

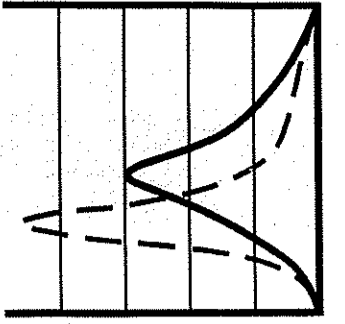
SITE PLANS FOR PROPOSED

UNION POND VILLAGE

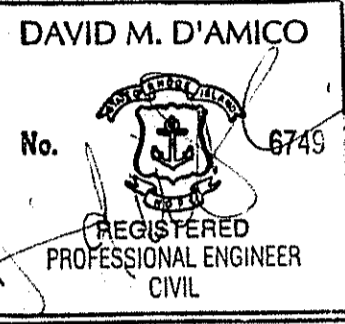
AP 174 LOT 133

BURRILLVILLE, RHODE ISLAND

ZONING DISTRICTS- A-80, R-20, VC



CDE
CASALI & D'AMICO ENGINEERING, INC.
CIVIL, SITE DEVELOPMENT, TRAFFIC, FLOODPLAIN
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2/4/08

UNION POND VILLAGE
 HIGH STREET
 BURRILLVILLE, RHODE ISLAND
 AP 174 LOT 133

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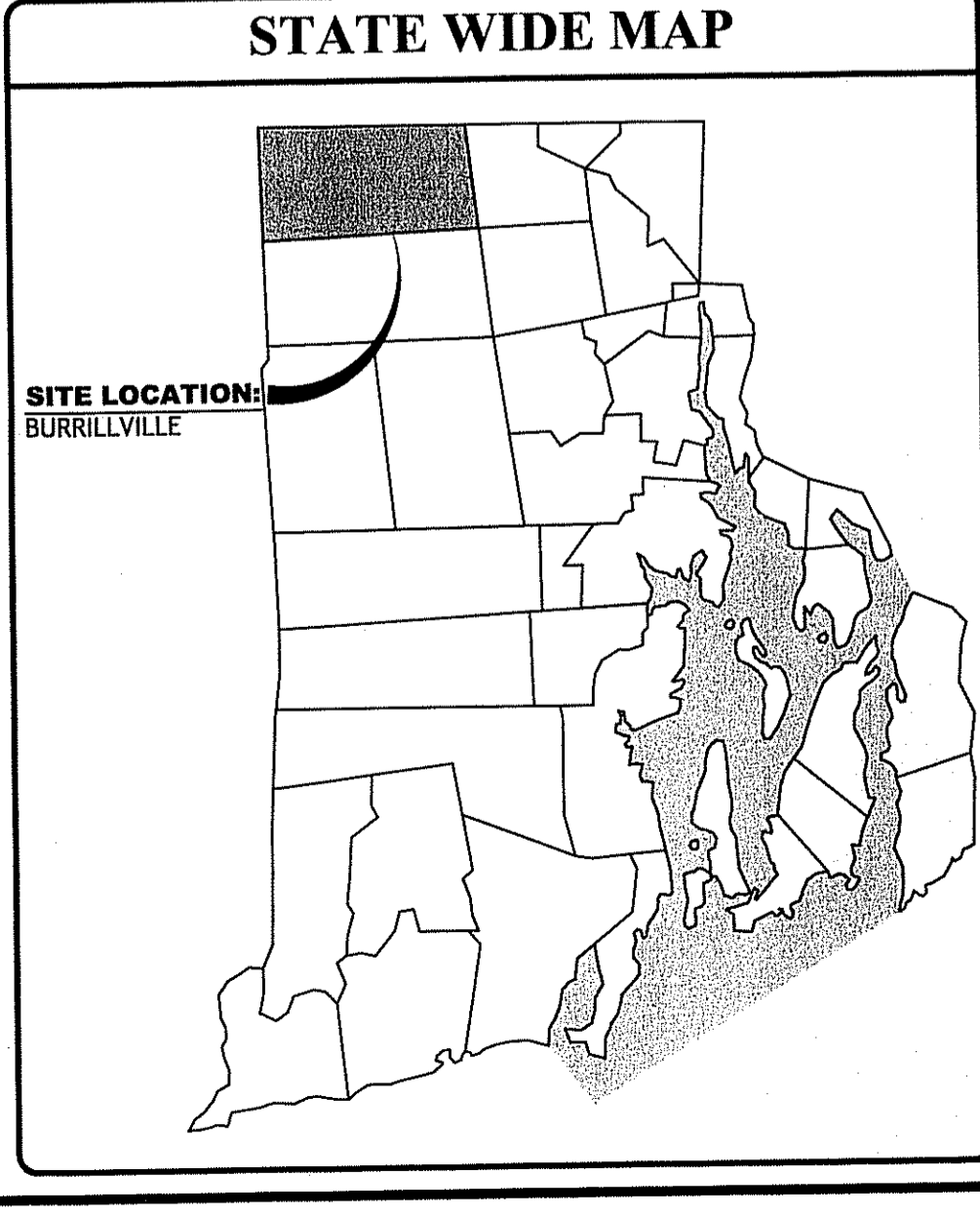
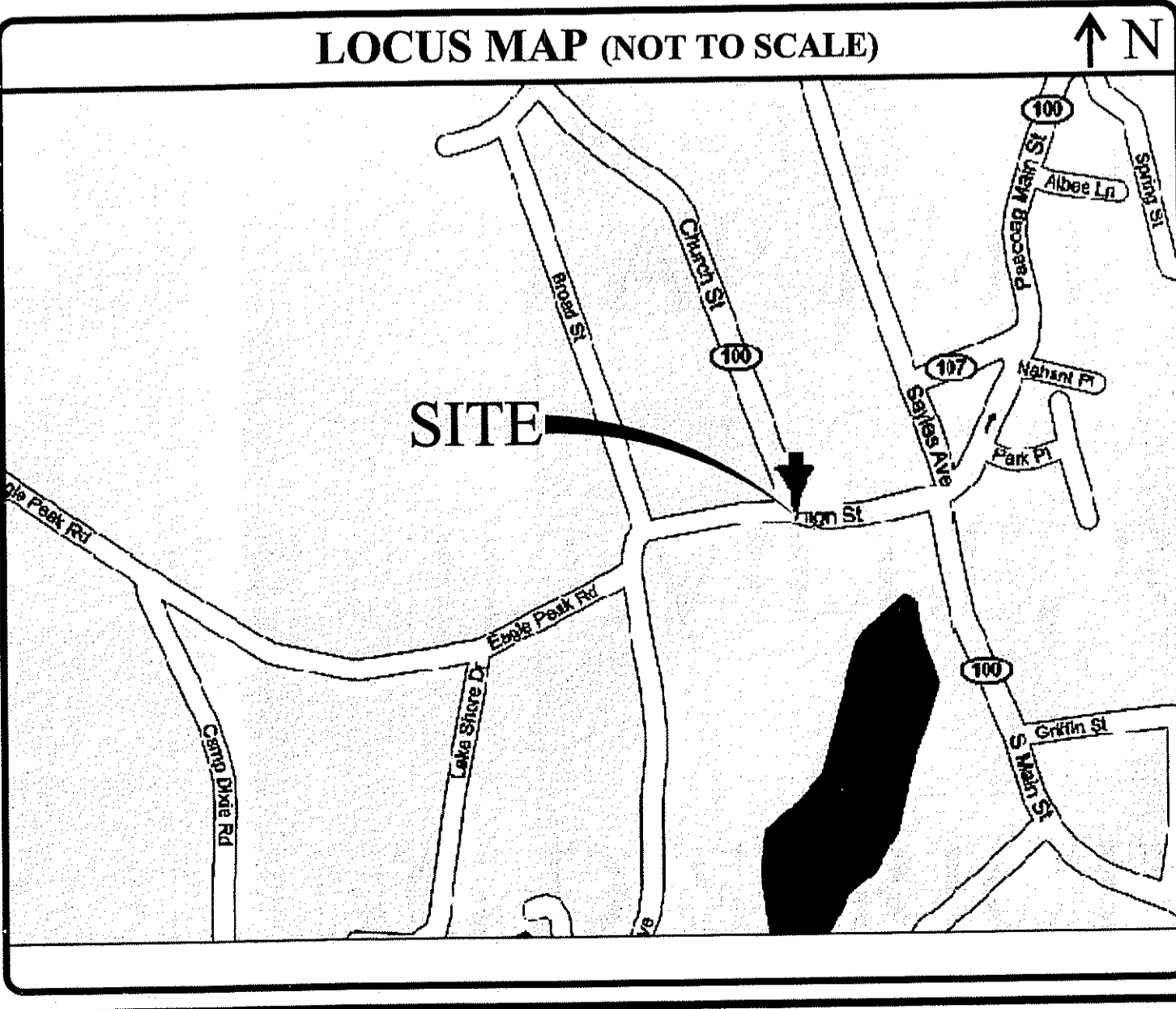
Q:\03-52-National Land Surveyors\05-521-Union Pond Village\CA\DIR\ANSET\UNION POND (PLAN SET).dwg Feb. 04, 2008 3:58pm

PROJECT TEAM

OWNER: SHEFFIELD BUILDERS, LLC.
GEORGE EDDY DRIVE
PASCOAG, R.I. 02859

CIVIL: JOE CASALI ENGINEERING, INC.
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SURVEYOR: NATIONAL SURVEYORS - DEVELOPERS, INC.
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WOONSOCKET, RI 02895
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INDEX OF DRAWINGS

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED **FEB 27 2008** FILE # **07-0137**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

James W. Wenzel
Christopher D. Wenzel

REVISIONS:

NO.	DATE	DESCRIPTION
1	4/07	REVISED PER PASCOAG UTILITY COMMENTS
2	12/07	REVISED PER RIDEM COMMENTS
3	2-08	REVISED PER RIDEM ENGINEER COMMENTS

DESIGNED BY: AMS / NCA
 DRAWN BY: MRB
 CHECKED BY: DMD
 DATE: FEBRUARY 2007
 PROJECT NO: 05-521

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 11

GENERAL NOTES:

- CLASS I PROPERTY LINE AND CLASS III TOPOGRAPHIC SURVEY COMPLETED BY NATIONAL SURVEYORS-DEVELOPERS, INC., WOONSOCKET, RI IN MARCH, 2005.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THIS SITE LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD ZONE), AS SHOWN ON THE FIRM MAP FOR THE TOWN OF BURRILLVILLE, RI COMMUNITY PANEL NO. 440013 0010 B, MAP REVISED JULY 2, 1979.
- SOILS EXISTING ON THE SITE ARE CeC, HYDROLOGIC SOIL GROUP B.
- SOIL EVALUATIONS WERE COMPLETED BY NATIONAL SURVEYORS-DEVELOPERS IN APRIL 2006.
- WETLAND RESOURCES DELINEATED BY NATURAL RESOURCE SERVICES IN 2006.

SITE NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT AS-BUILT DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
- ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
- WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE TOWN AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR TOWN.
- THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT ADVERSELY AFFECTED BY THIS OPERATION.
- THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
- THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH WORK DAY.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND PROPERLY DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATION'S WILL BE AUTHORIZED.
- THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
- OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THERE OPERATIONS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGES OF: PAVEMENT, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVEMENT, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR CITY.
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVEMENT AREAS.
- ALL SEWER PIPING SHALL BE POLYVINYLCHLORIDE (PVC) IN ACCORDANCE WITH ASTM STANDARD D-3034.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR (PLS) TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND INCONSISTENT WITH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION *PRIOR* TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR TOWN RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC, SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 1988 EDITION. INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE PLAN AND SCHEDULE:

- CATCH BASINS, MANHOLES AND DRAIN LINES:---AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - DAMAGE TO GRATE/ COVERS
 - EVIDENCE OF STANDING WATER
 - DEBRIS REMOVAL
 - STRUCTURAL ALIGNMENT/ INTEGRITY
 ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE SCHEDULED FOR PROMPT REPAIR OR REPLACEMENT.
- SEDIMENT REMOVAL: THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS

DRAINAGE SYSTEM NOTES:

- THE PROPOSED DRAINAGE LINES SHALL BE ADS/ N-12 (HDPE) OR AN APPROVED EQUAL.
- ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.
- THE DESIGN ENGINEER MUST SUBMIT AN AS-BUILT PLAN AND A CERTIFICATION TO THE TOWN ENGINEER THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE DESIGN PLANS FOR ALL ELEMENTS OF THE DRAINAGE SYSTEM PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

DETENTION BASIN CONSTRUCTION NOTES:

- DETENTION BASIN BERM AREAS ARE TO BE CONSTRUCTED WITH COMMON BORROW COMPACTED TO 95% AND THEN LOAMED AND SEEDED.
- TREES AND SHRUBS SHALL NOT BE PLANTED ON ANY IMPOUNDING EMBANKMENT.
- DISTURBED AREAS ARE TO BE LOAMED A MINIMUM OF 4" AND SEEDED WITH A CONSERVATION TYPE MIXTURE.
- ALL CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK".
- THE CLAY LINER SHALL BE INSTALLED USING BENSEAL OR OTHER NATURAL CLAY MINERAL WITH A PERMEABILITY OF 1X10-8 CM/SEC OR LESS.
- THE CLAY MATERIAL SHALL BE WORKED INTO THE TOP 6 INCHES OF THE BASIN BOTTOM AT THE RATE OF 3 LBS. PER SQUARE FOOT.
- THE TOP OF THE CLAY LINER SHALL BE INSTALLED 1-FOOT BELOW THE SURFACE IN THE SEDIMENT FOREBAY TO ALLOW FOR SEDIMENT CLEANOUT WITHOUT DISTURBING THE CLAY LINER.

PROPOSED PAVEMENT STRUCTURE: (ON-SITE)

- 1 1/2" BITUMINOUS TOP COURSE CLASS 1-1
- 1 1/2" BITUMINOUS SURFACE BASE COURSE
- 12" BANK RUN GRAVEL SUBBASE

ASPHALT EMULSION TACK COAT TO BE PLACED ON ALL BITUMINOUS COURSES PRIOR TO PAVING.

WATER NOTES:

- ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY TO THE PASCOAG WATER SUPPLY BOARD REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN DUCTILE IRON PIPE FOR A DISTANCE OF 10 FEET EACH SIDE OF CROSSING OF THE WATER SERVICE.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS; SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO PASCOAG WATER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- WATER LINE TRENCH TO BE AWWA TYPE 5 A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1' BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ARCHITECT / ENGINEER AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, GRAVEL, STONE, DRAINAGE PIPE AND RELATED STRUCTURES, WATER, SEWER, AND DRAIN LINE INSTALLATION, PAVEMENT SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1997 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
- SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.

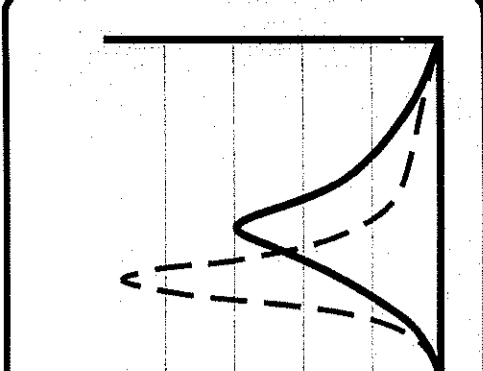
SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- THE HAYBALE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
 - THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
 - ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORM WATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
 - ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
 - ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
 - STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS. STOCKPILES SHALL BE SURROUNDED BY STAKED HAYBALES DURING ALL PERIODS OF PRECIPITATION AND NON-WORK.
 - THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
 - ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.
- BMP MAINTENANCE SCHEDULE**
- ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORM WATER DRAINAGE SYSTEMS AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), CATCH BASIN SUMPS, AND MANHOLES.
 - INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY, STABILITY AND EVIDENCE OF SOIL EROSION, SHALL INCLUDE MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BIMONTHLY IF NO RAINFALL EVENT OCCURS.
 - FOLLOWING THE CONSTRUCTION OF A SWALE, A PERMANENT COVER OF RIP RAP SHALL BE INSTALLED. ALL OTHER DISTURBED AREAS WITHIN THE VICINITY OF A SWALE SHALL BE SEEDED AND STABILIZED IMMEDIATELY UPON COMPLETION OF THE THEIR CONSTRUCTION TO PREVENT EROSION.
 - UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, (SEEDING, PLANTING, ETC.) WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES MUST BE REMOVED.
 - AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORM WATER FACILITIES MUST BE PERFORMED.
 - REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
 - ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM ANY WETLAND AREAS, SWALE, AND PIPE OUTLETS.
 - SWALES SHALL BE MOWED AT LEAST ONCE DURING THE GROWING SEASON TO PREVENT UNWANTED WOODY GROWTH.
 - SWALES AND DETENTION AREAS SHALL BE INSPECTED AFTER MAJOR STORM EVENTS OR ON AN ANNUAL BASIS. REPAIRS SHALL BE PERFORMED IMMEDIATELY AS CONDITIONS WARRANT. BARE SPOTS AND ERODED AREAS SHALL BE RESEDED IMMEDIATELY FOLLOWING OBSERVATIONS. ALL LITTER AND TRASH SHALL BE REMOVED DURING INSPECTIONS. DETENTION AREAS SHALL BE INSPECTED AFTER MAJOR STORM EVENTS OR ON AN ANNUAL BASIS. REPAIRS SHALL BE PERFORMED IMMEDIATELY AS CONDITIONS WARRANT. BARE SPOTS AND ERODED AREAS SHALL BE RESEDED IMMEDIATELY FOLLOWING OBSERVATIONS. ALL LITTER AND TRASH SHALL BE REMOVED DURING INSPECTIONS.

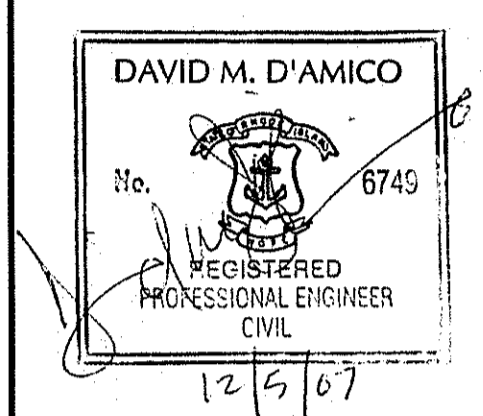
- THE CONDOMINIUM ASSOCIATION IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF STORMWATER FACILITIES INCLUDING DETENTION BASINS. STORMWATER MANAGEMENT BASINS SHOULD BE INSPECTED TWICE YEARLY, PREFERABLY SPRING AND FALL. MAINTENANCE ACTIVITIES SHALL INCLUDE:
 - YEARLY MOWING OF THE BASINS, PREFERABLY AFTER AUGUST 15TH.
 - BARE SPOTS IN VEGETATED AREAS OR EROSION DISCOVERED DURING INSPECTIONS SHALL BE STABILIZED IMMEDIATELY. REPLANTING SHALL OCCUR AS CLIMATIC CONDITIONS MAKE IT FEASIBLE.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED A MINIMUM OF ONCE EVERY TEN (10) YEARS OR WHEN THE CLEANOUT ELEVATION IS REACHED. SEDIMENT REMOVED SHALL BE DISPOSED OF IN AN UPLAND AREA OUTSIDE OF ANY JURISDICTIONAL WETLANDS. DISPOSAL SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE OR LOCAL REGULATIONS.
 - SEDIMENT REMOVAL CLEANOUT ELEVATION = 443.50
- CATCH BASINS, MANHOLES, OUTLETS AND INLETS SHALL BE INSPECTED YEARLY AND SEDIMENT AND DEBRIS SHALL BE REMOVED PROMPTLY.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 27 2008 FILE # 07-0137
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Christopher D. Weneck



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UNION POND VILLAGE
 HIGH STREET
 BURRILLVILLE, RHODE ISLAND
 AP 174 LOT 133
 DEC - 7 2007

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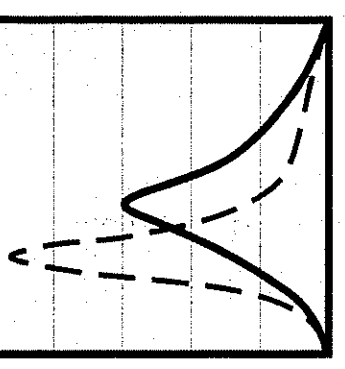
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PRELIMINARY, NOT FOR CONSTRUCTION

GENERAL NOTES

SHEET 2 OF 11

Q:\03-32-National Land Surveyors\05-52f Union Pond Village\ACAD\PLANS\SET\UNION POND\PLAN SET.dwg Doc. 05. 2007 1:27pm



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DAVID M. D'AMICO
 No. 0745
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 12/5/07

UNION POND VILLAGE
 HIGH STREET
 BURRILLVILLE, RHODE ISLAND
 AP 174 LOT 133
 DEC - 7 2007

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2	12/07	RIDEM COMMENTS SEWER COMMENTS

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 DATE: FEBRUARY 2007
 PROJECT NO: 05-52F

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS PLAN

SHEET 4 OF 11

- LEGEND**
- EXISTING PROPERTY LINE
 - ABUTTING PROPERTY LINE
 - WETLAND EDGE
 - WETLAND FLAG
 - 50' PERIMETER WETLAND EASEMENT
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED RETAINING WALL
 - EXISTING STONE WALL
 - IRON PIN
 - DRILL HOLE
 - CONCRETE BOUND
 - UTILITY POLE
 - SOIL EVALUATION
 - TP
 - WATER LINE
 - WATER SHUT OFF VALVE
 - SEWER
 - SMH
 - DRAIN LINE
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - N/F
 - NOW OR FORMERLY EXISTING LIMIT OF WOODLAND (APPROXIMATE)
 - HAY BALES
 - SILT FENCE
 - LIMIT OF DISTURBANCE
 - LEDGE

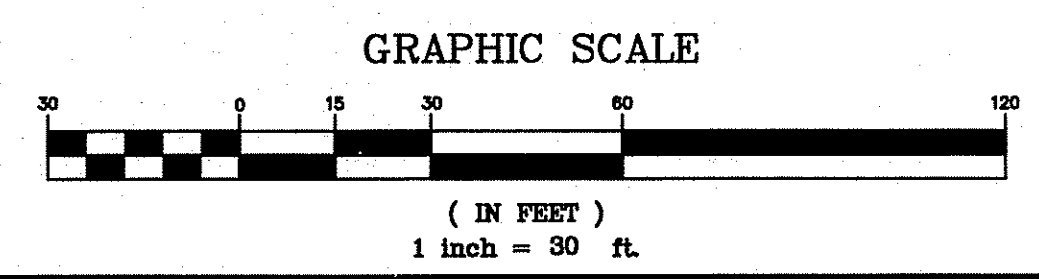
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED **FEB 27 2008** FILE # **07-0137**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Iman D. Wencek

TEST PIT	DEPTH	SHGWT	DEPTH TO IMPERVIOUS	PERCOLATION RATE
9-18-07	9'-6"	11"	9'-6"	N/A
TH 1	8'0"	7'0"	8'0"	10 min/in
TH 2	9'4"	6'0"	9'4"	10 min/in
P 1	7'0"	N/A	7'0"	N/A
P 2	3'0"	N/A	3'0"	N/A
P 3	2'4"	N/A	2'4"	N/A
P 4	1'2"	N/A	0-1'2"	N/A
P 5	3'0"	N/A	3'0"	N/A

NOTE: SEASONAL HIGH GROUNDWATER TABLE NOT APPLICABLE FOR LEDGE PROBES.

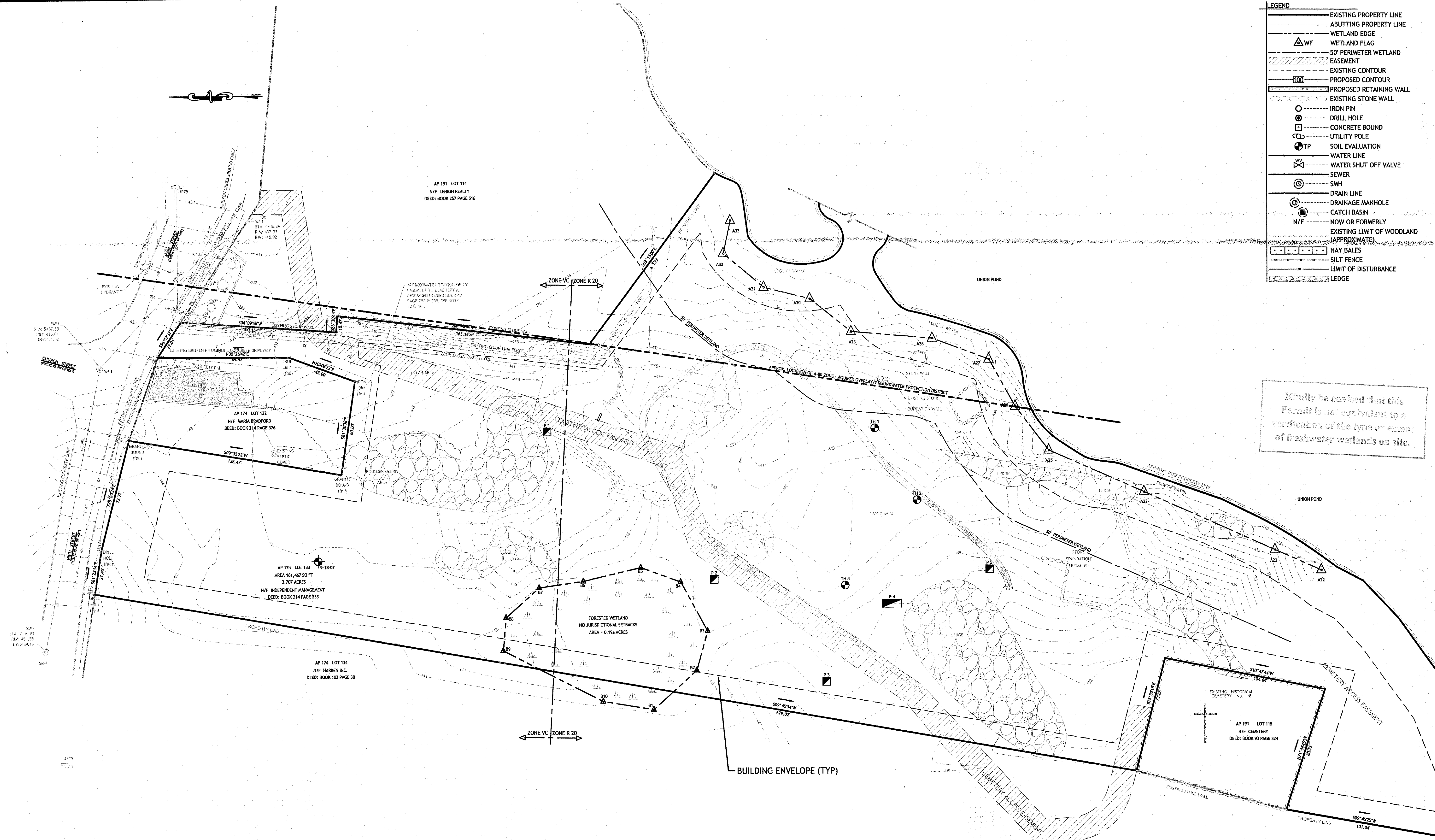


ZONING CRITERIA	REQUIRED		
	VC	R-20	A-80
MINIMUM LOT AREA	20,000 SF	20,000 SF	80,000 SF
MINIMUM LOT FRONTAGE	125'	125'	300'
MINIMUM FRONT YARD SETBACK	30'	30'	40'
MINIMUM SIDE YARD SETBACK	15'	10'	15'
MINIMUM REAR YARD SETBACK	30'	30'	40'
MAXIMUM LOT COVERAGE	30%	25%	15%
MAXIMUM BUILDING HEIGHT	35'	35'	-

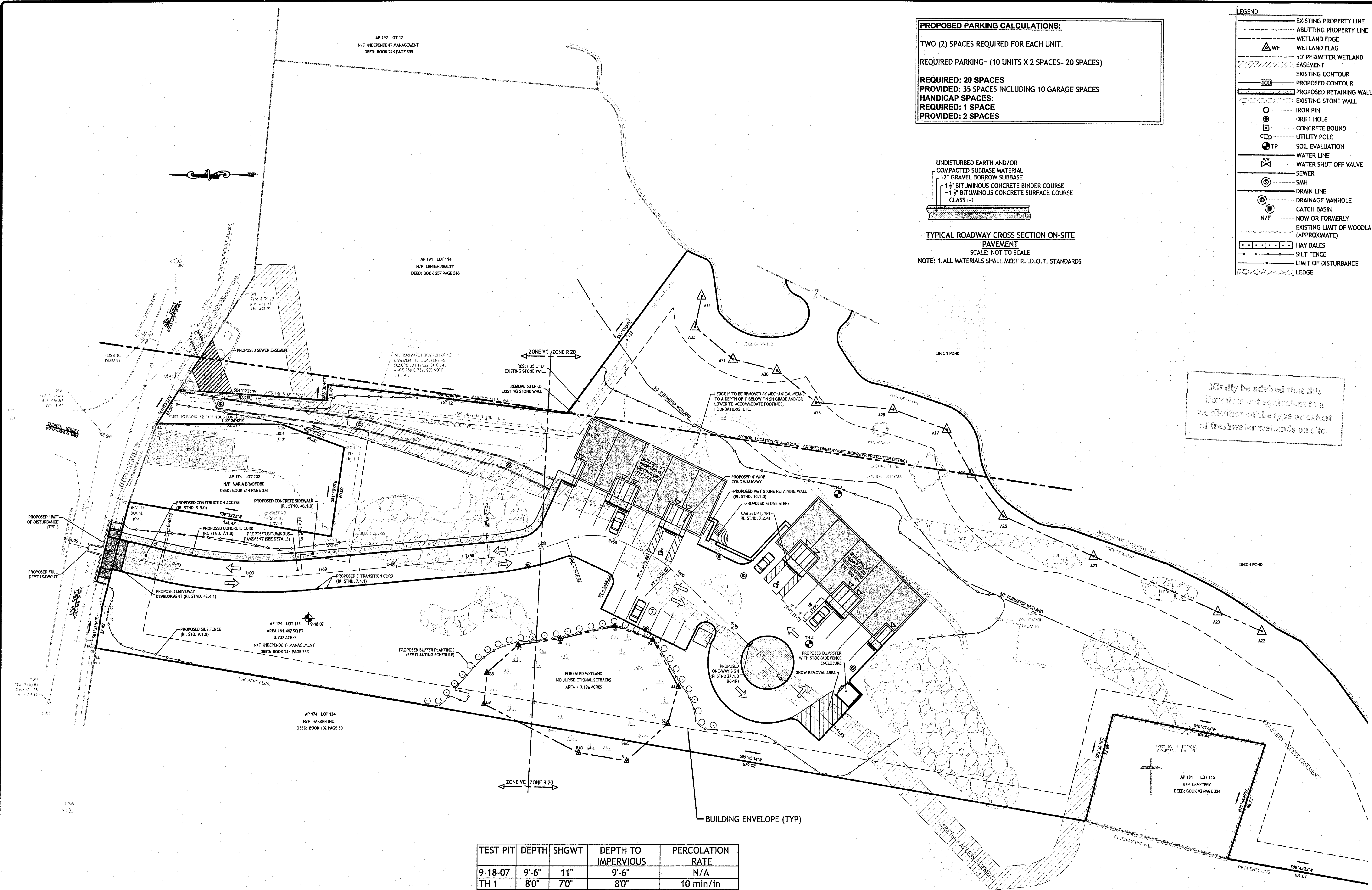
LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DIGSAFE** AT **1-888-DIG-SAFE** OR **1-888-344-7233**



Q:\01-32-National Land Surveys\05-524 Union Pond Village\ACAD\PLANSET\UNION POND I.PLAN SET.dwg Dec. 05. 2007 1:27pm



Q:\01-52-National Land Surveys\09-527 Union Pond Village\ACAD\PLANSET\UNION POND PLAN SET.dwg, Doc. 05. 2007. 1:27.dwg



PROPOSED PARKING CALCULATIONS:
 TWO (2) SPACES REQUIRED FOR EACH UNIT.
 REQUIRED PARKING= (10 UNITS X 2 SPACES= 20 SPACES)
REQUIRED: 20 SPACES
PROVIDED: 35 SPACES INCLUDING 10 GARAGE SPACES
HANDICAP SPACES:
REQUIRED: 1 SPACE
PROVIDED: 2 SPACES

UNDISTURBED EARTH AND/OR
 COMPACTED SUBBASE MATERIAL
 12" GRAVEL BORROW SUBBASE
 1 1/2" BITUMINOUS CONCRETE BINDER COURSE
 1 1/2" BITUMINOUS CONCRETE SURFACE COURSE
 CLASS 1-1

TYPICAL ROADWAY CROSS SECTION ON-SITE PAVEMENT
 SCALE: NOT TO SCALE
 NOTE: 1. ALL MATERIALS SHALL MEET R.I.D.O.T. STANDARDS

- LEGEND**
- EXISTING PROPERTY LINE
 - ABUTTING PROPERTY LINE
 - WETLAND EDGE
 - WETLAND FLAG
 - 50' PERIMETER WETLAND EASEMENT
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED RETAINING WALL
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 - SEWER
 - SMH
 - DRAIN LINE
 - DRAINAGE MANHOLE
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 - NOW OR FORMERLY
 - EXISTING LIMIT OF WOODLAND (APPROXIMATE)
 - HAY BALES
 - SILT FENCE
 - LIMIT OF DISTURBANCE
 - LEDGE

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JCE
JOE CASALI ENGINEERING, Inc.
 Civil - Site Development - Drainage
 Wetlands - Floodplain - ISDS
 300 Post Road, Warwick, RI 02888
 (401) 944-1300 (401) 944-1313 fax
 www.joeCasaliEngineering.com

DAVID M. D'AMICO
 6745
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 12/6/07

UNION POND VILLAGE
 HIGH STREET
 BURRILLVILLE, RHODE ISLAND
 AP 174 LOT 133
 DEC 7 2007

REVISIONS:

NO.	DATE	DESCRIPTION
1	4/07	REVISED PER PASCOAG UTILITY COMMENTS
2	12/07	REVISED PER RIDEM COMMENTS SEWER COMMENTS

DESIGNED BY: AMS / NCA
 DRAWN BY: MRB
 CHECKED BY: AMS / JAC
 DATE: FEBRUARY 2007
 PROJECT NO: 05-527

PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN

SHEET 5 OF 11

ZONING CRITERIA	REQUIRED	PROPOSED
MINIMUM LOT AREA	20,000 SF	161,467 SF
MINIMUM LOT FRONTAGE	125'	100'
MINIMUM FRONT YARD SETBACK	30'	155'
MINIMUM SIDE YARD SETBACK	15'	15'
MINIMUM REAR YARD SETBACK	30'	96'
MAXIMUM LOT COVERAGE	30%	4.6%
MAXIMUM BUILDING HEIGHT	35'	TBD

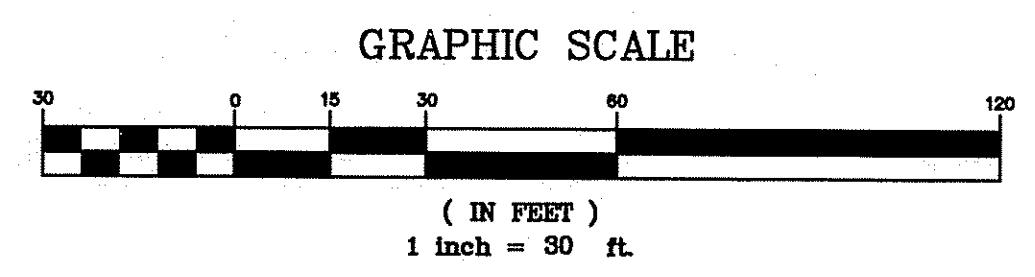
TEST PIT	DEPTH	SHGWT	DEPTH TO IMPERVIOUS	PERCOLATION RATE
9-18-07	9'-6"	11"	9'-6"	N/A
TH 1	8'0"	7'0"	8'0"	10 min/in
TH 2	9'4"	6'0"	9'4"	10 min/in
P 1	7'0"	N/A	7'0"	N/A
P 2	3'0"	N/A	3'0"	N/A
P 3	2'4"	N/A	2'4"	N/A
P 4	12"	N/A	0-12"	N/A
P 5	3'0"	N/A	3'0"	N/A

NOTE: SEASONAL HIGH GROUNDWATER TABLE NOT APPLICABLE FOR LEDGE PROBES.

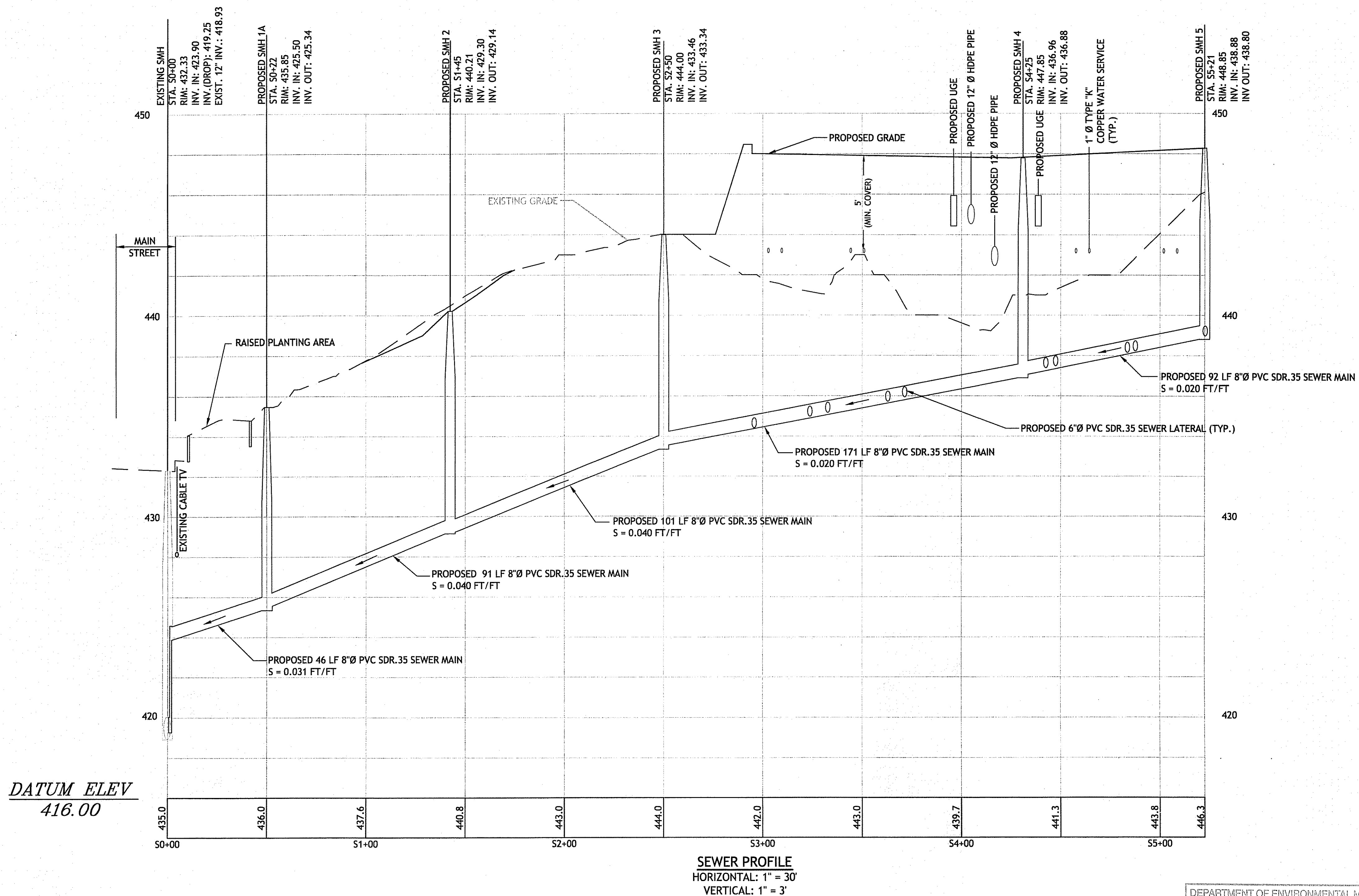
PLANTING SCHEDULE
 ○ (32) EASTERN WHITE PINE (PINUS STROBUS) 6'-7' TALL
 AFTER PLANTING PLANTED 8' ON CENTER.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 27 2008 FILE # 07-0137
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Martin D. Wencel



Q:\03-32-National Land Survey\05-527-Union Pond Village\ACAD\PLANS\SET\UNION POND (PLAN SET).dwg Dec. 05. 2007 2:27pm

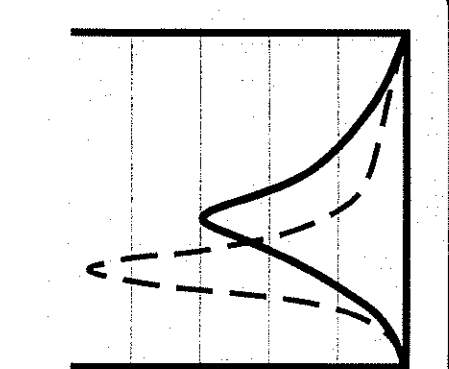


NOTE:

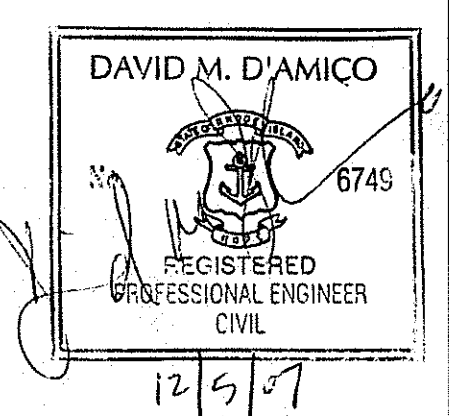
CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION TO ACQUIRE A PHYSICAL ALTERATION PERMIT FOR UTILITY WORK (PAU) PRIOR TO WORK WITHIN THE RIGHT-OF-WAY OF MAIN STREET.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESH-WATER WETLANDS PROGRAM
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Martin D. Wencel



JCE
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Civil - Site Development - Drainage
Wetlands - Floodplain - USDS
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(401) 944-1300 (401) 944-1313 fax
www.jceengineering.com



UNION POND VILLAGE
HIGH STREET
BURRILLVILLE, RHODE ISLAND
AP 174 LOT 133
DEC - 7 2007

NO.	DATE	DESCRIPTION
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2	12/07	REVISED PER RIDEM COMMENTS SEWER COMMENTS

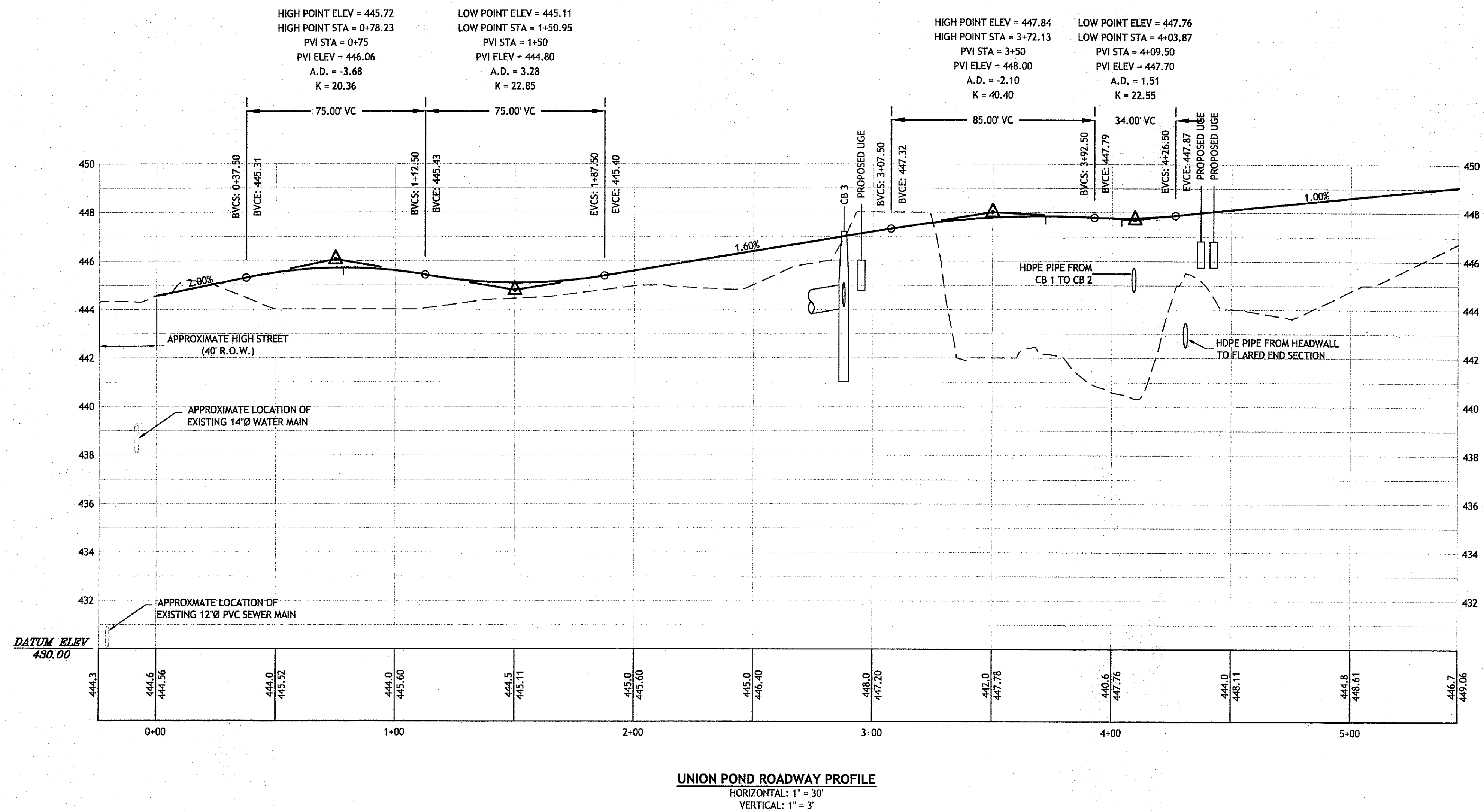
DESIGNED BY: AMS / NCA
DRAWN BY: MRB
CHECKED BY: AMS / JAC
DATE: FEBRUARY 2007
PROJECT NO: 05-527

PRELIMINARY, NOT FOR CONSTRUCTION

SEWER PROFILE

SHEET 8 OF 11

C:\02_02_National Lead System\05-021 Union Pond Village\ACAD\PLANS\UNION POND (PLAN SET).dwg Dec. 05, 2007 2:50pm



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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Matthew D. Wenczek

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 Wetlands · Floodplain · ISDS
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 www.joecasalengineering.com

DAVID M. D'AMICO
 No. 6745
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 12/5/07

UNION POND VILLAGE
 HIGH STREET
 BURRILLVILLE, RHODE ISLAND
 AP 174 LOT 133

DEC - 7 2007

REVISIONS:

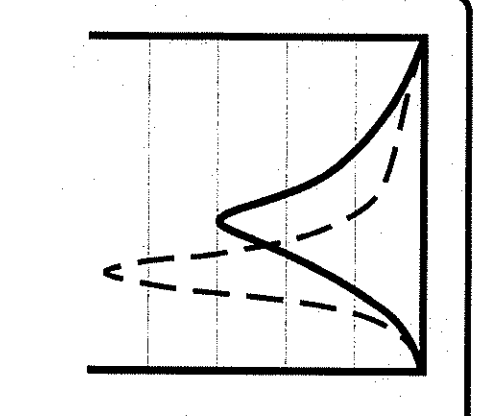
NO.	DATE	DESCRIPTION
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DESIGNED BY: AMS / NCA
 DRAWN BY: MRB
 CHECKED BY: AMS / JAC
 DATE: FEBRUARY 2007
 PROJECT NO: 05-52f

PRELIMINARY, NOT FOR CONSTRUCTION

ROADWAY PROFILE

SHEET 9 OF 11



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 12/9/07

UNION POND VILLAGE
 HIGH STREET
 BURRILLVILLE, RHODE ISLAND
 AP 174 LOT 133

DEC - 7 2007

REVISIONS:

NO.	DATE	DESCRIPTION
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2	12/07	REVISED PER COMMENTS SEWER COMMENTS

DESIGNED BY: AMS/NCA
 DRAWN BY: MRB
 CHECKED BY: AMS/JAC
 DATE: FEBRUARY 2007
 PROJECT NO: 05-327

PRELIMINARY, NOT FOR CONSTRUCTION

DETAILS I

SHEET 10 OF 11

CEMENT CONCRETE SIDEWALK (R.I. STANDARD 43.1.0)

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

DRIVEWAY DEVELOPMENT FOR 6'-0" TRANSITION CURB (R.I. STANDARD 43.4.1)

NOTE: SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.

CIRCULAR CURB

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

PRECAST CONCRETE CURB (R.I. STANDARD 7.1.0)

3'-0" PRECAST CONCRETE TRANSITION CURB (R.I. STANDARD 7.1.1)

CONSTRUCTION ACCESS (R.I. STANDARD 9.9.0)

PRECAST CONCRETE CAR STOPS (R.I. STANDARD 7.2.4)

SILT FENCE DETAIL (R.I. STANDARD 9.2.0)

CONCRETE HEADWALLS FOR PIPE CULVERTS (R.I. STANDARD 2.1.0)

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 709 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 3/4" CHAMFER ON ALL EXPOSED EDGES.
 3. 1" COMPACTED GRAVEL UNDER HEADWALL.
 4. ALL REINFORCING BARS SHALL BE EPOXY COATED.

REGULATORY SIGNS (R.I. STANDARD 27.1.0)

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 715 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SIGNS TO BE MOUNTED ON 3" GRADE SHEETING.
 3. REGULATORY SIGNS SHALL BE MOUNTED IN ACCORDANCE WITH STD. 24.1.0, 24.2.0 OR 24.3.0.
 4. THICKNESS OF ALUMINUM SIGN PLATES: LESS THAN 10 SQ. FT. - 0.061 IN. 10 TO 25 SQ. FT. - 0.062 IN. GREATER THAN 25 SQ. FT. - 0.125 IN.
 5. FOR ADDITIONAL SIGNS SEE THE NOTES.

ROCK FILL RIP-RAP AT END OF OUTFALL PIPE (NOT TO SCALE)

NOTES:
 1. CLASS OF RIP-RAP AND BEDDING TO BE SPECIFIED IN CONTRACT DOCUMENTS.
 2. DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS.
 3. UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.

SQUARE FRAME AND GRATE (BICYCLE SAFE) (R.I. STANDARD 6.3.2)

HEAVY-DUTY ROUND FRAME AND COVER (R.I. STANDARD 6.2.1)

PAVED WATERWAY (R.I. STANDARD 8.4.0)

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 711 OF THE R.I. STANDARD SPECIFICATIONS.
 2. WHEN PAVED WATERWAY IS SUITABLE THIS ANGLE SHALL BE 90".
 3. SLOPES MAY VARY TO SUIT CONDITIONS AS PER PLANS OR ENGINEER.
 4. RIP-RAP AND BEDDING SIZE MAY VARY. SEE CONTRACT DOCUMENTS.

HANDHOLE RING AND COVER

CONCRETE TOLERANCES

DIMENSION	TOLERANCE
0'-12"	1/8"
12'-24"	1/4"
24'-72"	3/4"

PRECAST TYPE "A" HANDHOLE (R.I. STANDARD 18.2.0)

WET STONE MASONRY RETAINING WALL (R.I. STANDARD 10.1.0)

NOTES:
 1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION 911 OF THE R.I. STANDARD SPECIFICATIONS.
 2. JOINTS SHALL NOT EXCEED 1/4" WIDTH.
 3. JOINTS ON THE FACE OF WALL SHALL BE POINTED TO THE FACE LINE OF THE WALL UNLESS RECESSED JOINTS ARE CALLED FOR ABOVE GRADE.
 4. POINTING OF JOINTS ON TOP OF WALL SHALL BE FLUSH AND PITCHED TO DEFLECT WATER OFF OF THE WALL.
 5. DRESS 6" BELOW GRADE FOR FRONT FACE OF WALL.
 6. WET HOLES SHALL BE CONSTRUCTED OF 3" GRAY SCHEDULE 80 PVC PIPE WHEN H > 5'-0" AND 4" GRAY SCHEDULE 80 PIPE WHEN H > 5'-0" TO 8'-0".
 7. THE STONES SHALL BE PLACED A MAXIMUM OF 4'-0" O.C.

TYPE "D" TYPE "R" TYPE "F" CATCH BASIN AS REQUIRED

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 5. ONE FOUR MONTHLY BASE SECTION.
 6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 7. CORREL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONC. SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 8. FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 9. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 10. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 12. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST 4'-0" ROUND CATCH BASIN (R.I. STANDARD 4.4.0)

TOP VIEW
FRONT VIEW

SECTION A-A

SECTION A-A

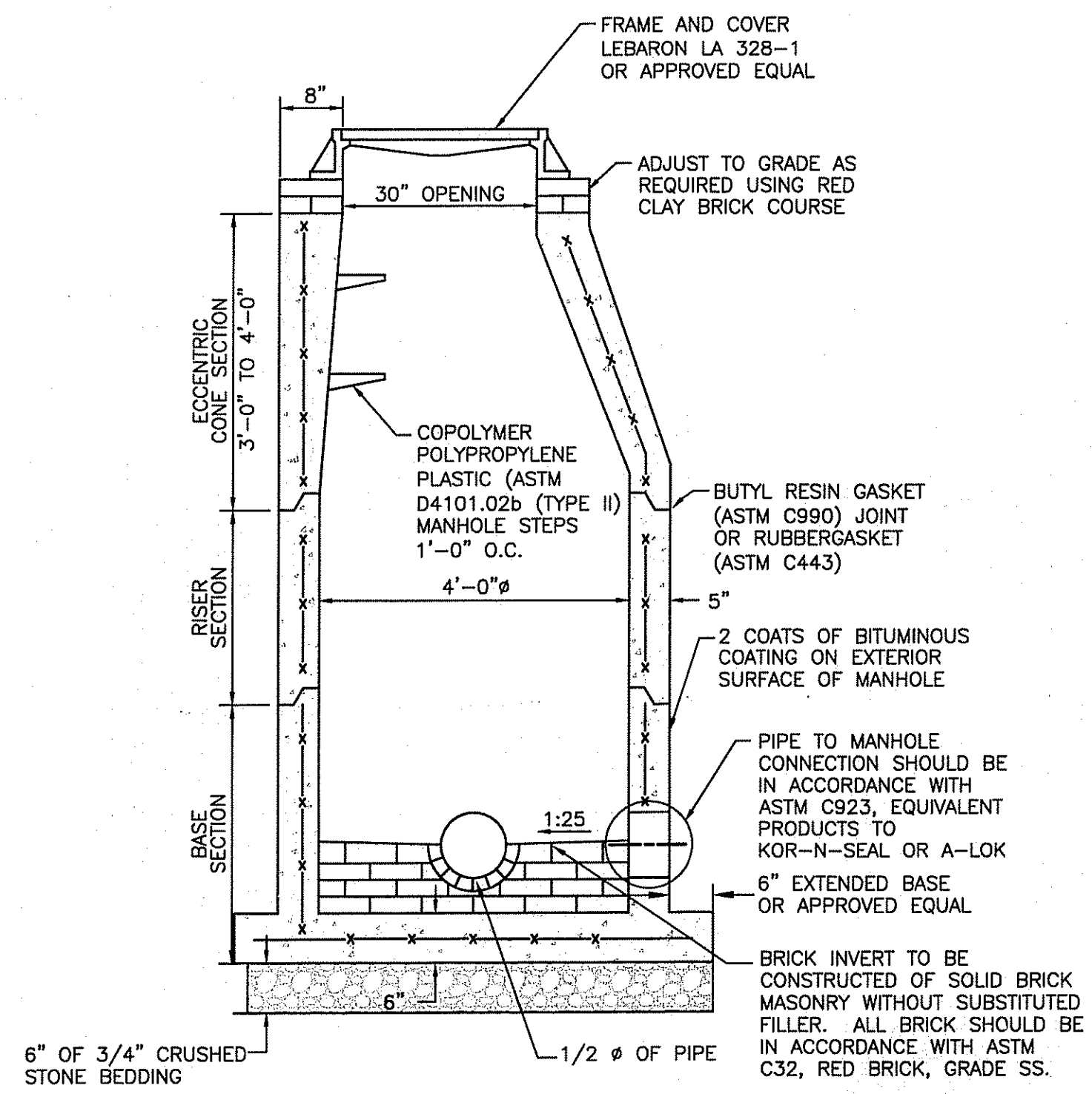
ALTERNATE TOP SLAB (SEE NOTES 10 AND 11)

TABLE 1
 CATCH BASIN DIAMETER (D) STEEL REINFORCEMENT REQUIRED

D	A	B	CIRCUMFERENTIAL
4'-0"	5	6	0.12 SQ. IN./LIN. FT.
5'-0"	6	7	0.15 SQ. IN./LIN. FT.
6'-0"	7	8	0.18 SQ. IN./LIN. FT.

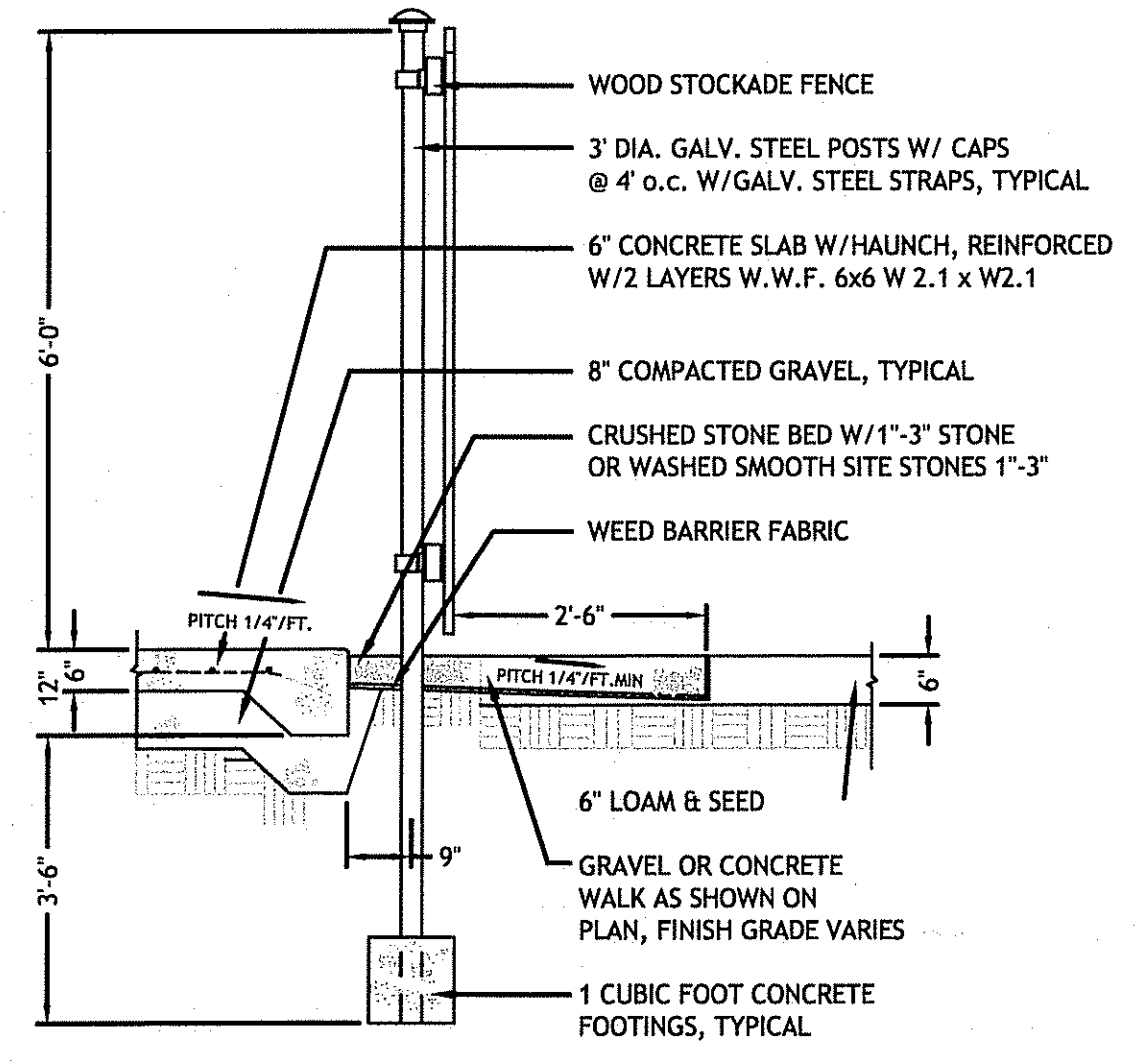
* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

PRECAST 4'-0" ROUND CATCH BASIN (R.I. STANDARD 4.4.0)

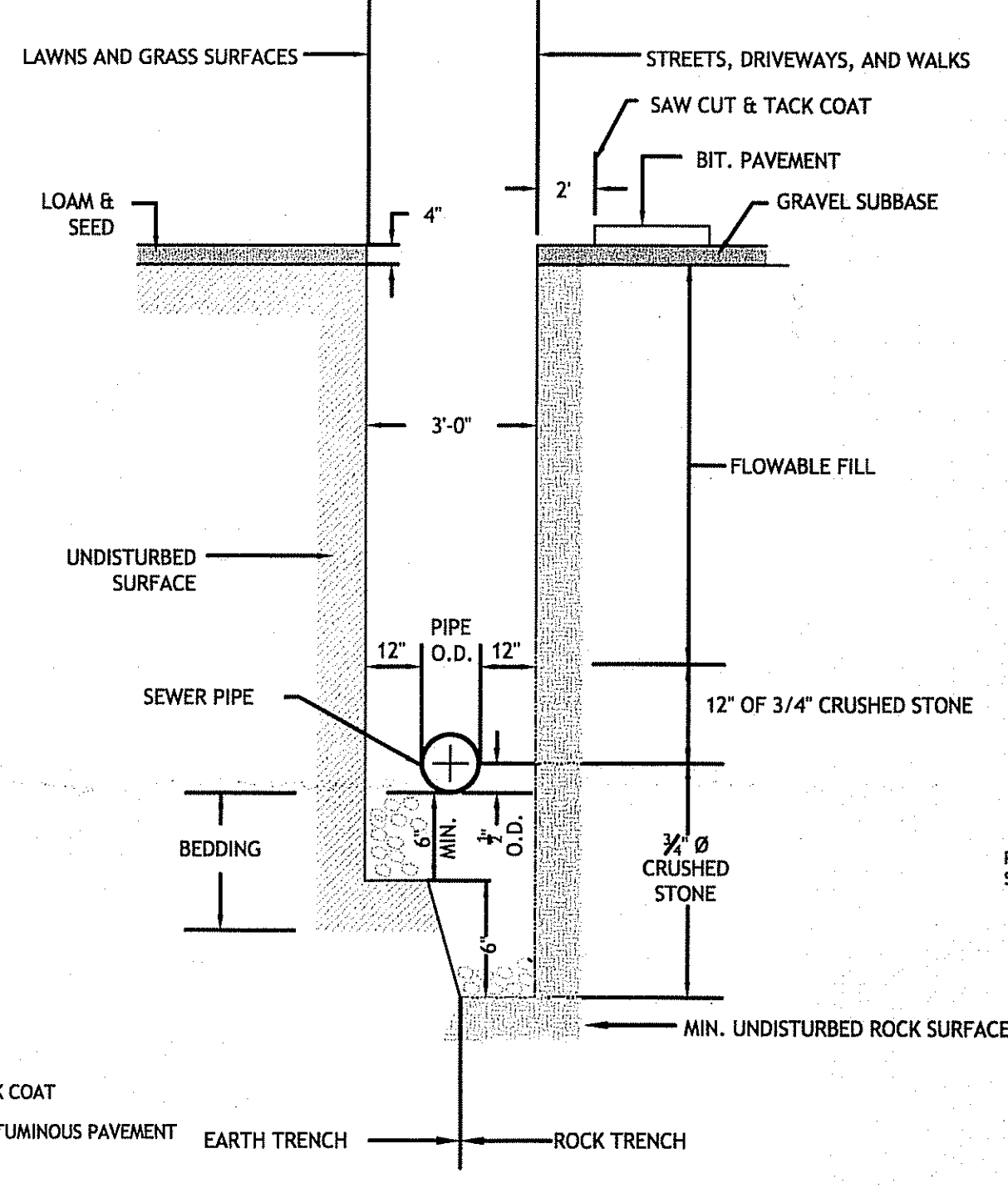


- NOTES:**
1. MANHOLE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM-C478
 2. INVERT AND TABLE SHALL CONSIST ENTIRELY OF BRICK AND MORTAR.
 3. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS OR CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 4. ALL STEPS SHOULD BE FACTORY INSTALLED BY THE MANHOLE MANUFACTURER 12-INCHES ON CENTER WITH PROPER VERTICAL ALIGNMENT.

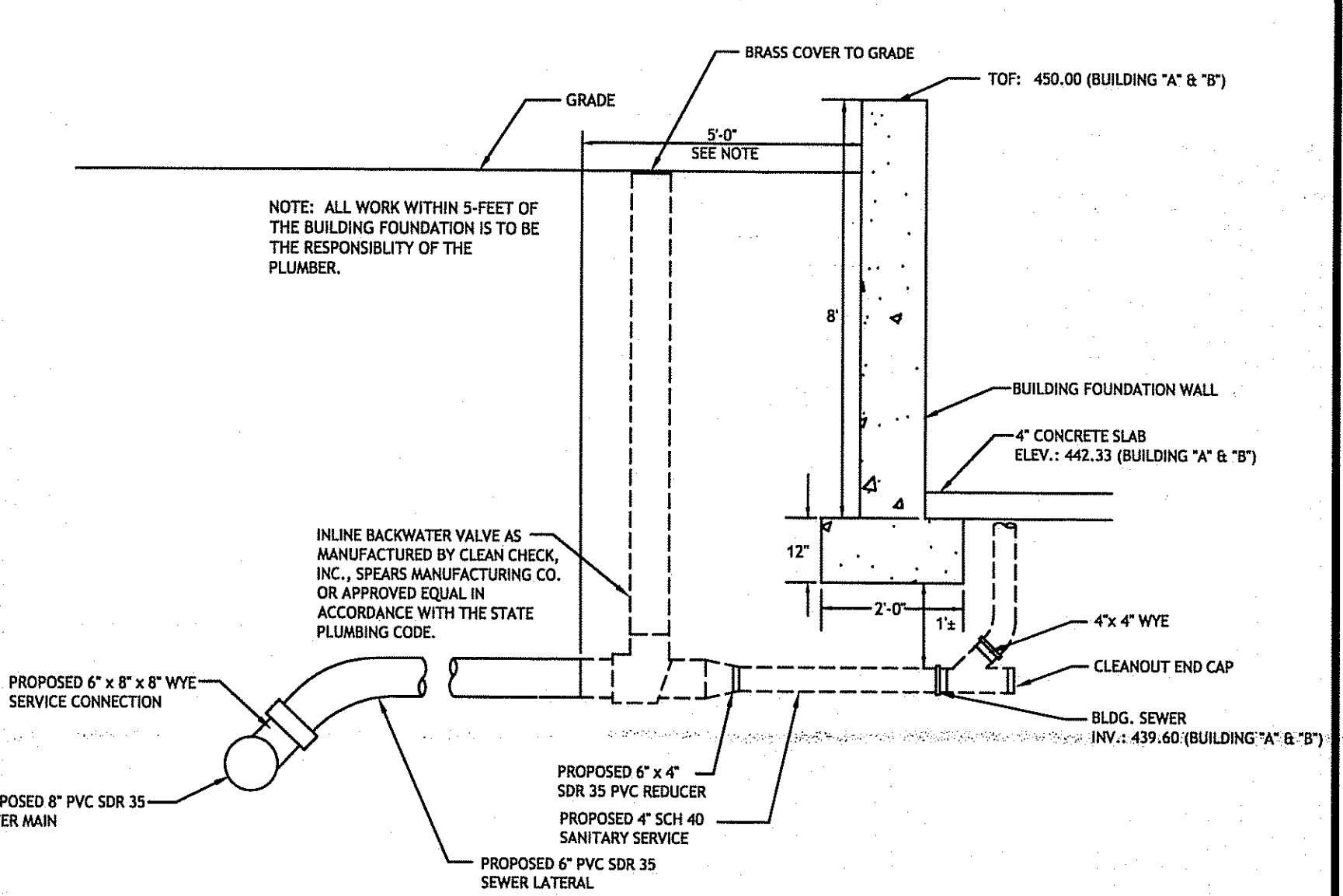
TYPICAL SANITARY MANHOLE
NOT TO SCALE



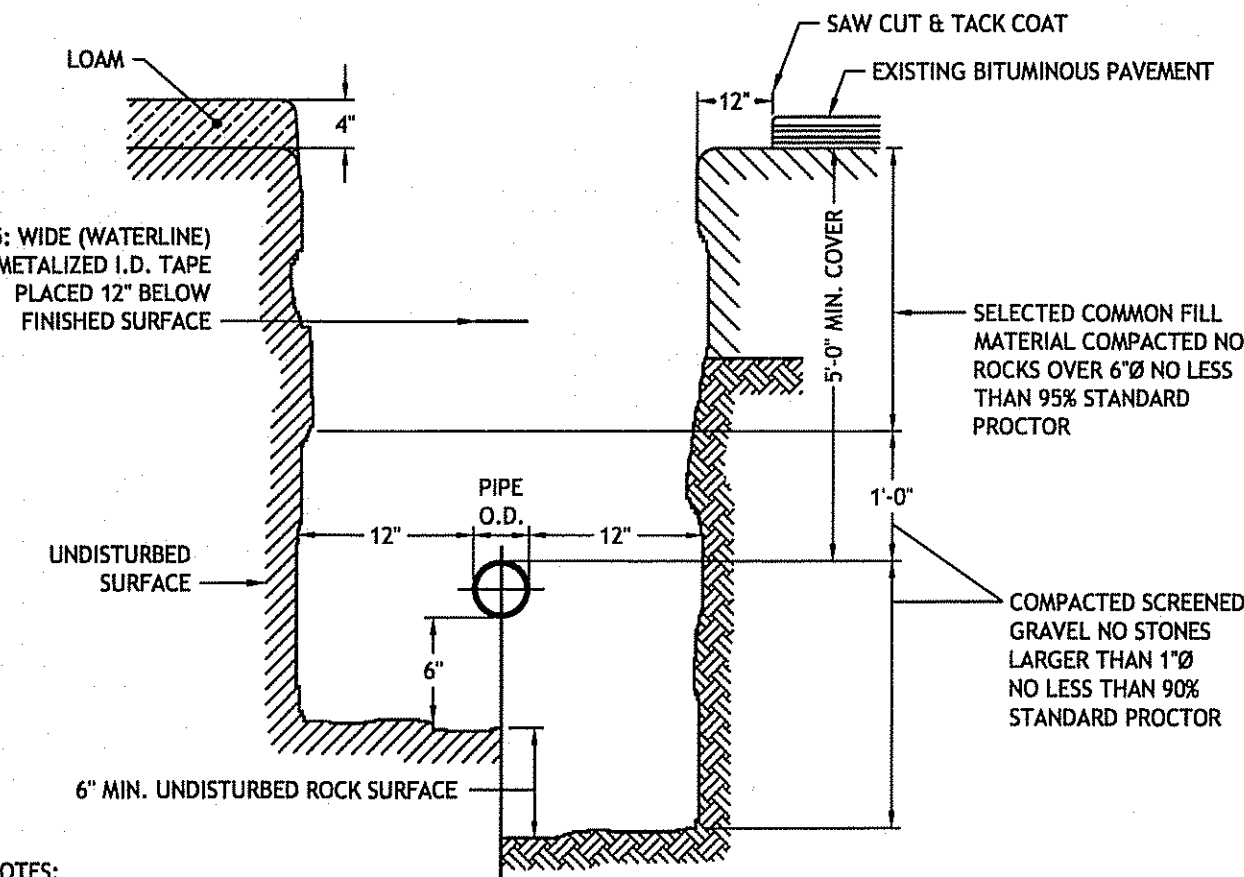
DUMPSTER PAD/FENCE DETAIL
SCALE: 1/2" = 1'-0"



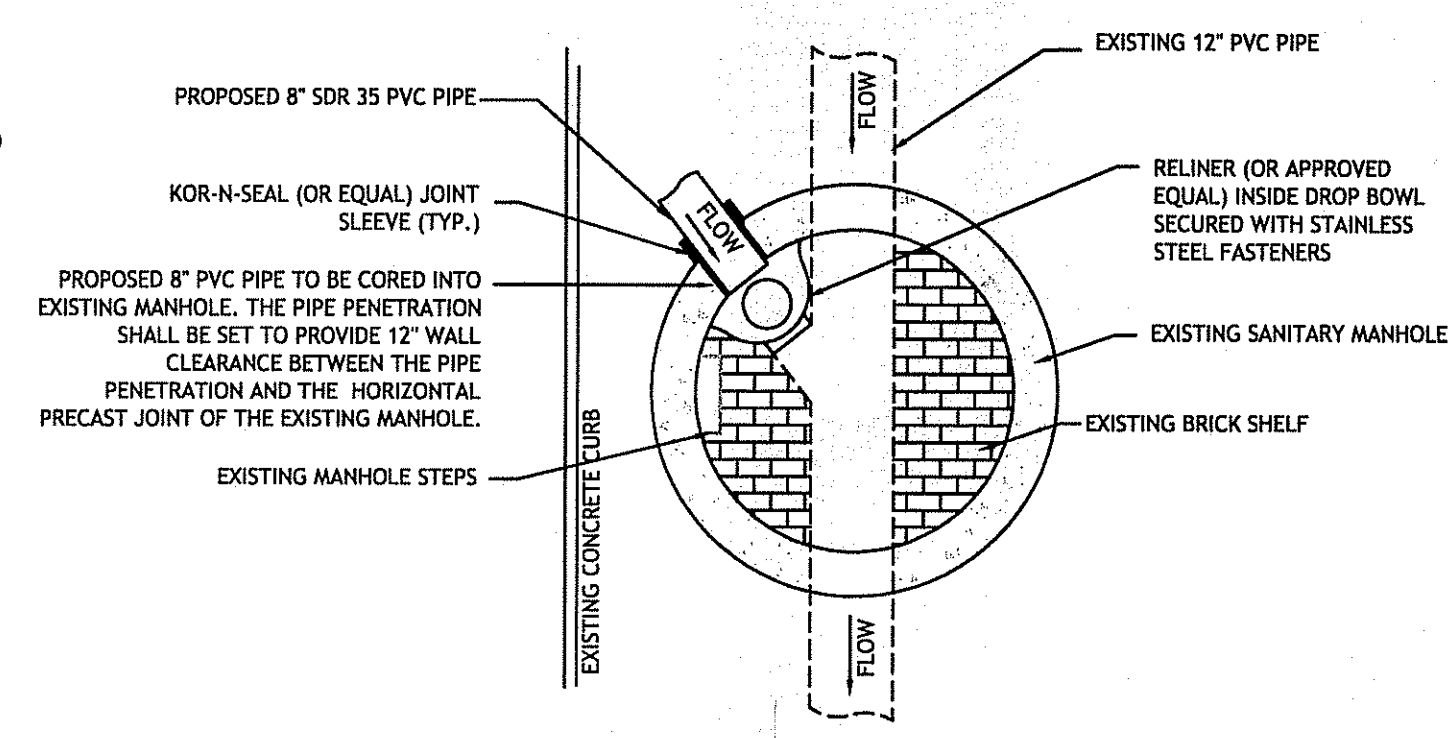
TYPICAL SEWER LINE TRENCH DETAIL
NOT TO SCALE



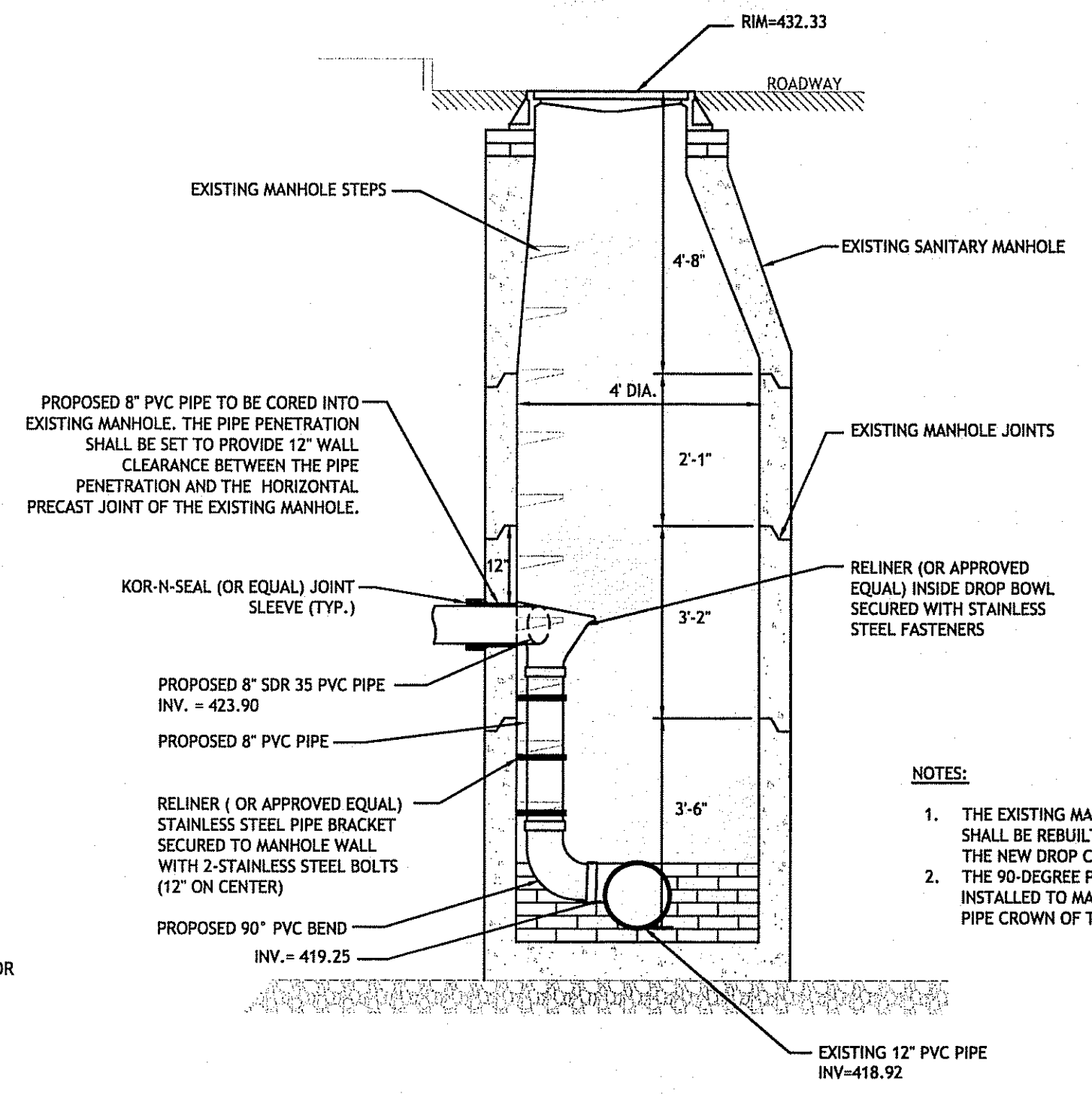
TYPICAL SEWER SERVICE LATERAL DETAIL
NOT TO SCALE



WATER LINE TRENCH INSTALLATION
NOT TO SCALE

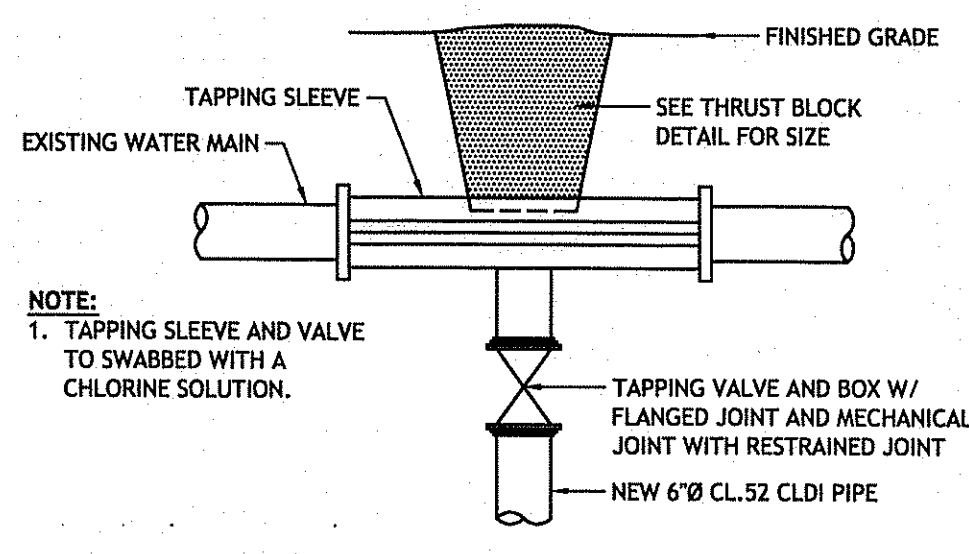
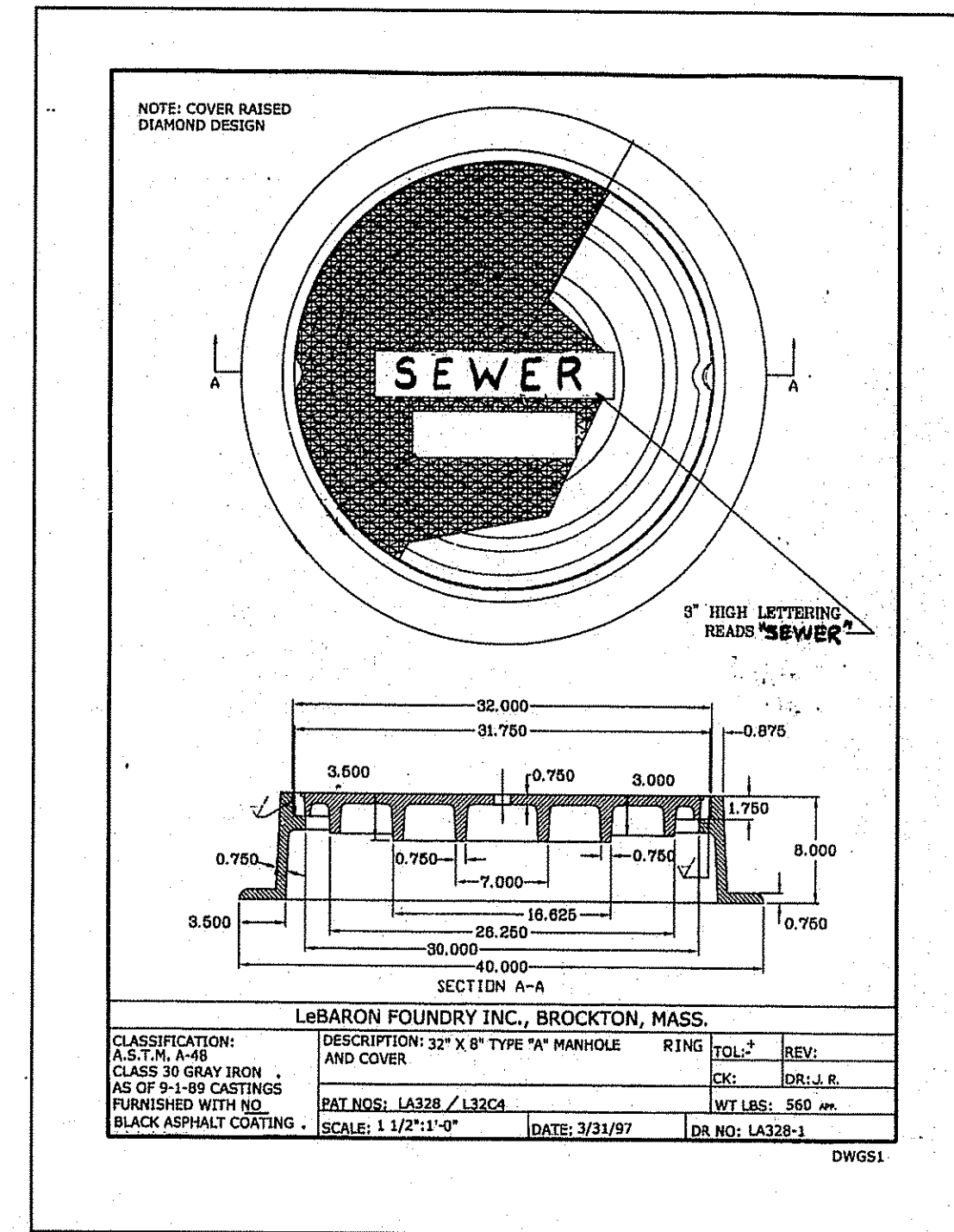


PLAN



ELEVATION

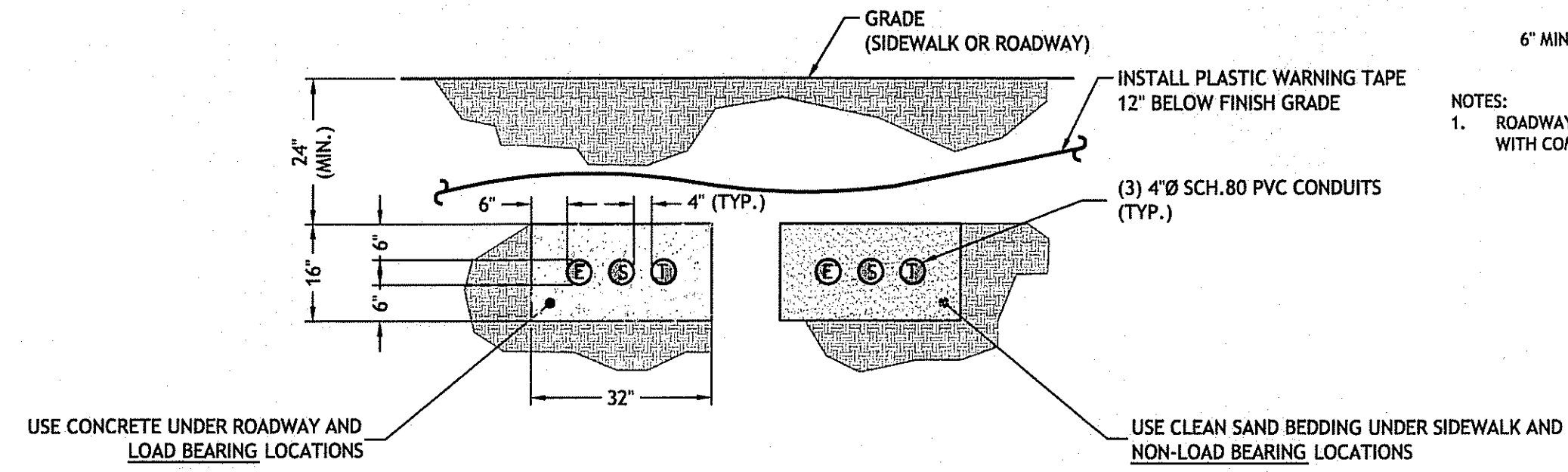
CONNECT TO EXISTING SANITARY MANHOLE
NOT TO SCALE



TAPPING SLEEVE AND VALVE
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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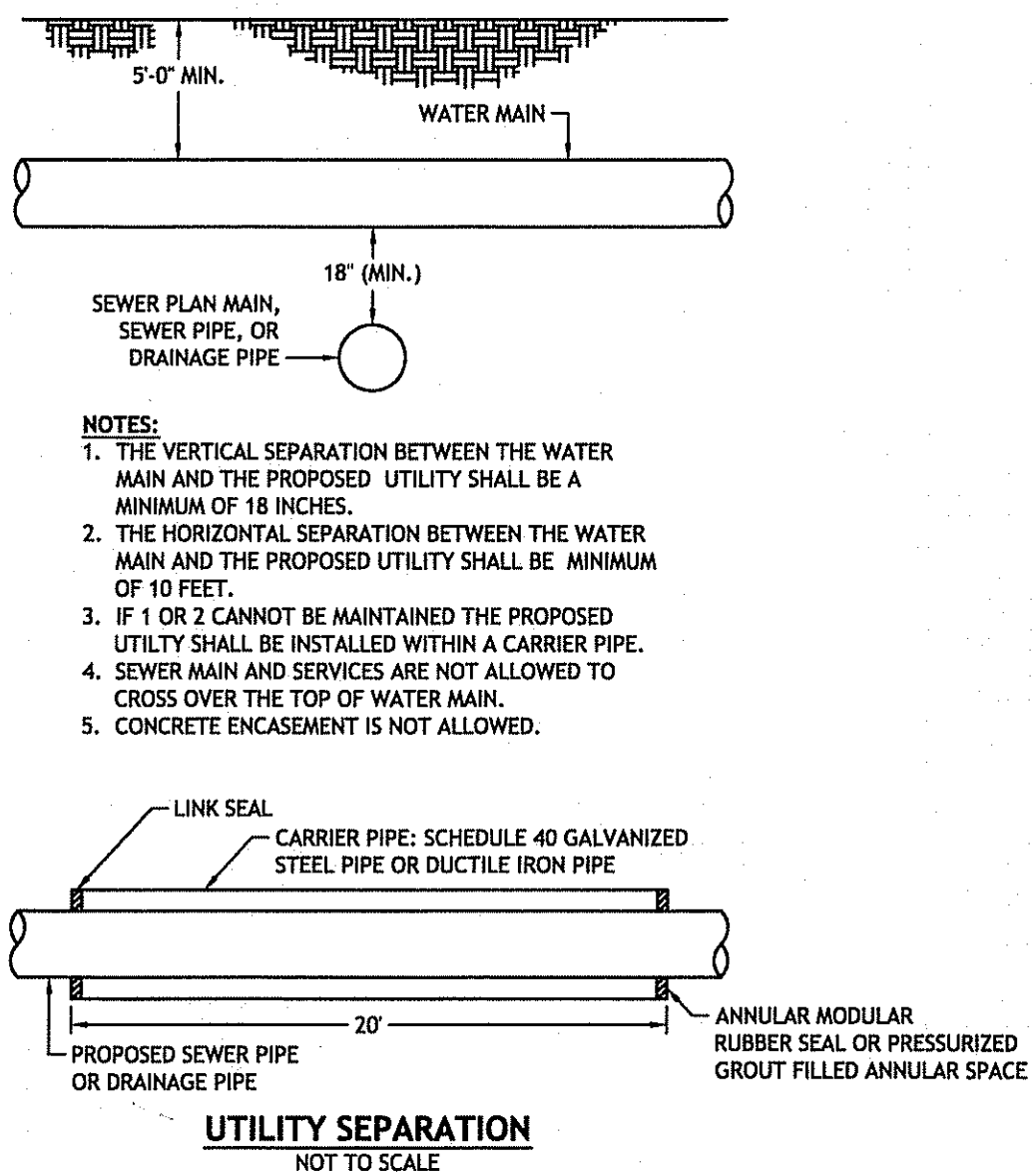
Myra D. Wencsek



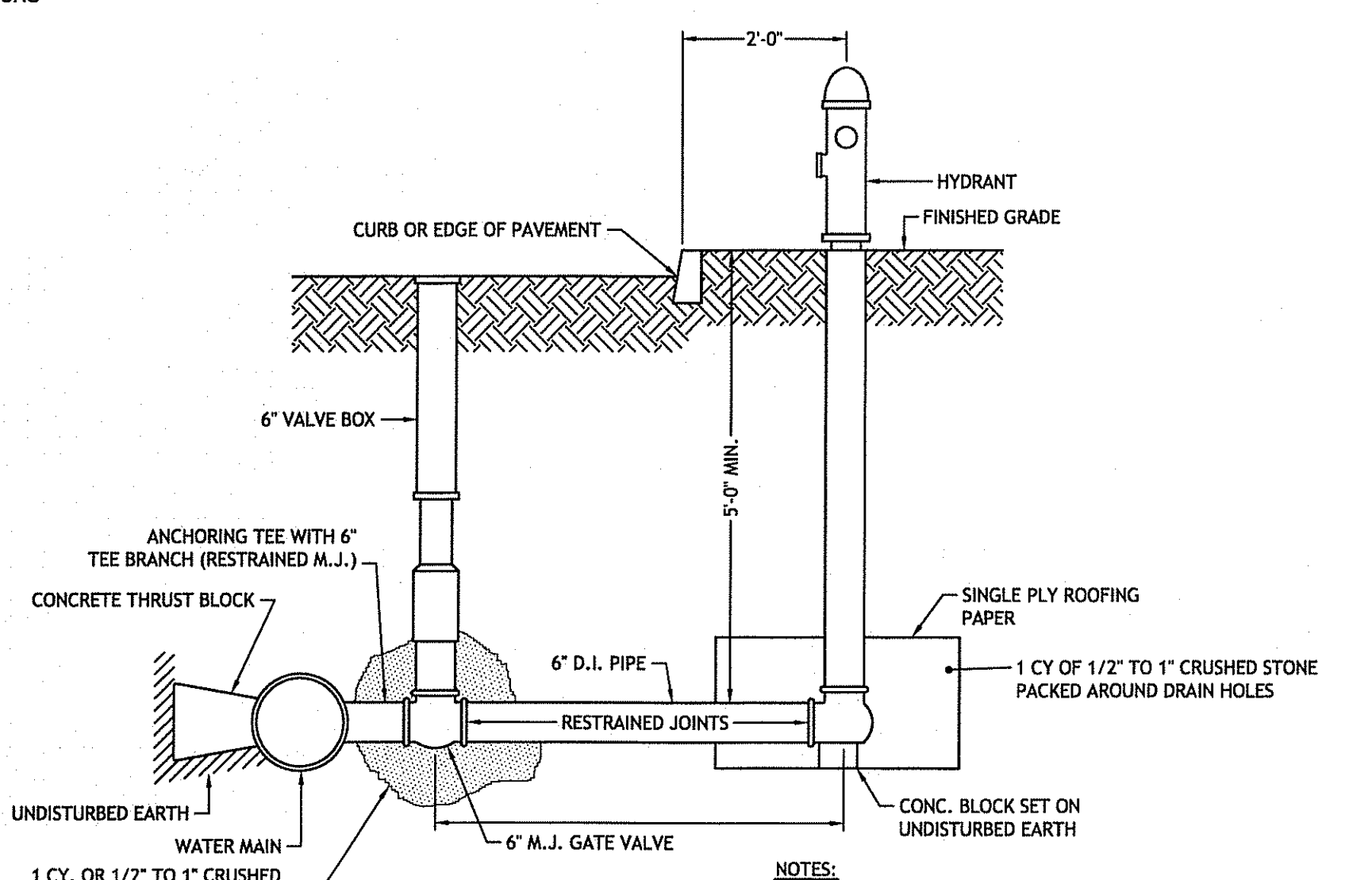
- NOTE:**
1. COMMUNICATIONS CABLES OR DUCTS TO BE 12" (MIN.) FROM PRIMARY ELECTRIC DUCTS.
 2. CONDUIT SPACERS SHALL BE PLACED EVERY 5' OR PER THE REQUIREMENTS OF PASCOAG UTILITY DISTRICT.
 3. ALL WORK WILL BE PERFORMED IN COMPLIANCE WITH PASCOAG UTILITY DISTRICT.

E - ELECTRICAL CONDUIT
T - TELECOM CONDUIT
S - SPARE CONDUIT

UNDERGROUND UTILITY TRENCH
SCALE: 1" = 2'



UTILITY SEPARATION
NOT TO SCALE



HYDRANT
NOT TO SCALE

- NOTES:**
1. INSTALLATION SHALL NOT OBSTRUCT SIDEWALK TO PEDESTRIAN OR PHYSICALLY IMPAIRED.
 2. MECHANICAL JOINT (M.J.) PIPE W/ RESTRAINED JOINTS FOR BRANCHES OVER ONE LENGTH OF PIPE.

JCE
JOE CASALI ENGINEERING, Inc.
Civil Site Development - Drainage
Wetlands - Floodplain - ISDS
300 Post Road, Warwick, RI 02888
(401) 944-1500 (401) 944-0150 fax
www.jceengineering.com

DAVID M. D'AMICO
REGISTERED PROFESSIONAL ENGINEER
CIVIL
12/5/07

UNION POND VILLAGE
HIGH STREET
BURRILLVILLE, RHODE ISLAND
AP 174 LOT 133

DEC - 7 2007

REVISIONS:

NO.	DATE	DESCRIPTION	REVISED PER
1	4/07		PASCOAG UTILITY COMMENTS
2	12/07		RIDEEM SEWER COMMENTS

DESIGNED BY: AMS / NCA
DRAWN BY: MRB
CHECKED BY: AMS / JAC
DATE: FEBRUARY 2007
PROJECT NO: 05-52F

PRELIMINARY, NOT FOR CONSTRUCTION

DETAILS II

SHEET 11 OF 11