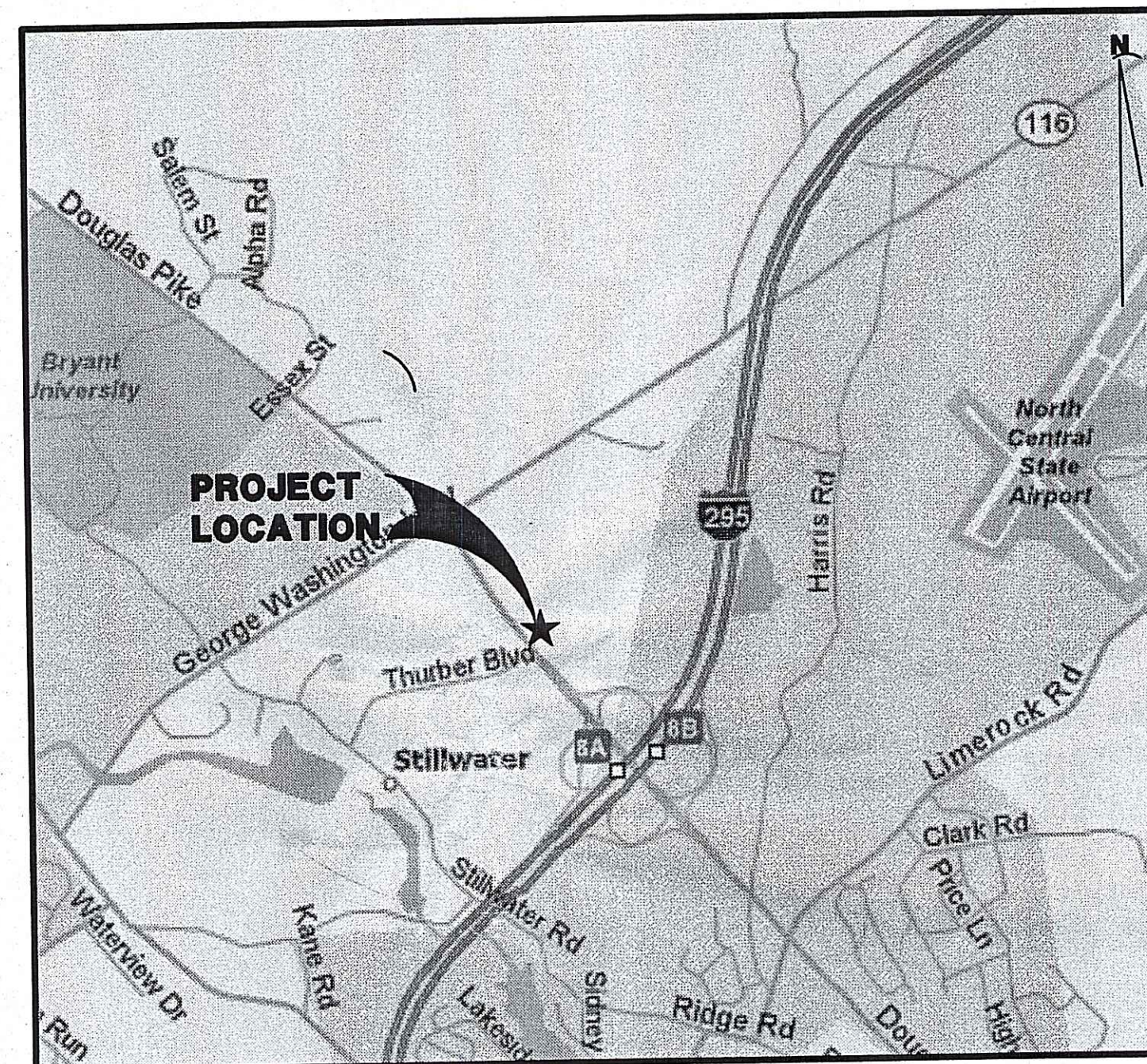


CVS/pharmacy

BUSINESS INTEGRATION CENTER SMITHFIELD, RHODE ISLAND

EAST PARKING LOT UPGRADE



LOCATION MAP
SCALE: 1"=2000'

CONSTRUCTION DOCUMENTS

JULY 18, 2007



Maguire Group Inc.
Architects/Engineers/Planners
225 Chapman Street
Providence, Rhode Island 02905

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED NOV 6 2007 FILE # 07-0185
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Martin D. Wenzel

LIST OF DRAWINGS

GENERAL

- C-001 COVER, LOCUS MAP, TITLE, LIST OF DRAWINGS
- C-002 GENERAL NOTES

CIVIL

- C-101 EXISTING CONDITIONS PLAN
- C-102 DEMOLITION AND SEDIMENT AND EROSION CONTROL PLAN
- C-201 LAYOUT PLAN
- C-301 GRADING, DRAINAGE AND PLAN LANDSCAPING PLAN
- C-501 TYPICAL SITE DETAILS
- C-502 DRAINAGE AND UTILITY DETAILS

ELECTRICAL

- E-101 ELECTRICAL LEGEND, GENERAL NOTES, SINGLE LINE-DIAGRAM & DETAILS
- E-201 SITE LIGHTING PLAN

RECEIVED
JUL 24 2007

GENERAL NOTES

1. ORIGINAL TOPOGRAPHY AND PROPERTY LINE INFORMATION TAKEN FROM PLANS PREPARED BY CANAVAN & ASSOCIATES CONSTRUCTION SURVEYING INC., JULY 13, 2006.
2. THE CONTRACTOR SHALL MAKE APPLICATION FOR AND PAY ALL FEES FOR PERMITS REQUIRED BY THE TOWN OF SMITHFIELD TO CONSTRUCT THIS PROJECT.
3. CONSTRUCTION WILL BE SUBJECT TO INSPECTION BY THE TOWN OF SMITHFIELD OFFICIALS.
4. THE SITE HAS BEEN USED TO DUMP MISCELLANEOUS FILL AND DEBRIS IN THE PAST. DEBRIS CONSISTS OF TIRES, STEEL, TIMBER AND MISCELLANEOUS TRASH. ALL DEBRIS WITHIN THE PROPERTY LINE SHALL BE REMOVED AND DISPOSED. SOIL MATERIAL NOT SUITABLE FOR REUSE SHALL BE REMOVED FROM THE SITE.
5. STRIP AND STOCKPILE LOAM FROM THE PROJECT LIMITS. REUSE LOAM IN THE LANDSCAPED AREAS. EXCESS LOAM SHALL BE REMOVED AND DISPOSED.
6. THE OWNER SHALL BE IMMEDIATELY NOTIFIED OF ANY DIRECTION RECEIVED FROM UTILITY COMPANIES, STATE OR TOWN EMPLOYEES WHICH COULD AFFECT THE QUALITY OR COST OF WORK (INCREASE OR DECREASE).
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARD AND SPECIAL DETAILS, AND TECHNICAL SPECIFICATIONS. ANY WORK NOT MEETING THE APPROVED SPECIFICATIONS SHALL BE IMMEDIATELY REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
8. THE CONTRACTOR SHALL MAINTAIN IN THE FIELD UP-TO-DATE AS-BUILT DRAWINGS OF ALL GRADING, DRAINAGE, UTILITY AND ROAD CONSTRUCTION. UPON COMPLETION OF THE WORK AND PRIOR TO FINAL ACCEPTANCE THE CONTRACTOR SHALL PROVIDE A FULL SIZE SET OF REPRODUCIBLE AS-BUILT DRAWINGS CERTIFIED AS ACCURATELY DEPICTING AS-BUILT CONDITIONS.
9. EXISTING UTILITIES HAVE BEEN PLOTTED FROM BEST AVAILABLE DATA AND ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITY OR COMPANY. EXTREME CAUTION SHALL BE USED WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES.
10. LOCATIONS AND DEPTHS OF EXISTING UNDERGROUND PIPES, CONDUITS, AND STRUCTURES, AS SHOWN, ARE APPROXIMATE ONLY, BASED ON FIELD SURVEYS AND THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL MAKE, AT HIS EXPENSE, SUCH SUPPLEMENTAL INVESTIGATIONS, INCLUDING TONING AND TEST PITS, AS HE DEEMS NECESSARY TO DETERMINE THE EXACT LOCATIONS OF UTILITIES AND STRUCTURES, ANY EXPENSE AND/OR DELAY OCCASIONED BY UTILITIES AND STRUCTURES, OR DAMAGE THERETO, INCLUDING THOSE NOT SHOWN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
11. BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE STATE OF RHODE ISLAND UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM (DIG SAFE) AT 1-888-344-7233.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL CONSTRUCTION WITH ALL THE UTILITY COMPANIES THROUGH THEIR DESIGNATED CONTACTS, KEEPING THE OWNER INFORMED AND COPIED ON ALL CORRESPONDENCE.
13. THE CONTRACTOR SHALL MAINTAIN ALL EXCAVATIONS IN A DRY CONDITION. NO SEPARATE PAYMENT OR ALLOWANCE SHALL BE MADE FOR DEWATERING, BUT THE COST THEREFORE SHALL BE INCLUDED IN THE PRICES BID.
14. ALL GRASSED AREAS DISTURBED BY THE CONTRACTOR SHALL BE LOAMED AND SEEDED WITH APPROVED TURF GRASS SEED MIXTURE AND RETURNED TO THEIR ORIGINAL OR BETTER CONDITION; ALL OTHER VEGETATED OR WOODED AREAS DISTURBED SHALL BE LOAMED AND SEEDED AS DIRECTED.
15. ALL EXISTING PAVEMENT DISTURBED SHALL BE REPAIRED (WITHIN 2 WORKING DAYS) WITH TEMPORARY PAVEMENT. PERMANENT PAVEMENT SHALL BE PLACED WITHIN 20 WORKING DAYS AND SHALL MEET RIDOT REQUIREMENTS AND SPECIFICATIONS.
16. ALL EXISTING CURBING, SIDEWALK, CONCRETE PADS AND OTHER PAVEMENT DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE REPLACED AND RESTORED, IN KIND, AS APPROVED.
17. WHERE EXISTING MATERIALS ARE ENCOUNTERED WHICH, IN THE OPINION OF THE OWNER, ARE UNSUITABLE FOR BEDDING OR OTHER INTENDED USE, SUCH MATERIALS SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL, AS SPECIFIED OR AS OTHERWISE DIRECTED.
18. WHERE EXISTING IN SITU SOILS ARE FOUND UPON EXCAVATION TO BE SATISFACTORY FOR PIPE BEARING, THE ENGINEER MAY PERMIT THE DELETION OF PIPE BEDDING.
19. ALL EXISTING PIPE, SUBSURFACE STRUCTURES, PAVEMENTS, EXCESS EXCAVATED MATERIALS AND MISCELLANEOUS MATERIALS REMOVED DURING THE COURSE OF WORK, EXCEPT SALVAGEABLE ITEMS, SHALL BE LEGALLY DISPOSED OF OFF OF THE PROJECT SITE.
20. CONTRACTOR SHALL INSTALL AND MAINTAIN SHEETING AND BRACING OR OTHER SUITABLE TRENCH PROTECTION AS NECESSARY TO PROTECT WORKMEN AND THE PUBLIC ON OR NEAR THE SITE; PREVENT INJURIOUS CAVING OR EROSION, OR LOSS OF GROUND; MAINTAIN AT ALL TIMES PEDESTRIAN AND VEHICULAR TRAFFIC; AND PROTECT ADJACENT UTILITIES AND STRUCTURES.
21. CONTINUOUS DUST CONTROL, USING CALCIUM CHLORIDE, LIGHT WATER SPRAY, OR OTHER APPROVED METHOD, SHALL BE PROVIDED FOR ALL EARTH STOCKPILES, EARTH PILED ALONG EXCAVATIONS AND SURFACES OF BACK FILLED TRENCHES, AS DIRECTED AND SPECIFIED.
22. AT COMPLETION OF THE UTILITIES INSTALLATION, THE ROAD WILL BE SURFACED WITH BITUMINOUS CONCRETE, THE DRAIN LINES AND DETENTION FACILITIES CLEANED OF ALL SILT GENERATED FROM THE CONSTRUCTION ACTIVITIES, AND THE DISTURBED AREAS REESTABLISHED AS REQUIRED.
23. ALL STUMPS TO BE REMOVED FROM THE SITE. NO STUMPS ARE TO BE BURIED ON-SITE.

SEQUENCE OF CONSTRUCTION

1. INSTALL EROSION AND SEDIMENT CONTROLS.
2. CONSTRUCT DETENTION BASINS AND ESTABLISH GRASS IN DETENTION BASIN.
3. CONSTRUCT EASTERN HALF OF PARKING LOT.
4. PULVERIZE EXISTING PARKING LOT PAVEMENT AND CONSTRUCT WESTERN HALF OF PARKING LOT.

COORDINATION

1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WORK WITH OTHER CONTRACTORS WORKING FOR CVS. ALL COORDINATION SHALL BE THROUGH THE OWNER OR DESIGNATED OWNER'S REPRESENTATIVE.
2. TO THE FULLEST EXTENT PRACTICAL, THE CONTRACTOR SHALL NOT INTERFERE WITH ACCESS TO THE EXISTING CVS DRIVEWAYS AND PARKING LOTS OR ACCESS BY OTHER CONTRACTORS TO WORK AREAS ON CVS PROPERTY.
3. THE CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE TOWN AND UTILITY COMPANY REPRESENTATIVES.
4. NO SEPARATE OR ADDITIONAL PAYMENT WILL BE MADE FOR COSTS ASSOCIATED WITH COORDINATION AND MAINTENANCE OF ACCESS, BUT ALL COST ASSOCIATED THEREWITH SHALL BE CONSIDERED TO BE INCLUDED IN THE PRICE(S) BID.

EROSION AND SEDIMENT CONTROL NOTES

GENERAL

1. THE CONTRACTOR SHALL ENSURE THAT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ARE PROPERLY INSTALLED PRIOR TO ANY AND ALL CONSTRUCTION ACTIVITIES, AND ARE MAINTAINED THROUGHOUT CONSTRUCTION, AND UNTIL ALL CONSTRUCTION ASSOCIATED WITH THE DEVELOPMENT ARE COMPLETED AND STABILIZED TO THE SATISFACTION OF THE ENGINEER AND THE TOWN OF SMITHFIELD.
2. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
3. ALL STOCKPILES OF TOPSOIL AND OTHER EARTH MATERIALS SHALL BE CONTAINED BY CONTINUOUS LINES OF STAKED STRAW BALES.
4. ALL STOCKPILES OR AREAS OF DISTURBED EARTH NOT SUBJECT TO ONGOING CONSTRUCTION ACTIVITIES SHALL BE STABILIZED WITH TEMPORARY VEGETATION (HYDROSEED) WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITIES CEASE UNLESS ACTIVITY IS TO RESUME WITHIN 21 DAYS.
5. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES EVERY 14 DAYS AND WITHIN 24 HOURS AFTER EVERY RAINFALL THAT PRODUCES RUNOFF.
6. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
7. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL BREACHES IN SEDIMENT CONTROLS.
8. DEBRIS AND LITTER WHICH ACCUMULATE ON SITE, BEHIND STRAW BALES OR IN THE BASIN SHALL BE REMOVED WEEKLY.
9. SEDIMENT BUILT-UP BEHIND STRAW BALE BARRIER SHALL BE MONITORED AND BE REMOVED WHENEVER SEDIMENT HAS ACCUMULATED TO SIX (6) INCHES IN DEPTH.
10. ALL SOIL EROSION CONTROL MEASURES TO BE USED ON THE PROJECT ARE INDICATED ON DRAWING C-102. EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH DEM APPROVALS, AND THE TOWN OF SMITHFIELD REGULATIONS.
11. CLEARING FOR AND INSTALLATION OF THE REQUIRED SEDIMENT CONTROL MEASURES SHALL BE COMPLETED AND INSPECTED PRIOR TO COMMENCING ANY OTHER LAND-DISTURBING ACTIVITY.
12. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY STRAW BALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH VEGETATION.
13. CATCH BASINS SHALL BE PROTECTED WITH SILT SACK OR STRAW BALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMPS SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO 24 INCHES IN DEPTH AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
14. STORM DRAIN OUTLETS AND DISCHARGE AREAS SHALL BE PROTECTED WITH RIP RAP TO WITHSTAND THE EXPECTED DISCHARGE VELOCITY. INSPECT ALL OUTLETS AND DISCHARGE AREAS EVERY 14 DAYS AND WITHIN 24 HOURS OF EVERY RAINFALL THAT PRODUCES RUNOFF. REPAIR, SUPPLEMENT OR RESET AND DISPLACED RIP RAP. NOTIFY THE ENGINEER AND REPAIR ANY EROSION AND/OR SEDIMENT DAMAGE OR RESET ANY DISPLACED RIP RAP. NOTIFY THE ENGINEER AND REPAIR ANY EROSION AND/OR SEDIMENT DAMAGE.
15. SOIL STOCKPILES AND DEPOSITION AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS AND SHALL BE SURROUNDED BY A CONTINUOUS LINE OF STAKED STRAW BALES.
16. TEMPORARY VEGETATION AND/OR STRAW MULCHING SHALL BE USED TO PROTECT BARE AREAS AND STOCKPILES FROM EROSION DURING CONSTRUCTION. BARE EARTH SLOPES AND SOIL STOCKPILES SHALL BE KEPT TO A MINIMUM AT ALL TIMES. TEMPORARY SEEDING OR MULCHING SHALL BE INSTALLED ON ALL BARE EARTH PRIOR TO ENDING CONSTRUCTION FOR THE WINTER AND AS OTHERWISE NECESSARY.

SPECIES	SEEDING RATES (POUND)		OPTIMUM SEEDING DATES
	PER ACRE	PER 1,000 FT. SQ.	
ANNUAL RYE GRASS	60	1.5	3/1-6/15 AND 8/15-10/1
PERENNIAL RYE GRASS	60	1.5	3/1-6/15 AND 8/15-10/1
OR WINTER RYE	100	2.5	8/15-10/1*
MILLET	40	1.0	5/15-8/15
OR SUNANGRASS	40	1.0	5/15-8/15

* WINTER RYE SHALL BE UTILIZED FOR ALL SEEDING AFTER OCTOBER 1.

SOURCE: URI AGRICULTURAL EXPERIMENT STATION BULLETIN 432, ROADSIDE VEGETATION MANAGEMENT, KINGSTON, RI

17. AS SOON AS WEATHER PERMITS AFTER THE COMPLETION OF FINE GRADING, ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH PLACEMENT OF LOAM AND A SUITABLE CONSERVATION GRASS SEED MIXTURE, AND MULCHED WITH A COVERING OF LOOSE STRAW PRIOR TO THE COMPLETION OF THE PROJECT. AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH LOOSE STRAW MULCH. SOD SHALL BE INSTALLED IN ALL DESIGNATED AREAS.
18. ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
19. ALL PLANTINGS SHALL BE MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
20. SHOULD ANY OR ALL OF THE PLANTS FAIL TO SURVIVE AT LEAST ONE FULL GROWING SEASON FROM THE TIME THEY HAVE BEEN PLANTED, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REPLACING AND MAINTAINING THE SAME PLANT SPECIES FOR ONE ADDITIONAL GROWING SEASON.

100 YEAR FLOOD PLAIN NOTES

1. THE REPORT TITLED "DRAINAGE REPORT CVS BUSINESS INTEGRATION CENTER, SMITHFIELD, RI", PREPARED BY JAMES A. JACKSON JR., PE, DATED JULY 18, 2007, CONTAINS THE PRE-DEVELOPMENT 100 YEAR FLOOD PLAINS.
2. THE PROPOSED SITE DEVELOPMENT IS DESIGNED ABOVE AND BEYOND THE 100 YEAR FLOOD PLAIN LINES AND ELEVATIONS OF BOTH STREAMS SHOWN ADJACENT TO THE APPLICANT'S PROPERTY AND WILL NOT ADVERSELY IMPACT EITHER STREAMS' 100 YEAR FLOOD PLAIN LINE AND ELEVATION

LEGEND:

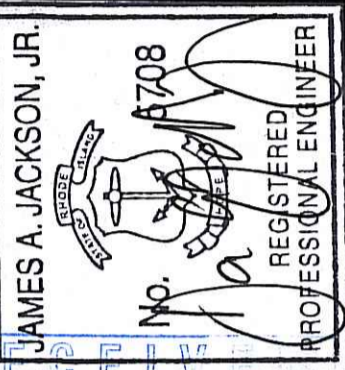
- PROPERTY LINE
- EDGE OF PERIMETER WETLAND
----- EDGE OF RIVERBANK WETLAND
- ▲-----▲ EDGE OF FLAGGED WETLAND
W/FLAG LOCATION AND DESIGNATION
- 92----- EXISTING TOPOGRAPHY
- 93----- PROPOSED TOPOGRAPHY
- LIMIT OF DISTURBANCE
- HB ----- HAY BALE LOCATION
- ////////// PAVEMENT SAWCUT
- APPROX. 100 YEAR FLOOD PLAIN

STORMWATER DRAINAGE INSPECTION, MAINTENANCE AND REPAIR (I, M & R) NOTES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR I, M & R FOR ALL DRAINAGE BMP'S PROPOSED FOR THE SUBJECT PROJECT SITE FOR THE ENTIRE PERIOD OF CONSTRUCTION AND UP TO ONE YEAR AFTER CONSTRUCTION IS COMPLETED, AND ACCEPTANCE OF THE PROJECT BY THE ENGINEER AND THE TOWN OF SMITHFIELD. THE PARTY RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF THE SITE'S DRAINAGE BMP'S IS THE OWNER OF A.P. 46 LOT 242, CVS PHARMACY. THE RESPONSIBILITIES SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO THE FOLLOWING:

1. EXTENDED DETENTION BASIN
 - a) THE OUTLET CONTROL STRUCTURE AND ALL OUTFLOW CHANNELS SHALL BE INSPECTED ANNUALLY.
 - b) EXTENDED DETENTION DEVICES SHALL BE INSPECTED AT LEAST TWICE PER YEAR.
 - c) ALL RIPRAP AREAS, AS WELL AS THE BASIN EMERGENCY SPILLWAYS, SHALL BE INSPECTED ANNUALLY. ALL ERODED AREAS SHALL BE REPAIRED IMMEDIATELY, AND VEGETATIVE GROWTH SHALL BE REMOVED FROM THESE AREAS.
 - d) DURING THE FIRST SIX (6) MONTHS OF OPERATION, INSPECTIONS SHALL BE ACCOMPLISHED AFTER EVERY RAINFALL EVENT, TO CHECK FOR CLOGGING OR, CONVERSELY, TOO RAPID A RELEASE. FOLLOWING THE FIRST SIX (6) MONTHS, INSPECTIONS SHALL BE CONDUCTED, AT MINIMUM, ANNUALLY. SEDIMENTS SHALL BE REMOVED FROM THE BASINS AFTER THE FIRST YEAR OF OPERATION, AND THEN EVERY TEN (10) YEARS THEREAFTER OR IF SEDIMENTS EXCEED SIX (6) INCHES DEPTH, WHICHEVER COMES FIRST.
 - f) THE GRASSED AREAS OF THE BASINS SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION PROBLEMS. ERODED AREAS SHALL BE RESEDED IMMEDIATELY TO STABILIZE SOILS, PREVENTING EROSION OF POTENTIAL CLOGGING OF OUTFLOW DEVICES.
 - g) THE GRASS SHALL BE MOWED WITHIN THE BASIN AT LEAST TWICE PER GROWING SEASON TO PREVENT THE GROWTH OF WOODY VEGETATION. ALL TRASH & LITTER SHALL BE REMOVED DURING THE MOWING OPERATIONS.
 - h) IF STANDING WATER IS OBSERVED WITHIN ANY OF THE BASINS MORE THAN THREE (3) DAYS AFTER A RAINFALL, THEN FAILURE OF THE BASIN HAS OCCURRED AND SHALL BE ADDRESSED THROUGH REPAIR OR REPLACEMENT.
2. GRASSED SWALES
 - a) SWALES SHALL BE INSPECTED ON A SEMI-ANNUAL BASIS. ALL TRASH AND OTHER LITTER SHALL BE REMOVED DURING INSPECTIONS.
 - b) SEDIMENTS SHALL BE REMOVED, AT MINIMUM, ONCE PER YEAR, OR MORE FREQUENTLY DURING THE SEMI-ANNUAL INSPECTIONS. ACCUMULATED SEDIMENTS SHALL BE REMOVED MANUALLY TO PREVENT DAMAGE TO THE SWALE. RESEEDING SHALL BE CONDUCTED AS NECESSARY.
 - c) BARE SPOTS AND ERODED AREAS WITHIN THE SWALE SHALL BE RESEDED IMMEDIATELY FOLLOWING OBSERVATIONS.
 - d) SWALES SHALL BE MOWED AT LEAST ONCE PER GROWING SEASON TO PREVENT ESTABLISHMENT OF WOODY GROWTH AND OTHER UNDESIRABLE PLANTS.
 - e) GRASSED VEGETATION SHALL NOT BE CUT SHORTER THAN FOUR (4) INCHES.
3. PAVED AREAS
 - a) THE PARKING LOT SHALL BE SWEEPED, AT MINIMUM, TWICE PER YEAR (ONCE IN THE SPRING AND ONCE IN THE FALL). THE SEDIMENT COLLECTED DURING THE SWEEPING OPERATION SHALL BE REMOVED AND TAKEN TO A TOWN-APPROVED LOCATION OFF-SITE FOR DISPOSAL.

	BY: APP'D
	DATE: 9/26/07
	DESCRIPTION: 100 YEAR FLOOD PLAIN NOTES
	MARK: 100



SEP 27 2007
Maguire Group Inc.
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225 Chapman Street
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CVS/pharmacy SMITHFIELD, RI
BUSINESS INTEGRATION CENTER
EAST PARKING LOT UPGRADE

GENERAL NOTES

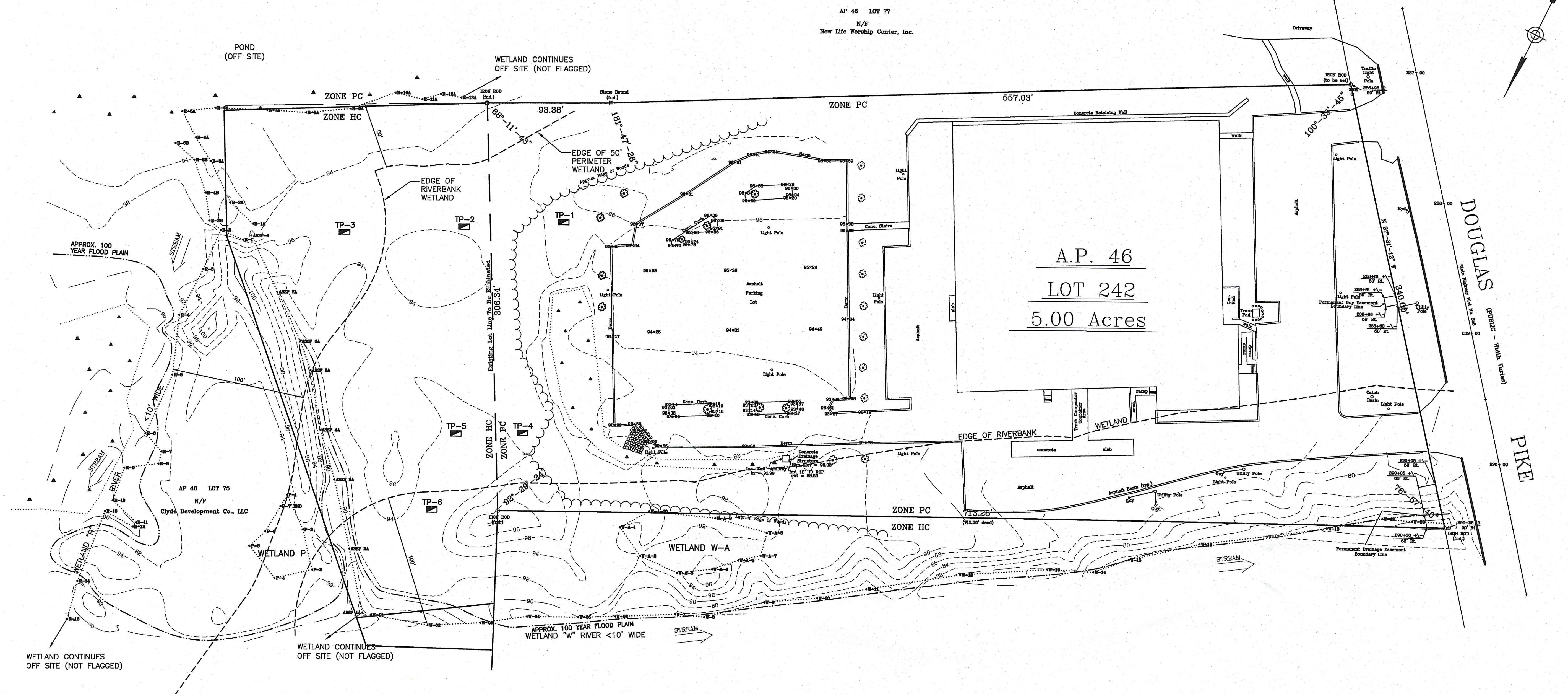
PROJECT NO.: 17959
DESIGNED BY: JAJ
DRAWN BY: LM
CHK'D BY:
DATE: 7/18/07
SCALE: AS NOTED
SHEET NO.:
C002
SHEET 2 OF 10

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH MODIFICATIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED NOV 6 2007 FILE # 07-0185
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Jonathan D. Wenzel

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DRAWING FILE: N:\Projects\17959-CVS\A010\A1\17959C101.dwg PLOTTED: Jul 23, 2007 - 2:45pm BY: Morsu

REVIEWED BY: CIVIL: INITIAL/DATE ARCH: INITIAL/DATE STR: INITIAL/DATE PLUM: INITIAL/DATE ELEC: INITIAL/DATE



AP 46 LOT 77
N/F
New Life Worship Center, Inc.

A.P. 46
LOT 242
5.00 Acres

DOUGLAS PIKE
(separates north - oriented)

Plan References

- 1) Rhode Island Highway Plat No. 365
- 2) Rhode Island Highway Plat No. 2342
- 3) "Proposed Retail/New Life Development
Smithfield, Rhode Island
Property Line Plan
Scale: 1"=50' 1-19-1995 By: V.H.B."
- 4) "Clyde Condominium Douglas Pike (Route 7)
Assessor's Plat 46, Lot 75
Situated in Smithfield, Rhode Island
Prepared for Clyde Development Co., LLC
Prepared by John P. Caito Corp. Civil Engineers"
- 5) Survey was performed by Canavan
& Associates Construction Surveying,
July 13, 2006. Survey conforms to
Class 1 standards.

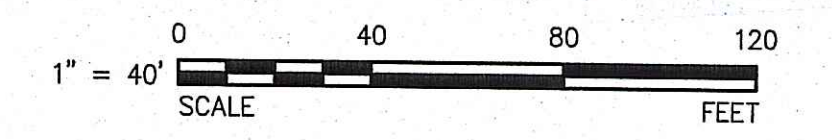
ZONING

	PC	HC
<u>MINIMUMS</u>		
Area	3 Acres	60,000 S.F.
Frontage/Width	200 Ft.	300 Ft.
<u>MAXIMUMS</u>		
Lot Coverage	35%	30%
Building Height	48 Ft.	48 Ft.
<u>SETBACKS</u>		
Front	150 Ft.	60 Ft.
Side	50 Ft.	40 Ft.
Rear	50 Ft.	50 Ft.

CVS, SMITHFIELD
EXISTING SPACES = 93

This survey and plan conform to a CLASS I
Standard as adopted by the Rhode Island
Board of Registration for Professional
Land Surveyors.
By: _____ Date _____
Registered Professional Land Surveyor
CANAVAN & ASSOCIATES CONSTRUCTION SURVEYING, INC.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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Ernestine D. Wenzel



JUL 24 2007

<p>Maguire Group Inc. Architects/Engineers/Planners 225 Chapman Street Providence, Rhode Island 02905</p>	<p>CVS/pharmacy SMITHFIELD, RI BUSINESS INTEGRATION CENTER EAST PARKING LOT UPGRADE</p> <p>EXISTING CONDITIONS PLAN</p>
<p>PROJECT NO.: 17959 DESIGNED BY: JAJ DRAWN BY: LM CHK'D BY: DATE: 7/18/07 SCALE: AS NOTED SHEET NO.:</p>	
<p>C101</p> <p>SHEET 3 OF 10</p>	
<p>APPROVED</p> <p>JAMES A. JACKSON, JR. No. 0708 REGISTERED PROFESSIONAL ENGINEER</p>	<p>MARK DATE DESCRIPTION</p>

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MECH: INITIAL/DATE

FIRE: INITIAL/DATE

PLUM: INITIAL/DATE

STR: INITIAL/DATE

ARCH: INITIAL/DATE

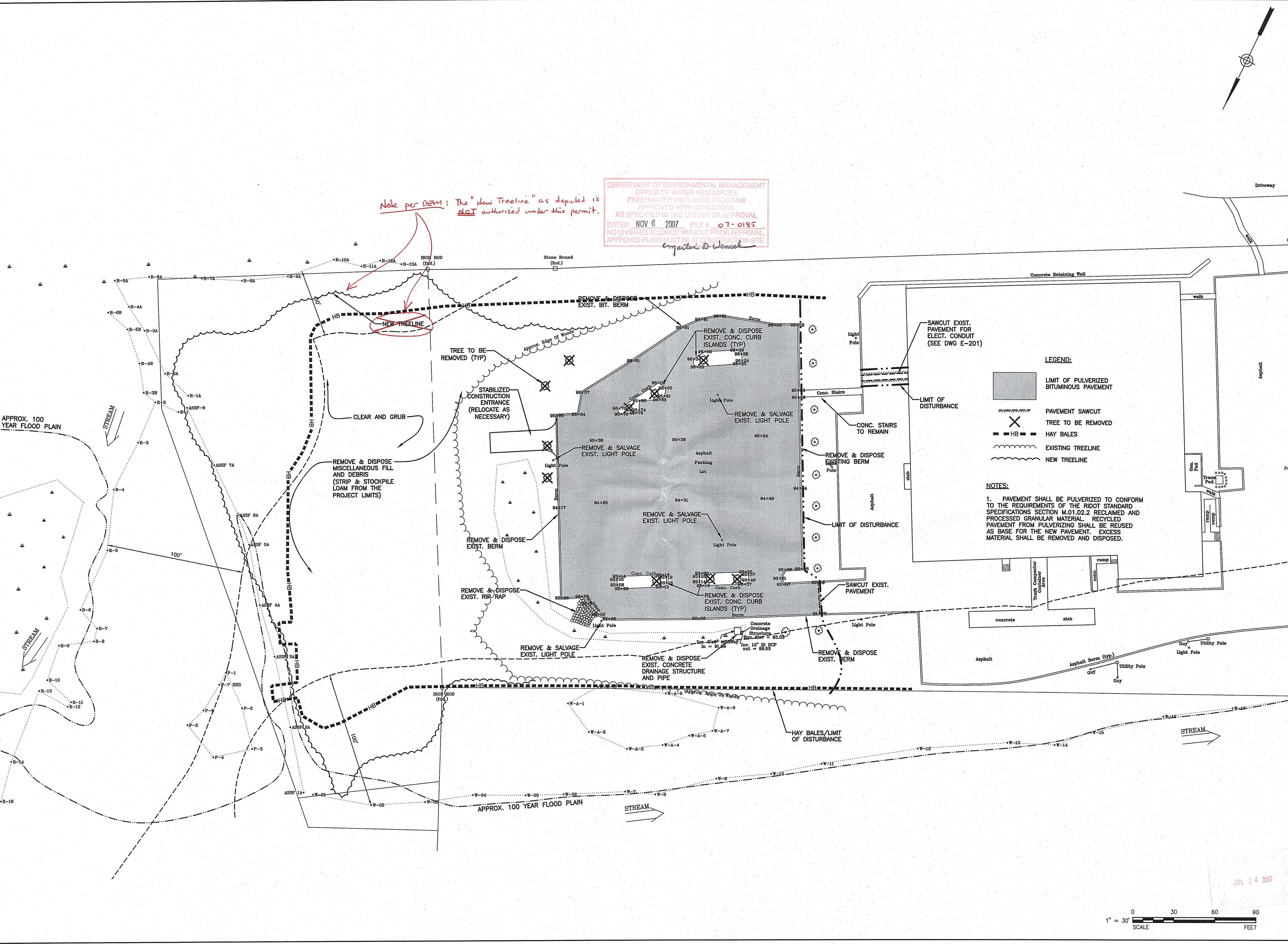
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DATE:

BY:

APPD:



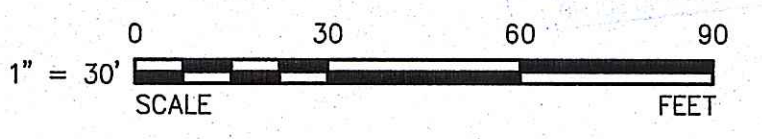
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Ernest D. Wencel

- LEGEND:**
- LIMIT OF PULVERIZED BITUMINOUS PAVEMENT
 - PAVEMENT SAWCUT
 - X TREE TO BE REMOVED
 - HAY BALES
 - EXISTING TREELINE
 - NEW TREELINE

NOTES:

- PAVEMENT SHALL BE PULVERIZED TO CONFORM TO THE REQUIREMENTS OF THE RIDOT STANDARD SPECIFICATIONS SECTION M.01.02.2 RECLAIMED AND PROCESSED GRANULAR MATERIAL. RECYCLED PAVEMENT FROM PULVERIZING SHALL BE REUSED AS BASE FOR THE NEW PAVEMENT. EXCESS MATERIAL SHALL BE REMOVED AND DISPOSED.

JUL 24 2007



MARK	DATE	DESCRIPTION	BY	APPD

JAMES A. JACKSON, JR.
 No. 17899
 REGISTERED PROFESSIONAL ENGINEER

Maguire Group Inc.
 Architects/Engineers/Planners
 225 Chapman Street
 Providence, Rhode Island 02905

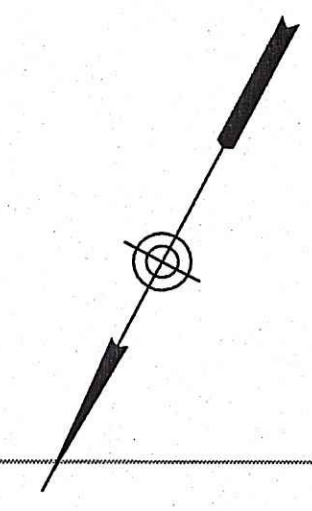
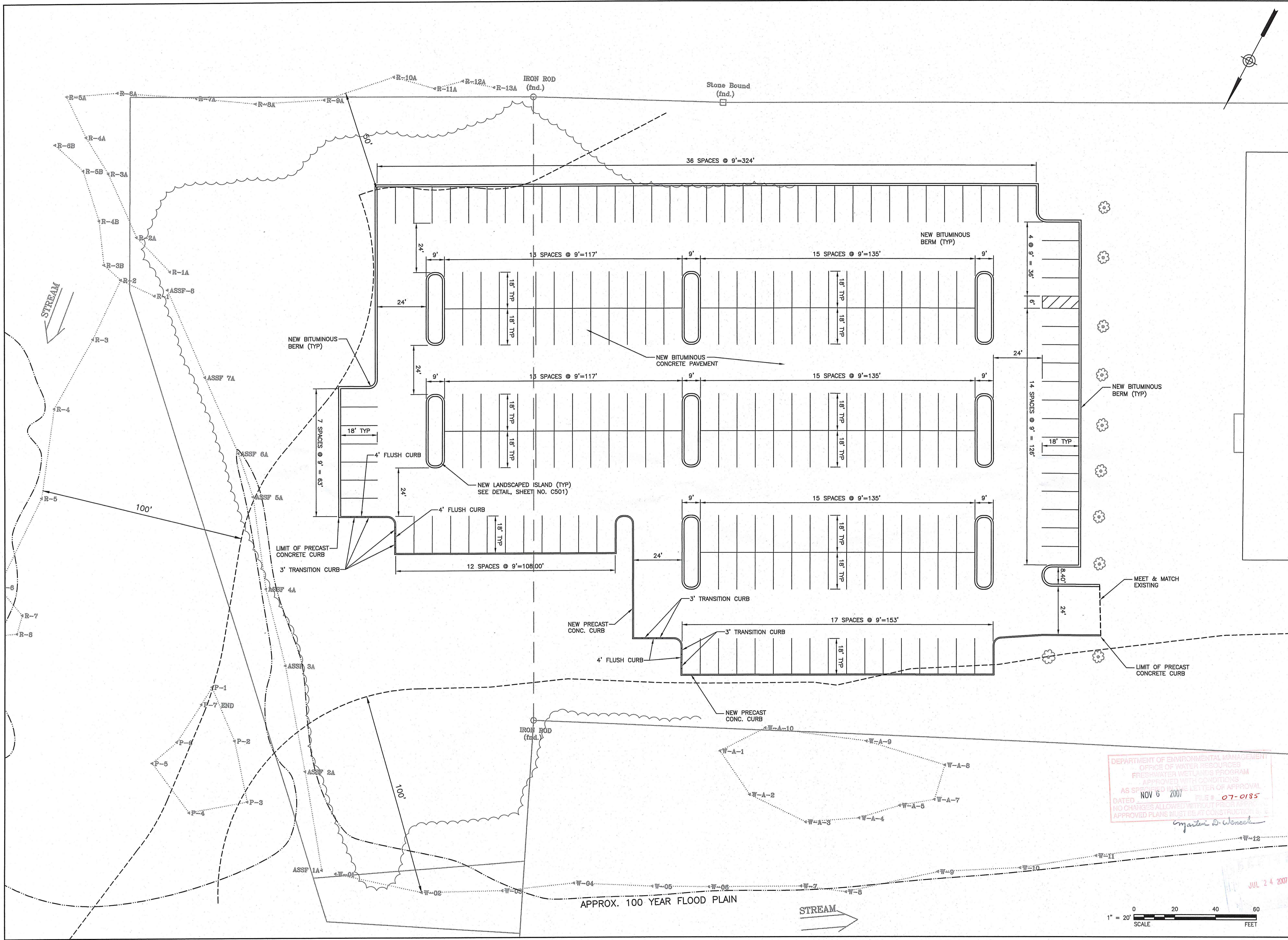


CVS/pharmacy SMITHFIELD, RI
 BUSINESS INTEGRATION CENTER
 EAST PARKING LOT UPGRADE
 DEMOLITION AND SEDIMENT
 AND EROSION CONTROL PLAN

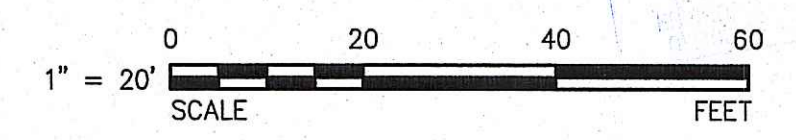
PROJECT NO.: 17959
 DESIGNED BY: JAJ
 DRAWN BY: LM
 CHK'D BY:
 DATE: 7/18/07
 SCALE: AS NOTED
 SHEET NO.:

C102
 SHEET 4 OF 10

DRAWING FILE: N:\Projects\1799-CVS\CD\1799C201.dwg PLOTTED: Jul 23, 2007 - 2:46pm BY: Lmazzu



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED NOV 6 2007 FILE # 07-0185
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION
Jonathan D. Weneck



Maguire Group Inc. Architects/Engineers/Planners 225 Chapman Street Providence, Rhode Island 02905	
LAYOUT PLAN	
PROJECT NO.:	17959
DESIGNED BY:	JAJ
DRAWN BY:	LM
CHK'D BY:	
DATE:	7/18/07
SCALE:	AS NOTED
SHEET NO.:	C201
SHEET	5 OF 10

DRAWING FILE: N:\Projects\17959-CVS\ACAD\CAD\17959-CVS.dwg PLOTTED: Jul 23, 2007 - 2:44pm BY: Lmazzu
 REVIEWED BY: CIVIL: INTALAGADIE ARCH: INTALAGADIE STRUC: INTALAGADIE PLUM: INTALAGADIE MECH: INTALAGADIE ELEC: INTALAGADIE

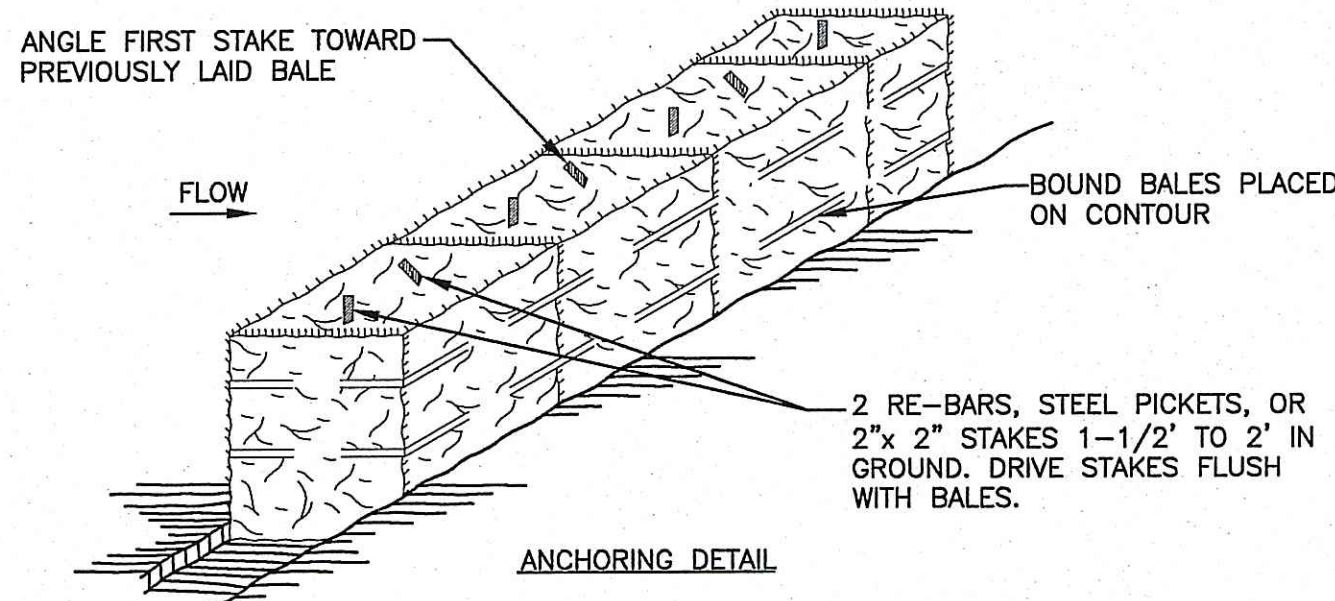
EROSION CONTROL CONSTRUCTION SEQUENCE

NOTE:
 CLEARING FOR AND INSTALLATION OF THE REQUIRED SEDIMENT CONTROL MEASURES SHALL BE COMPLETED AND INSPECTED PRIOR TO COMMENCING ANY OTHER LAND-DISTURBING ACTIVITY.

1. INSTALL STRAW BALE PROTECTION AT PERIMETER OF WORK, PARALLEL TO WETLANDS TOE OF SLOPES AND AT OUTLETS AND INLETS TO, AS SHOWN.
2. COMMENCE PROPOSED WORK. CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL BREACHES IN SEDIMENT CONTROLS.
3. DEBRIS AND LITTER WHICH ACCUMULATE IN THE BASINS SHALL BE REMOVED WEEKLY.
4. SEDIMENT BUILD-UP SHALL BE MONITORED AND BE REMOVED WHENEVER SEDIMENT HAS ACCUMULATED TO SIX(6) INCHES IN DEPTH.
5. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AFTER EVERY RAINFALL THAT PRODUCES RUNOFF.

TEMPORARY STABILIZATION

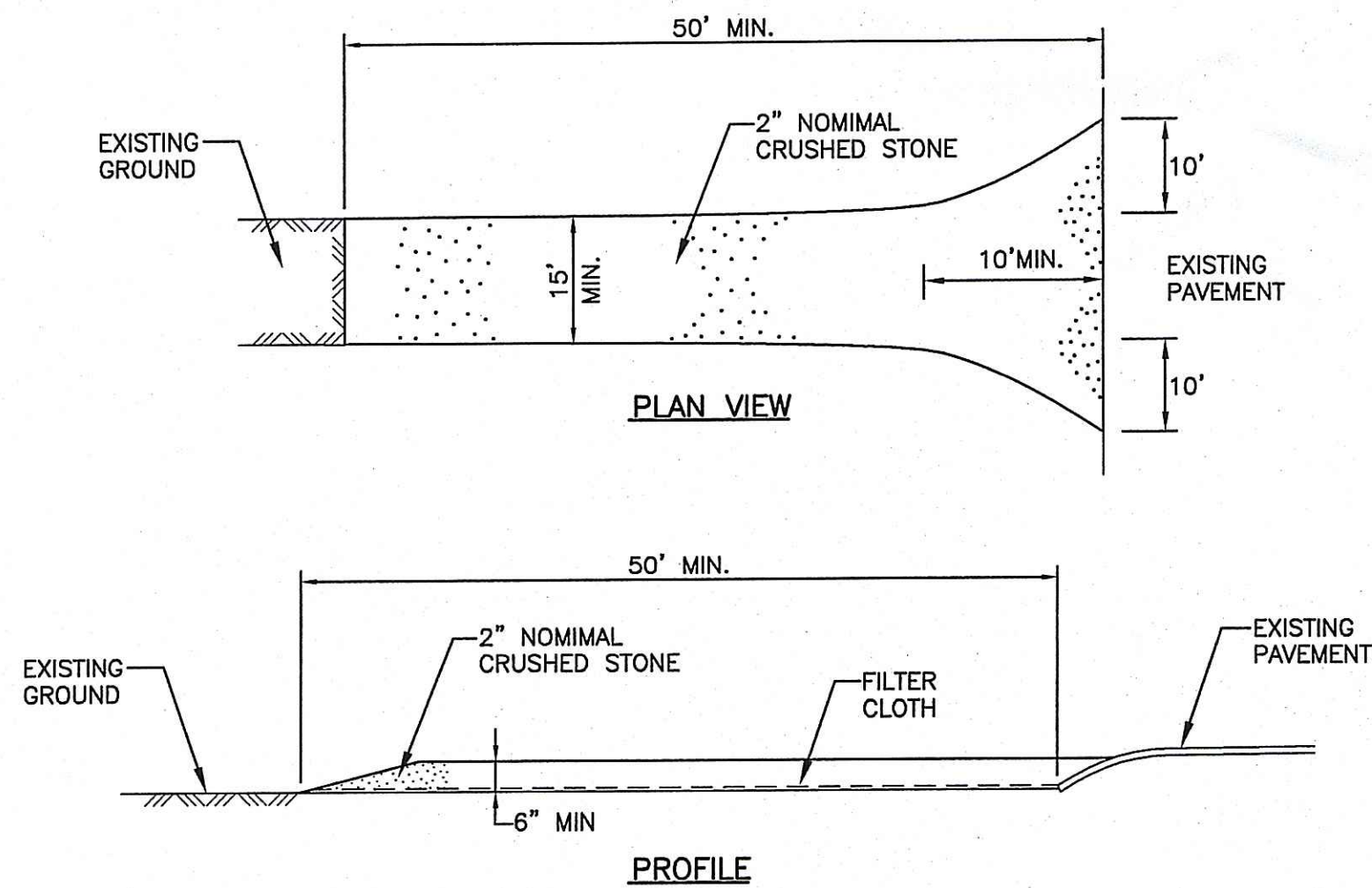
ALL EXCAVATIONS, STOCKPILES OR AREAS OF DISTURBED EARTH NOT SUBJECT TO ON-GOING CONSTRUCTION ACTIVITIES SHALL BE STABILIZED WITH TEMPORARY VEGETATION WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITIES CEASE UNLESS ACTIVITY IS TO RESUME WITHIN 21 DAYS. THIS REQUIREMENT IS APPLICABLE TO ALL PHASES OF CONSTRUCTION. ALL EXCAVATED OR STOCKPILED MATERIALS SHALL BE ENCRUSTED WITH A CONTINUOUS LINE OF STAKED HAYBALES.



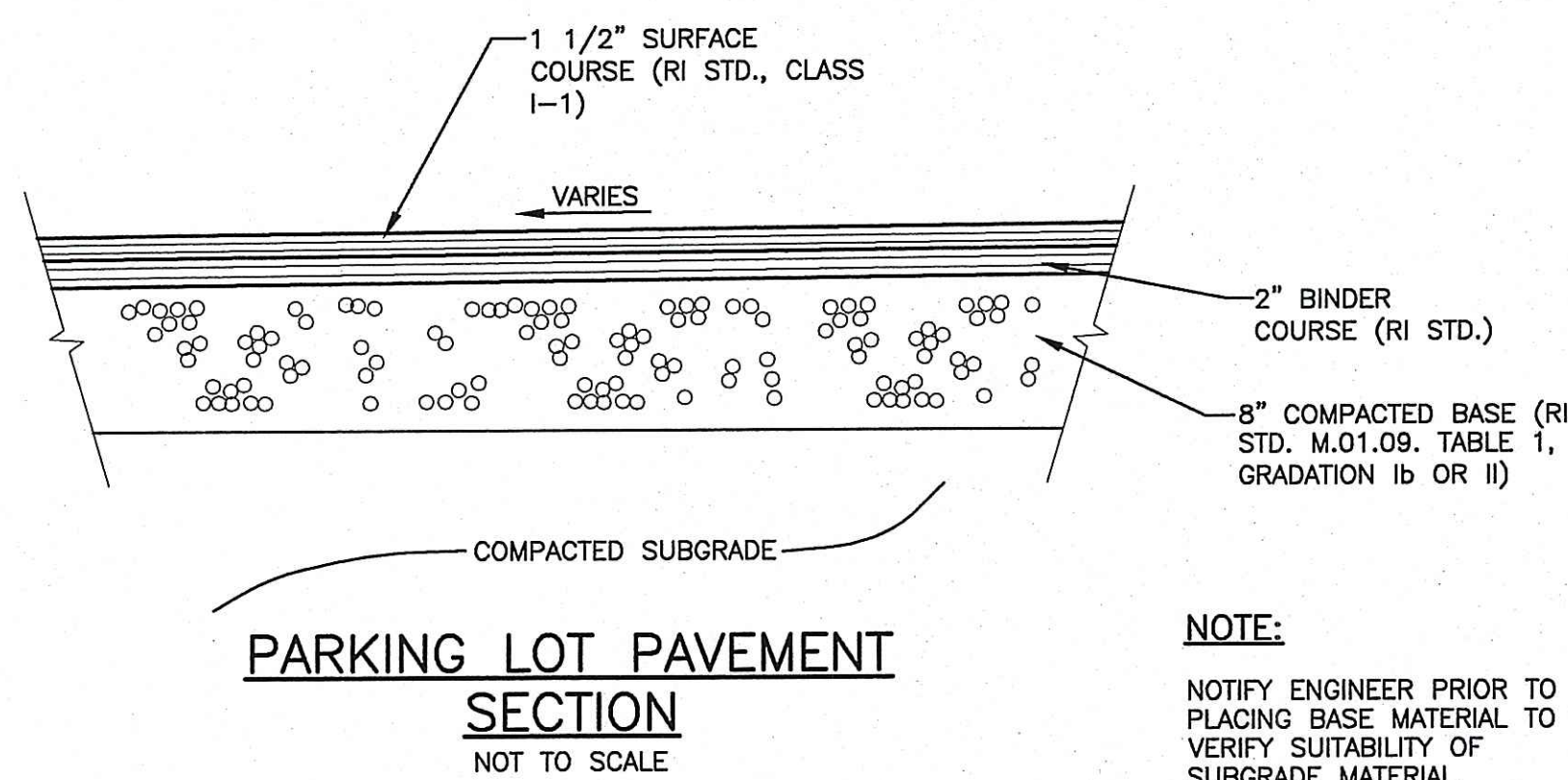
CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR, AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL, A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE, AT AN ANGLE, TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE FREQUENT AND REPAIR/REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

STRAW BALE BARRIER DETAIL
 NOT TO SCALE

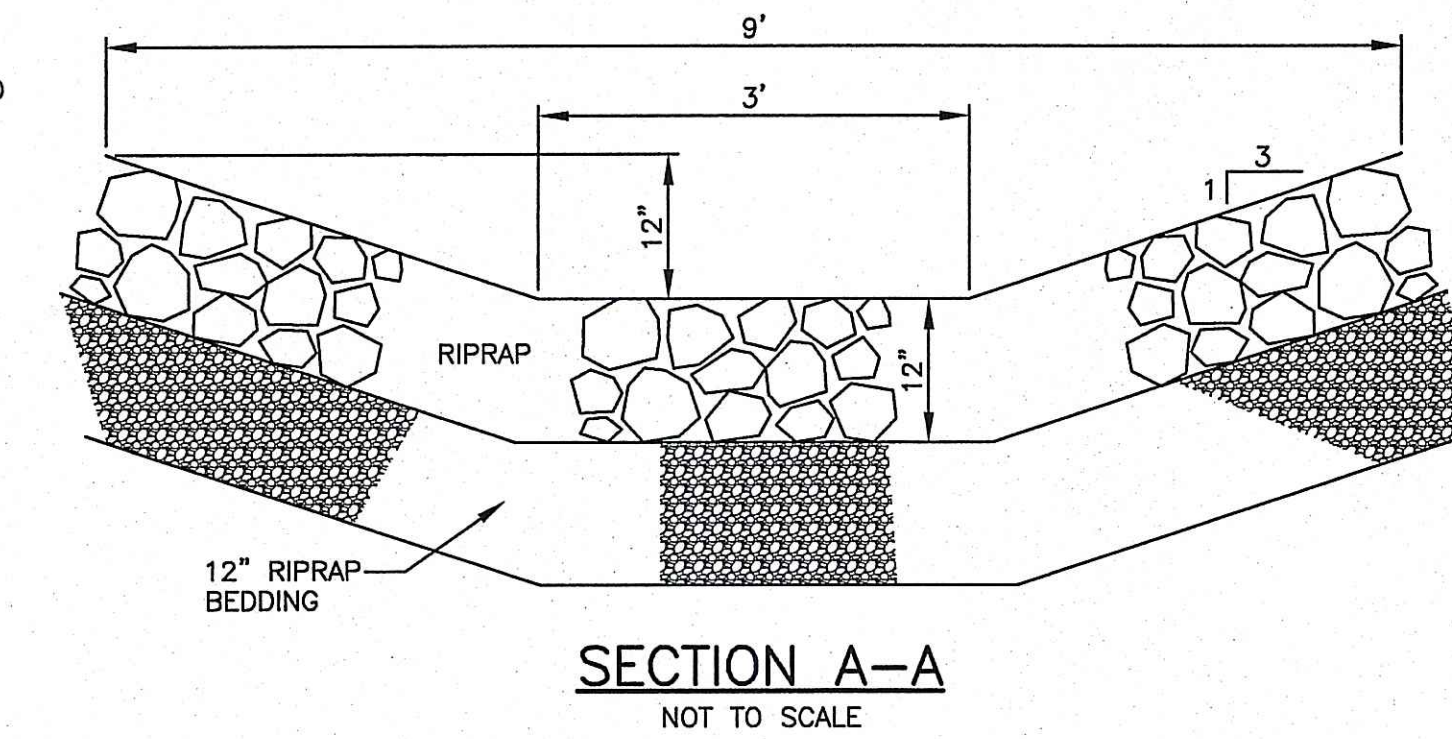


STABILIZED CONSTRUCTION ENTRANCE DETAIL
 NOT TO SCALE

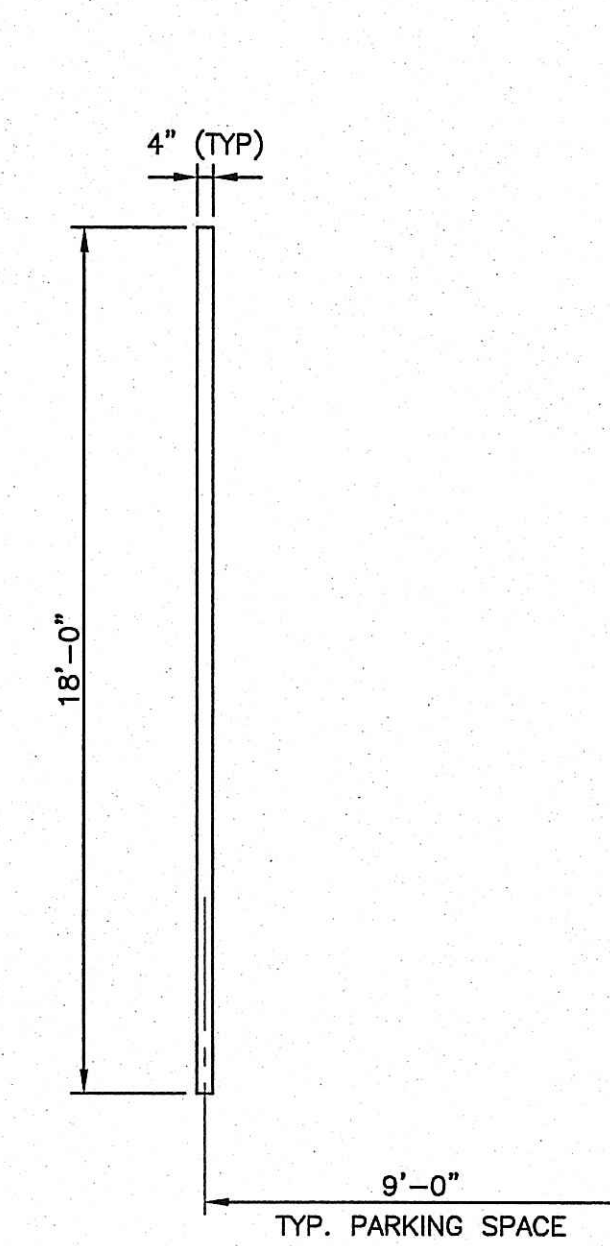


NOTE:
 NOTIFY ENGINEER PRIOR TO PLACING BASE MATERIAL TO VERIFY SUITABILITY OF SUBGRADE MATERIAL.

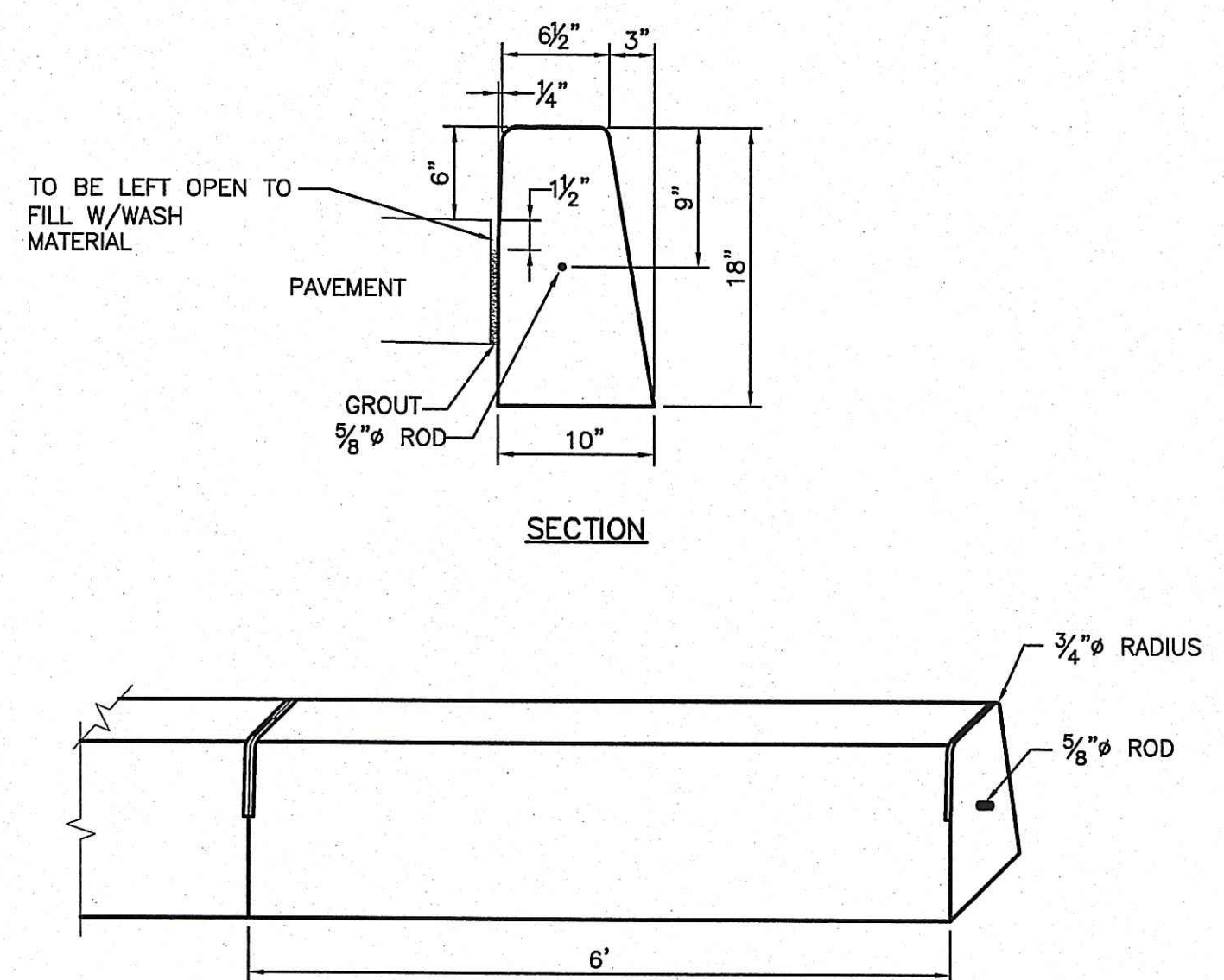
RIPRAP WATERWAY DETAIL
 NOT TO SCALE



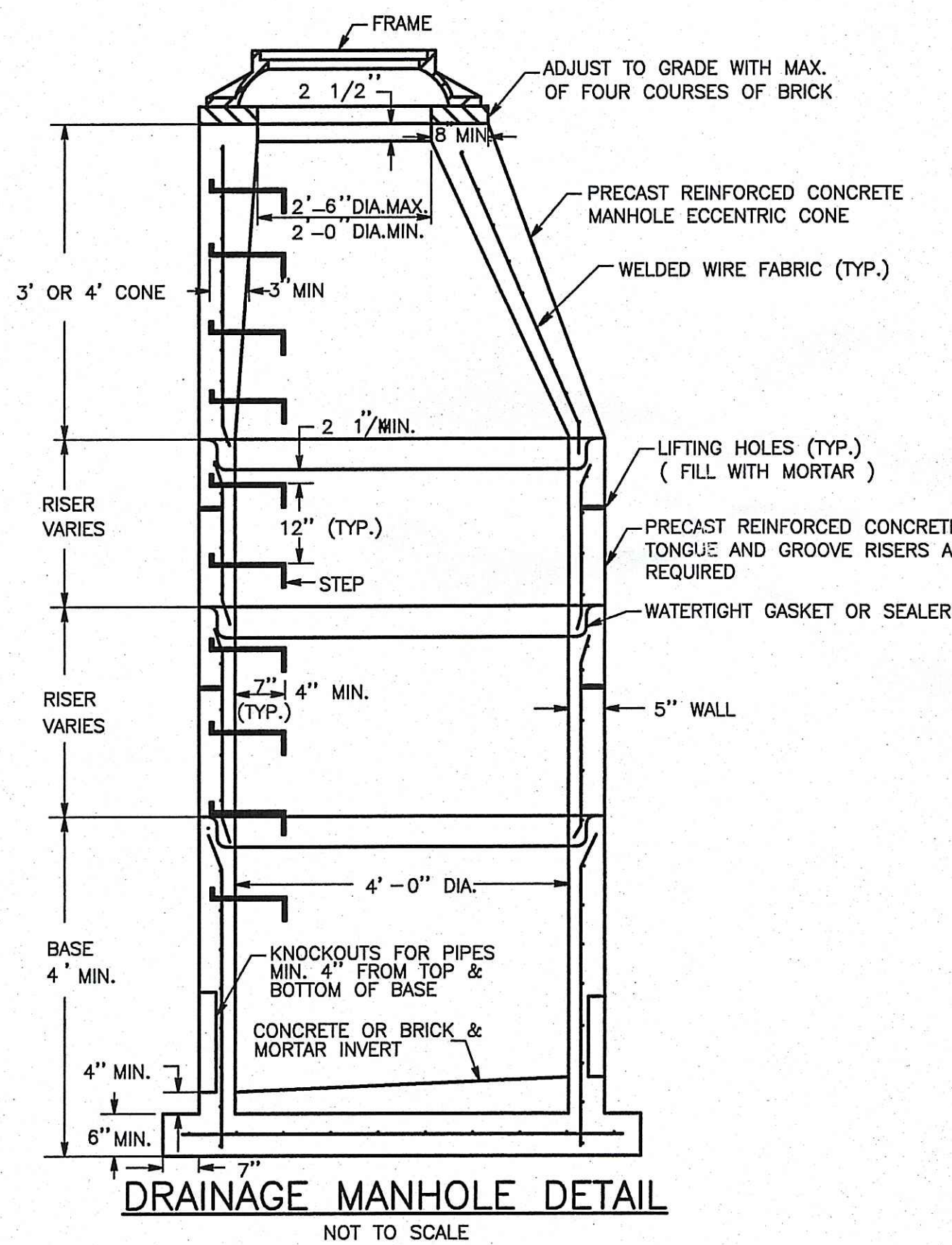
TYPICAL PARKING STRIPING DETAIL
 NOT TO SCALE



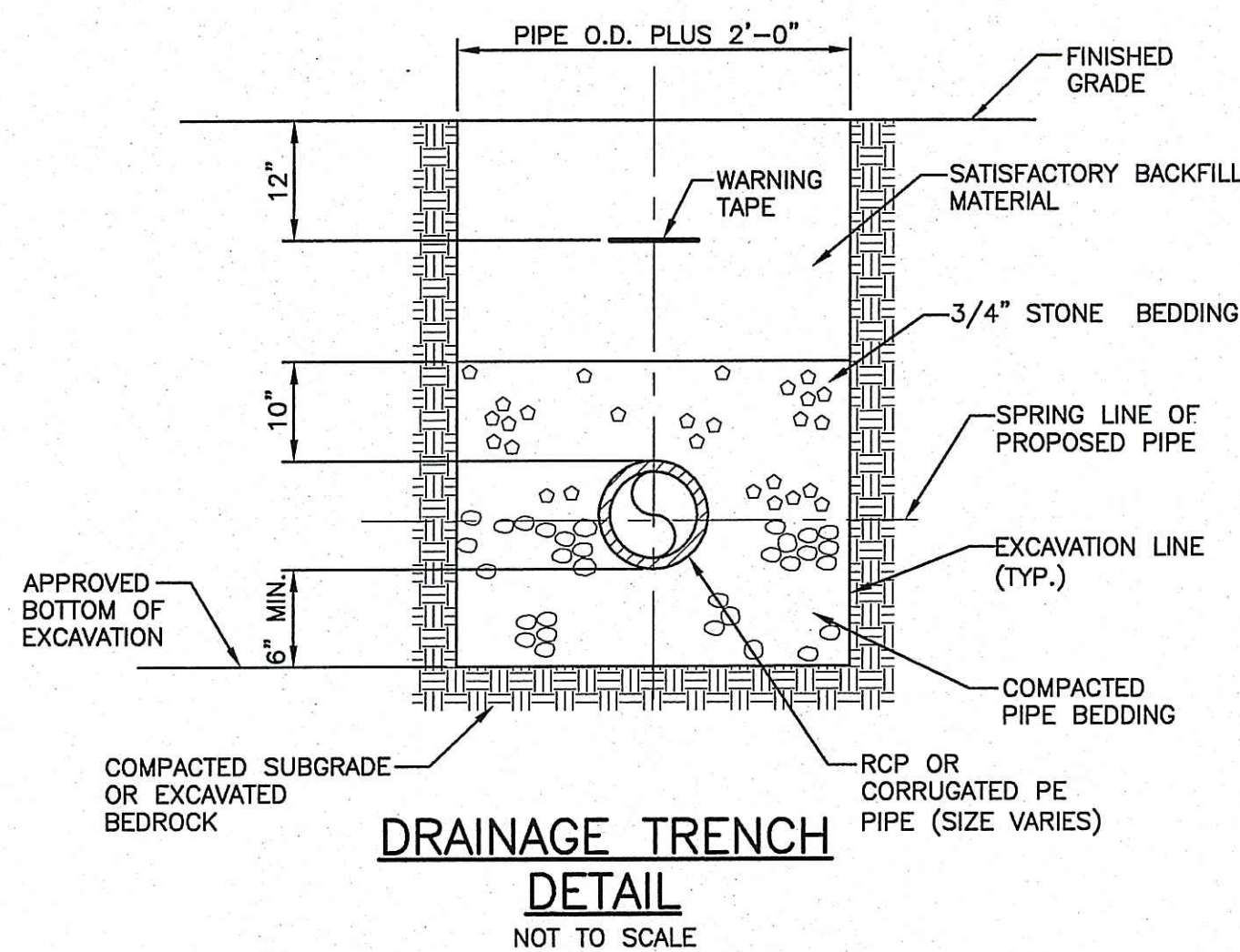
PRECAST CONCRETE CURB DETAIL
 NOT TO SCALE



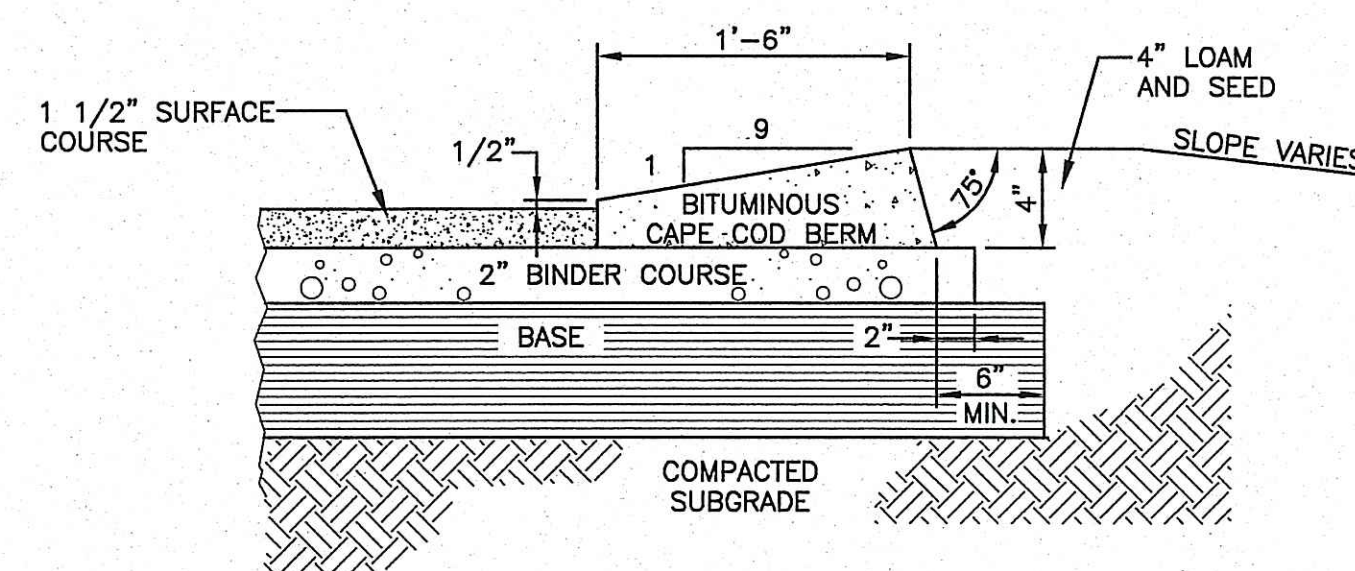
PRECAST CONCRETE CURB SHALL CONFORM TO RIDOT STATE STANDARD SPECIFICATION SECTION 905.02.2 AND BE INSTALLED IN ACCORDANCE WITH SECTION 905.03.2



DRAINAGE MANHOLE DETAIL
 NOT TO SCALE

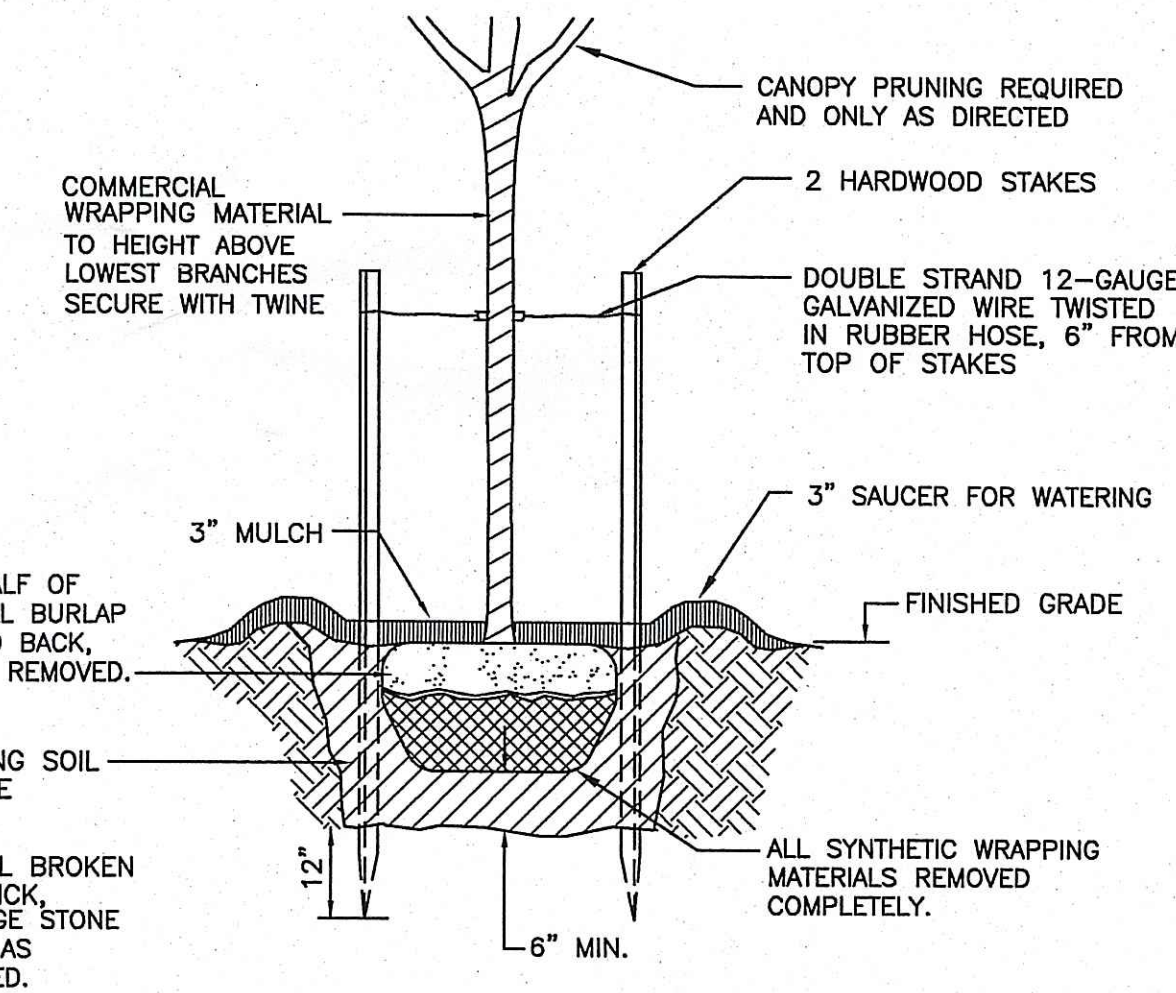


DRAINAGE TRENCH DETAIL
 NOT TO SCALE

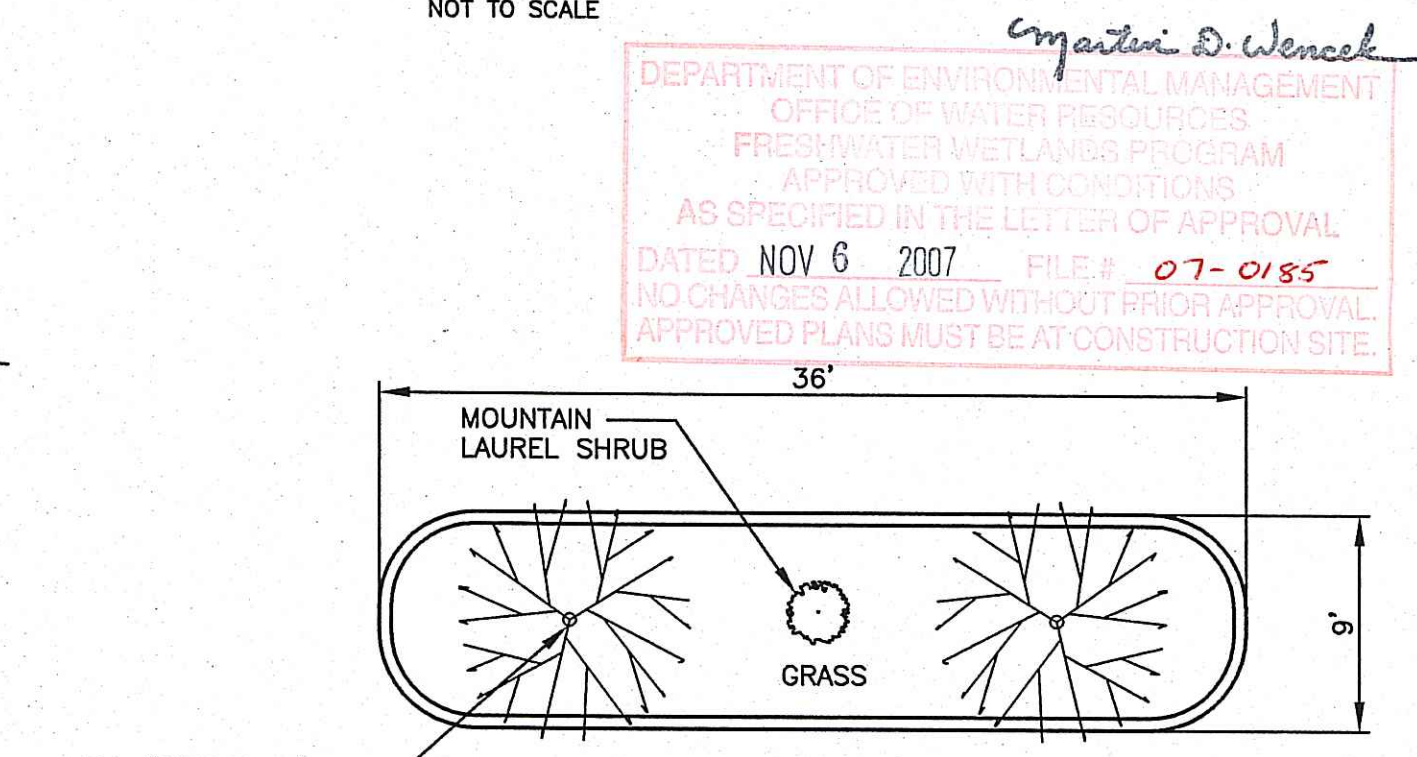


- NOTES:
1. CAPE COD BERM TO BE COMPACTED BITUMINOUS CONCRETE CONFORMING TO THE REQUIREMENT FOR EITHER BINDER/BASE COURSE OR TOP/WEARING COURSE AS APPROVED.
 2. CAPE COD BERM TO BE CONSTRUCTED ON COMPACTED BINDER COURSE PRIOR TO CONSTRUCTION OF WEARING COURSE.
 3. ALL BITUMINOUS CONCRETE TO BE COMPACTED.

PAVEMENT SECTION & CAPE COD BERM DETAIL
 NOT TO SCALE



TREE PLANTING DETAIL
 NOT TO SCALE



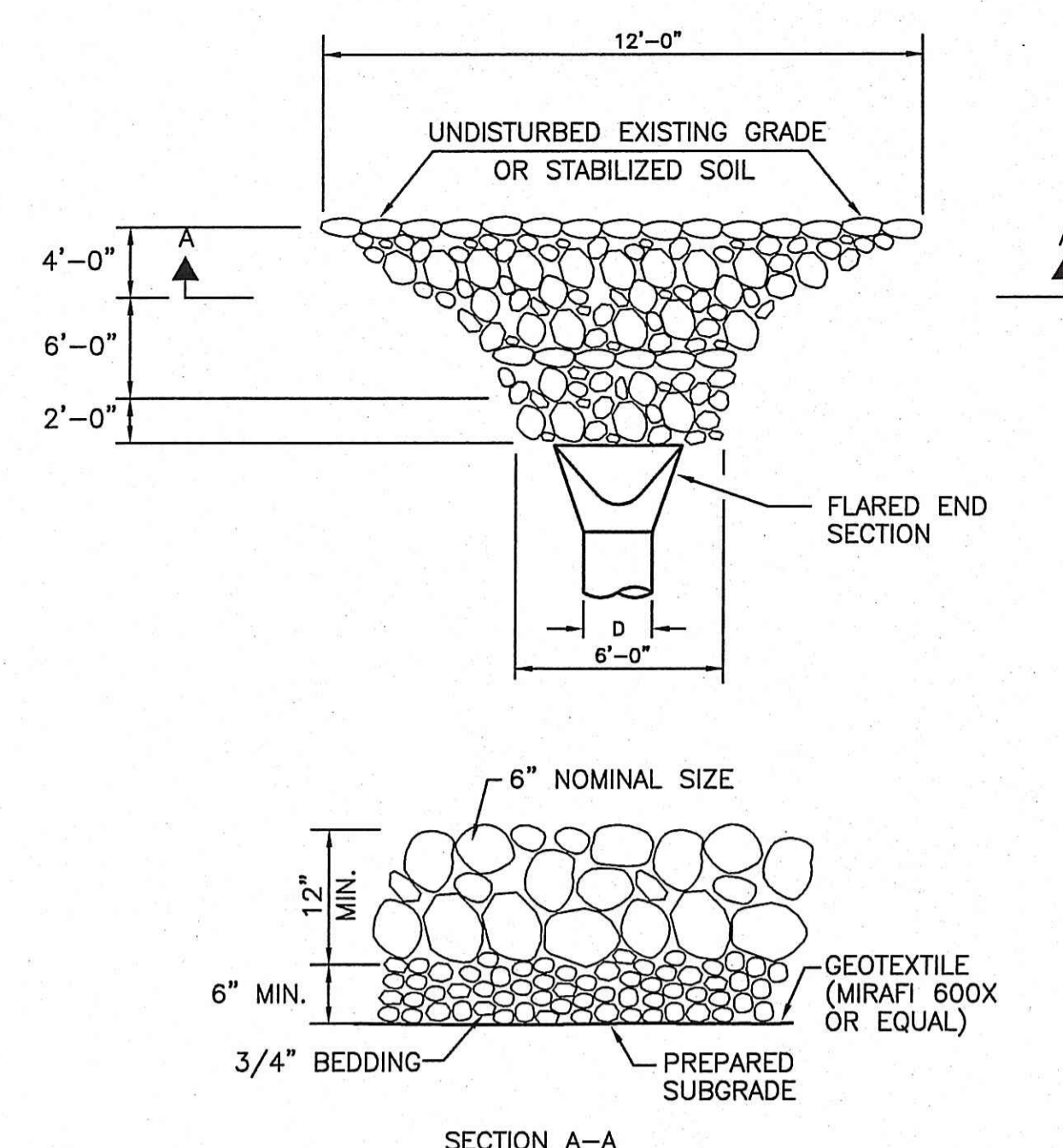
LANDSCAPED ISLAND DETAIL
 NOT TO SCALE

- NOTES:
1. LANDSCAPING SHALL CONFORM TO THE SMITHFIELD LANDSCAPING ORDINANCE.

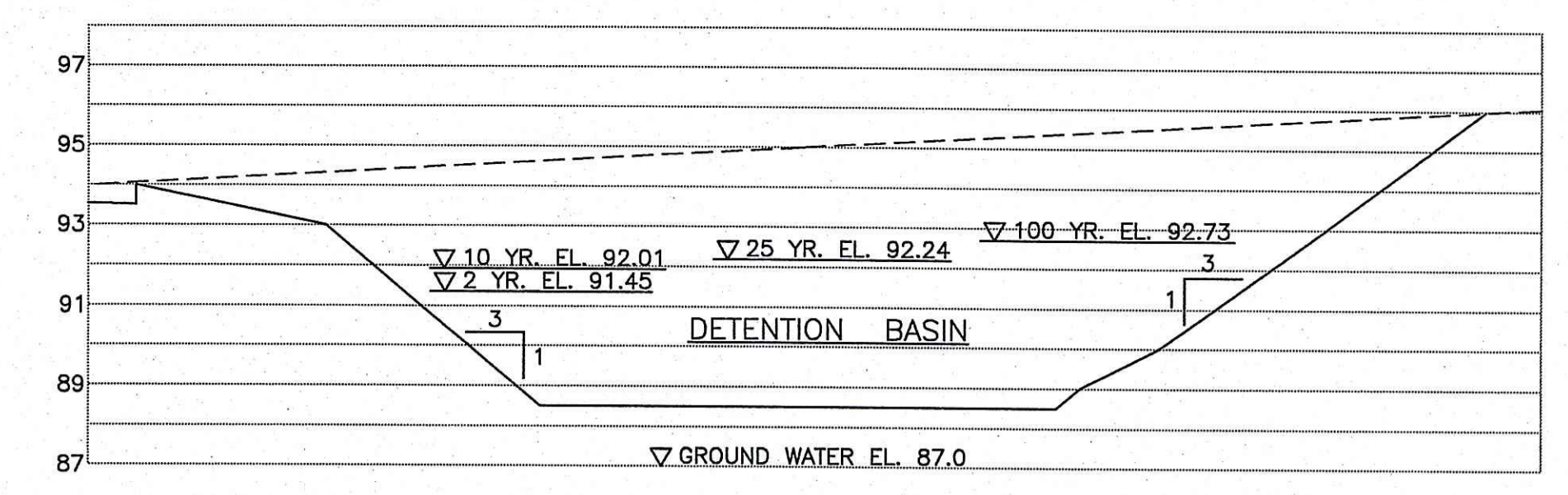
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED NOV 6 2007 FILE # 07-0155
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

PROJECT NO.: 17959	DESIGNED BY: JAJ	DATE: 7/18/07	SHEET NO.:
DRAWN BY: ---	CHK'D BY: ---	SCALE: AS NOTED	
<p>CVS/pharmacy SMITHFIELD, RI BUSINESS INTEGRATION CENTER EAST PARKING LOT UPGRADE</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);"> Maguire Group Inc. Architects/Engineers/Planners 225 Chapman Street Providence, Rhode Island 02905 </p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);"> TYPICAL SITE DETAILS </p>			
<p>C501</p>			
<p>SHEET 7 OF 10</p>			

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 REVISIONS BY: CIVIL, MECHANICAL, ARCHITECTURAL, STRUCTURAL, PLUMBING, ELECTRICAL, IRRIGATION
 APP'D:



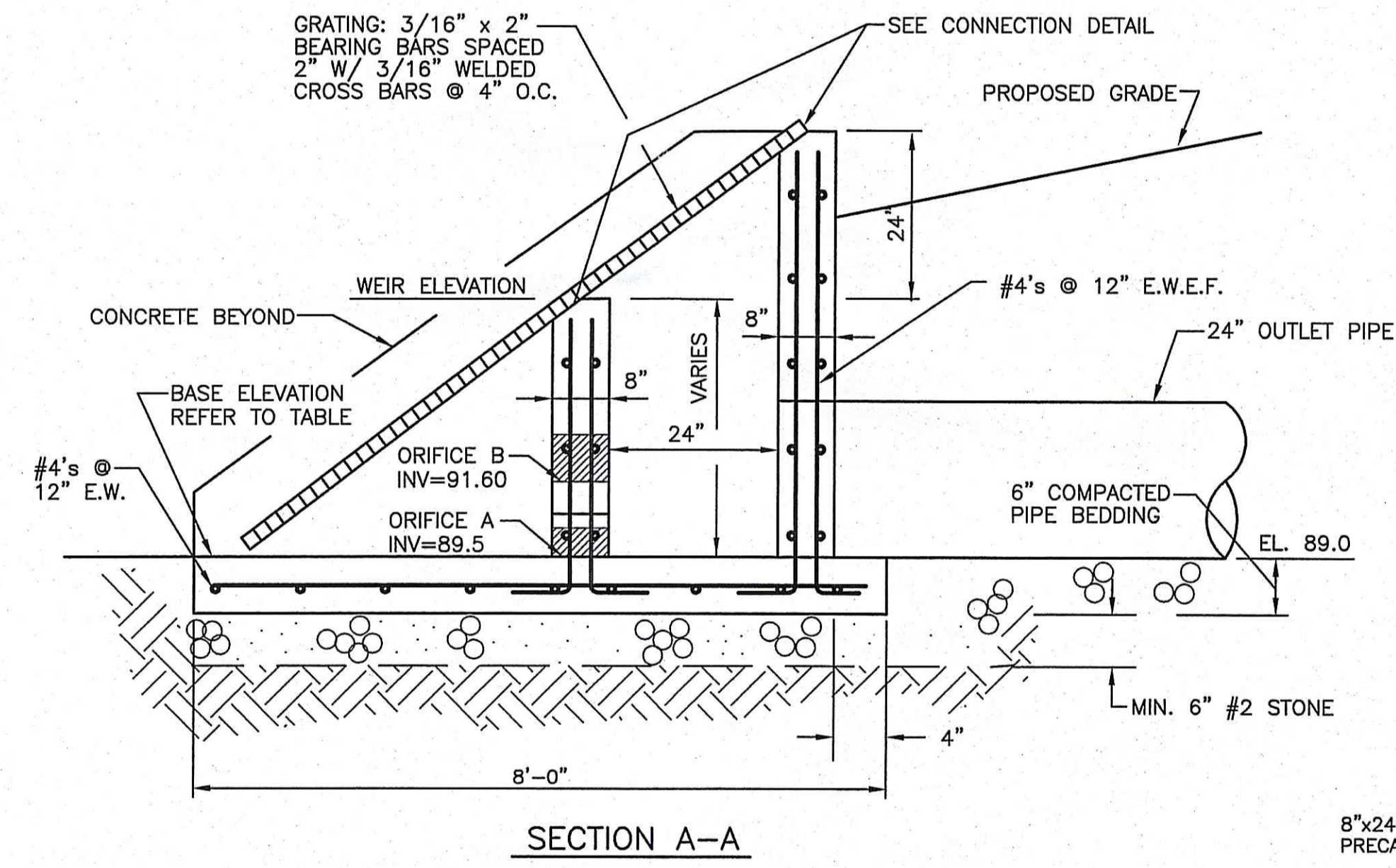
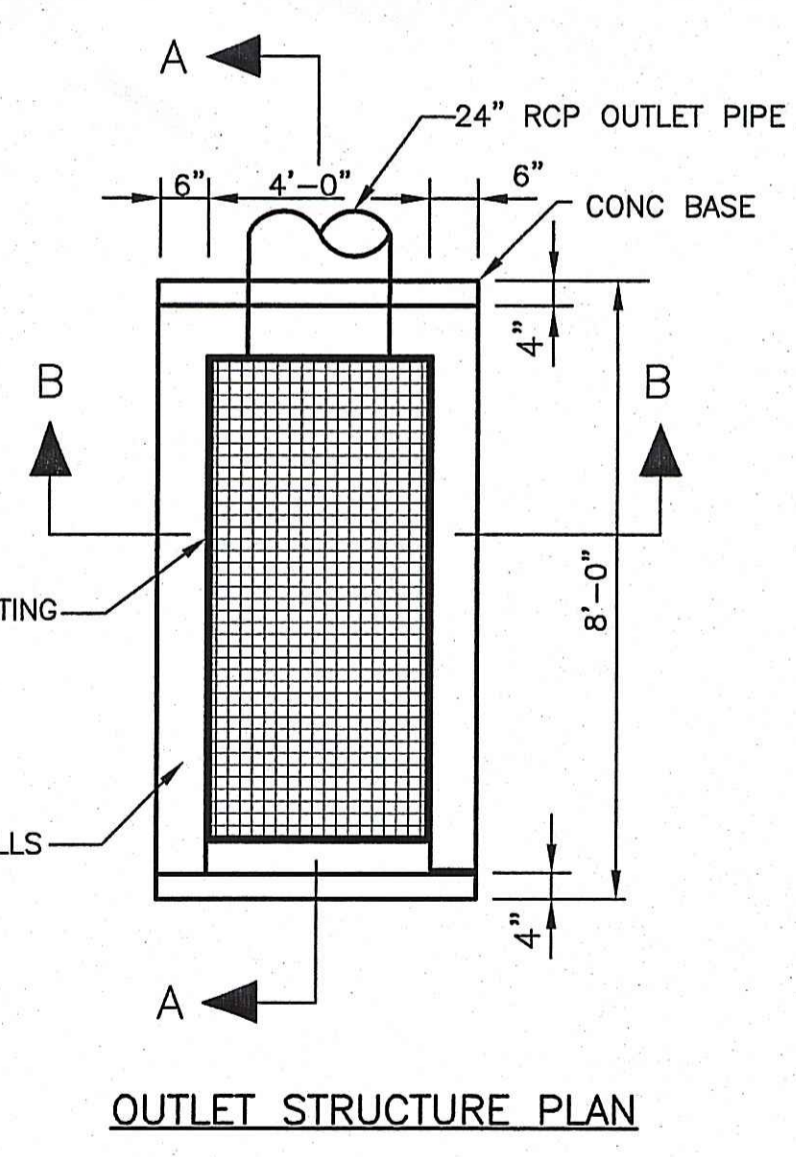
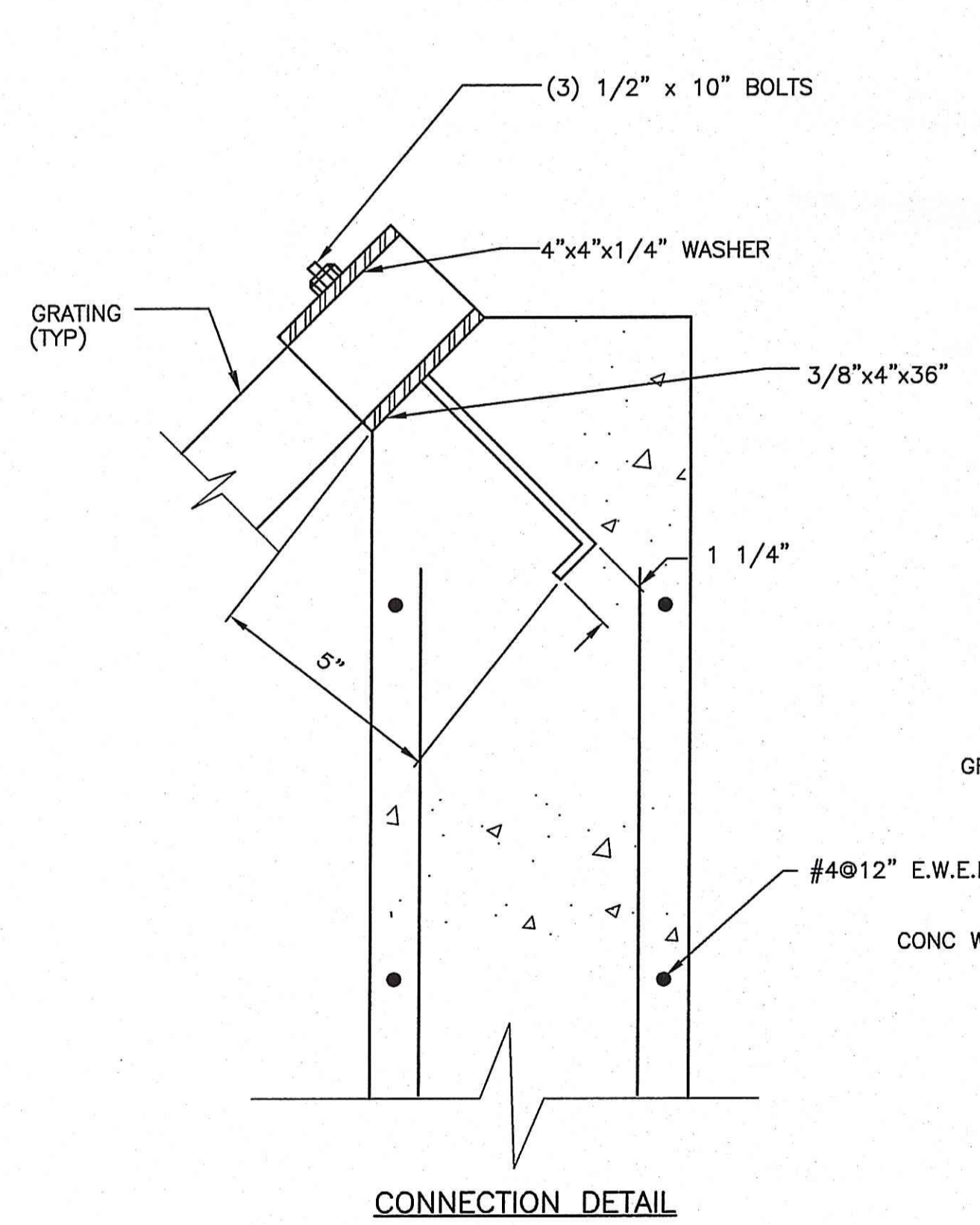
DIAMETER	DIMENSIONS									ONE LAYER REINF. IN CENTER OF WALL	
	A	B	C	D	E	F	R1	R2	T	MIN. AREA OF LONGITUDINAL SQ. IN. PER FOOT	MIN. AREA OF TRANSVERSE SQ. IN. PER FOOT
12"	4"	2'-0"	4'-1"	6'-1"	2'-0"				2"		
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	2'-5"	1'-3 1/2"	12"	2 1/4"	0.060	0.060
24"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-1"	2'-9 3/16"	1'-4 13/16"	1'-2"	3"	0.072	0.072
36"	2'-3"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	3'-11 13/16"	2'-3/16"	1'-8"	4"	0.096	0.096



- NOTES:**
- RIPRAP AND BEDDING TO MEET RI DOT STANDARDS
 - DIMENSIONS MAY BE MODIFIED TO MEET FIELD CONDITIONS.
 - UNLESS OTHERWISE DIRECTED, BEDDING SHALL BE CAREFULLY DUMPED AND GRADED. RIPRAP SHALL BE PLACED AS SPECIFIED IN RI DOT STANDARDS.

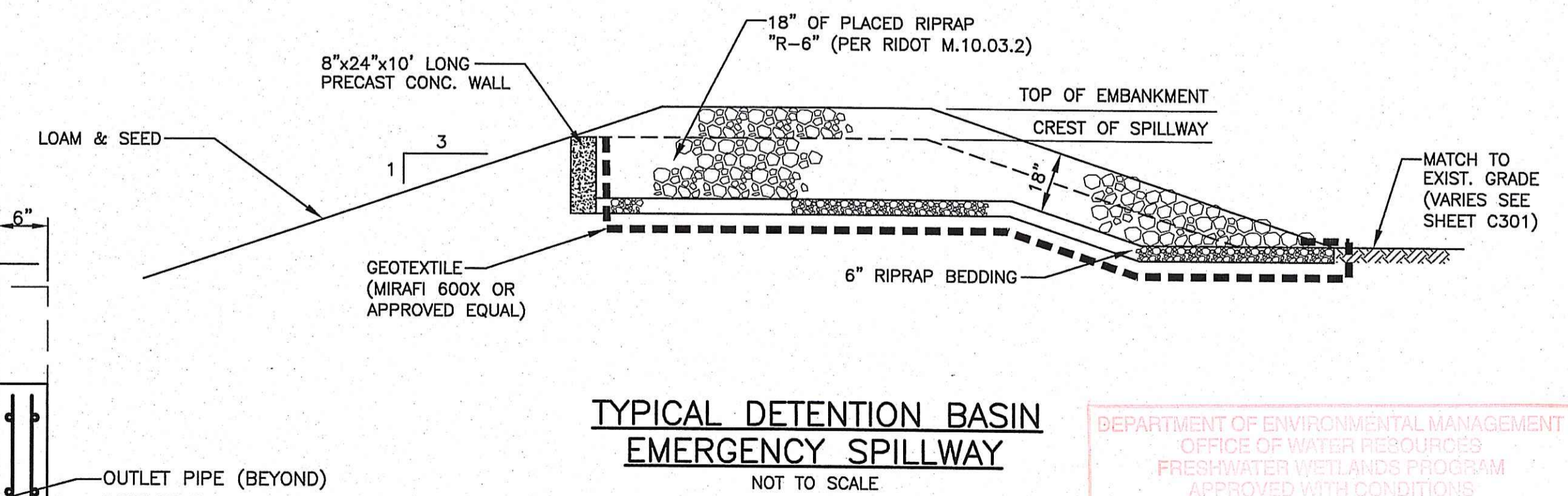
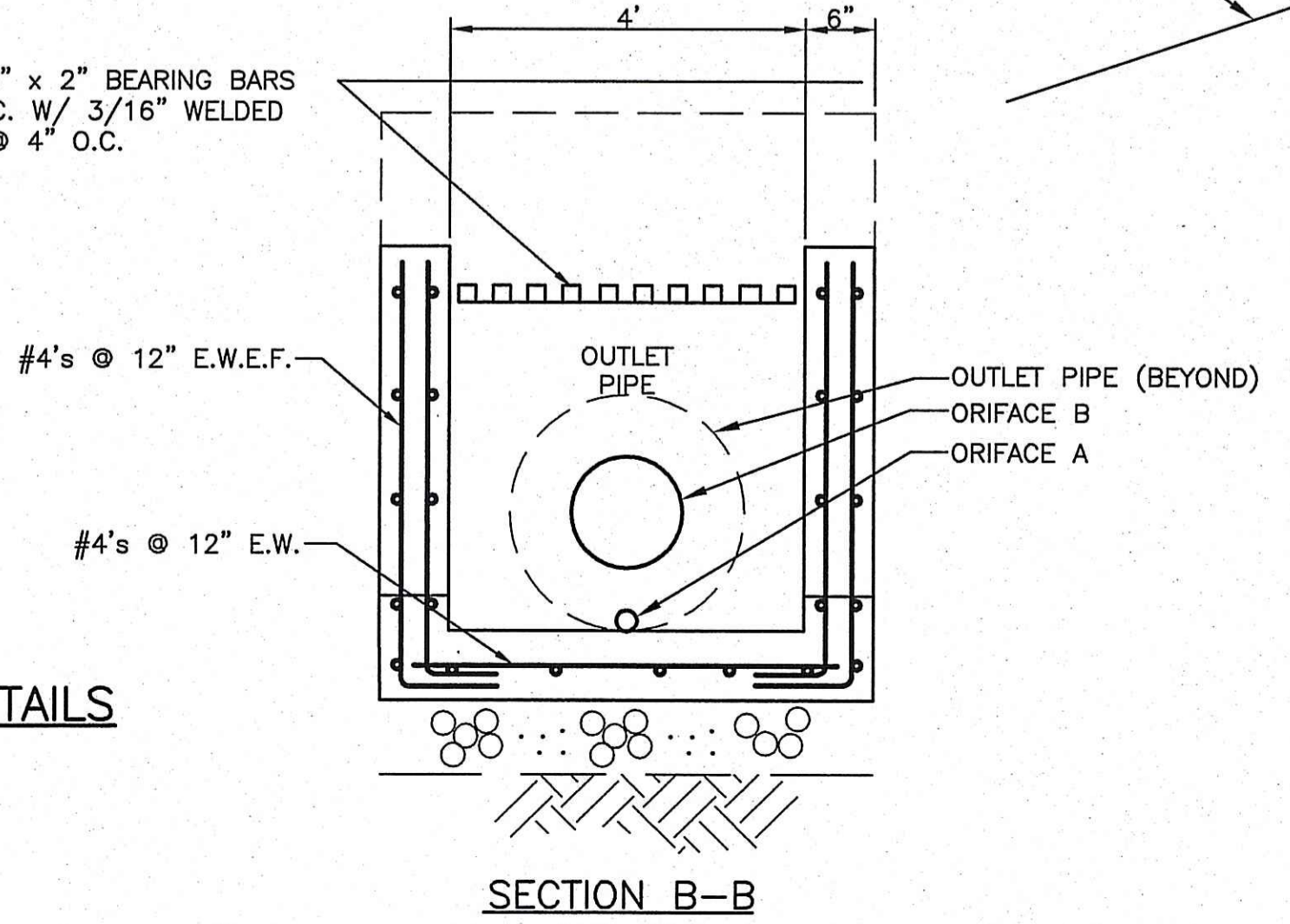
RIP RAP AT FLARED END SECTION
 NOT TO SCALE

PRECAST CONCRETE FLARED END SECTION
 NOT TO SCALE



DETECTION BASIN	OUTLET INVERT	OUTLET SIZE	ORIFICE A SIZE	ORIFICE B SIZE	WEIR ELEVATION	BASE ELEVATION
1	89.0	12"	2"	8"	93.00	89.0

OUTLET STRUCTURE SECTIONS AND DETAILS
 NOT TO SCALE



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Maguire D. Wenzel

PROJECT NO.:	17959
DESIGNED BY:	JAJ
DRAWN BY:	---
CHK'D BY:	---
DATE:	7/18/07
SCALE:	AS NOTED
SHEET NO.:	C502
SHEET	8 OF 10

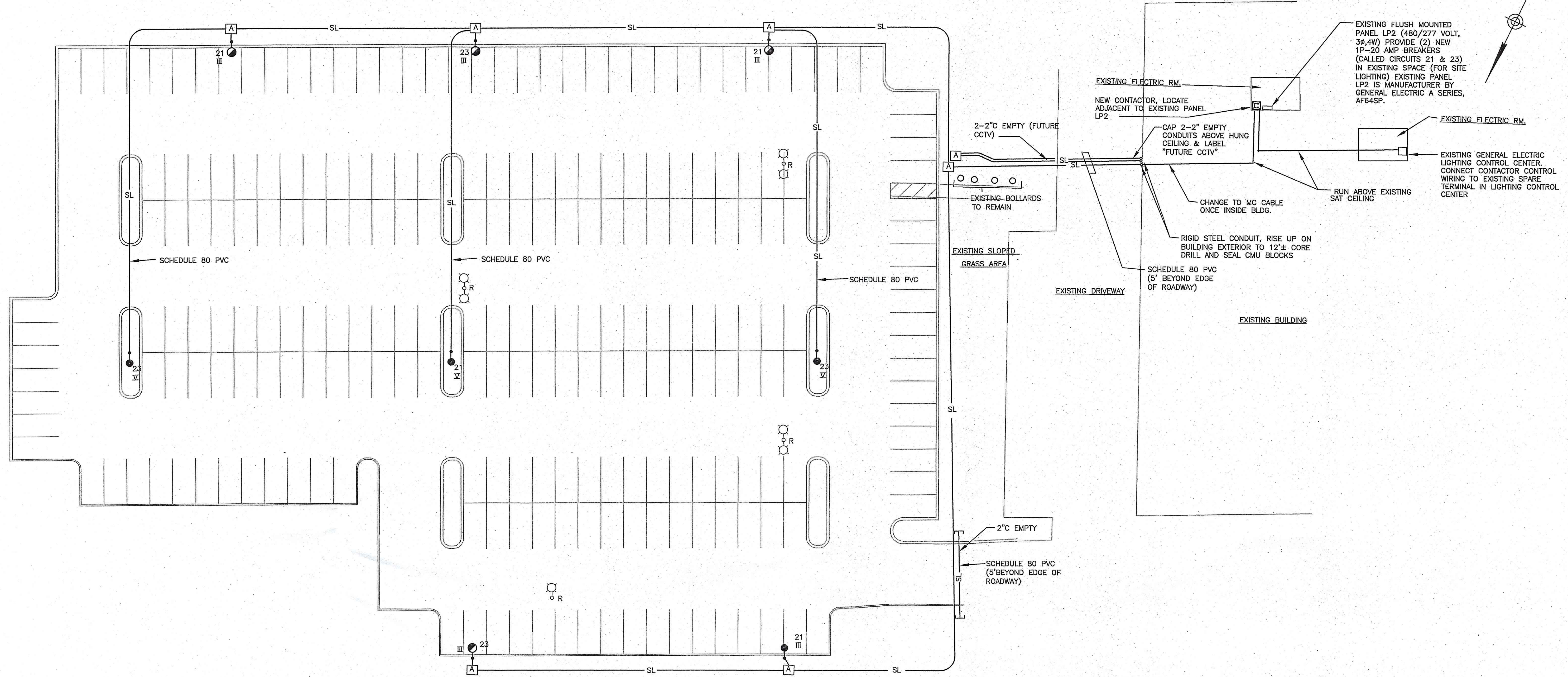
CVS/pharmacy SMITHFIELD, RI
 BUSINESS INTEGRATION CENTER
 EAST PARKING LOT UPGRADE

DRAINAGE AND UTILITY DETAILS

Maguire Group Inc.
 Architects/Engineers/Planners
 225 Chapman Street
 Providence, Rhode Island 02905

JUL 24 2007

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 REVIEWED BY: CIVIL: INITIALS/DATE ARCH: INITIALS/DATE STRUC: INITIALS/DATE PLUMB: INITIALS/DATE FIRE: INITIALS/DATE MECH: INITIALS/DATE ELEC: INITIALS/DATE

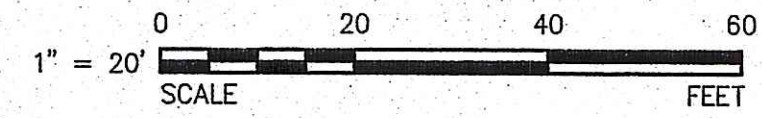


SITE LIGHTING PLAN
 SCALE: 1"=20'-0"

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESH WATER PERMITS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED NOV 6 2007 FILE # 07-0185
 NO CHANGES ALLOWED WITHOUT THE ABOVE
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Matthew D. Wencel

JUL 24 2007



CVS/pharmacy SMITHFIELD, RI BUSINESS INTEGRATION CENTER EAST PARKING LOT UPGRADE		PROJECT NO.: 17959	
DESIGNED BY: R.B.		DRAWN BY: R.B.	
CHK'D BY:		DATE: 7/18/07	
DATE:		SCALE: AS NOTED	
SCALE:		SHEET NO.:	
SHEET NO.:		E-201	
SHEET 10 OF 10		MAGUIRE GROUP	
MAGUIRE GROUP		Maguire Group Inc. Architects/Engineers/Planners 225 Chapman Street Providence, Rhode Island 02905	
HOWARD D. ANDERSON No. 7217 REGISTERED PROFESSIONAL ENGINEER ELECTRICAL		DESCRIPTION	
MARK		DATE	
BY		APP'D	