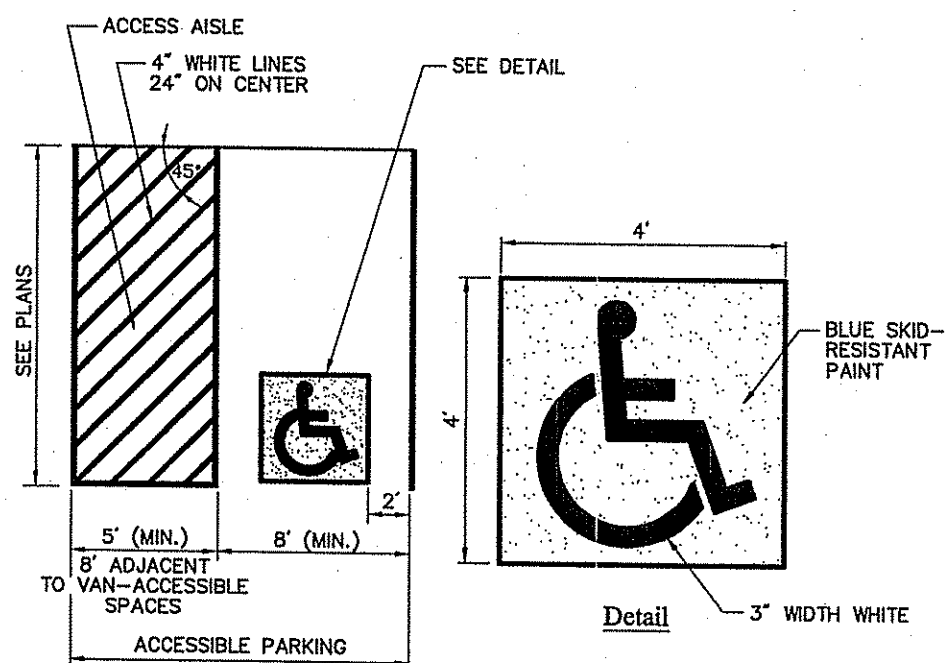
Precast Concrete Curb (PCC) 6/03
N.T.S. Source: VHB LD...404



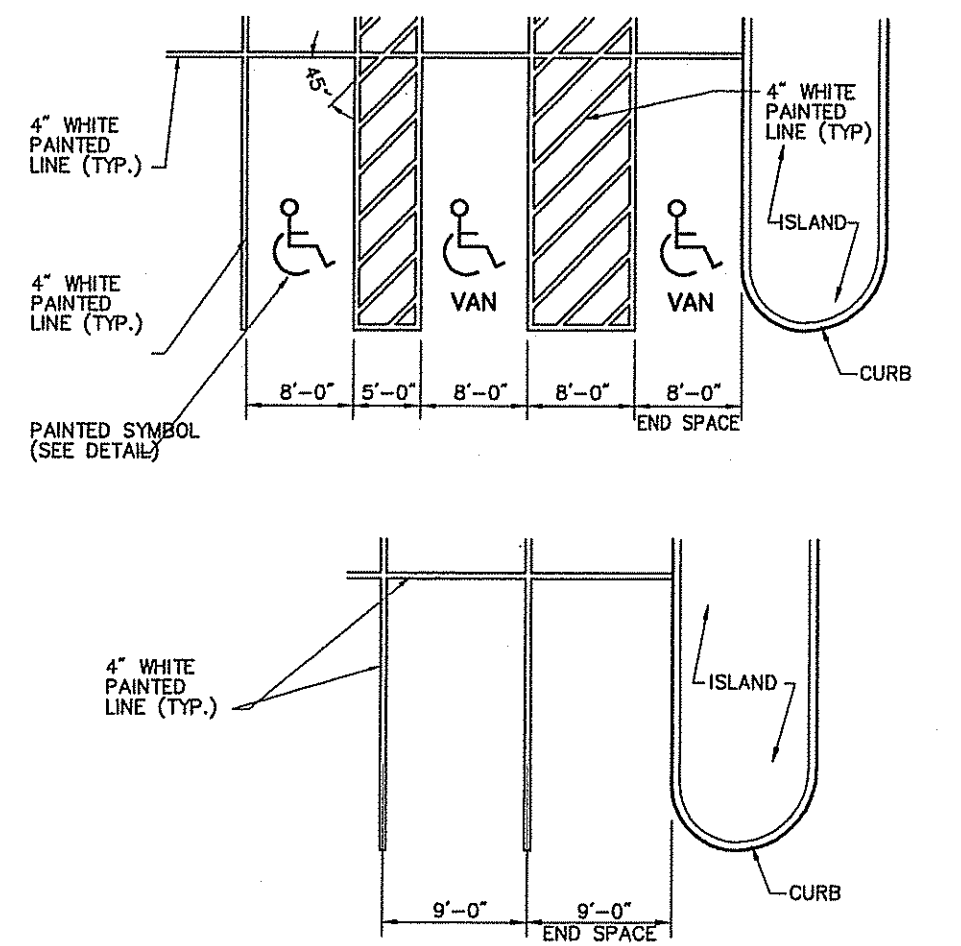
Vertical Granite Curb (VGC) 7/07
N.T.S. Source: VHB LD...402



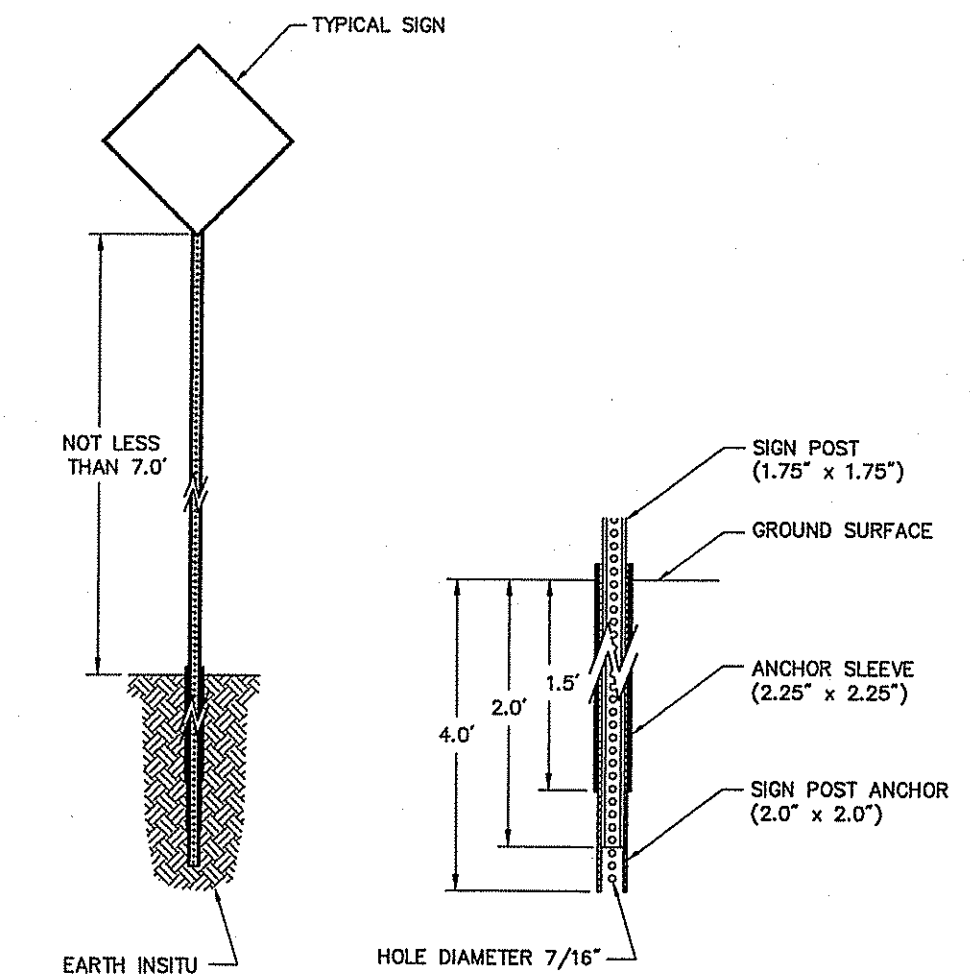
Crosswalk 02/04
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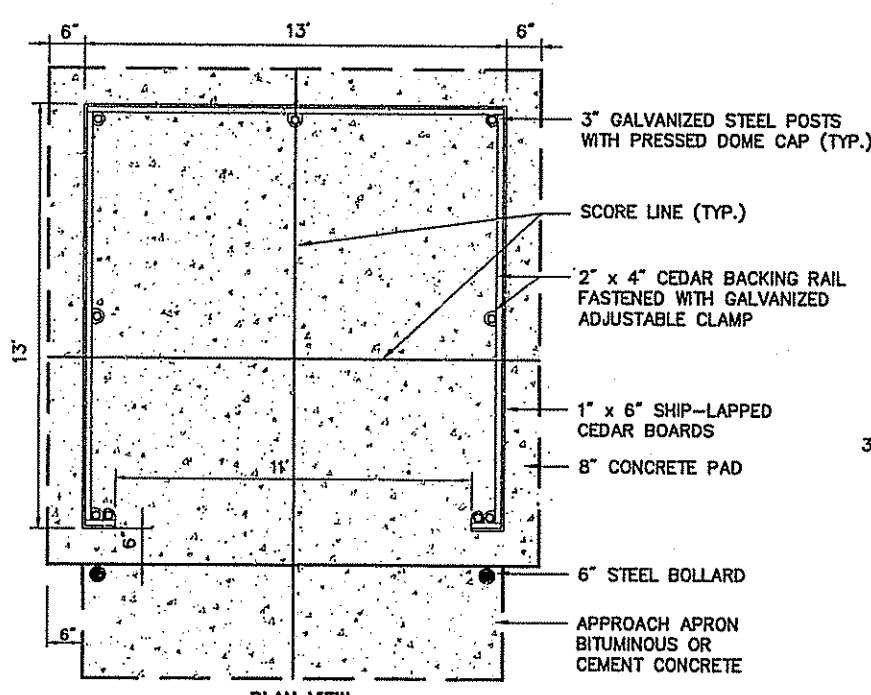
Accessible Parking Space 6/03
N.T.S. Source: VHB LD...552



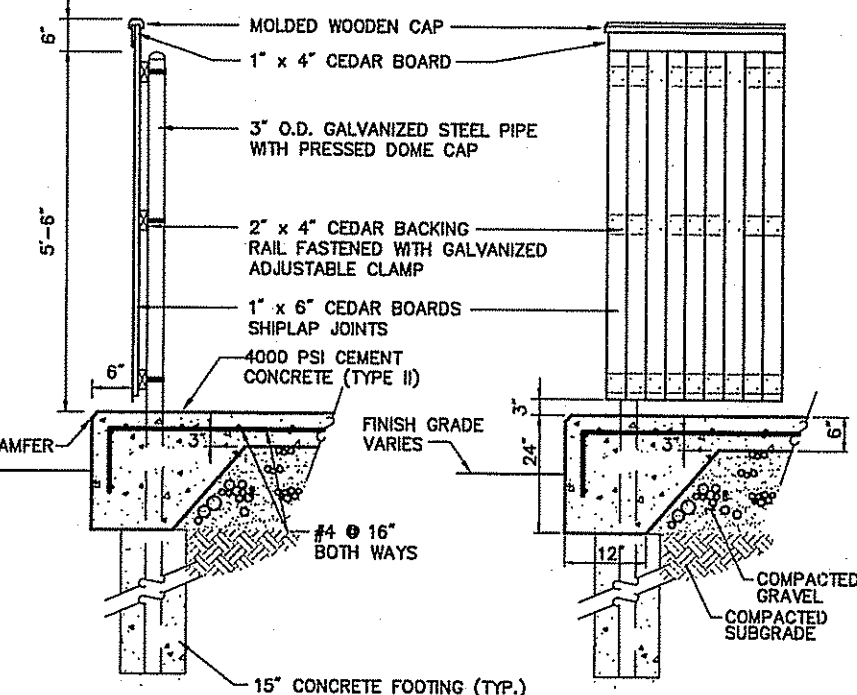
Pavement Markings - Stall Layout 10/02
N.T.S. Source: VHB LD...



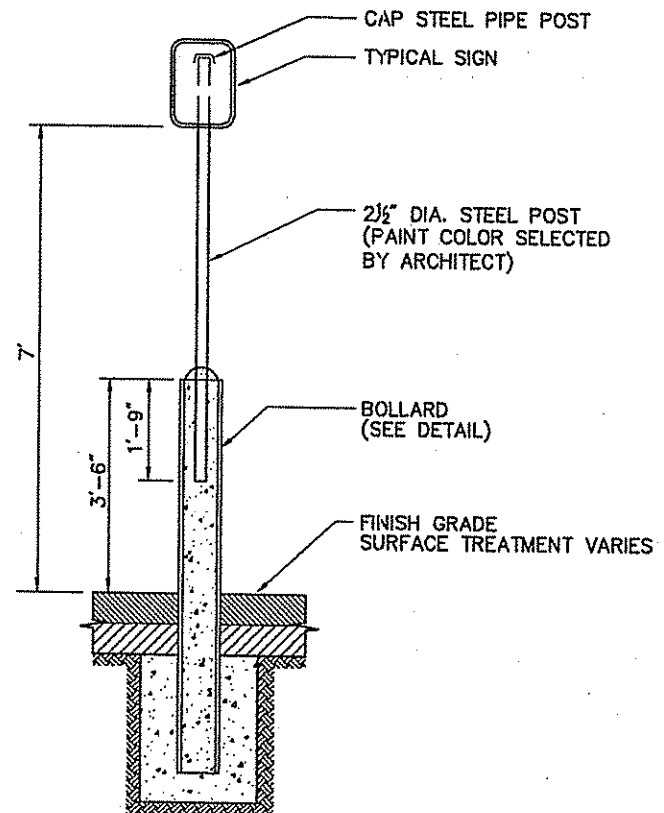
Sign Post - Type 'B' 6/03
N.T.S. Source: VHB LD...702



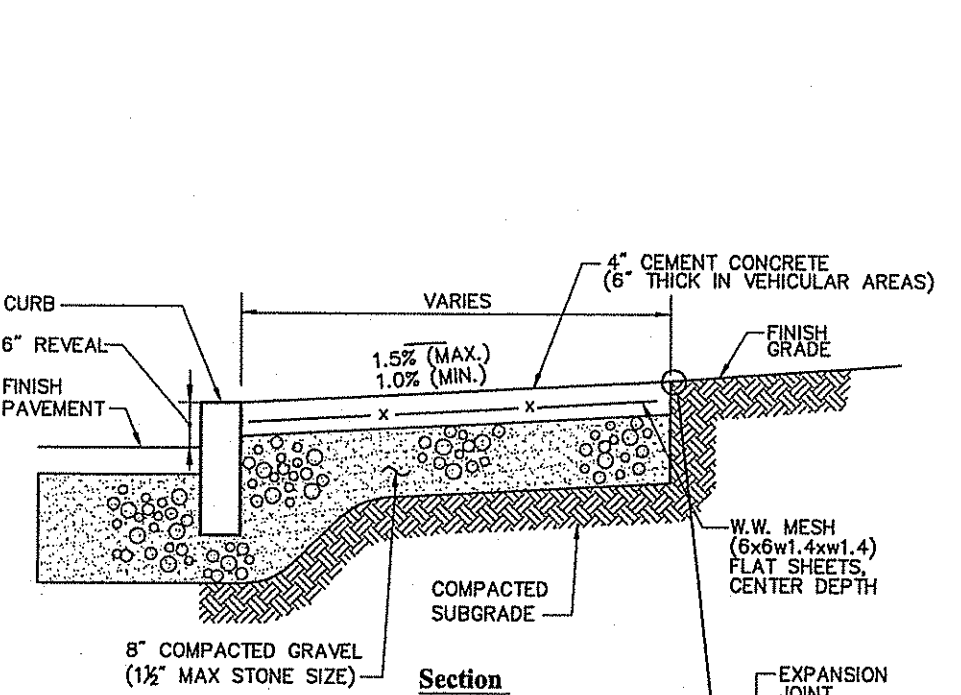
Dumpster Pad w/ Enclosure 6/03
N.T.S. Source: VHB LD...713



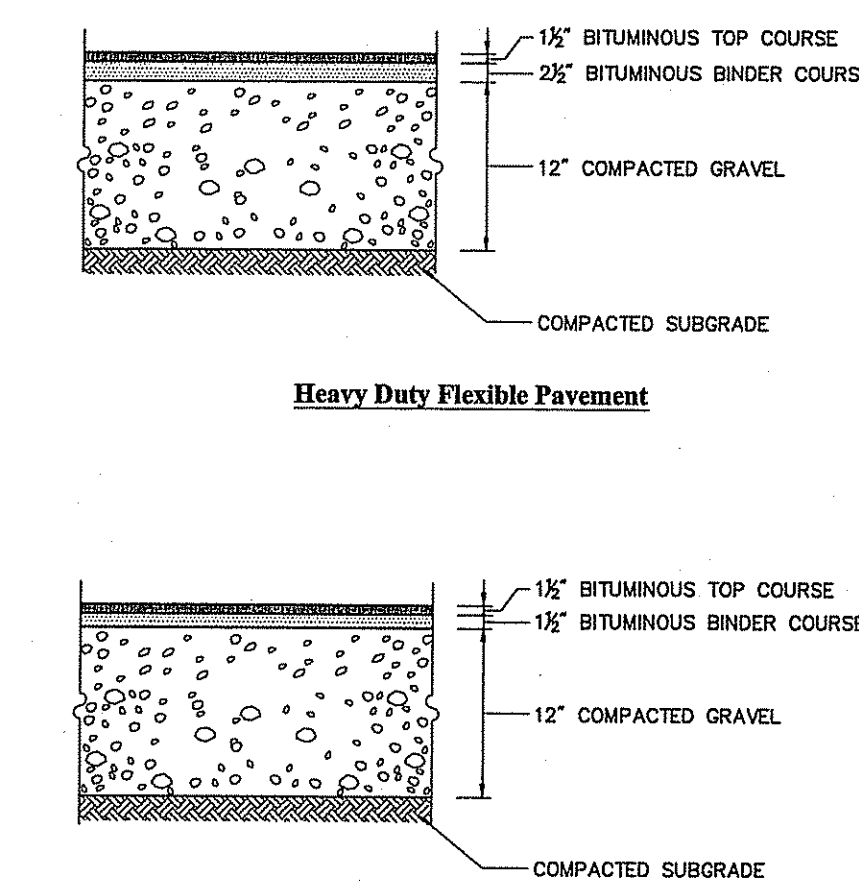
Guardrail & Chain Link Fence 12/05
N.T.S. Source: VHB LD...750



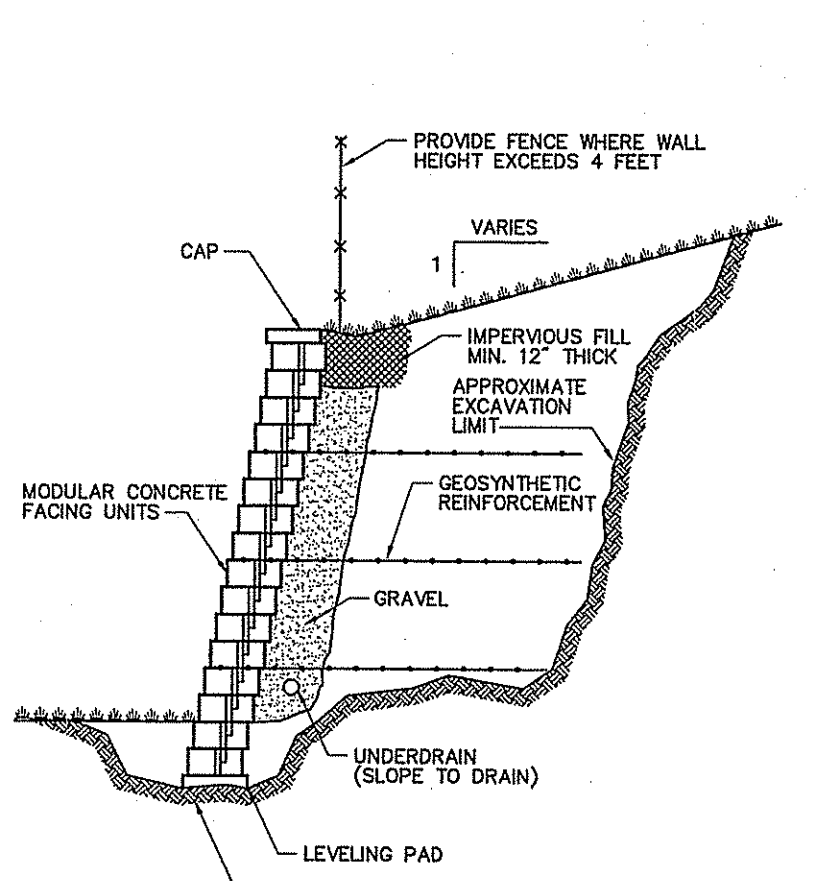
Bollard Mounted Sign 11/05
N.T.S. Source: VHB REV LD...703



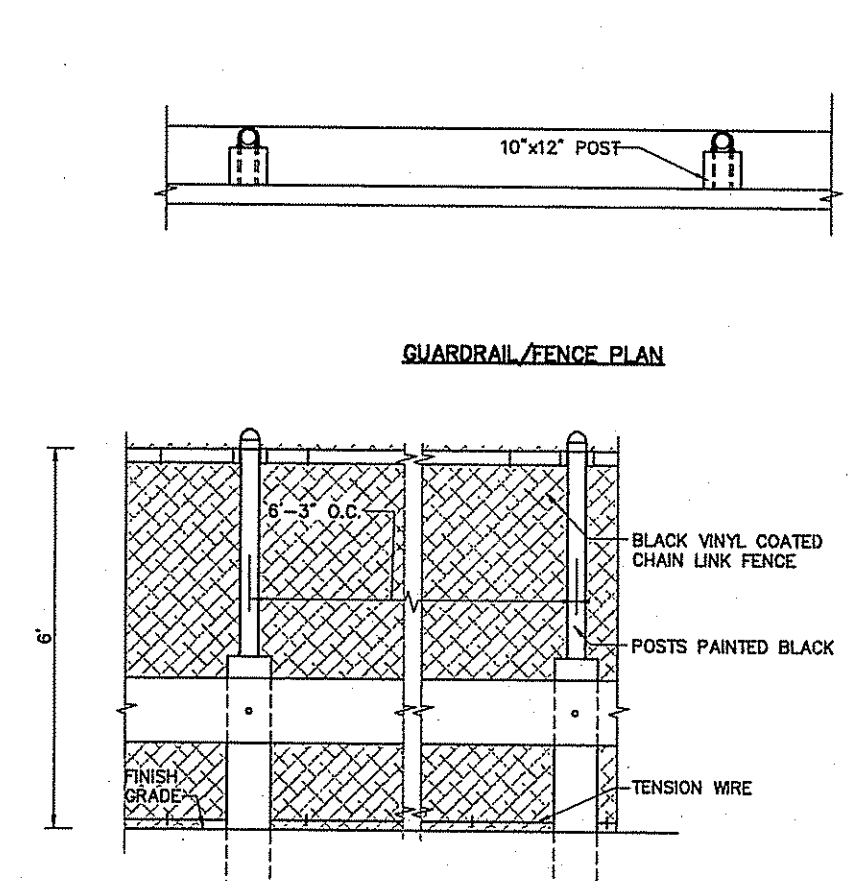
Concrete Sidewalk 6/03
N.T.S. Source: VHB LD...420



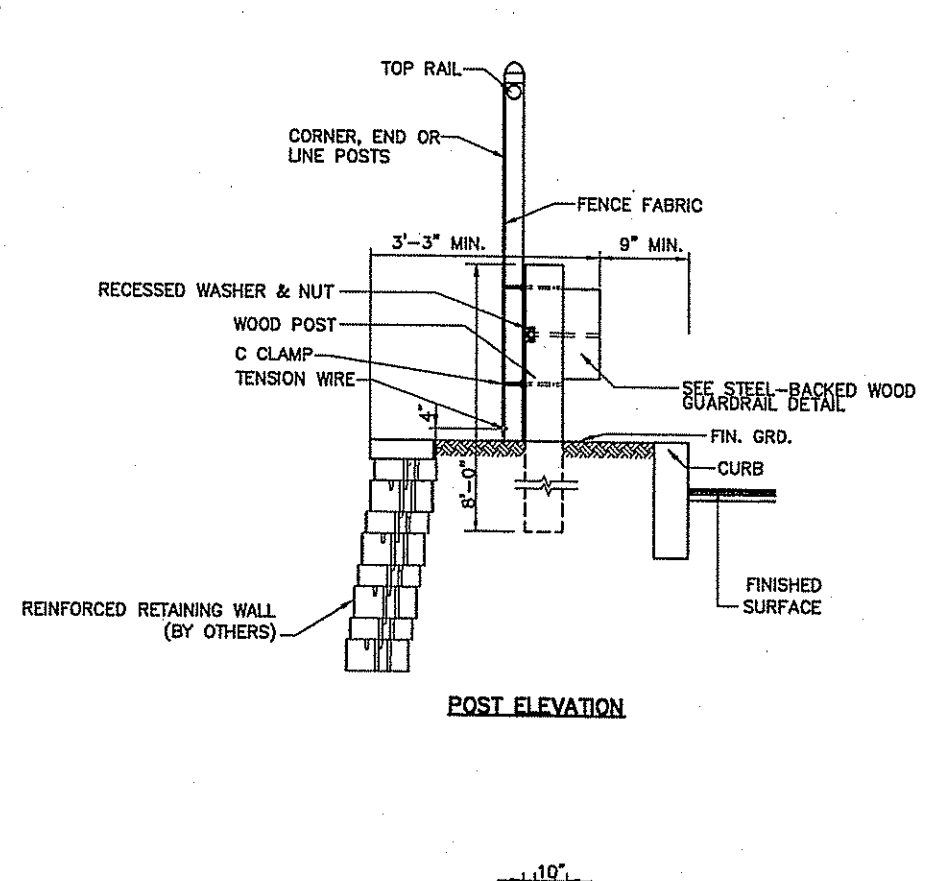
Bituminous Concrete Pavement Sections 9/04
N.T.S. Source: VHB LD...430



Modular Retaining Wall 12/05
N.T.S. Source: VHB LD...750



Guardrail & Chain Link Fence 12/05
N.T.S. Source: VHB LD...750



Post Elevation 11/05
N.T.S. Source: VHB REV LD...703

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG - 1 2008 FILE # 06-0510
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE

1	No Revisions	7/23/08
No.	Revision	Date
Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale	As Noted	Date April 21, 2008
Project Title		

Phenix Terrace Residential Development

950 Phenix Avenue
Cranston, Rhode Island
Issued for

Permitting

Drawing Title

Site Details 3

JUL 24 2008

PROF. L. CODEGA

No. 6517

REGISTERED PROFESSIONAL ENGINEER

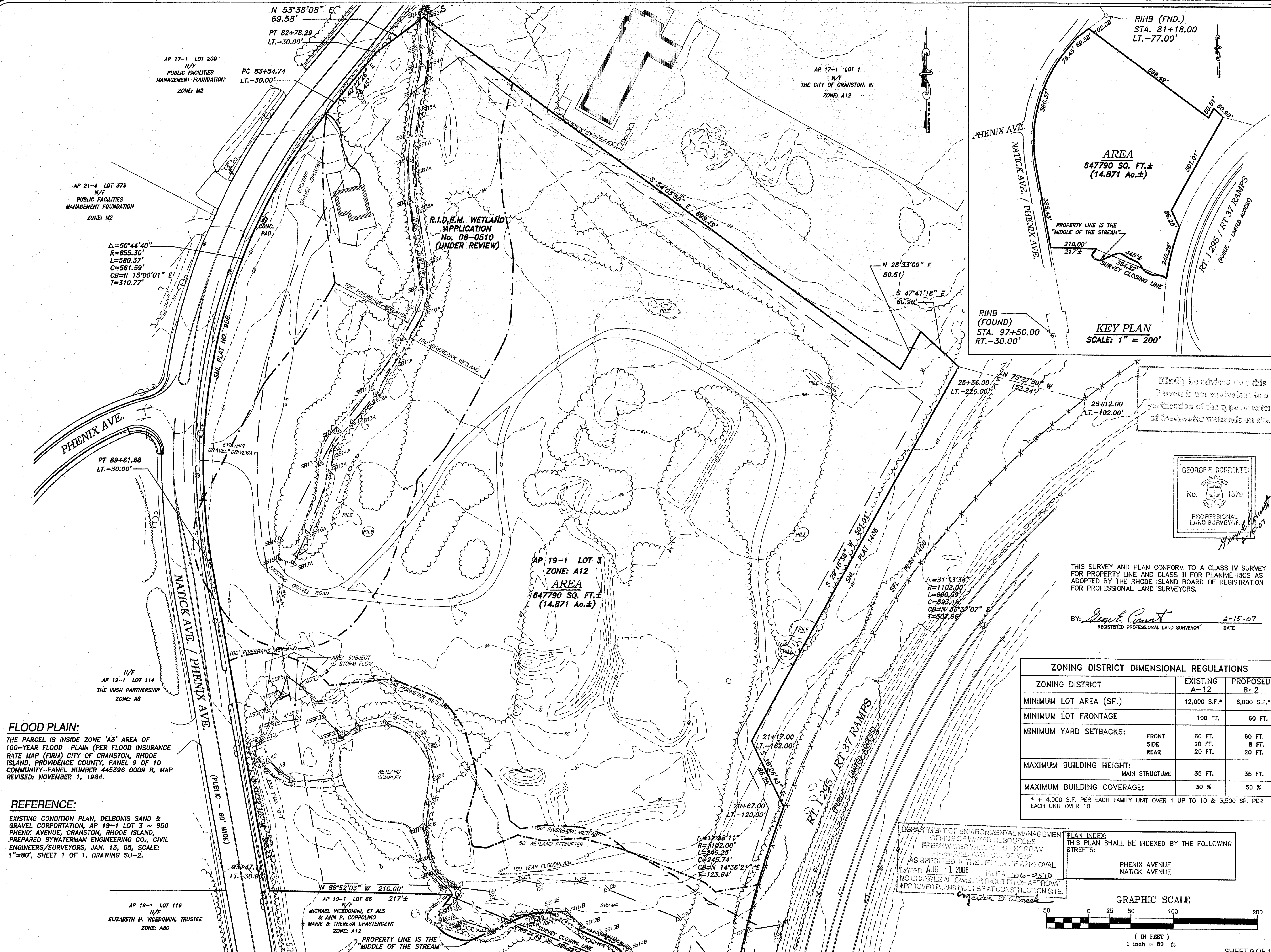
7/23/08

Drawing Number

C-7

Sheet 7 of 7

Project Number 72094.00



CATALDO ASSOCIATES INC.
CIVIL ENGINEERS

1408 ATWOOD AVENUE (401) 453-3300
JOHNSTON, RI 02919 FAX: (401) 453-4117
ca@cataldoeng.com

Project:

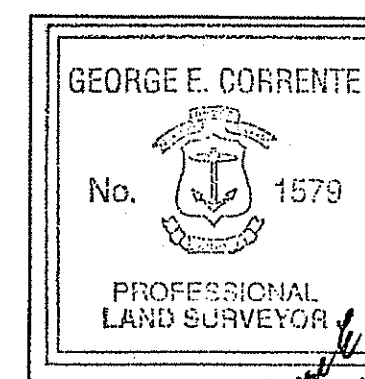
**150 UNIT
APARTMENTS
NATICK AVENUE
and
PHENIX AVENUE**

**A.P. 19/1 LOT 3
CRANSTON
RHODE ISLAND**

Prepared For:

**DELBONIS
SAND & GRAVEL CO.**

**950 PHENIX AVE.
CRANSTON
RHODE ISLAND
02921**



THIS SURVEY AND PLAN CONFORM TO A CLASS IV SURVEY FOR PROPERTY LINE AND CLASS III FOR PLANIMETRICS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BY: *George Corrente* 2-15-07
REGISTERED PROFESSIONAL LAND SURVEYOR DATE

ZONING DISTRICT DIMENSIONAL REGULATIONS

ZONING DISTRICT	EXISTING A-12	PROPOSED B-2
MINIMUM LOT AREA (SF.)	12,000 S.F.*	6,000 S.F.*
MINIMUM LOT FRONTAGE	100 FT.	60 FT.
MINIMUM YARD SETBACKS:		
FRONT	60 FT.	60 FT.
SIDE	10 FT.	8 FT.
REAR	20 FT.	20 FT.
MAXIMUM BUILDING HEIGHT:		
MAIN STRUCTURE	35 FT.	35 FT.
MAXIMUM BUILDING COVERAGE:	30 %	50 %

* + 4,000 S.F. PER EACH FAMILY UNIT OVER 1 UP TO 10 & 3,500 S.F. PER EACH UNIT OVER 10

Project Number: 3008-02

Scale: 1" = 50'

Designed By: JCM/KRM

Drawn By: KRM/MAD Checked By: RAC

Sheet Title:

**EXISTING CONDITIONS
PLAN**

JUL 24 2008

C1

Sheet Number: 1 of 6

MASTER PLAN SUBMISSION

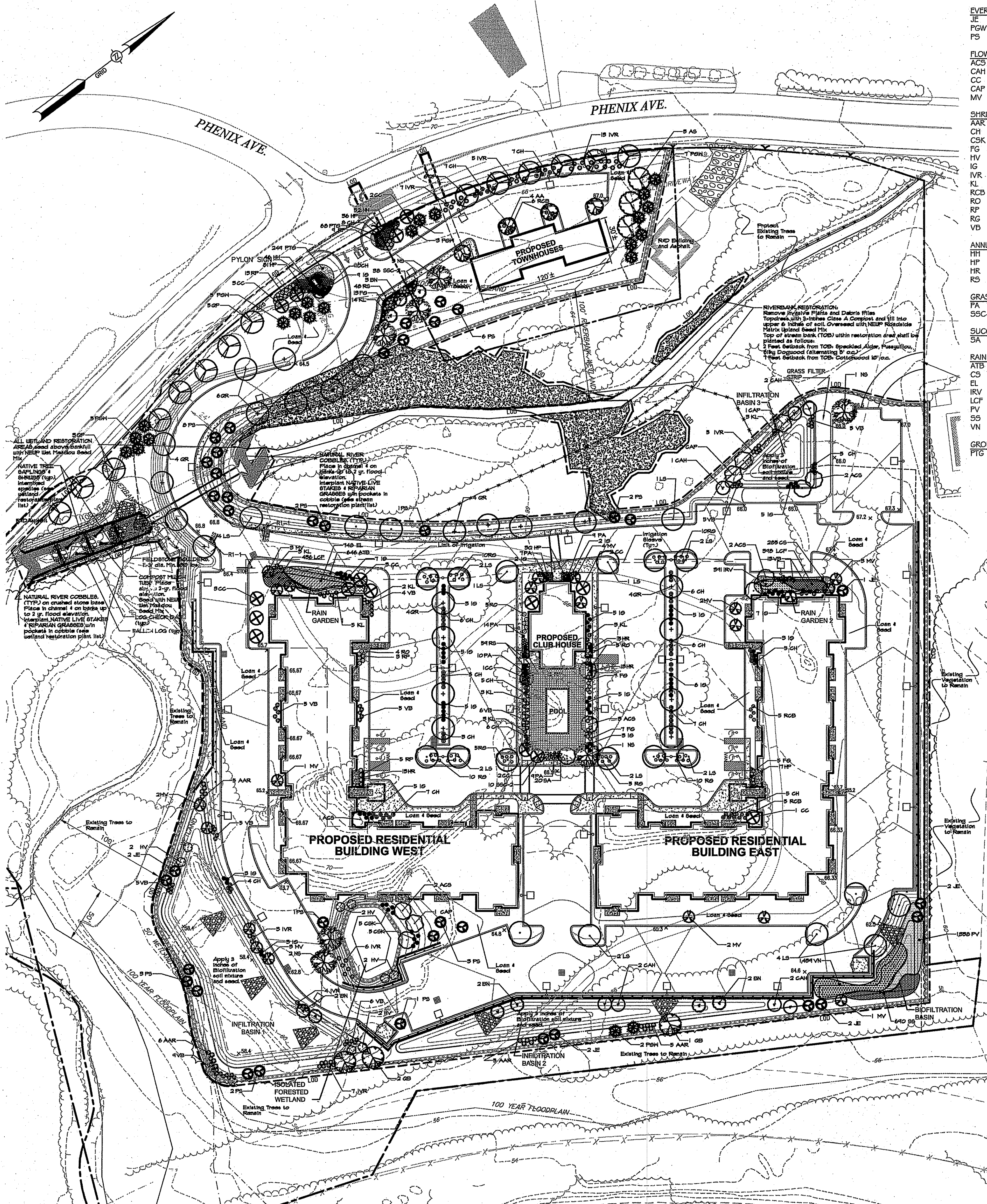
SHEET 9 OF 15

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED CAREFULLY AS SHOWN ON THE PLANS FOR FIELD REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
4. EXCEPT ALONG THE BANKS OF THE PROPOSED STREAM CHANNEL AND RIVERBANK RESTORATION AREAS, A 3-INCH DEEP SHREDDED PINE BARK SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANT BEDS, AS SHOWN ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
6. PLANT QUANTITY FOR EACH PLANT TYPE SHALL BE AS SHOWN ON THE PLAN. THIS NUMBER SHALL MAKE PROVISION IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND PLANT LISTS PRIOR TO BIDDING.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE AMERICAN STANDARDS FOR "NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN. PLANTS USED FOR WETLAND RESTORATION ARE "CONSERVATION GRADE" AND MAY NOT MEET THE "A&NS" STANDARD.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE 6" OF LOAM AND SPECIFIED SEED MIX LAIING OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
11. LOAM AND SEED ALL AREAS NOT OTHERWISE TREATED.
12. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY, REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.
13. ALL INFILTRATION BASINS, RAIN GARDENS, AND BIOFILTRATION BASINS SHALL RECEIVE 3 INCHES OF BIOFILTRATION SOIL MIXTURE AS SURFACE TREATMENT.

1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT BARRIER AT EDGE OF THE EARTHWORK CUT LINE PRIOR TO TREE CLEARING. LAY OUT THIS LINE BY FIELD SURVEY.
2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWN AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR LARGE PORTIONS OF THIS SITE. THE CONTRACTOR SHALL SUPPLY SUFFICIENT WATERING FOR NEW LAWN AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE OWNER.
3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.

1. CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN & INSTALLATION FOR PLANTINGS AND LAWN AREAS DESIGNATED ON THE PLAN. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER FOR APPROVAL.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
3. CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GUAGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
4. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR, PLUMBING, AND ELECTRICAL CONTRACTORS.
5. BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
6. IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
7. SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 FVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.



QTY	BOTANICAL/COMMON
9	Juniperus virginiana / F
22	Picea glauca / White Spr
29	Pinus strobus / White P
QTY	BOTANICAL/COMMON
10	Amelanchier canadensis
7	Carpinus caroliniana / H
12	Cornus alternifolia / Pa
4	Cornus alternifolia / Pa
21	Magnolia virginiana / S
QTY	BOTANICAL/COMMON
121	Aronia arbutifolia / R
102	Clethra alnifolia / Hum
10	Cornus sericea / Kelse
32	Fothergilla gardenii / D
8	Hamelamelis vernalis / Sp
83	Ilex glabra / Inhibery
50	Ilex verticillata / Red
16	Kalmia latifolia / Mount
16	Rhododendron azalea
14	Rhododendron azalea
35	Rhododendron misc. v
50	Rhus aromatica / Gro-L
68	Vaccinium corymbosum

QTY	BOTANICAL/COMMON
98	<i>Hemerocallis</i> hybrid 'Happy Returns' / Happy Returns Daylily
164	<i>Hemerocallis</i> hybrid 'Pardon Me' / Pardon Me Daylily
41	<i>Hemerocallis</i> hybrid 'Rosey Returns' / Rosey Returns Daylily
107	<i>Rudbeckia fulgida speciosa</i> Goldstrum / Black-eyed Susan

QTY	BOTANICAL/COMMON
49	<i>Pennisetum alopecuroides</i> / Fountain Grass
48	<i>Schizachyrium scoparium</i> / Little Bluestem Grass

QTY	BOTANICAL/COMMON
20	Sedum acre `Autumn Joy

QTY BOTANICAL/Common
646 *Asclepias tuberosa* / Butterfly Weed
285 *Carex stricta* / Tussock Sedge
748 *Eupatorium purpureum* 'Little Joe' / Dwarf Joe-Pye Weed
391 *Ins vicolor* / Blue Flag
834 *Lobelia cardinalis* / Cardinal Flower
1,338 *Panicum virgatum* / Switch Grass
690 *Solidago sempervirens* / Seaside Goldenrod
1,439 *Veronica noveboracensis* / New York Ironweed

<u>QTY</u>	<u>BOTANICAL/COMMON</u>
317	<i>Pachysandra terminalis</i> / Japanese Spurge

SAFING TREES		
Amelanchier canadensis	Serviceberry	3-6' Ht., 10-15' o.c.
Acer rubrum	Red Maple	3-6' Ht., 10-15' o.c.
Acer saccharum	Silver Maple	3-6' Ht., 10-15' o.c.
Betula populifolia	Grey Birch	3-6' Ht., 10-15' o.c.
Carpinus caroliniana	Musclemould	3-6' Ht., 10-15' o.c.
Pinus strobus	White Pine	3-6' Ht., 10-15' o.c.
Populus deltoides	Cottonwood	3-6' Ht., 10-15' o.c.
Quercus bicolor	Swamp White Oak	3-6' Ht., 10-15' o.c.
Quercus palustris	Pin Oak	3-6' Ht., 10-15' o.c.
Salix nigra	Black Willow	3-6' Ht., 10-15' o.c.

DECIDUOUS SHRUBS		Black Willow	5-8 ft., 10-15 ft.
<i>Alnus serrulata</i>	Speckled Alder	18-24" Ht., 5' o.c.	
<i>Cornus amomum</i>	Silky Dogwood	18-24" Ht., 5' o.c.	
<i>Cornus racemosa</i>	Gray Dogwood	18-24" Ht., 5' o.c.	
<i>Ilex verticillata</i>	Winterberry	18-24" Ht., 5' o.c.	
<i>Lindera benzoin</i>	Spicebush	18-24" Ht., 5' o.c.	
<i>Sambucus canadensis</i>	Elderberry	18-24" Ht., 5' o.c.	
<i>Salix discolor</i>	Pussywillow	18-24" Ht., 5' o.c.	
<i>Viburnum dentatum</i>	Arrowwood	18-24" Ht., 5' o.c.	

LIVE STAKES *OR TUBELING STOCK		
Salix discolor	Pussywillow	1/2"x3' Stake
Salix exigua	Sandbar Willow	1/2"x3' Stake
Cornus amomum	Silky Dogwood	1/2"x3' Stake

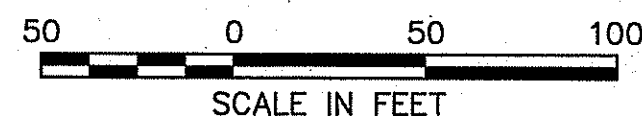
RIPARIAN GRASSES			
<i>Aster puniceus</i>	Swamp Aster	3 rd Plug,	12-15" o.c.
<i>Calamagrostis canadensis</i>	Blue Joint Grass	3 rd Plug,	12-15" o.c.
<i>Carex comosa</i>	Bearded Sedge	3 rd Plug,	12-15" o.c.
<i>Eupatorium perfoliatum</i>	Boneset	3 rd Plug,	12-15" o.c.
<i>Glycyca canadensis</i>	Manna Grass	3 rd Plug,	12-15" o.c.
<i>Iris versicolor</i>	Blue Flag Iris	3 rd Plug,	12-15" o.c.
<i>Juncus canadensis</i>	Canada Rush	3 rd Plug,	12-15" o.c.
<i>Juncus effusus</i>	Soft Rush	3 rd Plug,	12-15" o.c.
<i>Scheuchzeria palustris</i>	Arrowhead Bulrush	3 rd Plug,	12-15" o.c.
<i>Scirpus cyperinus</i>	Woolgrass	3 rd Plug,	12-15" o.c.
<i>Spartanum americanum</i>	Burreed	3 rd Plug,	12-15" o.c.

*Rooted tubeling stock may be substituted if work is to occur in growing season

New England Roadside Upland Seed Mix 35 LBS/ACRE
~~New England Roadside Matrix Wet Meadow Seed Mix 35 LBS/ACRE~~

*Seed mix to be obtained from:
New England Wetland Plants, Inc., 820 West Street, Amherst, MA (413)
548-8000 or approved equivalent

The biofiltration soil shall be a uniform mixture of 80% sand and 20% Class A Compost by volume. The pH shall be between 5.5 and 7.5. Other analytes shall not exceed the following: 32 ppm Hg, 69 ppm Pb, 5 ppm As, 16 ppm K as K₂O, and 500 ppm soluble salts. The soil shall be free from stones, stumps, roots or other objects larger than 2" in any dimension. The soil mixture shall be free from noxious weeds or invasive species.



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#1 POT
#1 POT
#2 POT

SIZE
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#1 POT

SIZE	#1 POT
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	SIZES	
2"	plug @ 12'	\$6.95
2"	plug @ 12'	\$7.85
2"	plug @ 12'	\$8.75
2"	plug @ 12'	\$9.65
2"	plug @ 12'	\$10.55
2"	plug @ 12'	\$11.45
2"	plug @ 12'	\$12.35
2"	plug @ 12'	\$13.25

SIZE
flat @ 12" o

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[illegible]

1	Per RIDEM Comments		7/23/08	
No.	Revision		Date	Appvd
Designed by		Drawn by	Checked by	
CAD checked by			Approved by	
Scale 1"=50'			Date April 21, 2008	

Phenix Terrace Residential Development

950 Phenix Avenue
Cranston, Rhode Island

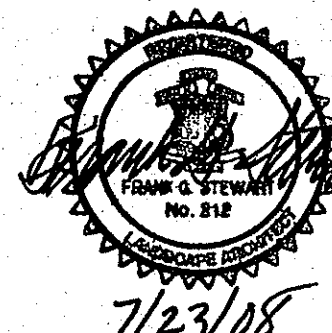
Permitting

Drawing Title

Landscape Plan Overall

JUL 24 2008

Drawing Number

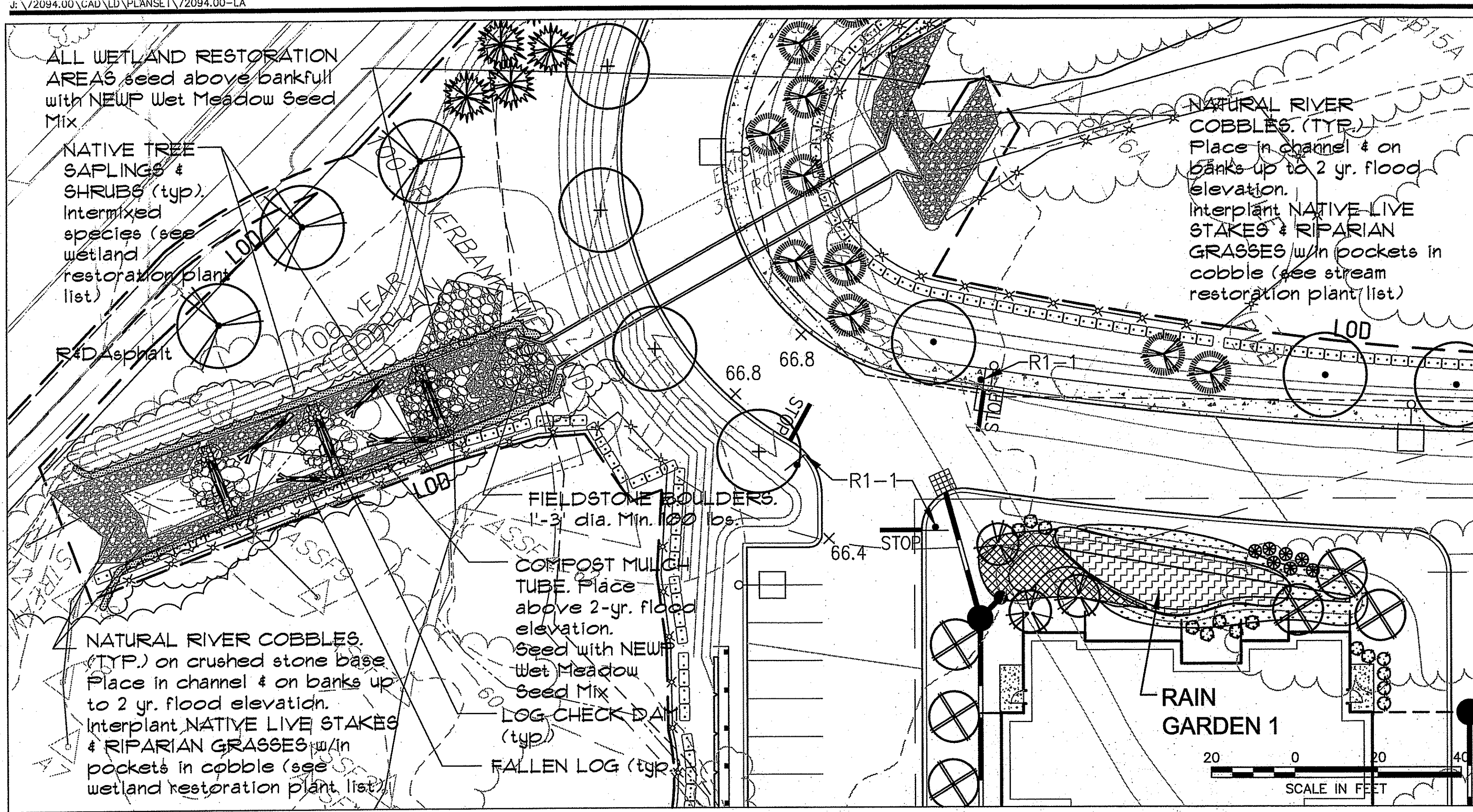


L-1

Sheet 1 of 5

Project Number
72094.00

72094.00-LA.DWG



Invasive Special Removal and Riverbank Restoration Notes

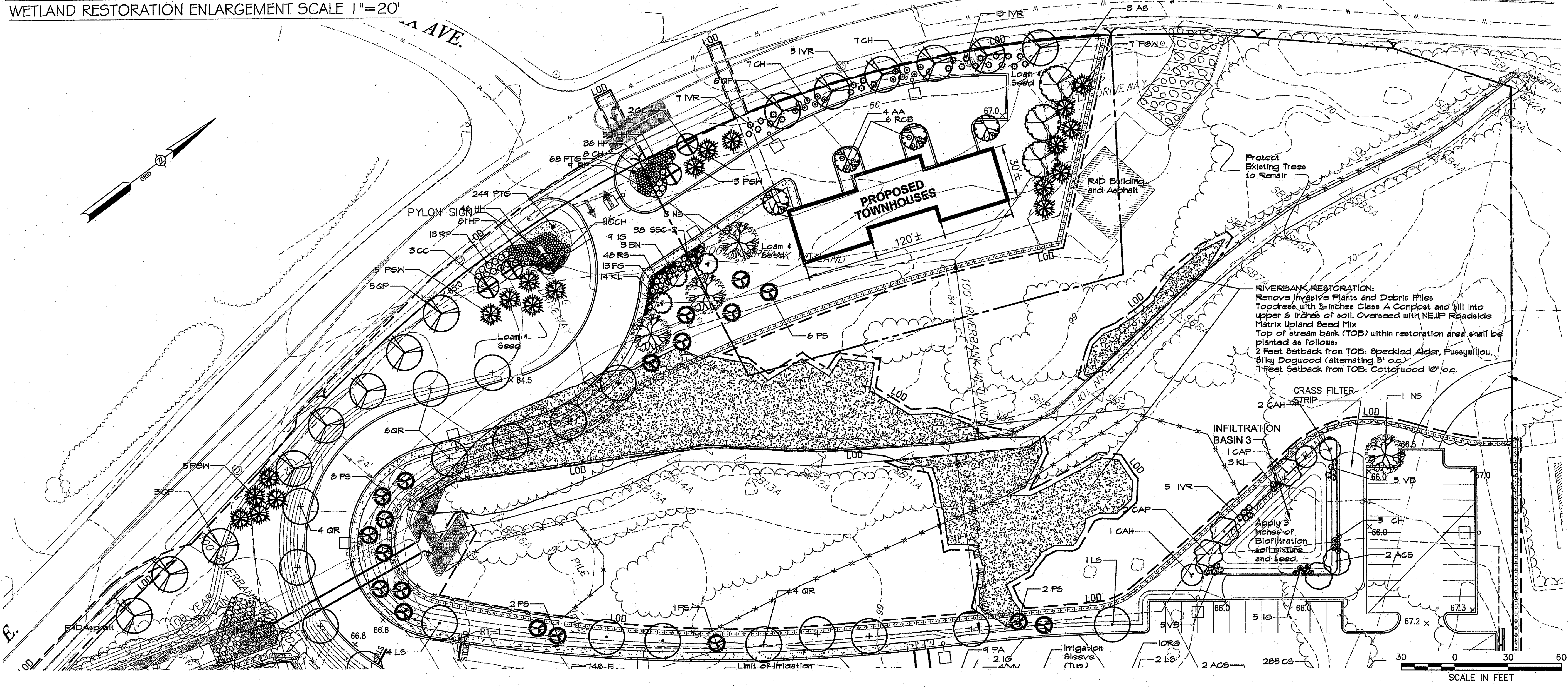
INVASIVE SPECIES ESTABLISHED IN THE EXISTING ON-SITE RIVERBANK WETLAND WERE FIELD DELINEATED ON JULY 22, 2008 AND LOCATED VIA GPS SURVEY FOR INCLUSION ON THE PROJECT PLANS. TARGET SPECIES FOR REMOVAL INCLUDE JAPANESE KNOTWEED (POLYGONUM CUSPIDATUM), AUTUMN OLIVE (ELAEAGNUS UMBELLATA), AND ORIENTAL BITTERSWEET (CELASTRUS ORBICULATUS) THAT OCCUPY PORTIONS OF THE 100' FOOT RIVERBANK WETLAND.

DURING CONSTRUCTION, THE AREA OF PROPOSED INVASIVE SPECIES REMOVAL WILL BE MARKED IN THE FIELD BY A QUALIFIED LANDSCAPE ARCHITECT OR BIOLOGIST. APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) WILL BE DEPLOYED BETWEEN THE AREA TO BE ALTERED AND SENSITIVE RESOURCES. SUCH BMPs MAY INCLUDE SILT FENCE, STAKED HAY BALES OR COMPOST MULCH TUBES. TARGET SPECIES WILL BE MOVED USING A MECHANIZED BRUSH CUTTER OR HAND TOOLS & HANGING ON ACCESSIBILITY AND PROXIMITY TO THE STREAM CHANNEL. CARE WILL BE TAKEN TO AVOID CUTTING ADJACENT NATIVE VEGETATION THAT IS TO REMAIN. ONCE THE VEGETATION IS CLEARED, THE CONTRACTOR WILL GRUB STUMPS AND/OR EXCAVATE RHIZOMES AS APPLICABLE. STUMPS, ROOTS AND RHIZOMES WILL BE CAREFULLY STOCKPILED AWAY FROM DISTURBED AREAS PRIOR TO DISPOSAL AT A LICENSED LANDFILL FACILITY.

ACCESS INTO THE AREAS TO BE TREATED WILL BE FROM ADJACENT UPLAND AREAS, UTILIZING THE SHORTEST ROUTE INTO THE AREA TO BE TREATED. EQUIPMENT EGRESS WILL FOLLOW THE SAME ROUTES. AT NO TIME WILL EQUIPMENT CROSS OR OPERATE WITHIN THE STREAM CHANNEL. WITH THE EXCEPTION OF THE SPECIES PROPOSED TO BE REMOVED, THE CONTRACTOR WILL MAKE EVERY EFFORT TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION AND WILL AVOID UNNECESSARY SOIL DISTURBANCE.

FOLLOWING REMOVAL OF THE INVASIVE SPECIES INCLUDING ROOT MATTER, THE DISTURBED AREA WILL BE TOPDRESSED WITH 3/4" INCHES OF CLASS A COMPOST AND SEEDED WITH THE NEW ENGLAND ROADSIDE MATRIX UPLAND SEED MIX AS SUPPLIED BY NEW ENGLAND WETLAND PLANTS AND SHOWN ON THE LANDSCAPE PLAN. PLANTINGS WILL BE SELECTED FROM THE 'WETLAND RESTORATION PLANT LIST' BY THE PROJECT LANDSCAPE ARCHITECT OR BIOLOGIST. THE OBJECTIVE OF THE RESTORATION PLANTINGS IS TO MIMIC OR ENHANCE EXISTING HABITAT CONDITIONS WITHIN THE AFFECTED AREA IN TERMS OF COVER AND FORAGING, SHADING, NESTING, ETC. TREE AND SHRUB SPECIES SELECTED WILL BE PLANTED IN A RANDOM, NATURALISTIC ARRANGEMENT TO PROMOTE DIVERSITY OF COVER TYPE.

EACH SPRING FOR FOUR YEARS, A QUALIFIED BIOLOGIST OR LANDSCAPE ARCHITECT WILL INSPECT THE TREATED AREA FOR RECURRENT OF THE TARGET SPECIES. SHOULD ANY TARGET SPECIES BE OBSERVED WITHIN THE RESTORED AREA, THE PROPERTY OWNER WILL HIRE A LANDSCAPE CONTRACTOR CERTIFIED IN INVASIVE SPECIES MANAGEMENT TO PERFORM SPOT APPLICATIONS OF HERBICIDE IN ACCORDANCE WITH THE LATEST GUIDANCE FROM THE UNIVERSITY OF RHODE ISLAND COLLEGE OF THE ENVIRONMENT AND LIFE SCIENCES OUTREACH PROGRAM.



VHB

Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

10 Dorrance Street, Suite 400
Providence, Rhode Island 02903
401.272.8100 • FAX 401.273.9694

EA Fish
ASSOCIATES

Edward A. Fish Associates, LLC

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
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Martini D. Wencel

1	Per RIDEM Comments	7/23/08
No.	Revision	Date
Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale 1"=30'	Date	April 21, 2008
Project Title		

Phenix Terrace Residential Development

950 Phenix Avenue
Cranston, Rhode Island

Issued for

Permitting

**Landscape Plan
Enlargement 1**

JUL 24 2008

Drawing Number

L-2

Sheet 2 of 5

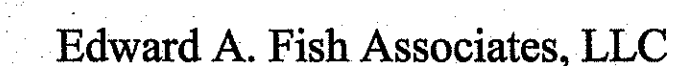
Project Number 72094.00

7/23/08

72094.00-LA-DWG



10 Dorrance Street, Suite 400
Providence, Rhode Island 02903
401.272.8100 • FAX 401.273.9694



Master D. Wessick

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JUL 24 2008

Drawing Number

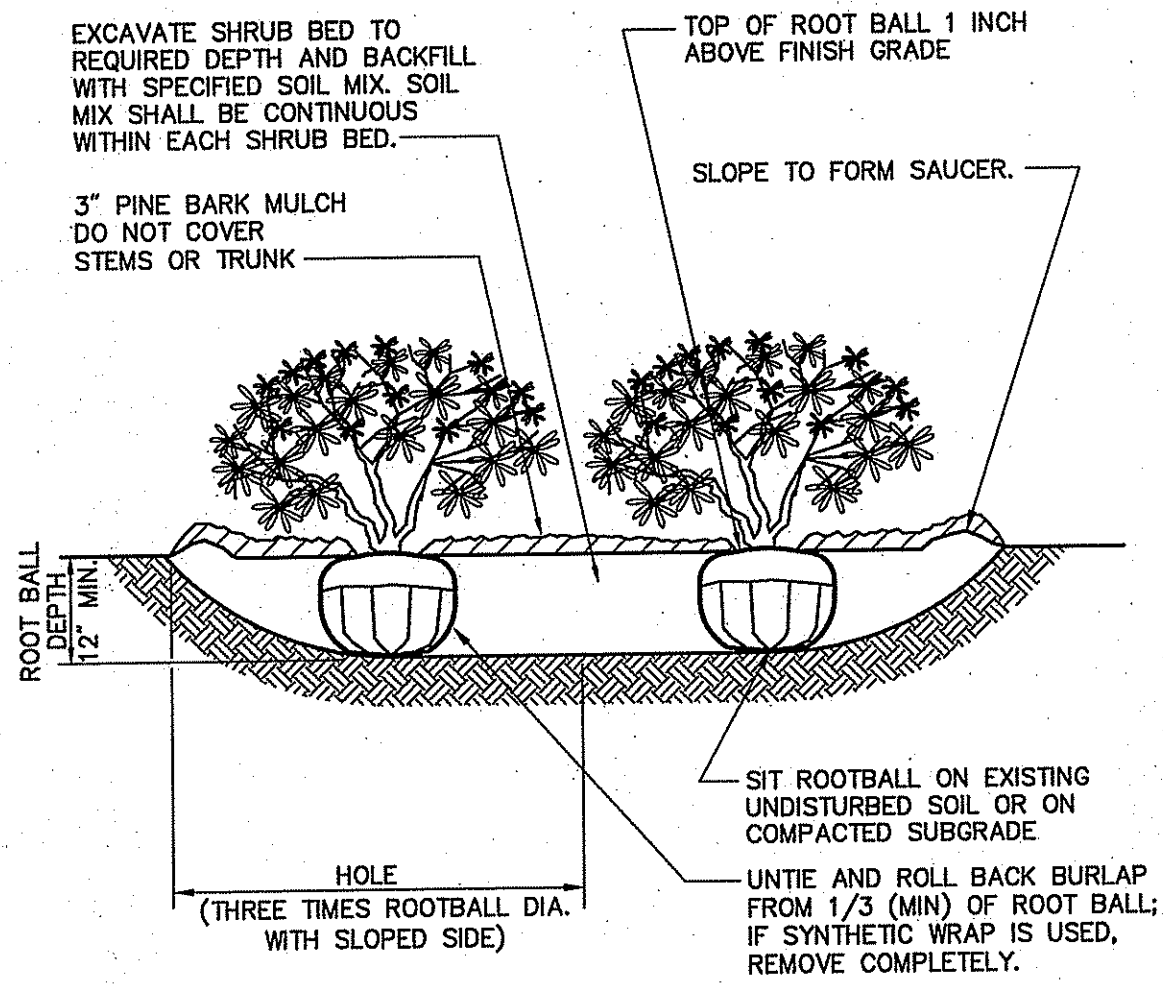
L-3

Sheet 2 of 5

Project Number
72094.00

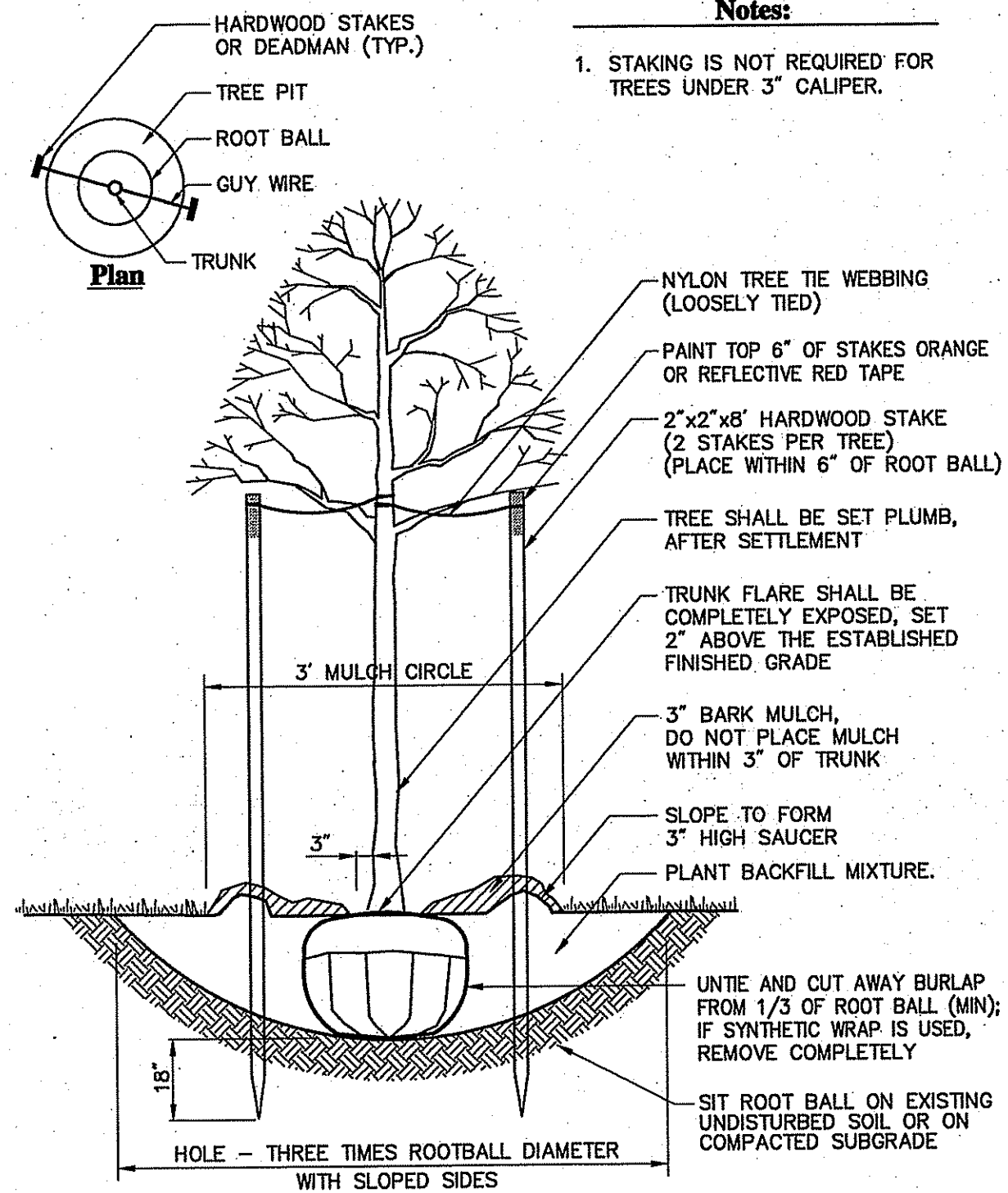
72094.00-LA.DW

SHEET 12 OF 15

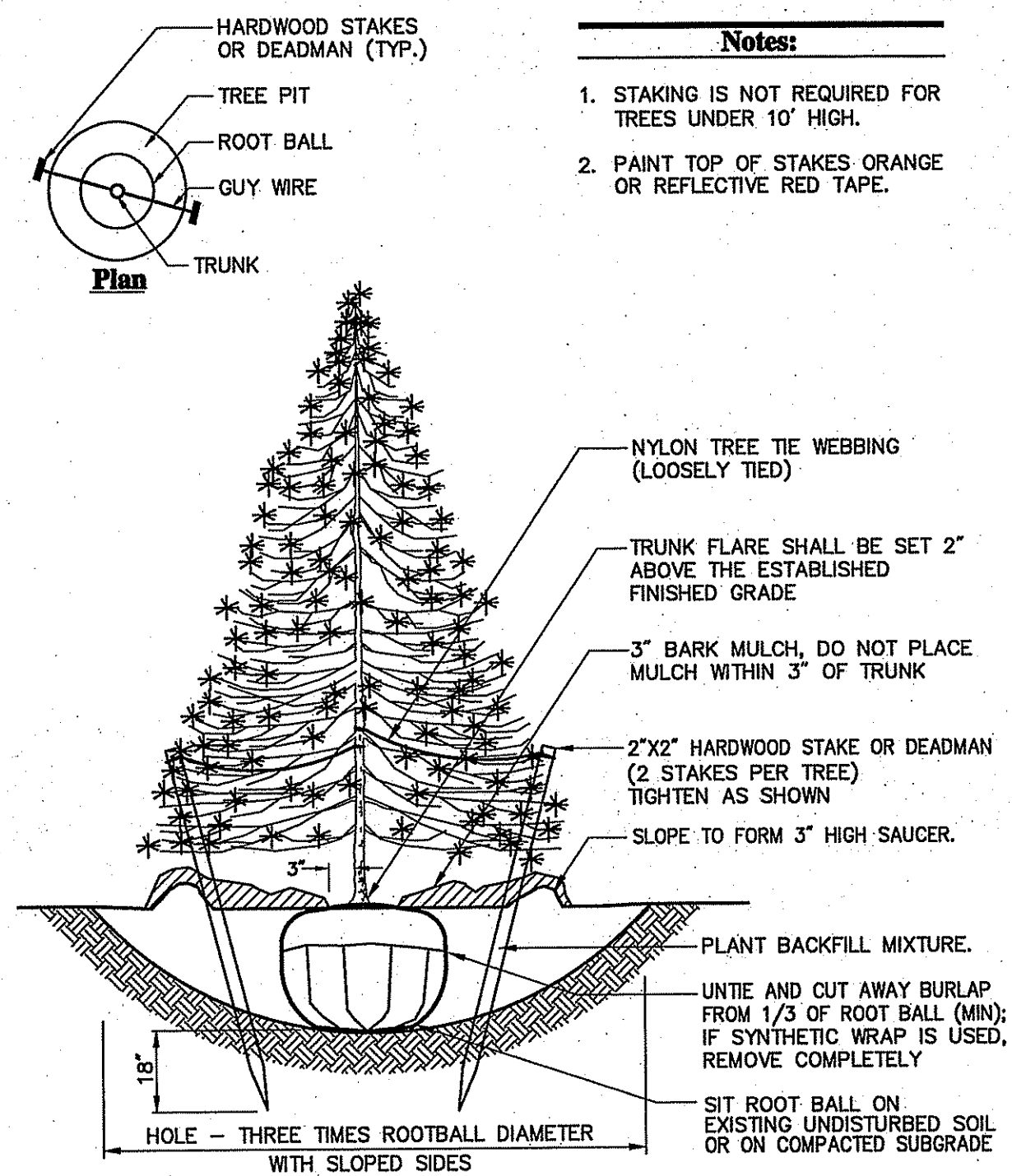


- Notes:**
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

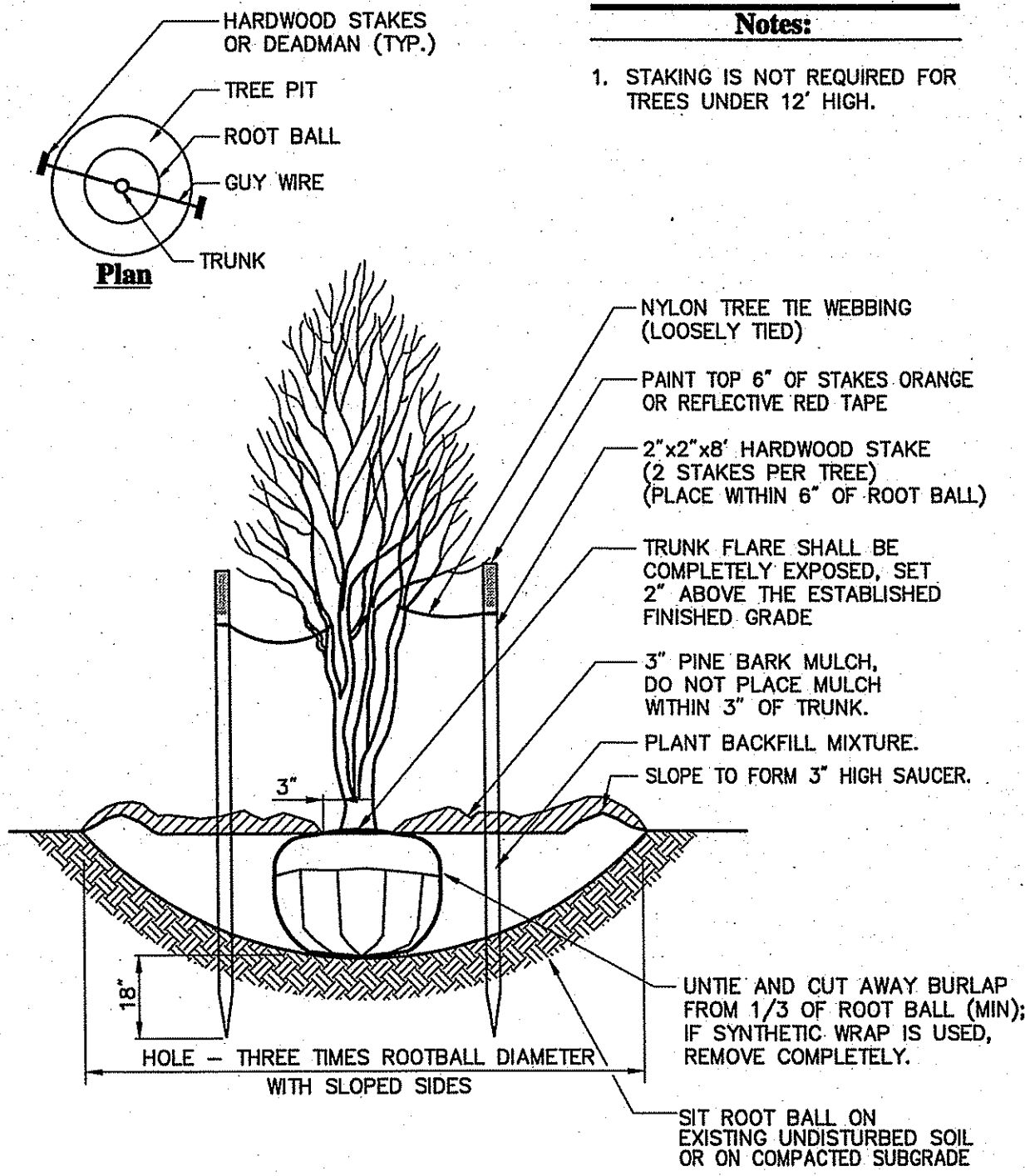
Shrub Bed Planting 4/07
N.T.S. Source: VHB LD_601



Tree Planting (For Trees Under 4" Caliper) 10/07
N.T.S. Source: VHB LD_602

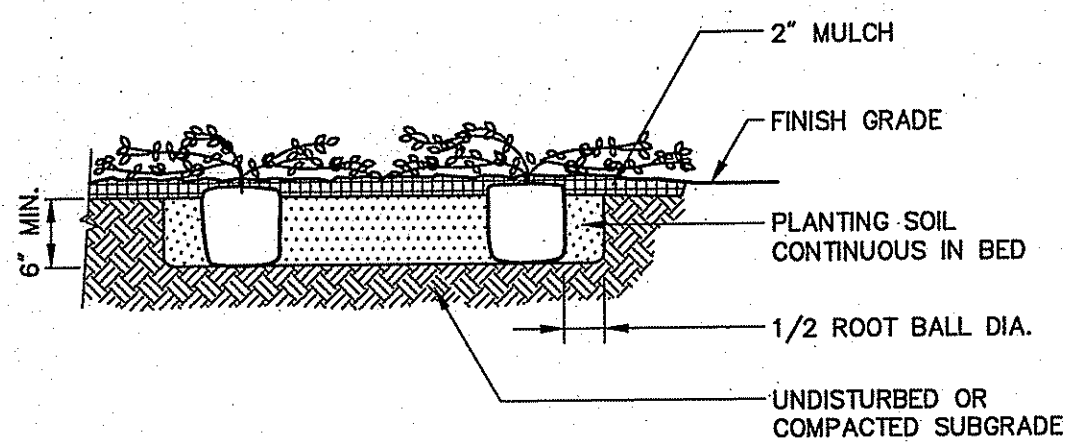
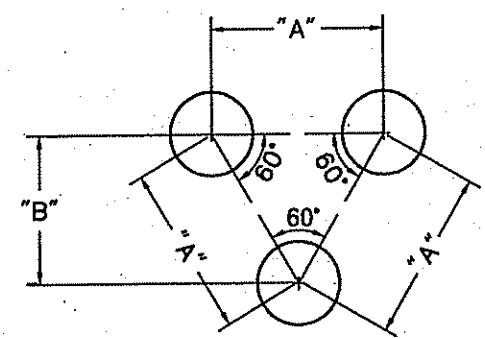


Evergreen Tree Planting 10/07
N.T.S. Source: VHB LD_604

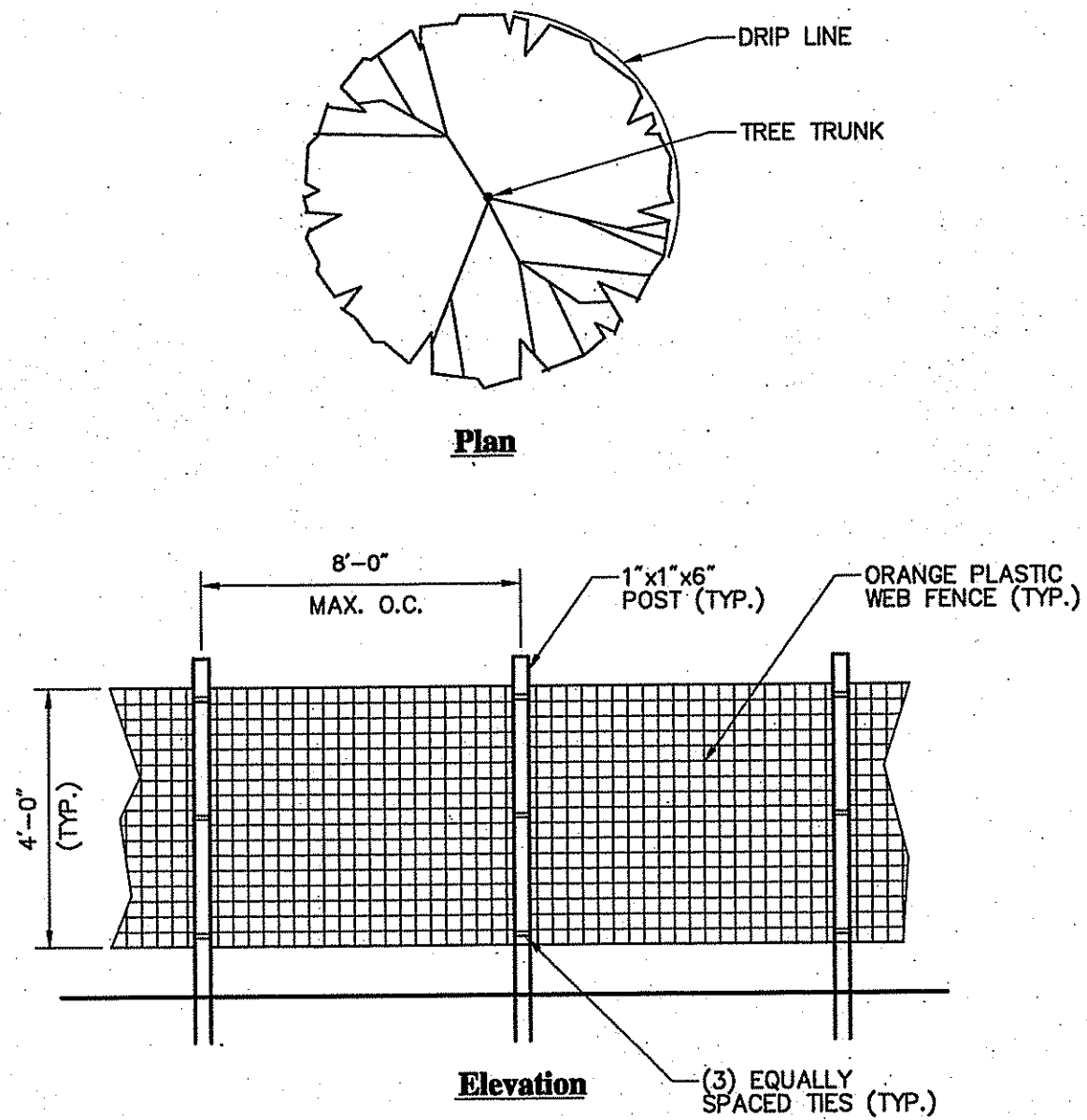


Multistem Tree Planting 10/7
N.T.S. Source: VHB LD_606

PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.

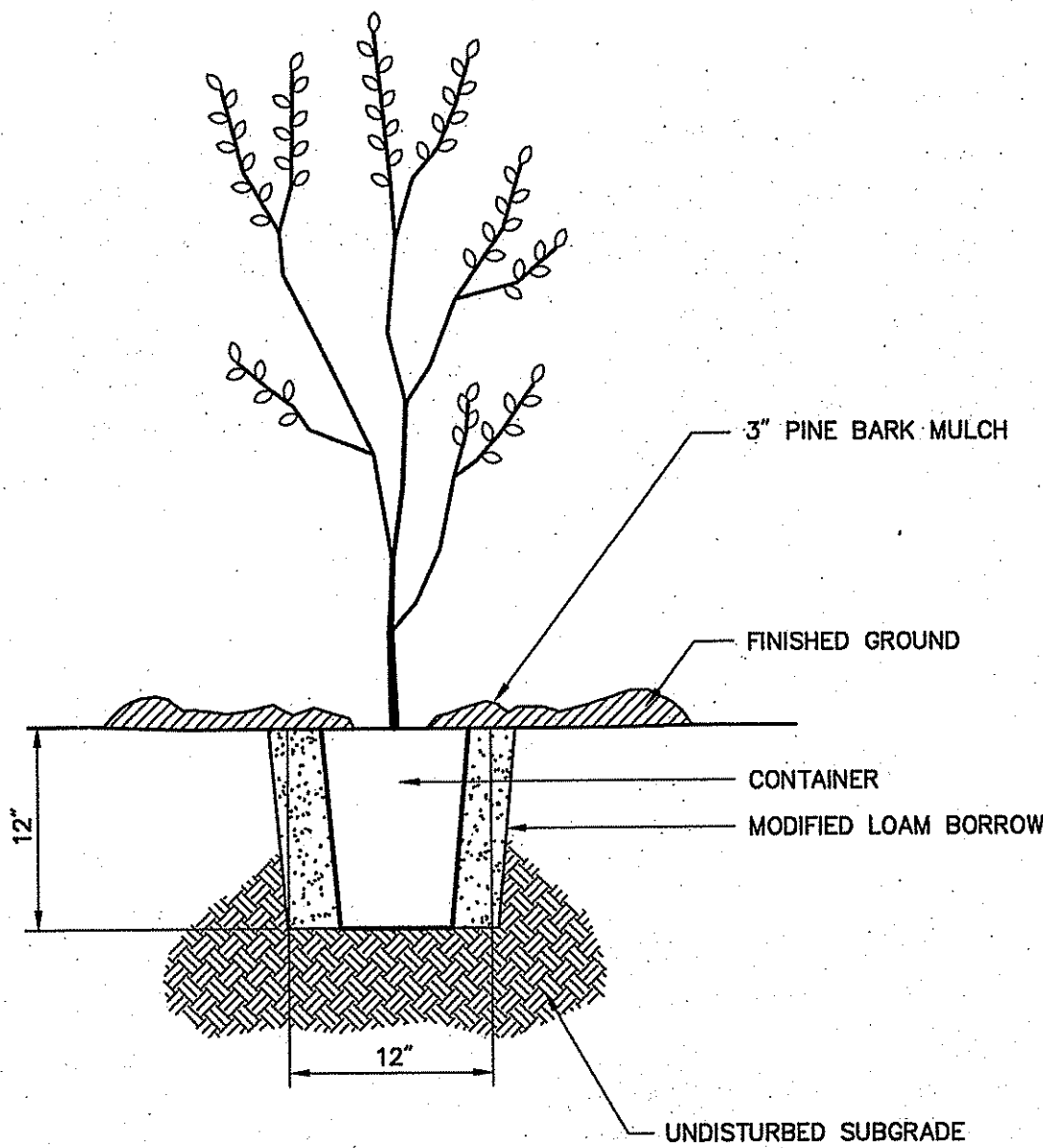


Ground Cover Planting 6/03
N.T.S. Source: VHB LD_615



- Notes:**
1. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.

Tree Protection Fence 6/03
N.T.S. Source: VHB LD_610



Sapling Planting 4/08
N.T.S. Source: VHB



Vanasse Hangen Brustlin, Inc.

Transportation
Land Development
Environmental Services

10 Dorrance Street, Suite 400
Providence, Rhode Island 02903
401.272.8100 • FAX 401.273.9694



Edward A. Fish Associates, LLC

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG - 1 2008 FILE # 06-0510
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.
Martin D. Weneck

1	No Revisions	7/23/08	
No.	Revision	Date	Appr.
Designed by	Drawn by	Checked by	
CAD checked by	Approved by		
Scale	Date	April 21, 2008	

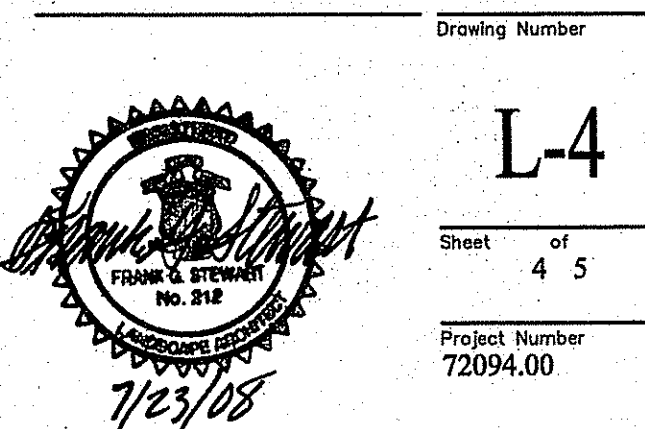
Project Title
**Phenix Terrace
Residential Development**

950 Phenix Avenue
Cranston, Rhode Island
Issued for

Permitting

Drawing Title
**Landscape
Details**

JUL 24 2008



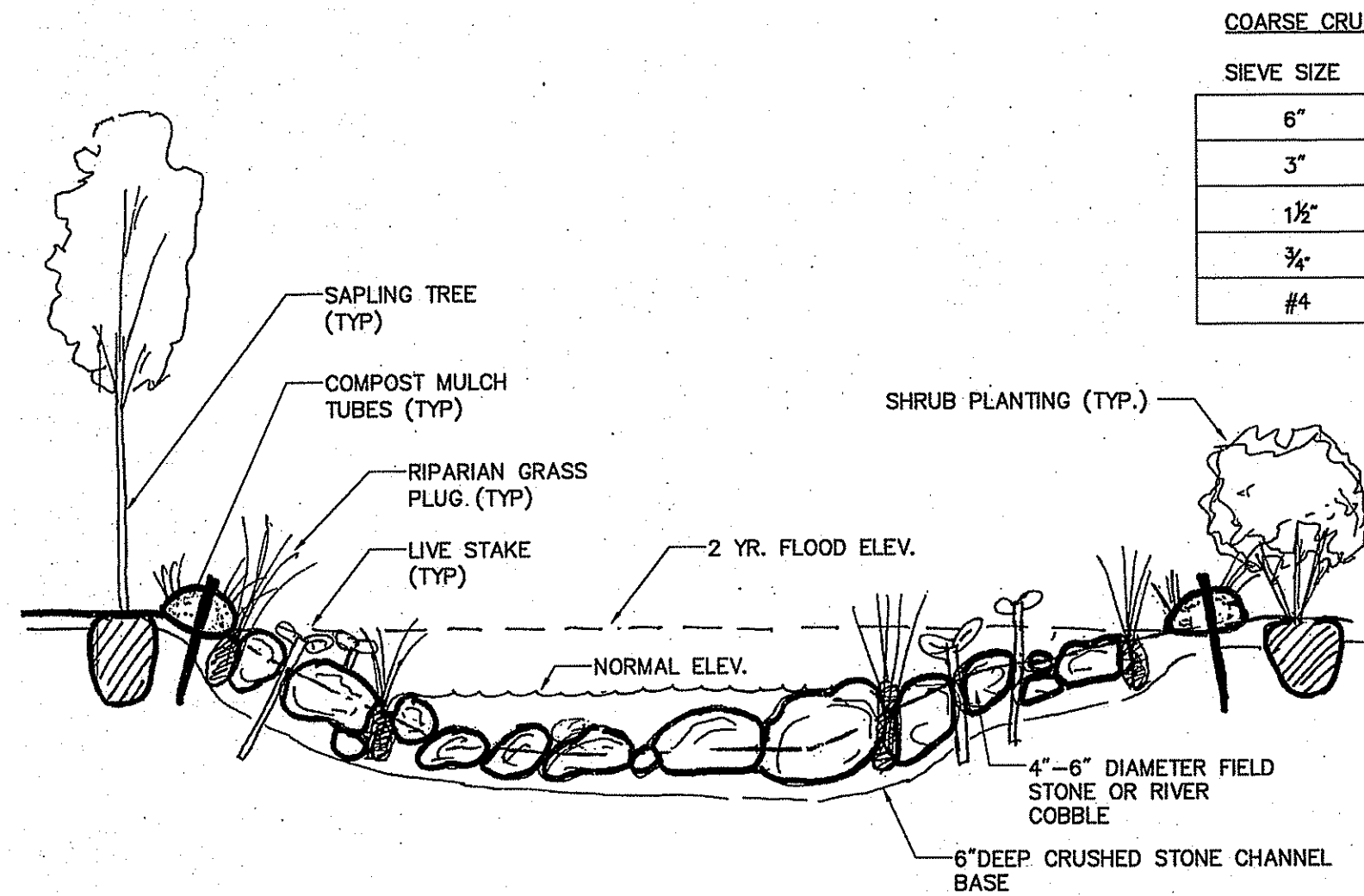
L-4

Sheet of 4 5

Project Number
72094.00

Save Wednesday, July 23, 2008 10:07:34 AM Plotted Wednesday, July 23, 2008 3:06:59 PM

\\V2094.00\CAD\LD\PLANSET\2094.00-LA-01

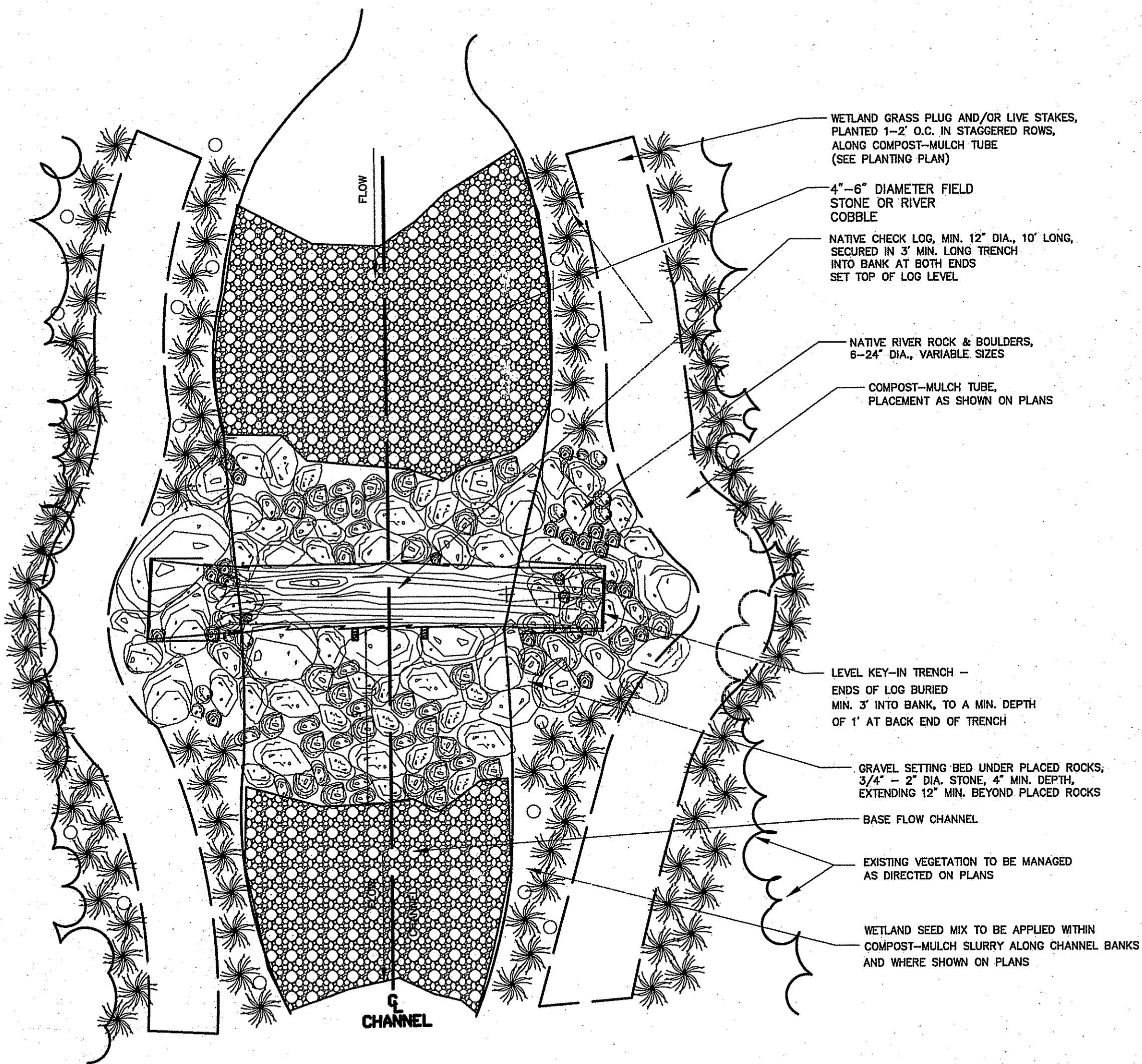


COARSE CRUSHED STONE GRADATION	
SIEVE SIZE	PERCENT PASSING BY WEIGHT
6"	100
3"	60-90
1 1/2"	45-60
3/4"	20-35
#4	5-20

Planted Cobble Stream Channel - Section

N.T.S.

Source: VHB



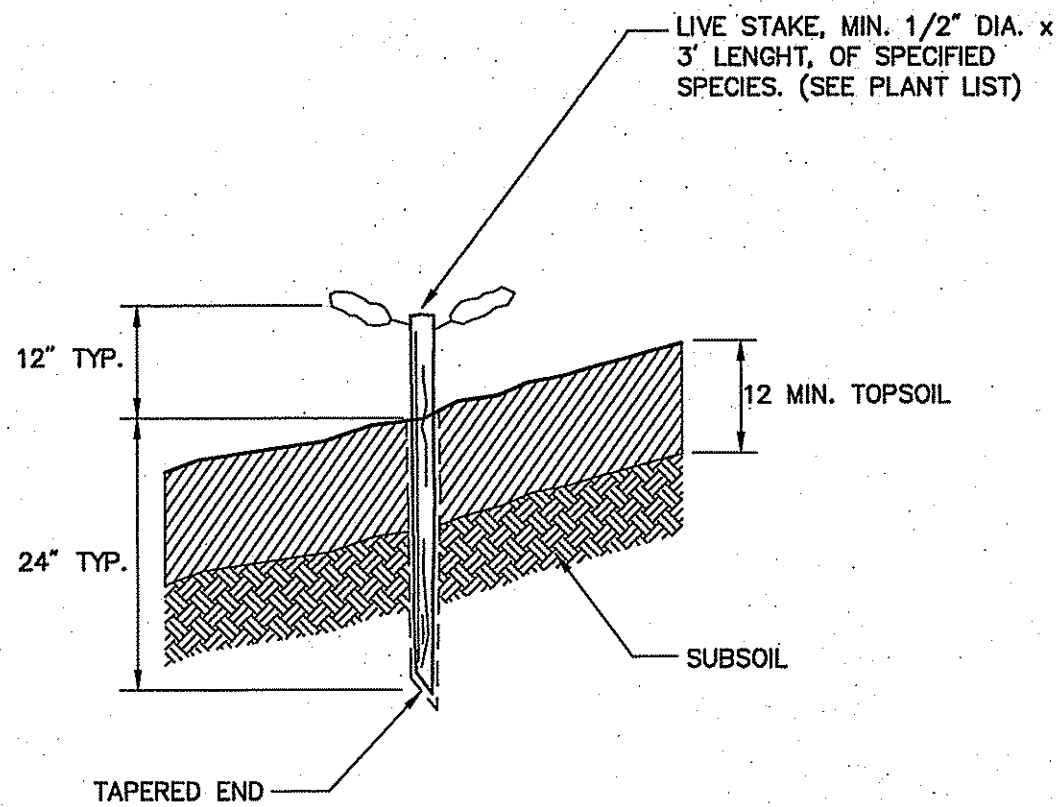
Embedded Log Check Dam (With Stone Reinforcement) - Plan View

N.T.S.

Source: VHB

2/07

LD_765



Notes:

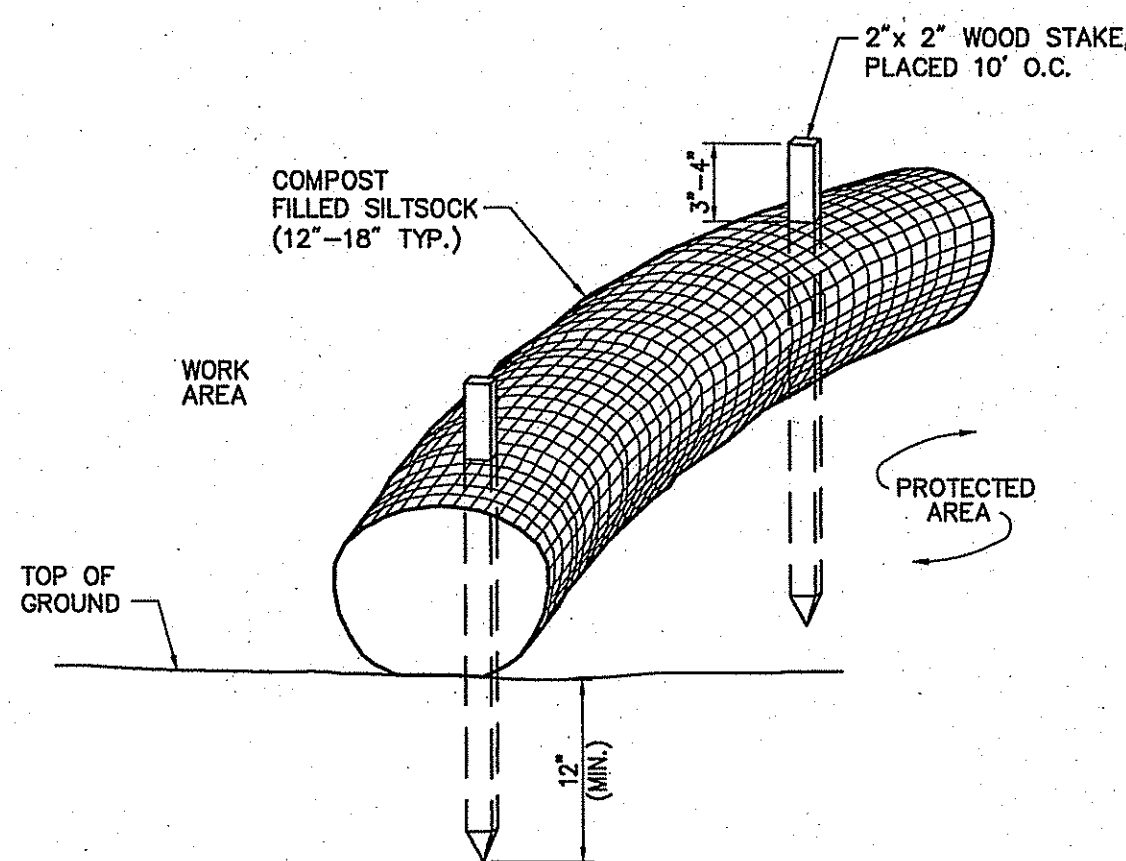
1. CREATE PLANTING HOLE.
2. ADD FERTILIZER.
3. INSERT TAPERED END DOWN WITH TOP OF STAKE ABOVE SURFACE.
4. GENTLY TAMP IN STAKE TO PREVENT DAMAGE TO STAKE.
5. TIGHTLY TAMP GROUND AROUND STAKE.

Live Stake Planting

N.T.S.

Source: VHB

3/07



Notes:

1. SILT SOCK SHALL BE FILTREXX, SILT SOXX, OR APPROVED EQUAL.
2. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

Compost Mulch Tube

N.T.S.

Source: VHB

1/07

REV

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG - 1, 2008 FILE # 06-0510
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Martin D. Weneck

1	No Revisions	7/23/08
No.	Revision	Date
Designed by	Drawn by	Checked by
CAD checked by	Approved by	
Scale	Date	April 21, 2008
Project Title		

Phenix Terrace
Residential Development

950 Phenix Avenue
Cranston, Rhode Island

Issued for

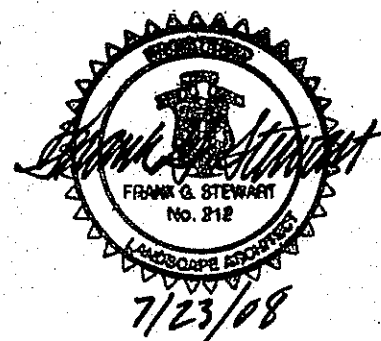
Permitting

Drawing Title

Wetland Restoration
Details

JUL 24 2008

Drawing Number



L-5

Sheet 5 of 5

Project Number
72094.00

72094.00-LA-DT.DWG



Vanasse Hangen Brustlin, Inc.

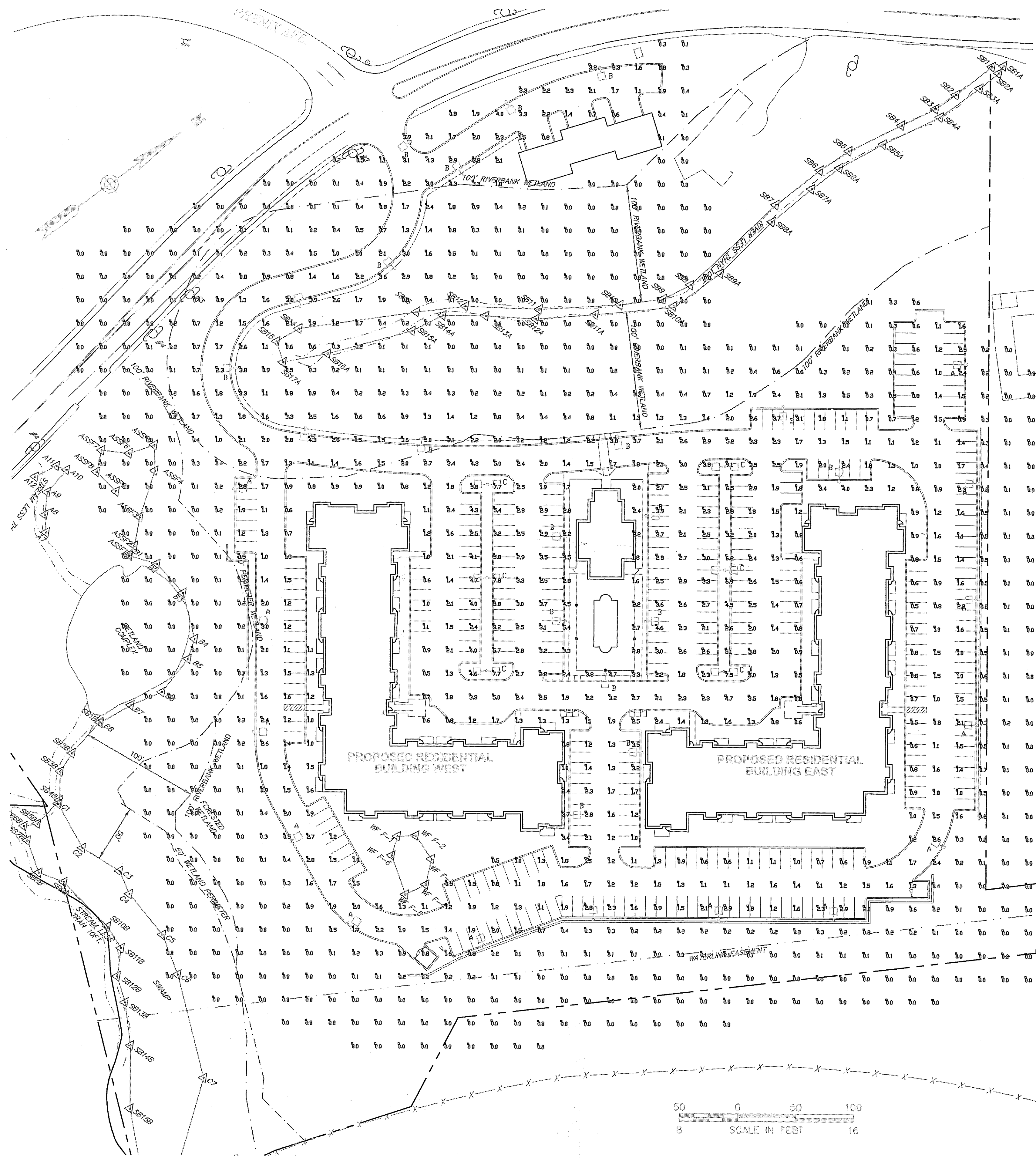
Transportation
Land Development
Environmental Services

10 Dorrance Street, Suite 400
Providence, Rhode Island 02903
401.272.8100 • FAX 401.273.9694



Edward A. Fish Associates, LLC

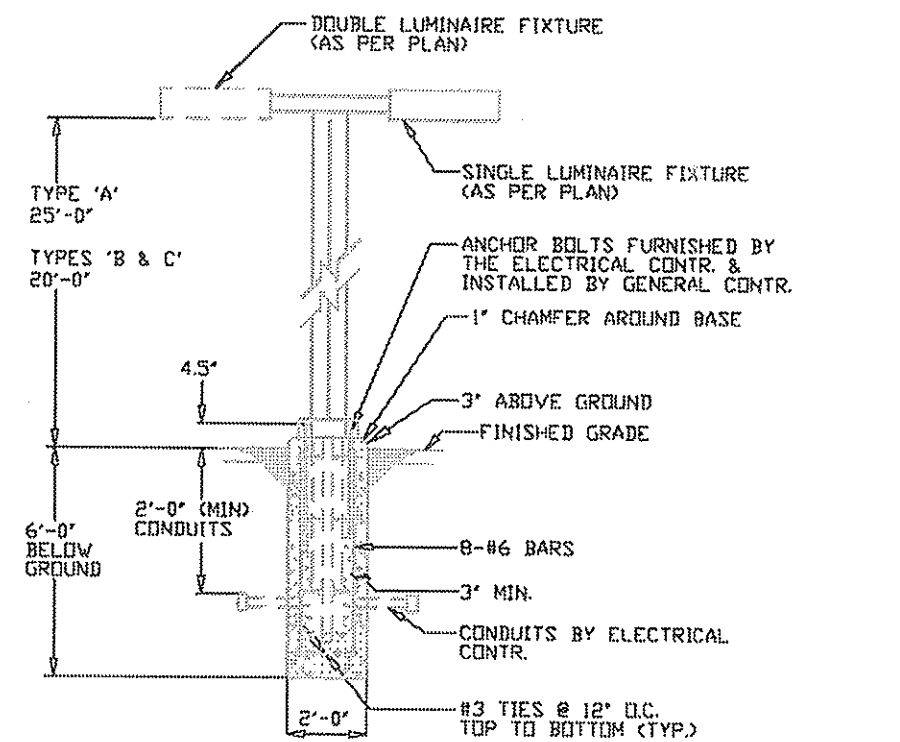
ENGINEERING ADVANTAGE, INC.
2 PARK STREET
BOSTON, MASSACHUSETTS 02122
PHONE: (617) 288-3969
FAX: (617) 825-8922



INDUSTRIES*
LIGHTING PROPOSAL FOR
RESIDENTIAL COMMUNITY
CRANSTON, RI
SHEET 1 OF 1

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
MAIN LOT SUMMARY	2.05	9.1	0.5	4.10	18.20
Luminaire Schedule					
Symbol	Label	Arrangement	Lumens	LLF	Description
	A	SINGLE	30000	0.720	PTH FT 320 PSMH F HSS 25' POLE 3' BASE
	B	SINGLE	23500	0.720	PTH 3 250 PSMH F 20' POLE 3' BASE
	C	DIBO	23500	0.720	PTH 5 250 PSMH F 20' POLE 3' BASE

Total Watts = 15340



LIGHTING POLE BASE DETAIL
NOT TO SCALE

- SITE LIGHTING SCHEDULE**
L.S.I. LIGHTING SYSTEMS
- TYPE 'A'
18PTH-3-320MM-F-MT-BRZ-PHT 2 1/2 FT HSS RM
250 WATT METAL HALIDE W/TYPE 3 REFLECTOR
& HOUSE SIDE SHIELD
MOUNTED ON #45080-S07G-25-S-BRZ POLE
20' STRAIGHT SQUARE STEEL
- TYPE 'B'
18PTH-3-250MM-F-MT-BRZ-PHT 2 1/2 FT HSS RM
250 WATT METAL HALIDE W/TYPE 3 REFLECTOR
& HOUSE SIDE SHIELD
MOUNTED ON #45080-S07G-20-S-BRZ POLE
20' STRAIGHT SQUARE STEEL
- TYPE 'C'
28PTH-5-250MM-F-MT-BRZ
250 WATT METAL HALIDE W/TYPE 5 REFLECTOR
MOUNTED ON #45080-S07G-20-DIBO-BRZ POLE
20' STRAIGHT SQUARE STEEL

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESH WATER WATLANDS PROGRAM
AS SEEN IN THE LETTER OF APPROVAL
DATED **AUG - 1 2008** FILE # **06-0510**
NO CHARGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Myrta D. Wencel

1	No Revisions	7/23/08	
No.	Revision	Date	Appr.
Designed by	LAR	Drawn by	CJC
Checked by	LAR	Approved by	
Scale	1"=50'	Date	April 21, 2008
Project Title			

Phenix Terrace Residential Development

950 Phenix Avenue
Cranston, Rhode Island
Issued for

Permitting

Not Approved for Construction

Site Lighting Plan

JUL 24 2008

Drawing Number

SL-1

Sheet of

Project Number
72094.00