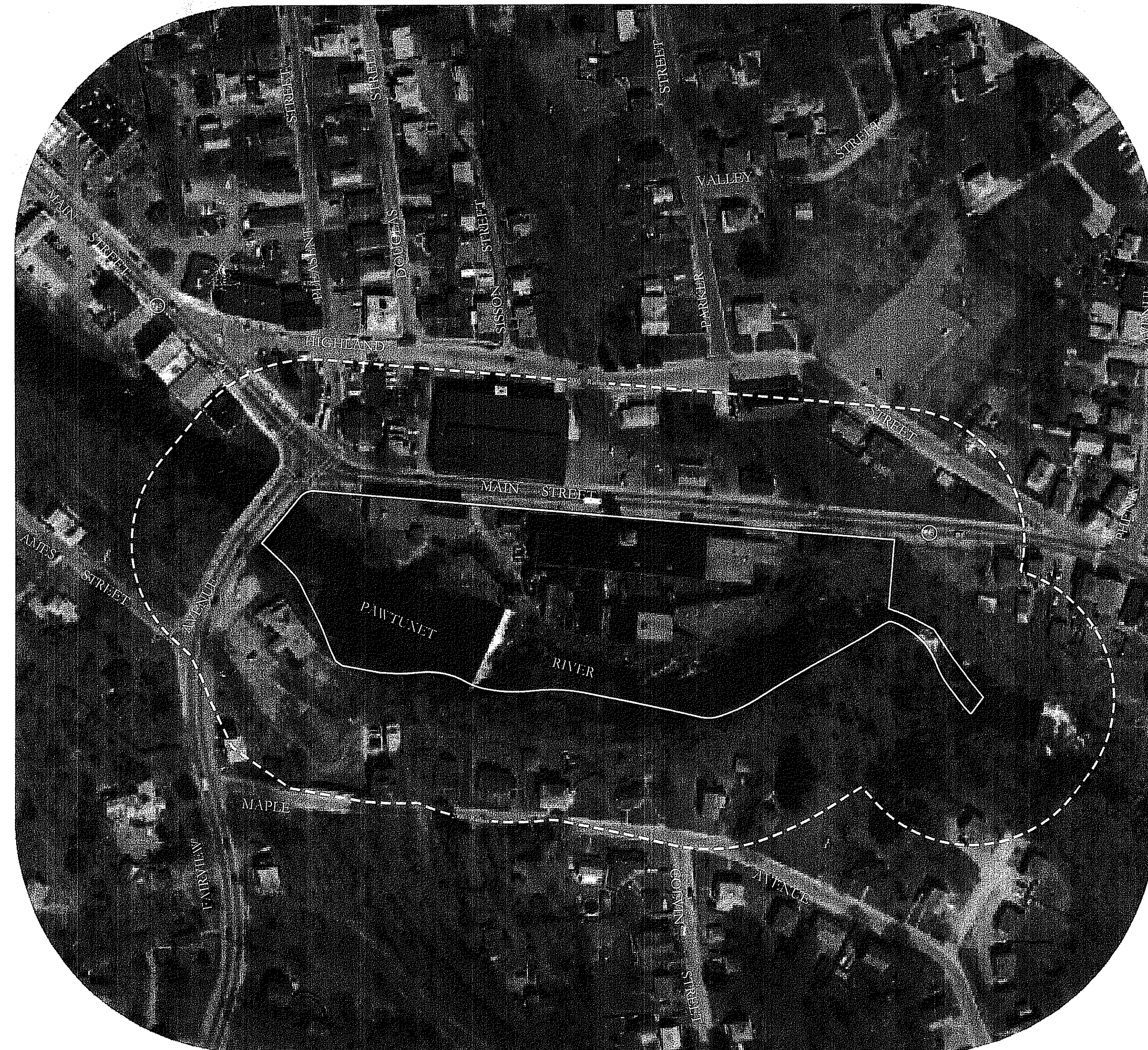


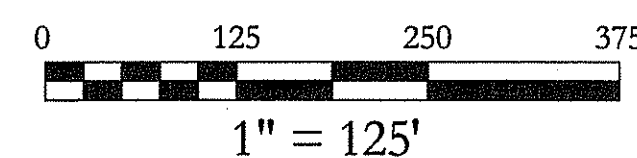
Wetlands Formal Submission

PHENIX COMMONS

Major Land Development
 Assessor's Map 2 Block 25
 771 Main Street, West Warwick, Rhode Island



200 foot Aerial Radius Map

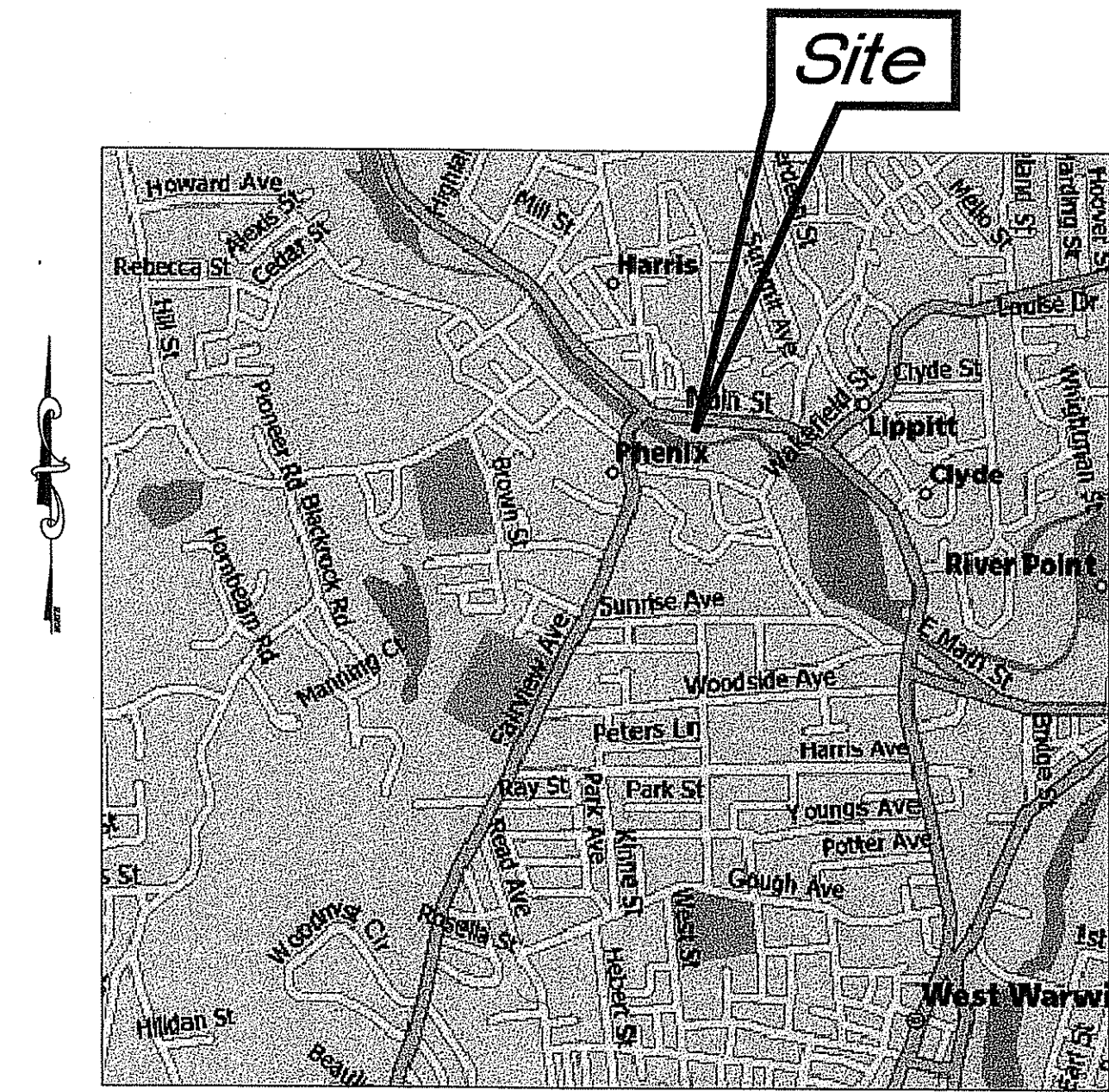


Surveyor:

Boyer & Associates
 1200 Main Street
 West Warwick, RI 02893
 401.821.8872

Wetlands Biologist:

Natural Resource Services
 P.O. Box 311
 Harrisville, RI 02830
 401.568.7390



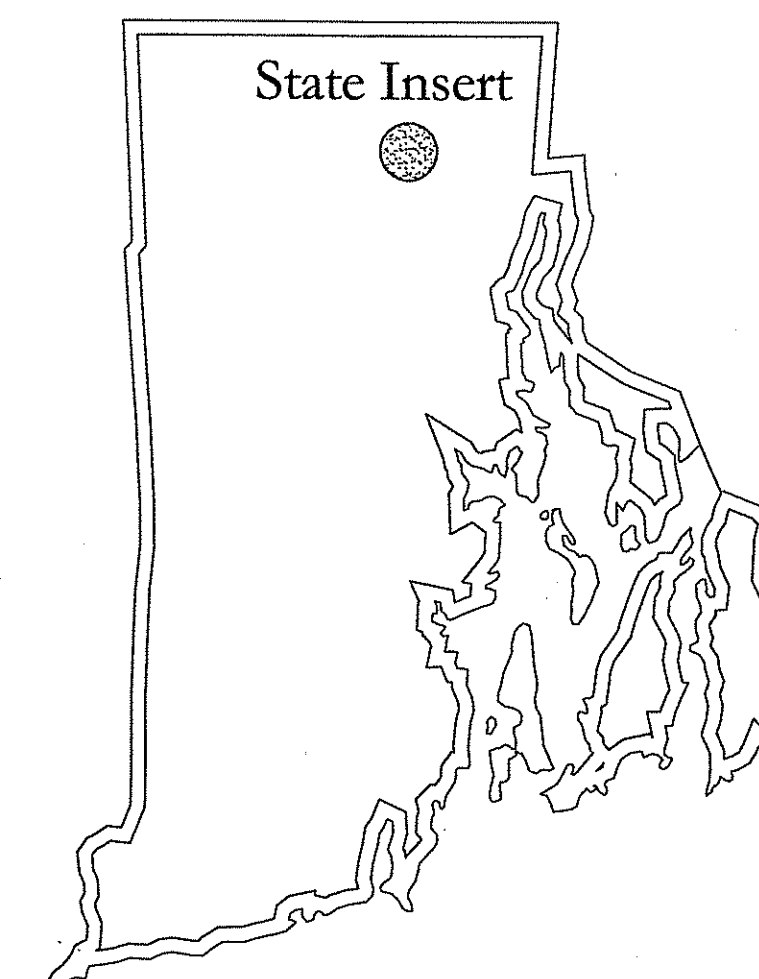
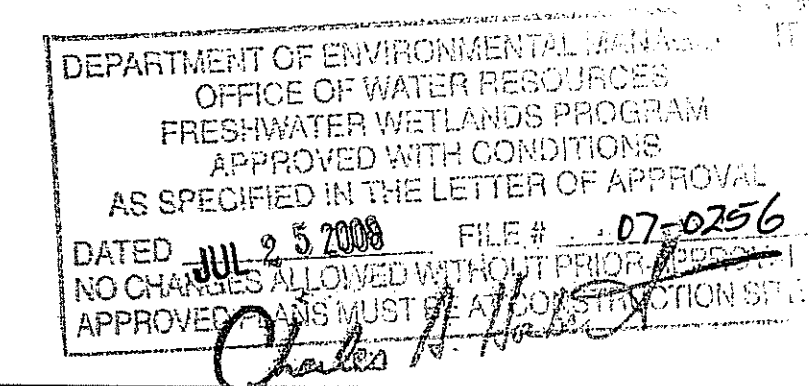
Locus Map N.T.S.

Owner(s)/Applicant(s):

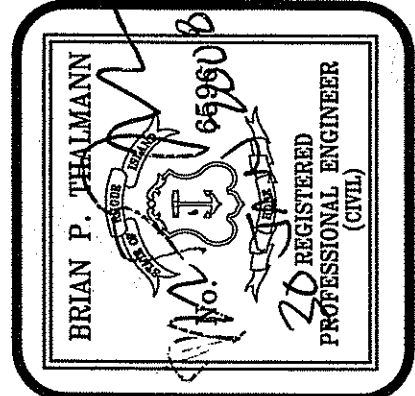
Phenix Commons, LLC
 100 Bernon Street
 Woonsocket, Rhode Island 02895

Sheet Index:

- Sheet 1 Cover Sheet
- Sheet 2 Existing Conditions Plan
- Sheet 3 Site Layout Plan
- Sheet 4 Landscape Plan
- Sheet 5 Plan & Profile
- Sheet 6 Notes & Details



NO.	DATE	REVISION	SHEETS BY
1	8/14/07	RESPONSE TO RIDEM COMMENTS	1-5 JEA
2	11/19/07	RESPONSE TO RIDEM COMMENTS	1-6 JEA
3	1/30/08	RESPONSE TO RIDEM COMMENTS	1,3,5,6 JEA



Thalman Engineering Co., Inc.
 Site/Civil Engineers • Land Planners
 600 Putnam Pike, Suite #7
 Greenville, Rhode Island 02828
 (401) 349-3040 • (401) 349-3041 (fax)

Thalman Engineering Co., Inc.
 ENVIRONMENTAL MANAGEMENT
 OFFICE OF WETLANDS RESOURCES

Lot 25
 Rhode Island
 scale: As Noted

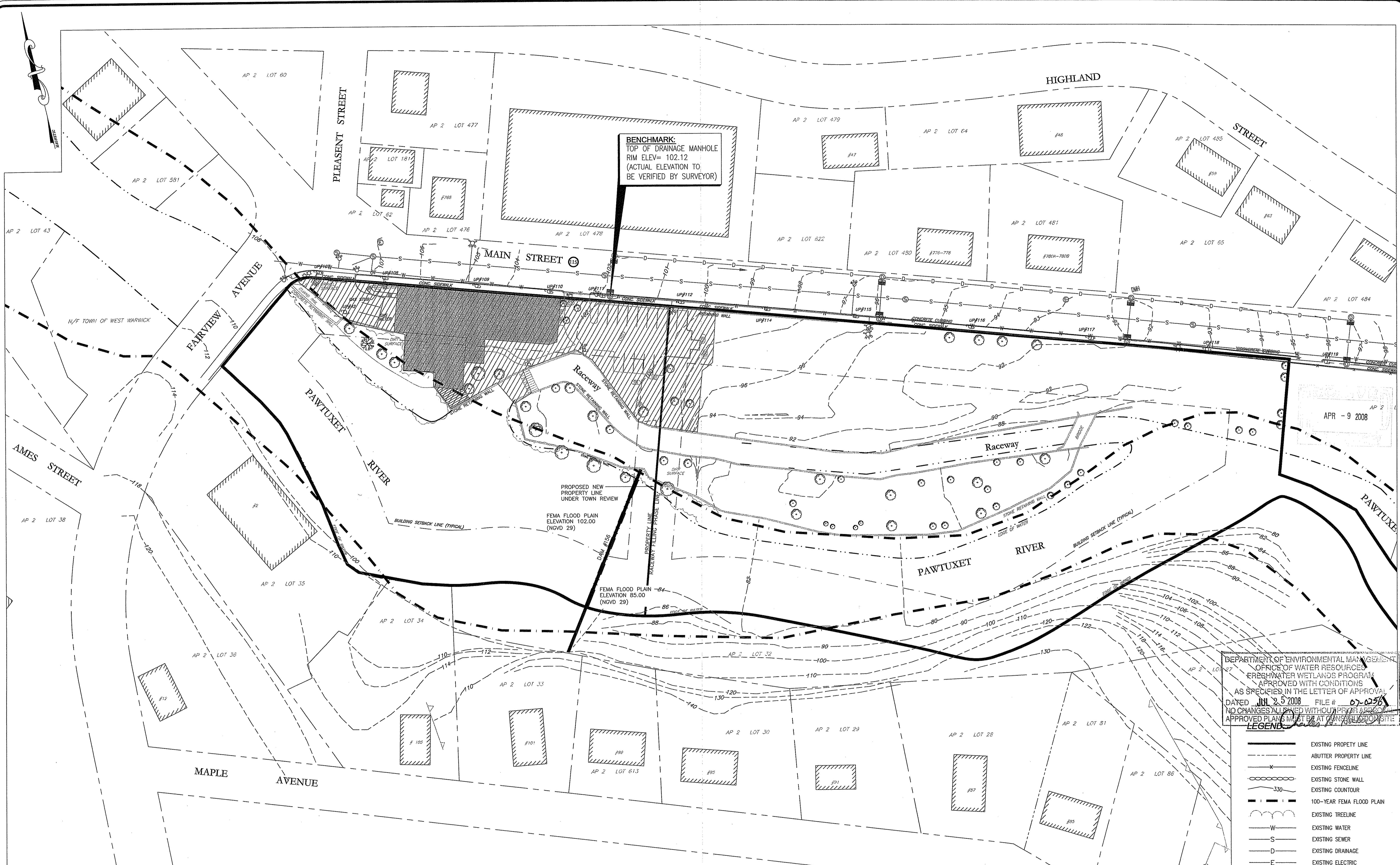
Map: 2
 Cover Sheet
Phenix Commons
 771 Main Street
 Prepared for:
 Phenix Commons, LLC
 100 Bernon Street, Woonsocket, RI

Drawn By: JEA
 Checked By: BPT

Sheet
1
 of 6

FILE NO.: 06.044

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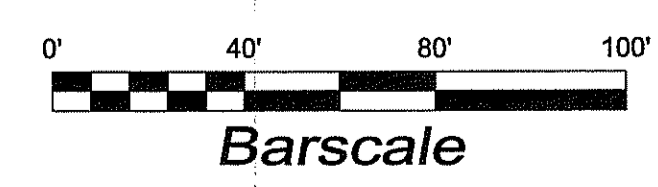


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED Jul 25 2008 FILE # 05-0256
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLAN MUST BE AT CONSISTENT SITE

- LEGEND:**
- EXISTING PROPERTY LINE
 - - - ABUTTER PROPERTY LINE
 - - - EXISTING FENCELINE
 - x—x— EXISTING STONE WALL
 - o—o— EXISTING COUNTOUR
 - - - 100-YEAR FEMA FLOOD PLAIN
 - w—w— EXISTING TREETLINE
 - W EXISTING WATER
 - S EXISTING SEWER
 - D EXISTING DRAINAGE
 - E EXISTING ELECTRIC
 - ⊙ EXISTING SEWER MANHOLE
 - ⊙ EXISTING HYDRANT
 - EXISTING CATCH BASIN
 - ⊕ EXISTING GAS GATE VALVE
 - ⊕ EXISTING WATER VALVE
 - ⊕ EXISTING UTILITY POLE
 - ⊕ EXISTING LIGHT POLE
 - ▨ CONSTRUCTION ACTIVITIES PERMITTED UNDER RIDEM FILE NO. 05.0038

REFERENCE:
BASE PLAN INFORMATION OBTAINED TAKEN FROM PLAN ENTITLED:
"RIDEM WETLANDS PLAN, PHASE I SITE PLAN, PHENIX MILL COMPLEX,
AP 2, LOT 25, 771 MAIN STREET, WEST WARWICK, RHODE ISLAND,
PREPARED FOR MILL CONVERSION, LLC, PO BOX 1412, WOONSOCKET,
RHODE ISLAND 02895".

- NOTE(S):**
1. THE ENTIRE SITE IS LOCATED WITHIN THE 200-FOOT RIVERBANK WETLAND.
 2. CURRENT CONSTRUCTION ACTIVITIES ARE PERMITTED UNDER RIDEM FILE NUMBER(S): 05-0038; 2006-0104; 07-0175.
 3. FLOODPLAIN ELEVATIONS TAKEN FROM FLOOD INSURANCE STUDY, TOWN OF WEST WARWICK, RHODE ISLAND, KENT COUNTY, APRIL 15, 1986, PREPARED BY FEMA, COMMUNITY NUMBER-440007.



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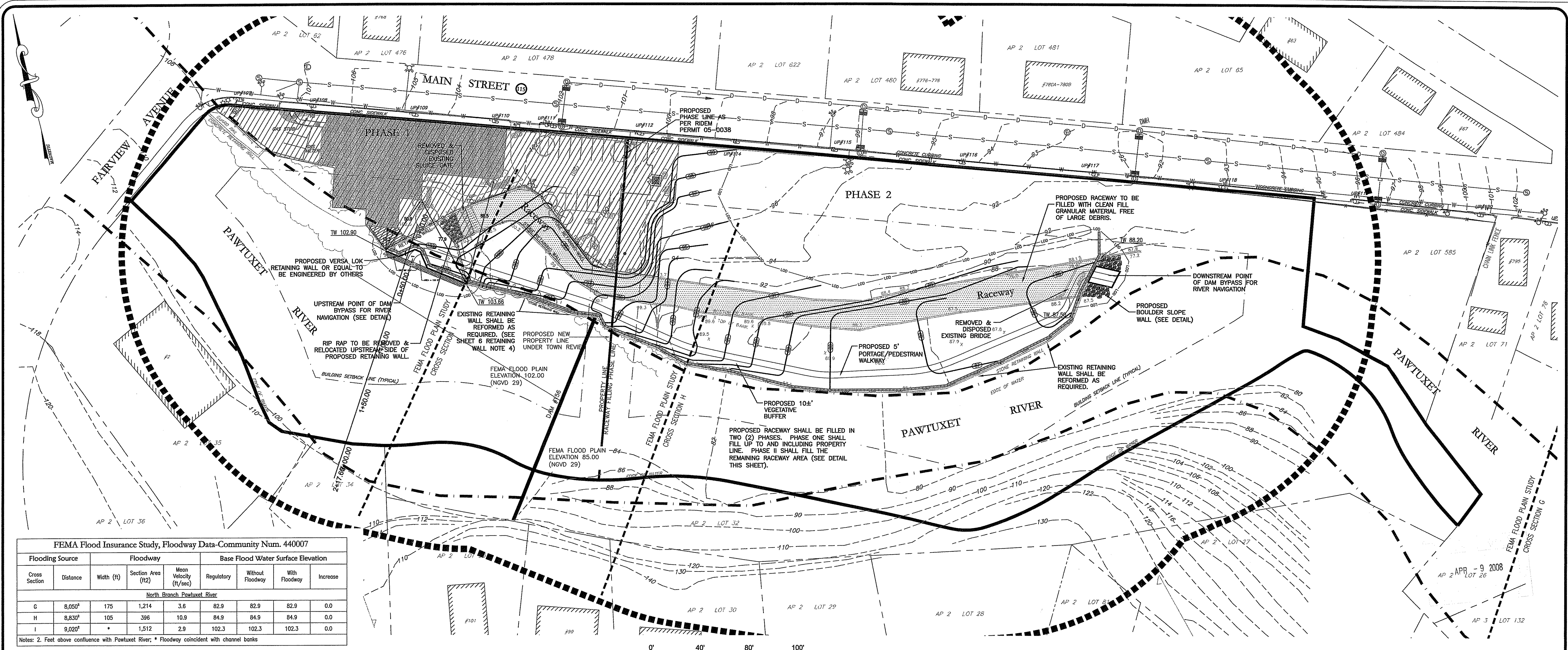
BRIAN P. THALMANN
Professional Engineer
No. 6696
REGISTRATION STATE OF RHODE ISLAND
PHENIX MILL COMPLEX

Thalman Engineering Co., Inc.
Site/Civil Engineers • Land Planners
600 Putnam Pike, Suite #7
Greenville, Rhode Island 02828
(401) 349-3040 • (401) 349-3041 (fax)

Block 25
Rhode Island
scale: 1"=40'

Existing Conditions Plan
Phenix Commons
771 Main Street
Prepared for:
Phenix Commons, LLC
100 Berman Street, Woonsocket, RI
date: May-2007

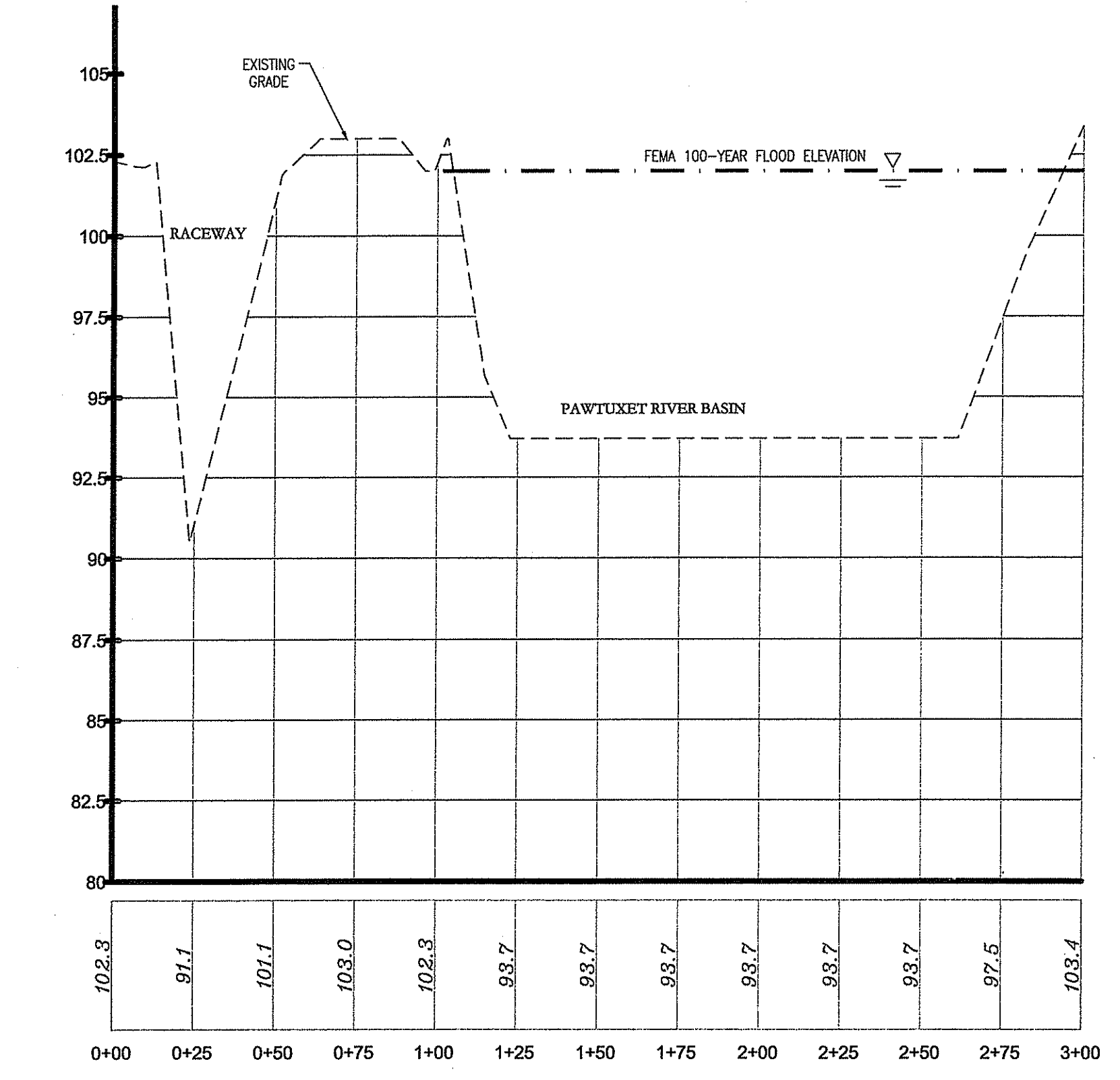
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Checked By: BPT
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of 6
FILE NO.: 06.044



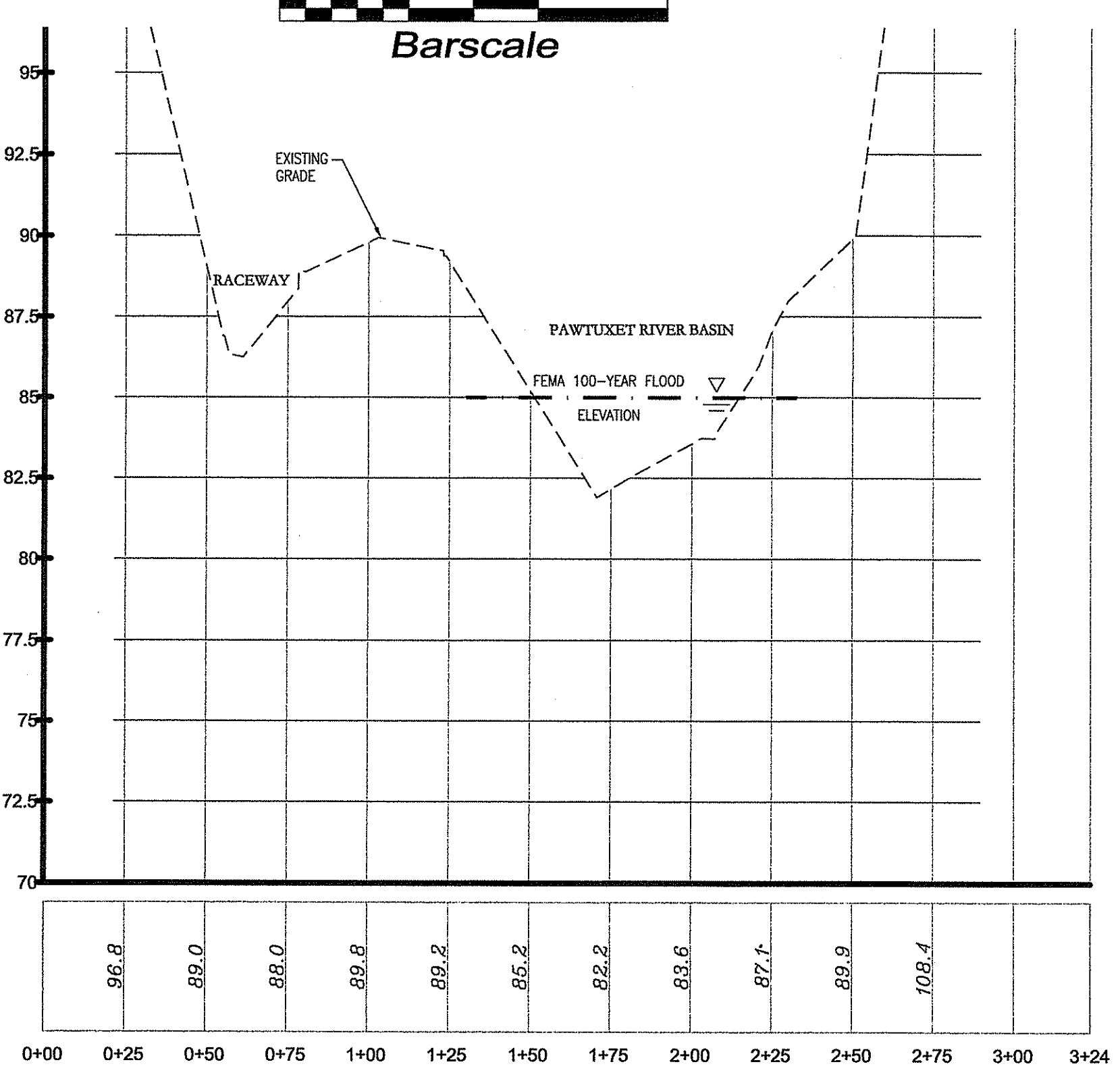
FEMA Flood Insurance Study, Floodway Data-Community Num. 440007

Cross Section	Distance	Floodway		Base Flood Water Surface Elevation			
		Width (ft)	Section Area (ft ²)	Regulatory	Without Floodway	With Floodway	Increase
North Branch Pawtuxet River							
G	8,050'	175	1,214	3.6	82.9	82.9	0.0
H	8,830'	105	396	10.9	84.9	84.9	0.0
I	9,020'	*	1,512	2.9	102.3	102.3	0.0

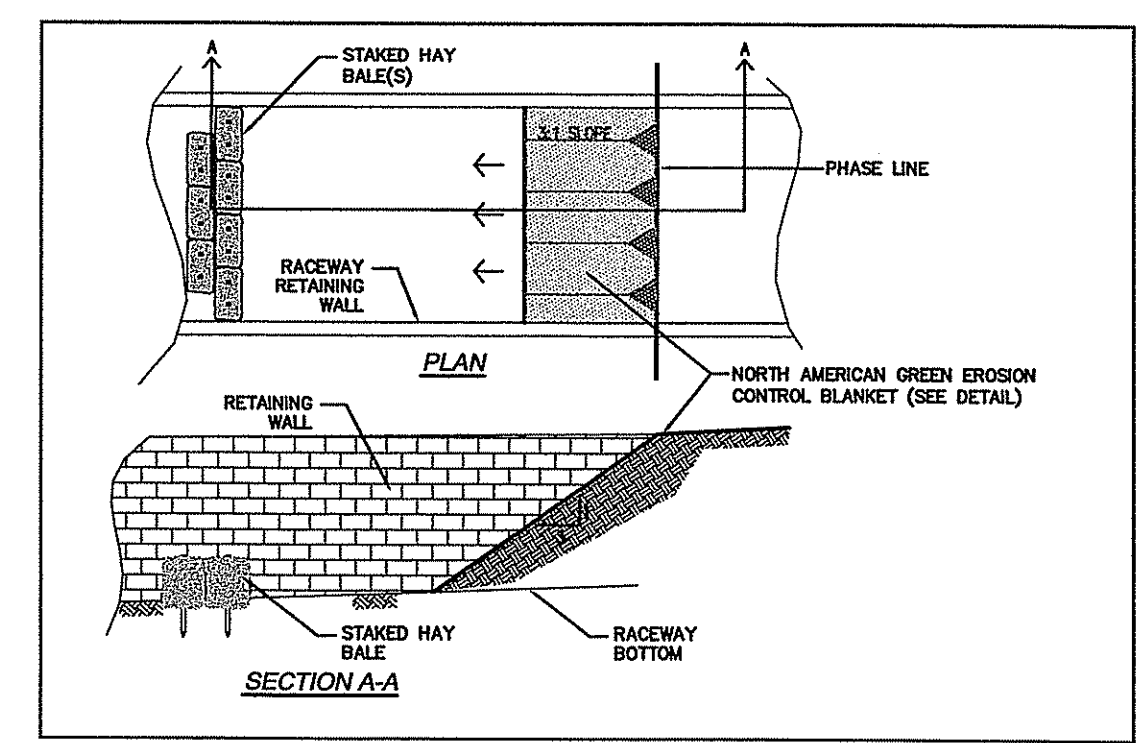
Notes: 2. Feet above confluence with Pawtuxet River; * Floodway coincident with channel banks



CROSS SECTION-I
HOR: 1" = 40'
VER: 1" = 4'



CROSS SECTION-H
HOR: 1" = 40'
VER: 1" = 4'



TEMPORARY SLOPE PROTECTION:
N.T.S.

GENERAL NOTES:

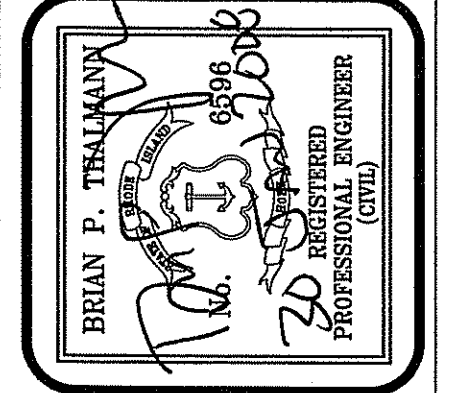
- THE SITE IS PERMITTED UNDER RIDEM APPLICATIONS 05-0038 & 06-140.
- THE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE (1-888-225-4377) 72 HOURS PRIOR TO START OF CONSTRUCTION.
- THE ENTIRE SITE IS LOCATED WITHIN THE 200-FOOT RIVERBANK WETLAND.
- SITE LAYOUT AND LANDSCAPING TAKEN FROM PLAN ENTITLED: "PHENIX MILL COMPLEX, PHASE ONE, AP.2, LOT 25, 771 MAIN STREET, WEST WARWICK, RI. LANDSCAPE AND PARKING PLAN, PREPARED FOR MILL CONVERSIONS, LLC, PREPARED BY GIFFORD DESIGN GROUP, DATED APRIL 2005" AS APPROVED BY THE TOWN OF WEST WARWICK, MAY 2, 2005.
- A REVIEW OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL NUMBER 440007 0001B, LATEST REVISED APRIL 15, 1986 INDICATES THE SUBJECT PARCELS LIE IN ZONE C, AREAS OF MINIMAL FLOODING.
- BASE FLOOD WATER SURFACE ELEVATION TAKEN FROM FEMA FLOOD INSURANCE STUDY TOWN OF WEST WARWICK RHODE ISLAND, KENT COUNTY, COMMUNITY NUMBER 440007, DATED APRIL 15, 1986.

LEGEND:

	EXISTING PROPERTY LINE
	ABUTTER PROPERTY LINE
	EXISTING FENCELINE
	EXISTING STONE WALL
	EXISTING CONTOUR
	100-YEAR FEMA FLOODPLAIN
	EXISTING TREELINE
	EXISTING WATER
	EXISTING SEWER
	EXISTING DRAINAGE
	EXISTING ELECTRIC
	EXISTING SEWER MANHOLE
	EXISTING HYDRANT
	EXISTING CATCH BASIN
	EXISTING GAS GATE VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	PROPOSED CONTOUR
	X 333.32
	PROPOSED LIMIT OF DISTURBANCE/EROSION CONTROLS
	PROPOSED TOP OF WALL ELEVATION
	CONSTRUCTION ACTIVITIES PERMITTED UNDER RIDEM FILE NO. 05.0038
	PROPOSED EROSION CONTROLS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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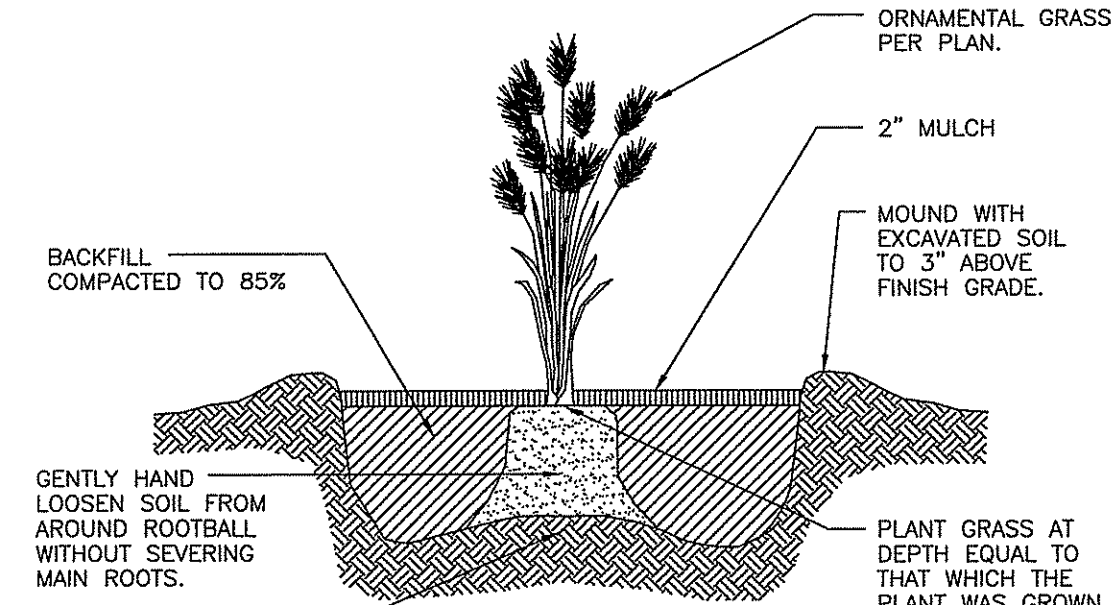
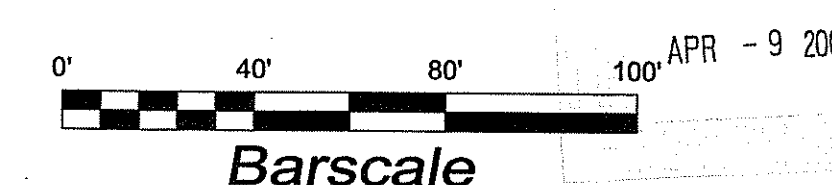
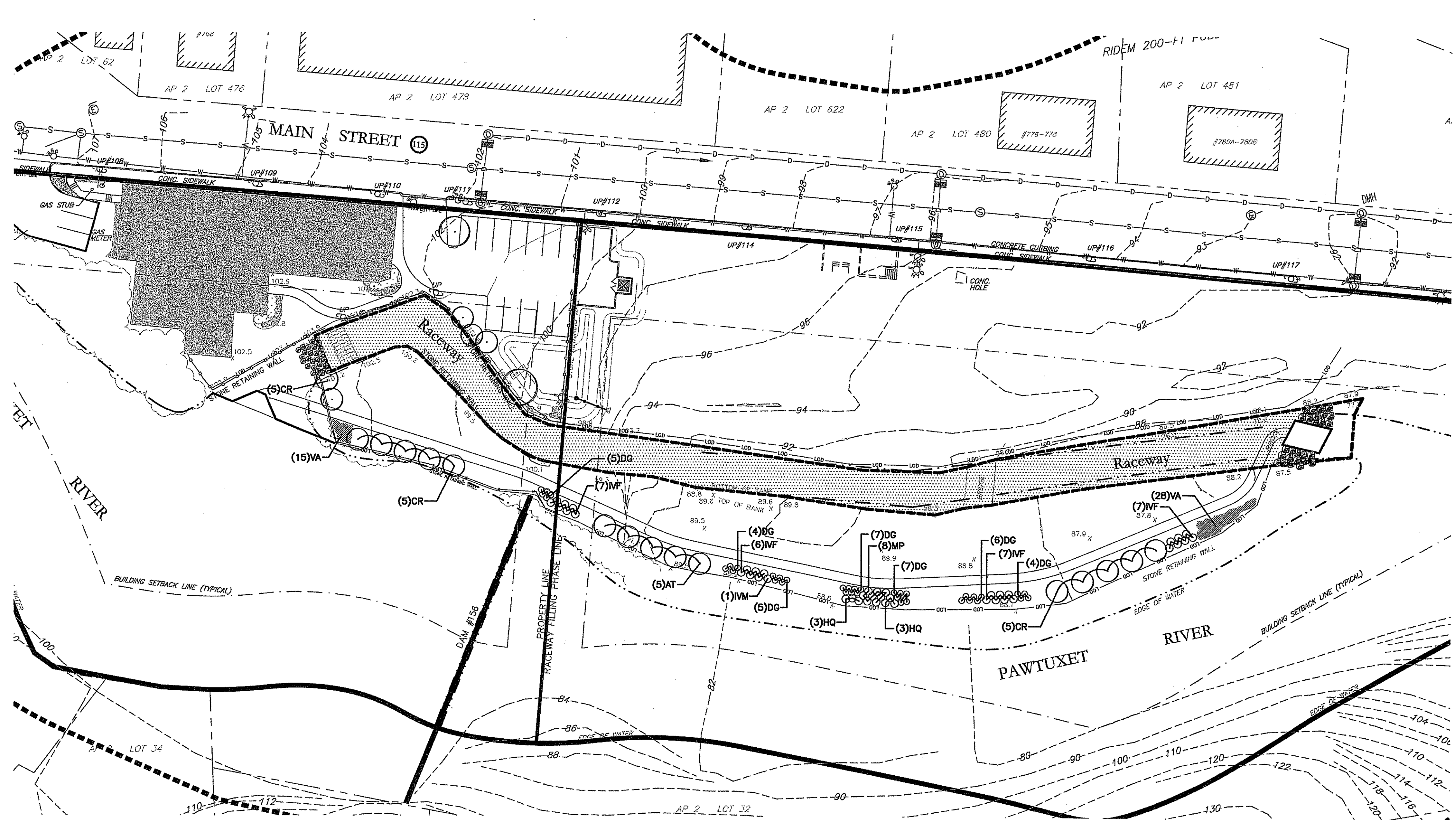
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Site/Civil Engineers • Land Planners
600 Putnam Pike, Suite #7
Greenville, Rhode Island 02828
(401) 349-3040 • (401) 349-3041 (fax)

Block 25
Map. 2
Site Layout Plan
Phenix Commons
771 Main Street
West Warwick
Prepared for:
Phenix Commons, LLC
100 Bermon Street, Woonsocket, RI
Rhode Island
scale: As Noted
date: May-2007

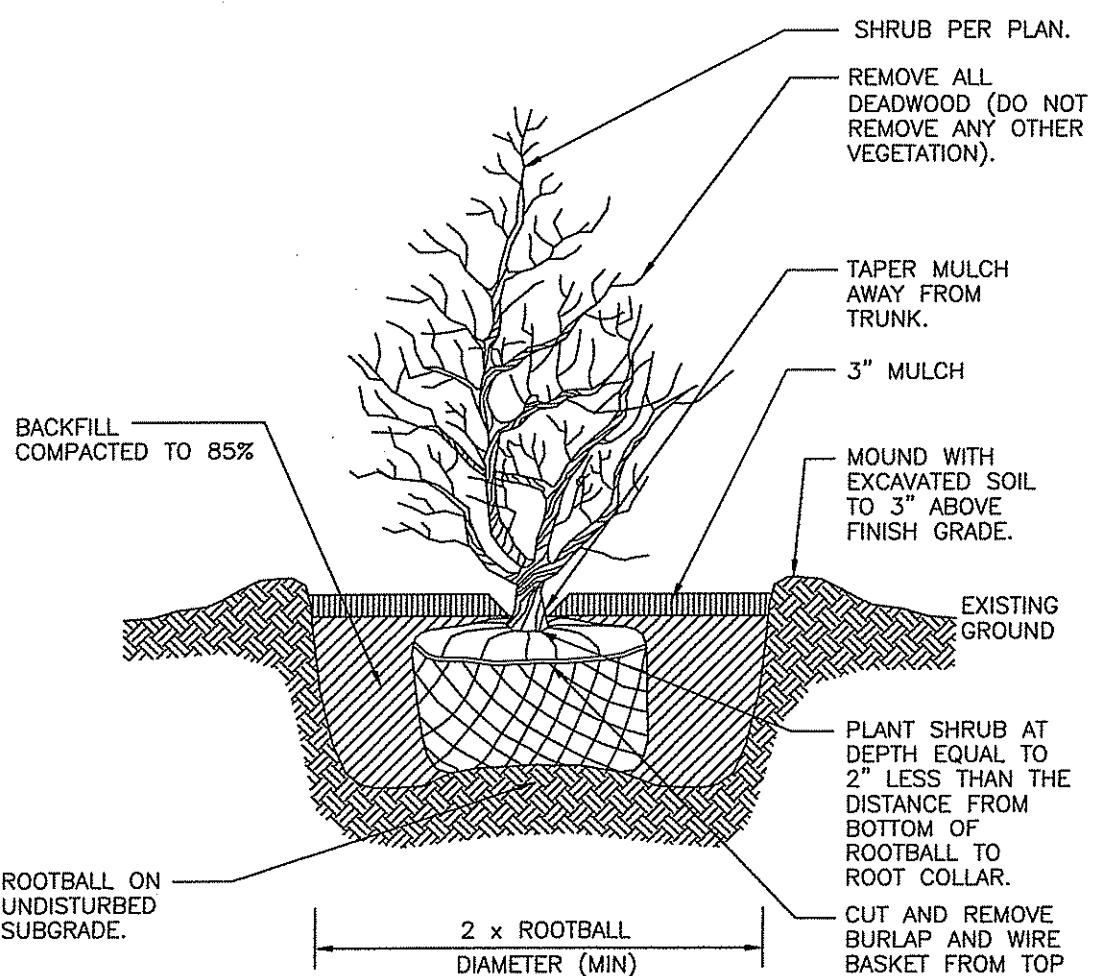
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Checked By: BPT
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of 6
FILE NO.: 06.044

GENERAL LANDSCAPE NOTES:

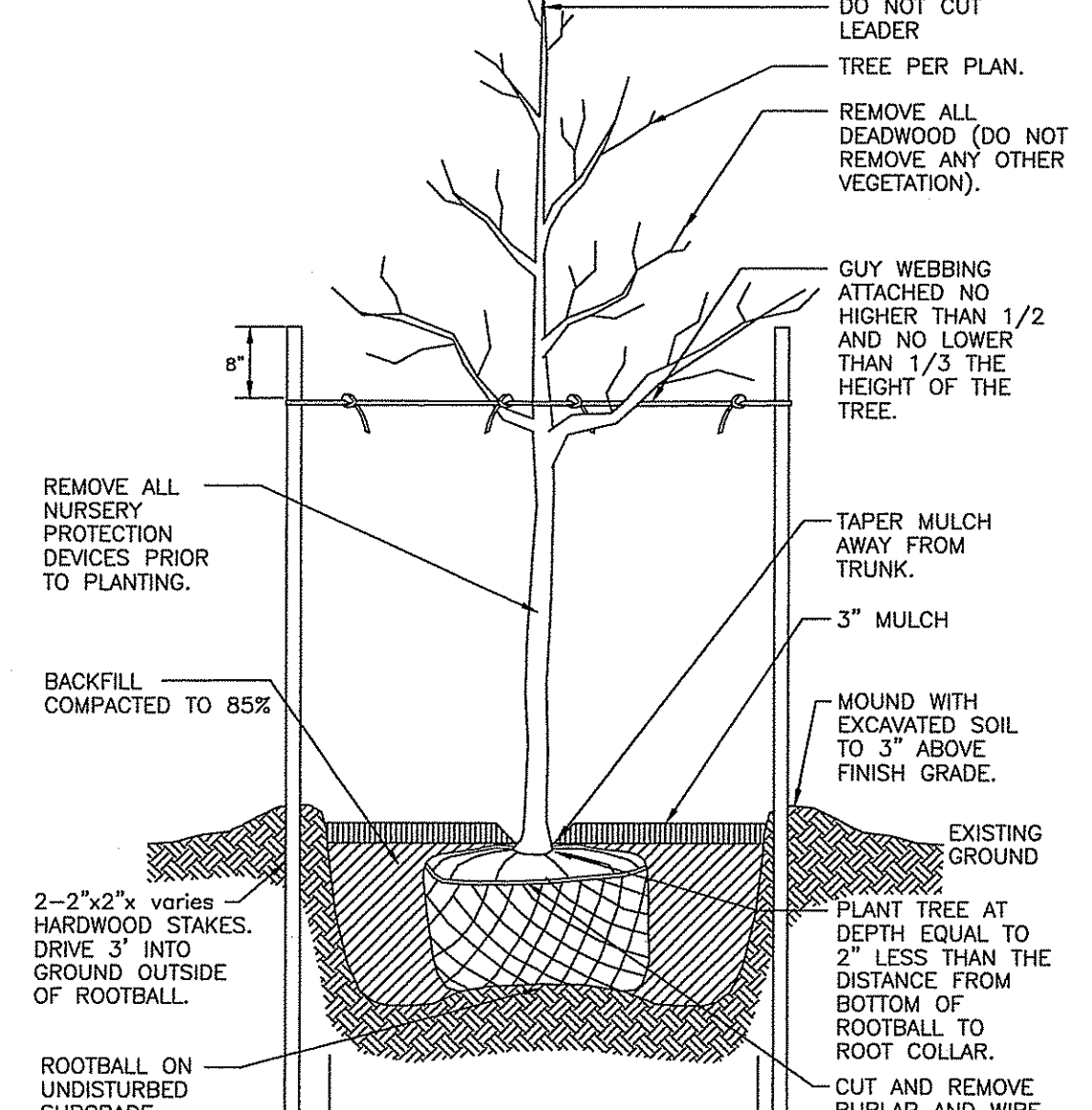
1. THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. ALL PLANT MATERIAL SHALL MEET THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
3. ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF THE FIRST YEAR ENDS DURING THE DORMANT PERIOD, THE GUARANTEE SHALL EXTEND TO THE START OF THE NEXT LEAVING. DURING THE ONE-YEAR GUARANTEE PERIOD THE CONTRACTOR SHALL EMPLOY ACCEPTED HORTICULTURAL PRACTICES TO KEEP THE PLANTS INSTALLED IN LIVING, HEALTHY CONDITION. FOLLOWING THE ONE-YEAR GUARANTEE PERIOD THE OWNER/OWNERS SHALL INSPECT ALL PLANT MATERIAL FOR HEALTHY ORNAMENTAL QUALITY. AT THAT TIME SHOULD ANY PLANT MATERIAL BE FOUND IN INADEQUATE HEALTH THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE THE PLANT IN KIND AND PROVIDE A ONE-YEAR GUARANTEE FOR THE REPLACEMENT PLANT.
4. INSTALL ALL PLANT MATERIAL AS SHOWN IN DETAILS.
5. STAKE ALL TREES OVER 6' AS SHOWN ON DETAILS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
6. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFFSET LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
7. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
8. LAYOUT: ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS AND/OR IN THE FIELD, OR ON CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
9. LOAM: LOAM MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE RETAINED AND DISTRIBUTED WITHIN THE SITE IN ACCORDANCE WITH THE LANDSCAPE PLAN. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIAL. ALL EXISTING LOAM REMAINS THE PROPERTY OF THE OWNER.
10. PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OF OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
11. PRUNING: THE CONTRACTOR SHALL CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIMMING OR SPURS FOR CLIMBING WILL NOT BE PERMITTED.
12. UTILITIES: IN ACCORDANCE WITH DIG-SAFE LAW THE CONTRACTOR SHALL CONTACT ALL APPLICABLE UTILITY COMPANIES AND VERIFY LINE LOCATIONS (1-800-225-4977). RECORD LOCATIONS OF DIG-SAFE UTILITY LINE MARKINGS ON PROJECT RECORD DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL UTILITY DAMAGE INCLUDING DAMAGE THAT MAY OCCUR TO NEW UTILITIES.
13. DISTURBED AREAS: AND AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE RAKED TO REMOVE STONES AND LOADED AND SEEDED AS PER SPECIFICATIONS.
14. DRAINAGE SYSTEMS: CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL CATCH BASINS, MANHOLES, AND/OR OTHER DRAINAGE FEATURES ON THE SITE WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.
15. CLEANING: CONTRACTOR IS RESPONSIBLE FOR KEEPING SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION, UNLESS OTHERWISE INDICATED ON THE PLAN.



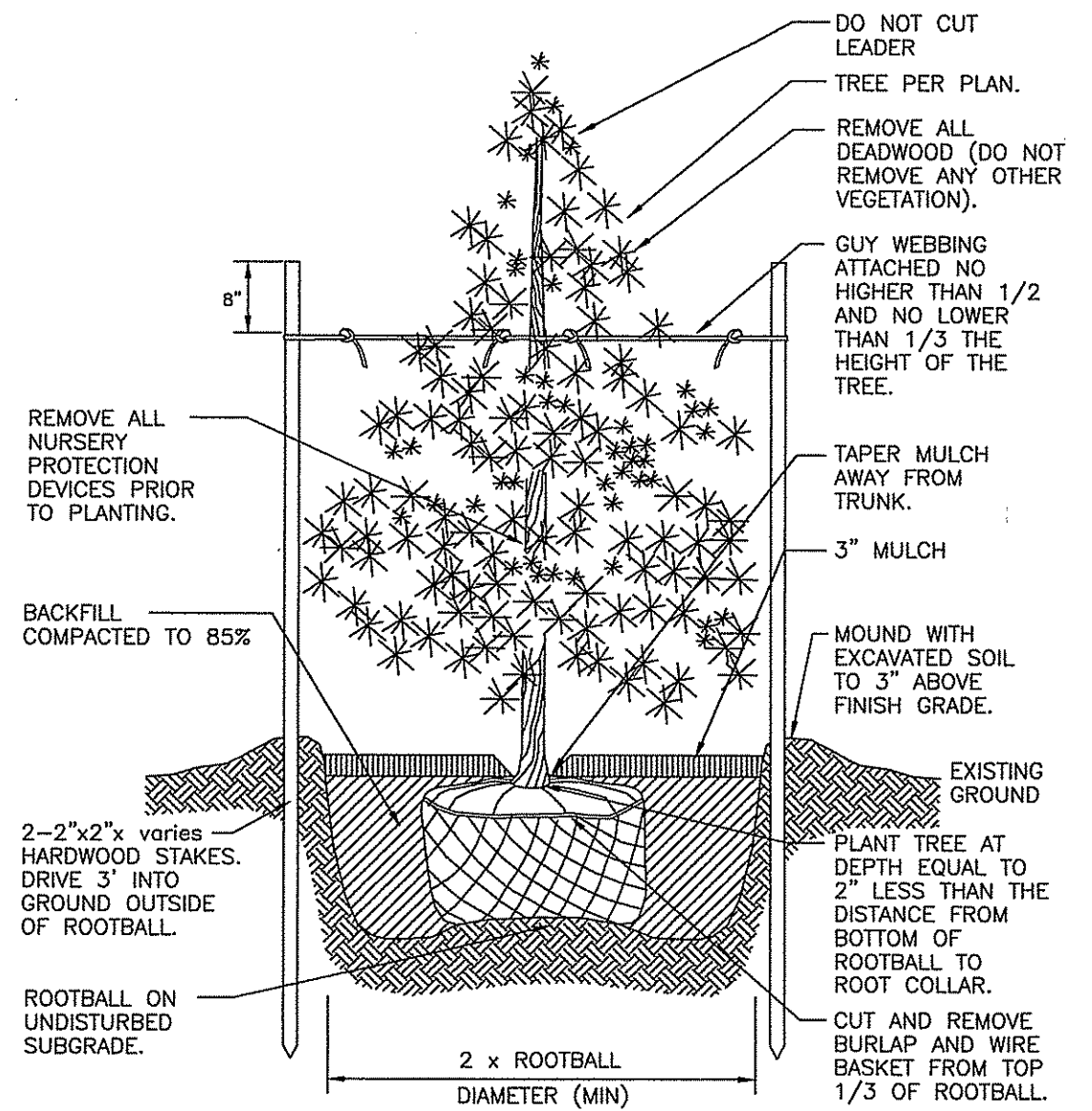
Shrub and Perennial Planting Detail
NOT TO SCALE



B&B Shrub Planting Detail
NOT TO SCALE



Canopy Tree Planting Detail
NOT TO SCALE



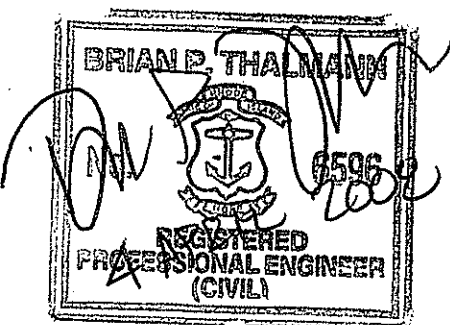
Evergreen Tree Planting Detail
NOT TO SCALE

PLANT LIST

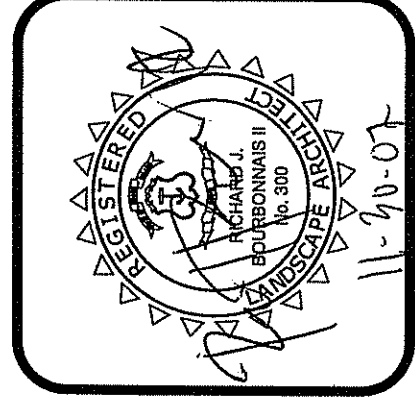
Code	Plant Name	Quantity	Container/Specs
AT	ACER TATARICUM TATARIAN MAPLE	1	1.5'-2' CAL B&B
CR	CRATAEGUS VIRIDIS WINTER KING WINTER KING HAWTHORN	12	1.5'-2' CAL B&B
DG	DEUTZIA GRACILIS WHITE DEUTZIA	36	24" 30" CONTAINER
HQ	HYDRANGEA QUERCIFOLIA OAK LEAF HYDRANGEA	6	3'-4" CONTAINER
IVM	ILEX VERTICILLATA MALE WINTERBERRY	1	24" 30" CONTAINER
IVR	ILEX VERTICILLATA RED SPRITE RED SPRITE WINTERBERRY	20	24" 30" CONTAINER
MP	MYRICA PENNSYLVANICA NORTHERN BAYBERRY	8	24" 30" CONTAINER
VA	VACCINIUM ANGUSTIFOLIUM LOWBUSH BLUEBERRY	85	18" 24" CONTAINER

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Charles H. Roberts



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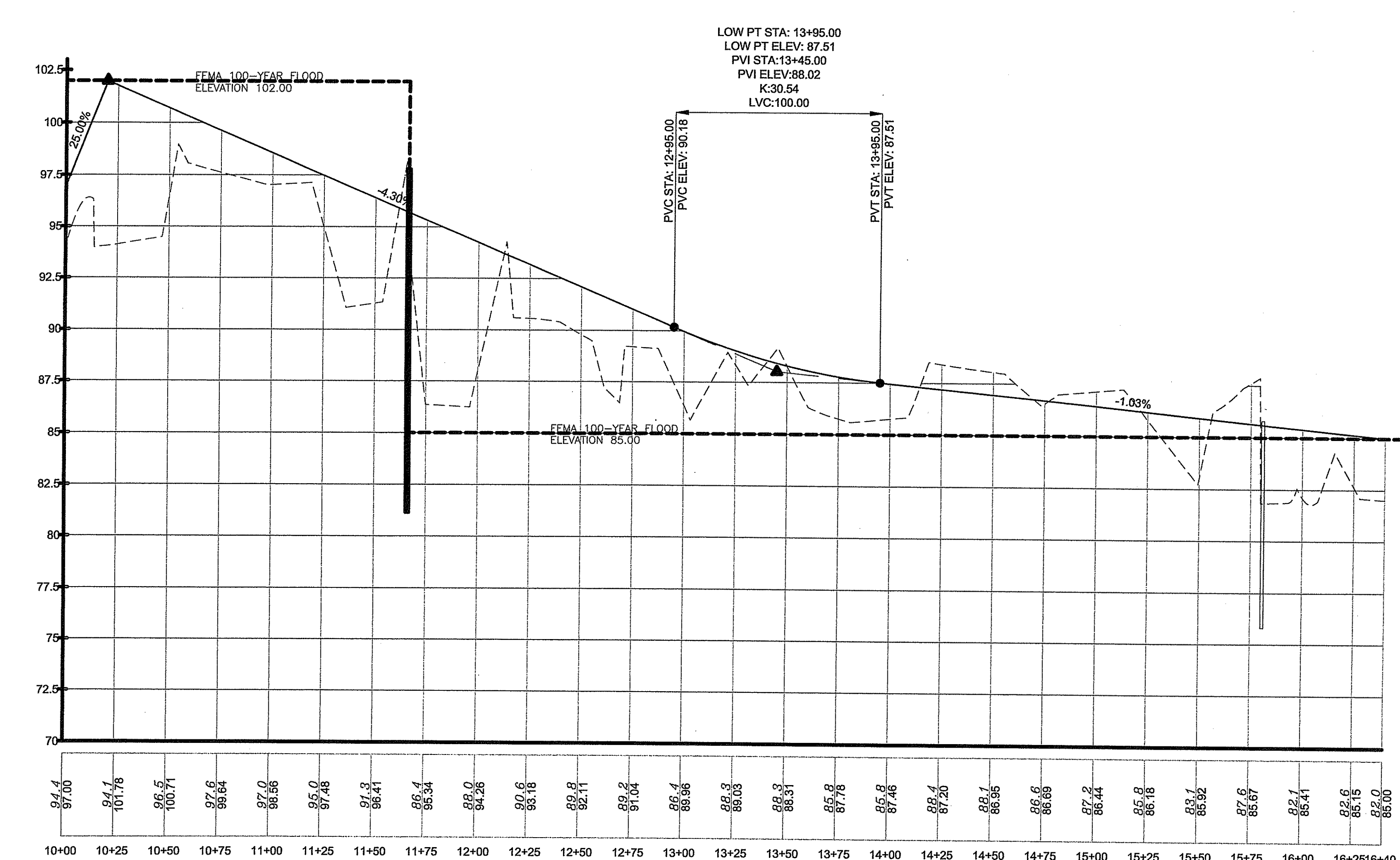
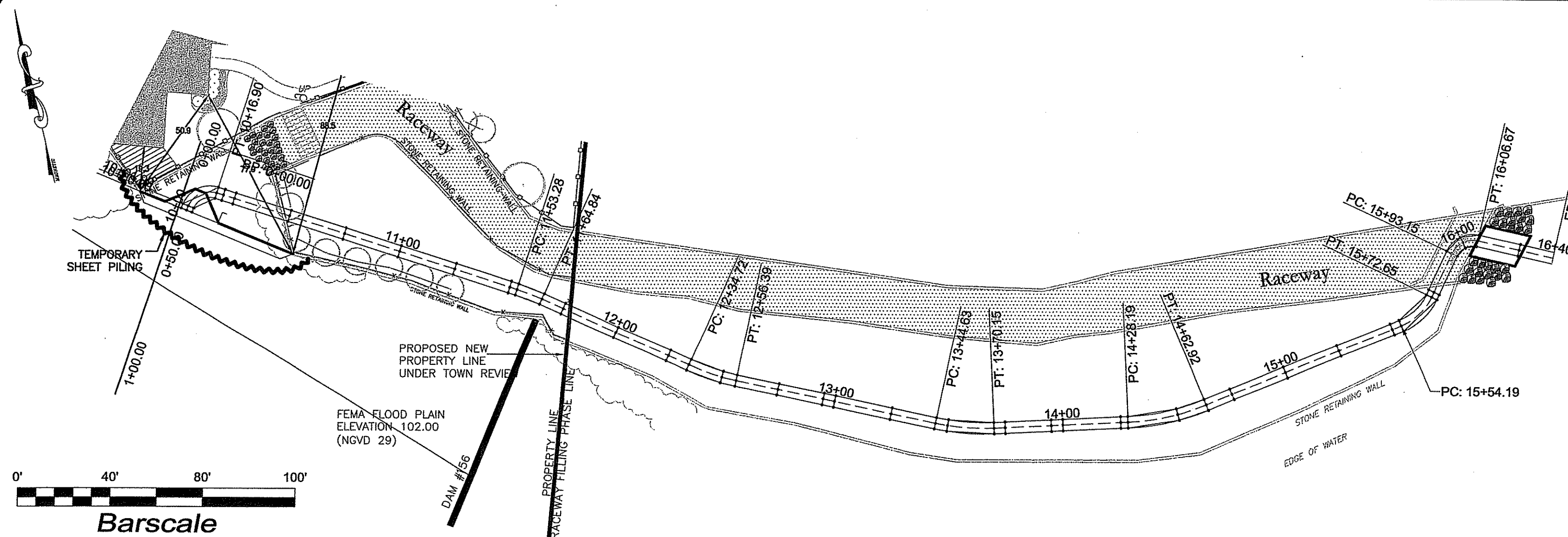
Thalman Engineering Co., Inc.
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(401) 349-3040 • (401) 349-3041 (fax)

Thalman
ENGINEERING CO., INC.

Block 25
Rhode Island
Landscape Plan
Phenix Commons
771 Main Street
Prepared for:
Phenix Commons, LLC
100 Bennon Street, Woonsocket, RI
Map: 2
West Warwick
date: August-2007
scale: As Noted

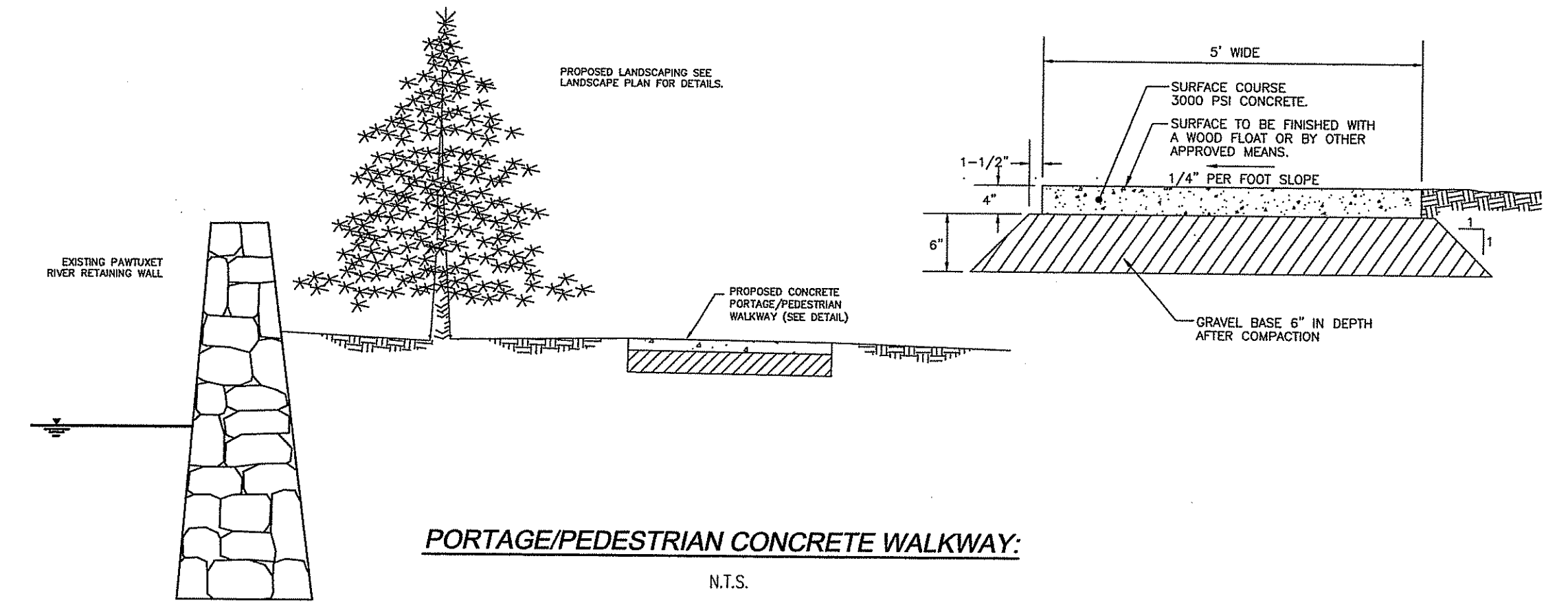
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FILE NO.: 06.044

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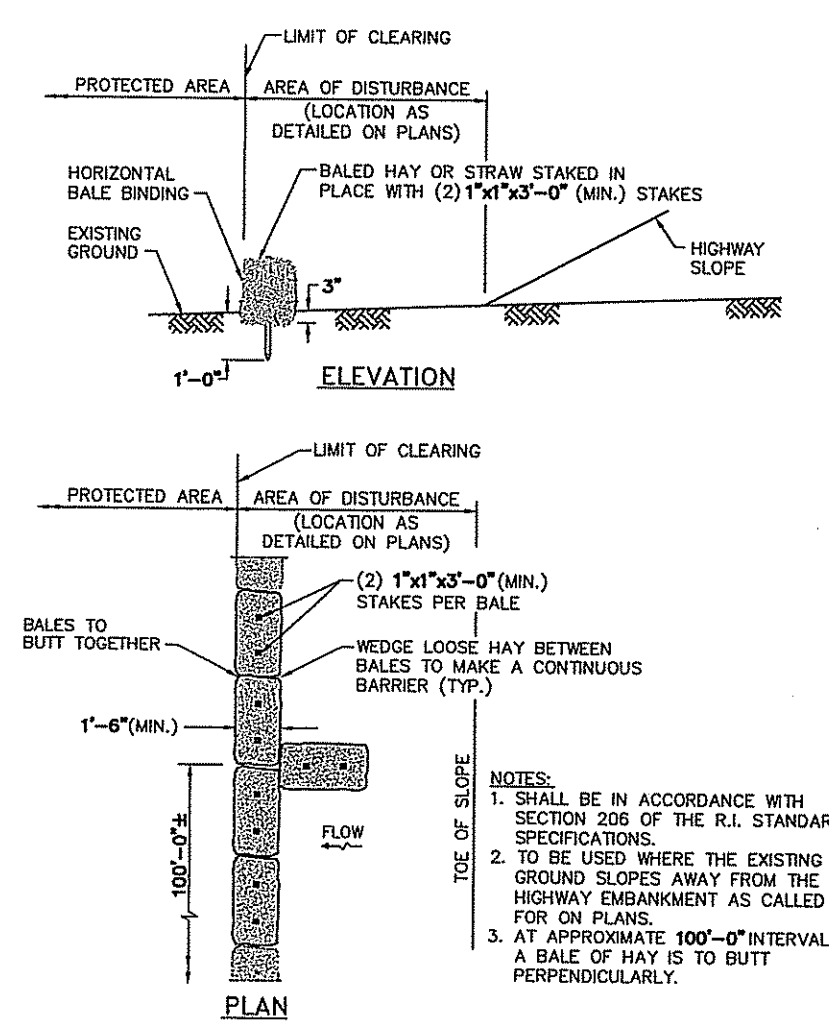
PORTAGE/PEDESTRIAN WALKWAY PROFILE:

HOR: 1" = 40'
VER: 1" = 4'



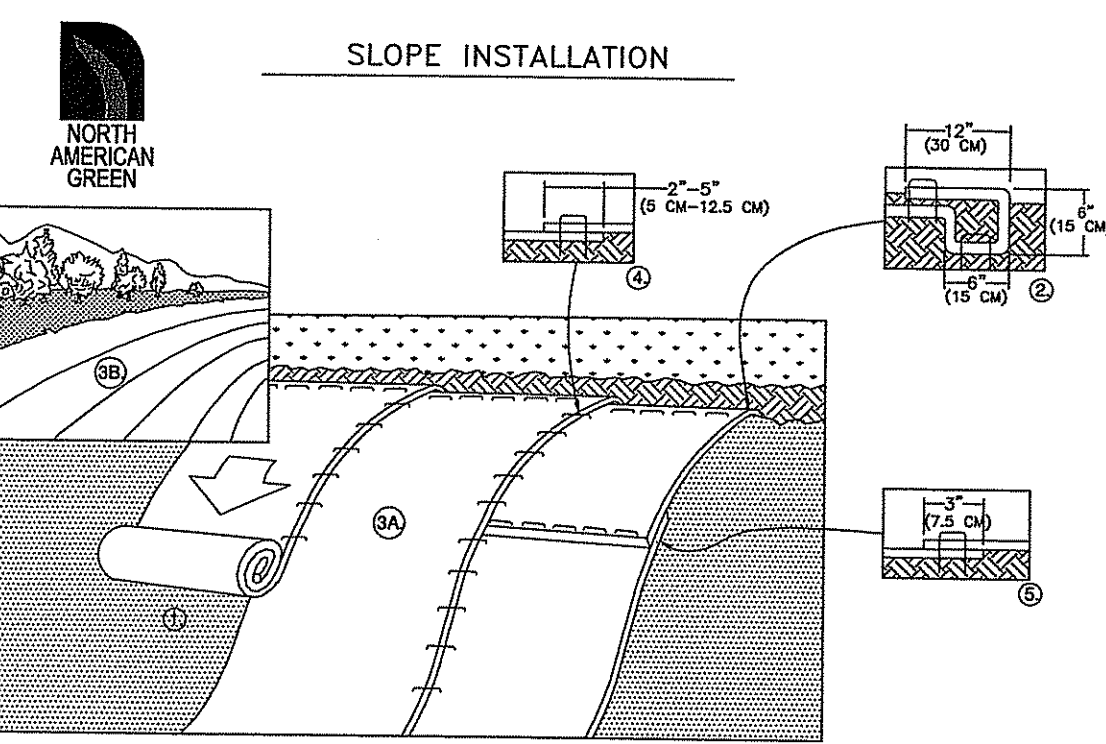
PORTAGE/PEDESTRIAN CONCRETE WALKWAY:

N.T.S.



BALED HAY EROSION CHECK

N.T.S.



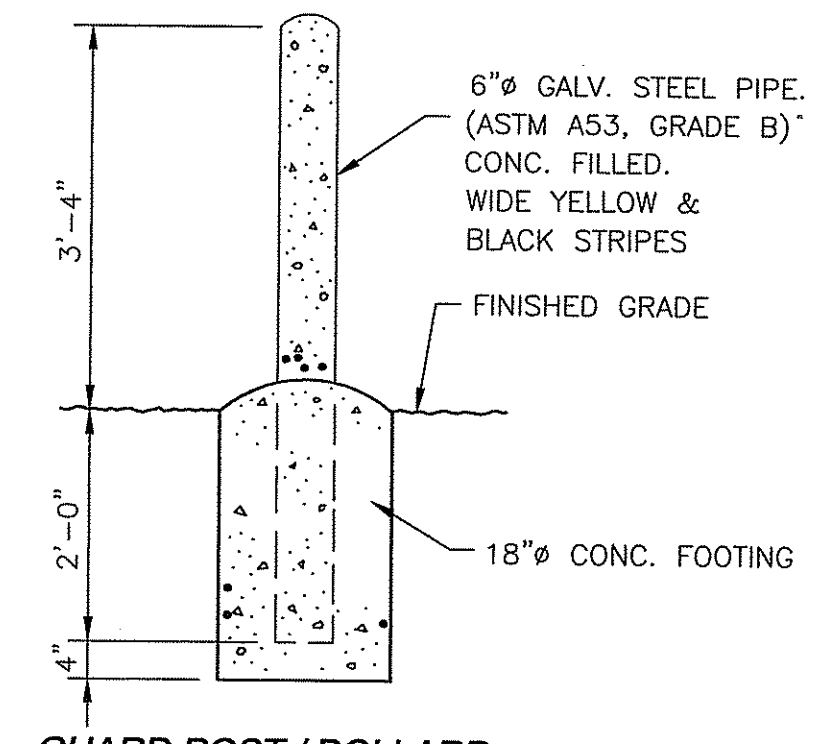
NORTH AMERICAN GREEN DETAIL

N.T.S.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BLANKET WITH APPROXIMATELY 12" (30 CM) OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.

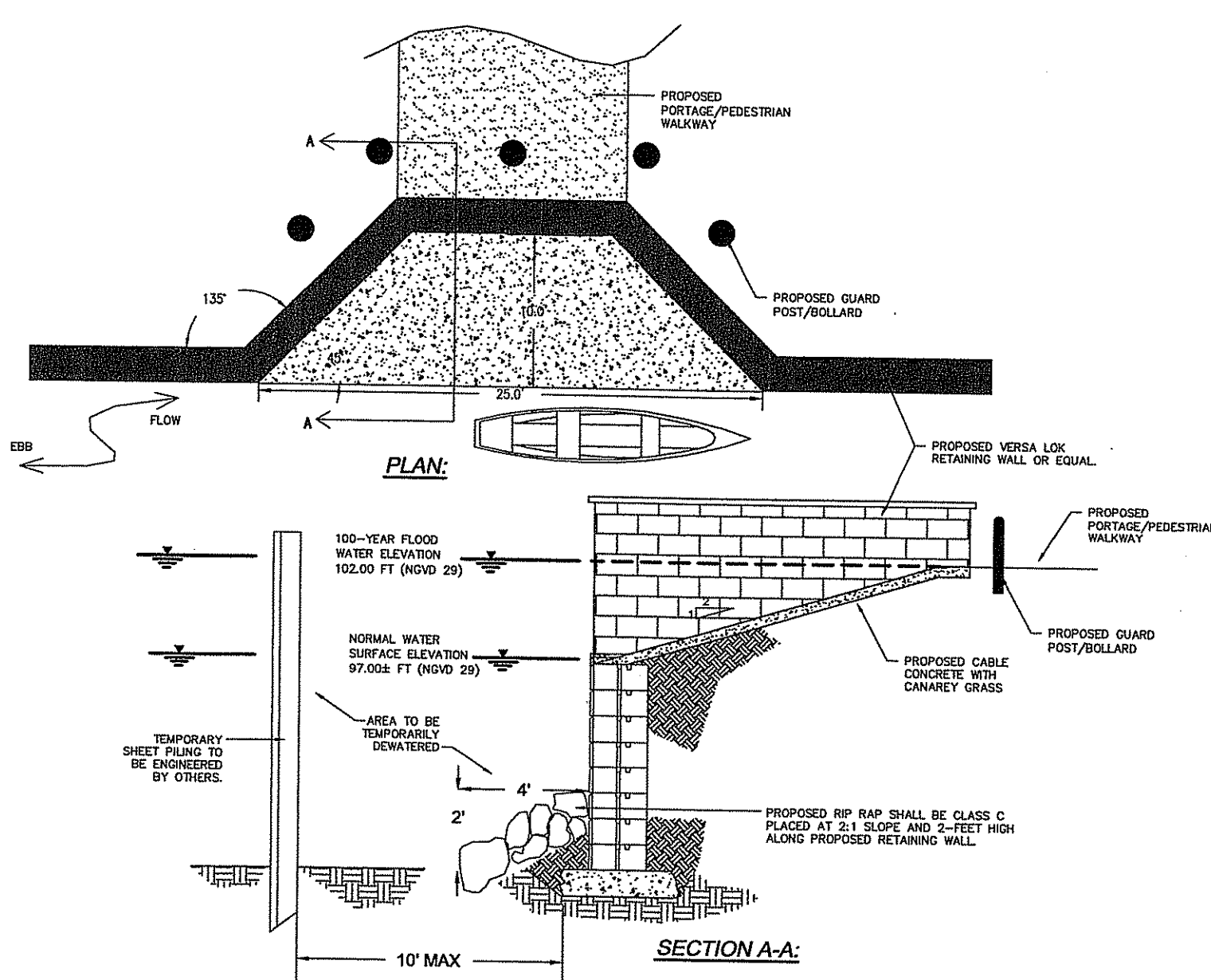
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

*INSTALL AS SHOWN ON PLAN



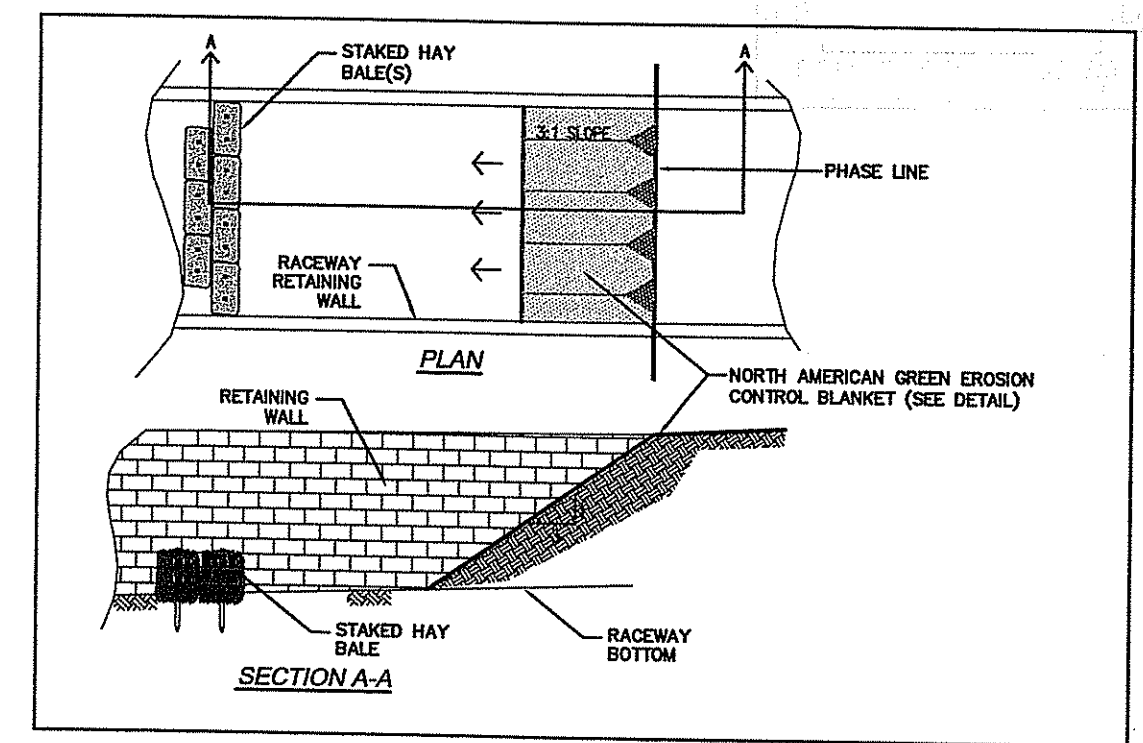
GUARD POST / BOLLARD

N.T.S.



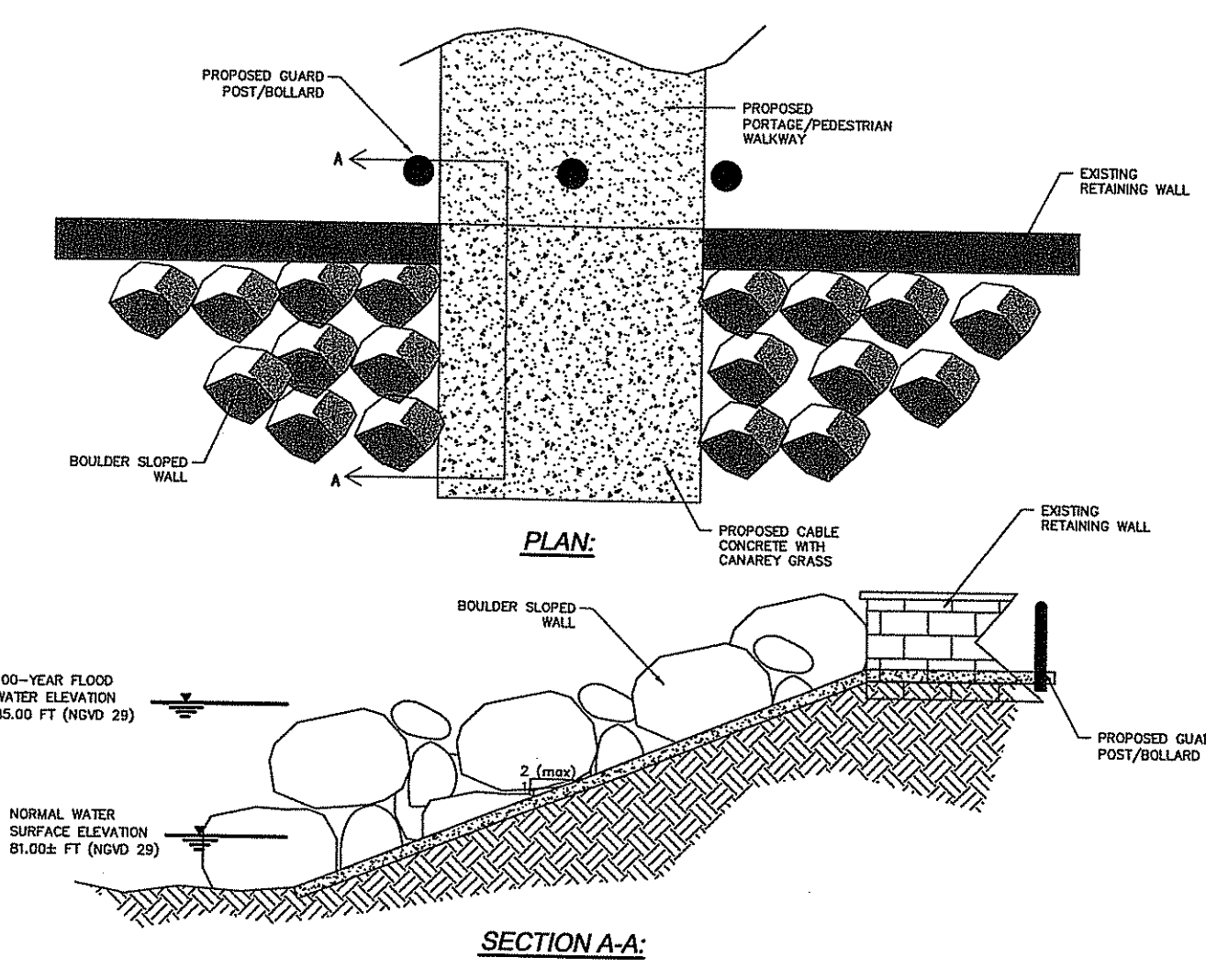
UPSTREAM ACCESS AREA DETAIL:

N.T.S.



TEMPORARY SLOPE PROTECTION:

N.T.S.



DOWNSTREAM ACCESS AREA DETAIL:

N.T.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL 25 2008 FILE # 07-0256
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NO.	DATE	REVISION
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2	11/19/07	RESPONSE TO RIDEH COMMENTS
3	1/30/08	RESPONSE TO RIDEH COMMENTS

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Block 25
Rhode Island
Scale: As Noted

Plan & Profile
Phenix Commons
771 Main Street
West Warwick
Prepared for:
Phenix Commons, LLC
100 Bernon Street, Woonsocket, RI
date: May-2007

Drawn By: JEA
Checked By: BPT
Sheet
5
of 6
FILE NO.: 06.044

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GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR IS TO NOTIFY DIG SAFE PRIOR TO CONSTRUCTION. (1-888-225-9777).
2. NO STOCKPILING OF MATERIAL IS TO BE ALLOWED WITHIN A PUBLIC R.O.W. NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
3. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS TO NOTIFY THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND ADMINISTRATIVE OFFICE AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
5. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF WEST WARWICK STANDARD SPECIFICATIONS AND DETAILS.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES

1. SURVEY AND STAKE LIMIT OF WORK AND SEDIMENTATION BARRIERS AND RETAINING WALL CORNERS.
2. PLACE SEDIMENTATION BARRIERS (HAY BALES OR SILT FENCE) AS SHOWN ON THE PLAN AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
3. FILL RACEWAY WITH CLEAN GRANULAR MATERIAL (FREE OF LARGE DEBRIS). BEGIN LANDSIDE AT PHASE LINE AND WORK TOWARD PROPOSED UPSTREAM RETAINING WALL. DEWATER WHERE NECESSARY.
4. DRIVE TEMPORARY SHEETPIILING AND DEWATER CONSTRUCTION AREA AS NEEDED.
5. CONSTRUCT RETAINING WALL PER STAMPED STRUCTURAL ENGINEERING SPECIFICATIONS. DEWATER AS NEEDED.
6. INSPECT AND REPAIR EXISTING RETAINING WALL. SEE RETAINING WALL NOTE 4.
7. REMOVE ALL TEMPORARY SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

MAINTENANCE: SHORT TERM/LONG TERM

1. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK REGULARLY ALL SEEDING AREAS TO SEE THAT A GOOD STAND IS MAINTAINED.
2. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF SIX MONTHS AND SHALL DO SO AT THE CONTRACTOR'S EXPENSE.
3. ALL HAY BALES, TEMPORARY TREATMENTS (HAY, STRAW, ETC.) AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
4. THE CONTRACTOR SHALL MAINTAIN ALL TOP SOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER.
5. THE HAY BALES OR SILT FENCE SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. CONTRACTOR SHALL REPAIR OR REPLACE THE HAY BALES AS NECESSARY. CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED IN WITH SEDIMENTS.
6. THE STONE STABILIZATION PADS AT THE SITE ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
10. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
11. ALL PROPOSED CONSTRUCTION ACTIVITIES SHALL MAINTAIN TO THE MAXIMUM EXTENT POSSIBLE THE VEGETATIVE FRINGE BETWEEN THE RIVER AND RETAINING WALL. ANY DISTURBANCE TO THIS FRINGE SHALL BE REPAIRED IMMEDIATELY.

NONSTRUCTURAL MEASURES

1. A STONE STABILIZATION PADS ARE LOCATED AT THE SITE ENTRANCES TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY.
2. THE ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY, MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
3. TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCK PILE LOCATIONS SHALL BE SUBJECT TO APPROVAL BY THE TOWN ENGINEER. A SEDIMENT BARRIER SHOULD SURROUND ALL TOPSOIL STOCKPILES. ALL STOCKPILE AREAS ARE TO BE APPROVED AT THE PER-CONSTRUCTION MEETING PRIOR TO COMMENCING CONSTRUCTION.
4. HAY BALES OR SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
5. HAY BALES/SILT FENCE SHALL BE MAINTAINED BY THE CONTRACTOR. INSPECTIONS SHALL BE MADE AFTER EACH STORM EVENT TO REPAIR OR REPLACE. CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE BALES/FENCE BECOMES FILLED WITH SEDIMENT.
6. THE HAY BALES OR SILT FENCE SHALL BE CHECKED WEEKLY FOR UNDERMINING OR DETERIORATION BY THE CONTRACTOR.
7. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
8. REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

SEDIMENT CONTROL PROGRAM

1. DISTURBED AREAS WHICH ARE PARTICULARLY SENSITIVE TO EROSION SHALL RECEIVE A CRUSHED STONE OR SHARP ANGULAR RIP-RAP TREATMENT IF OTHER METHODS OF STABILIZATION ARE UNSUCCESSFUL.
2. BANKS OR SLOPES NOT RECEIVING RIP RAP SHALL BE SEED AND PROTECTED WITH FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR AND OR THE DEVELOPER SHALL BE RESPONSIBLE FOR UTILIZING BEST MANAGEMENT PRACTICES TO CONTROL ENVIRONMENTAL DAMAGE THAT COULD RESULT FROM UNCHECKED STORMWATER RUNOFF.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED REGULARLY. SPECIAL ATTENTION SHOULD BE GIVEN AFTER A HEAVY OR PROLONGED RAINFALL.
5. CARE SHALL BE SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOWAGE.
6. ADDITIONAL HAY BALES, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
8. REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" (1989) PREPARED BY THE RI DEPT. OF ENVIRONMENTAL MANAGEMENT, RI STATE CONSERVATION COMMISSION AND THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE AS A PRACTICAL GUIDE.

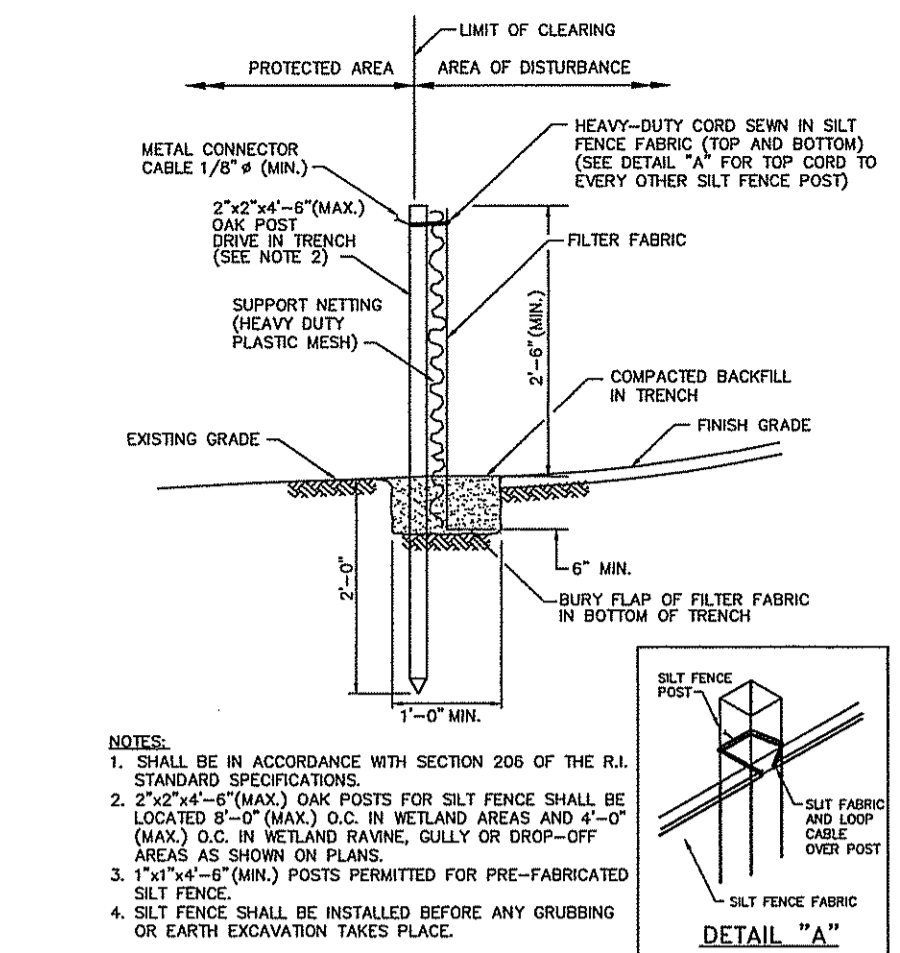
ESTABLISHMENT OF VEGETATIVE COVER

1. SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEED OR PROTECTED.
3. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND'S STANDARD SPECIFICATION, M.20.
4. THE GENERAL DESIGN MIX FOR REGRADING AREAS SHALL BE COMPRISED OF THE FOLLOWING:

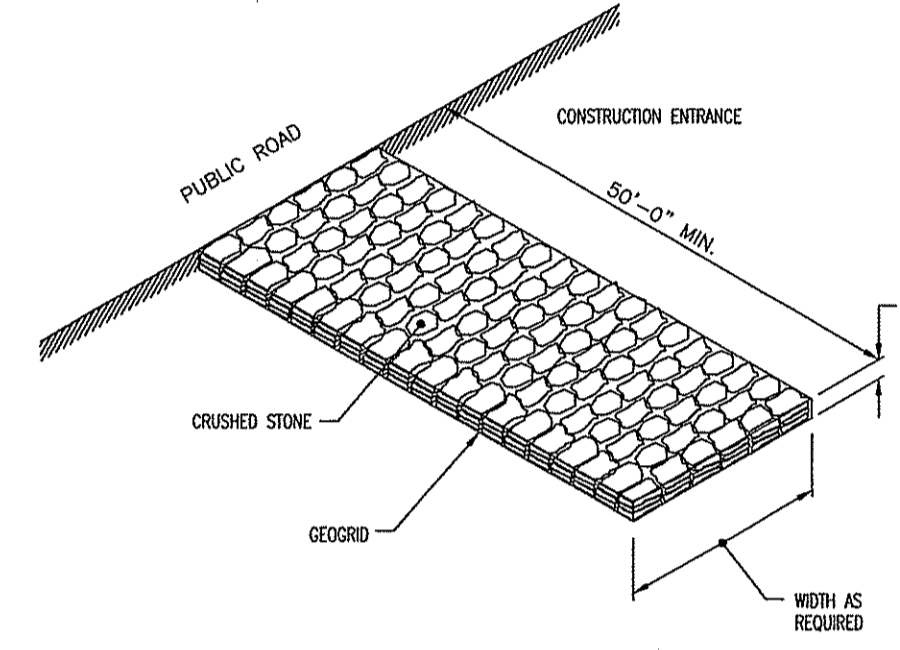
TYPE	LBS./AC.
CREeping RED FESCUE	
KENTUCKY BLUE GRASS	
COLONIAL BENT GRASS	
PERENNIAL RYE GRASS	
5. EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. LIME AND FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
6. TEMPORARY TREATMENTS SHALL CONSIST OF NORTH AMERICAN GREEN EROSION CONTROL BLANKETS OR HAY, STRAW OR FIBER MULCH. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
7. ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
8. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 202.
9. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAY. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEED AND/OR STABILIZED. STOCKPILES ARE TO BE SURROUNDED BY HAYBALES.
10. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
11. ALL AREAS DISTURBED BY RETAINING WALL CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDING AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDING AREAS WILL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED AND RESEED AS NECESSARY.
12. REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989, AS A GUIDE.
13. MAXIMUM GRADED SLOPE WITHIN CONSTRUCTION AREA TO BE 2:1.
14. TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING.

RETAINING WALL NOTES:

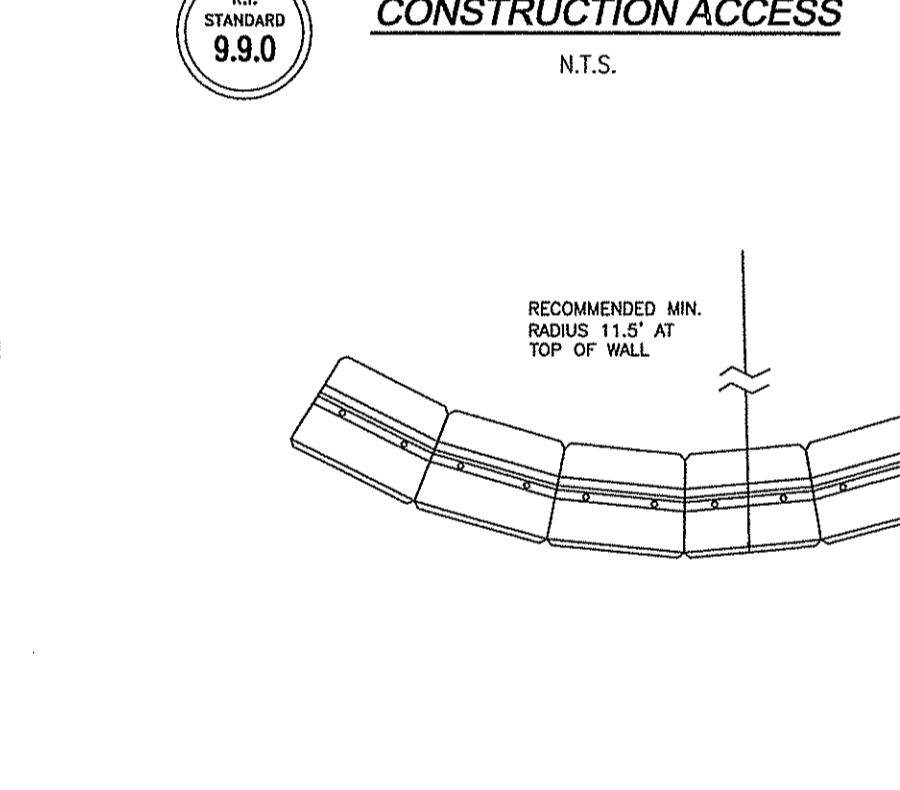
1. THE STRUCTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PLANS AND SPECIFICATIONS. THE MANUFACTURER'S RECOMMENDATIONS, AND THE AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26 (DIVISION III).
2. THE STRUCTURE SHALL BE BACKFILLED USING CLEAN WELL-GRADED GRANULAR MATERIAL THAT MEETS THE REQUIREMENTS OF AASHTO M 145 FOR SOIL CLASSIFICATIONS A-1, A-2, OR A-3. BACKFILL MUST BE PLACED SYMMETRICALLY ON EACH SIDE OF THE STRUCTURE IN 6 TO 8 INCH LIFTS. EACH LIFT SHALL BE COMPACTED TO A MINIMUM 90 PERCENT DENSITY PER AASHTO T 99.
3. CONTRACTOR SHALL DEWATER WHERE NEEDED IN ACCORDANCE WITH SECTION 208 OF THE RI STANDARD SPECIFICATION TO A MINIMUM ELEVATION REQUIRED TO PERFORM CONSTRUCTION ACTIVITIES AND/OR MAINTENANCE WHERE REQUIRED.
4. EXISTING RETAINING WALL SHALL BE INSPECTED. AREAS OF DETERIORATION SHALL BE REPAIRED. ALL REPAIR WORK SHALL BE PERFORMED ON THE LANDWARD SIDE. IN NO CASE SHALL THE REPAIRED RETAINING WALL EXTEND FURTHER INTO THE RIVER.



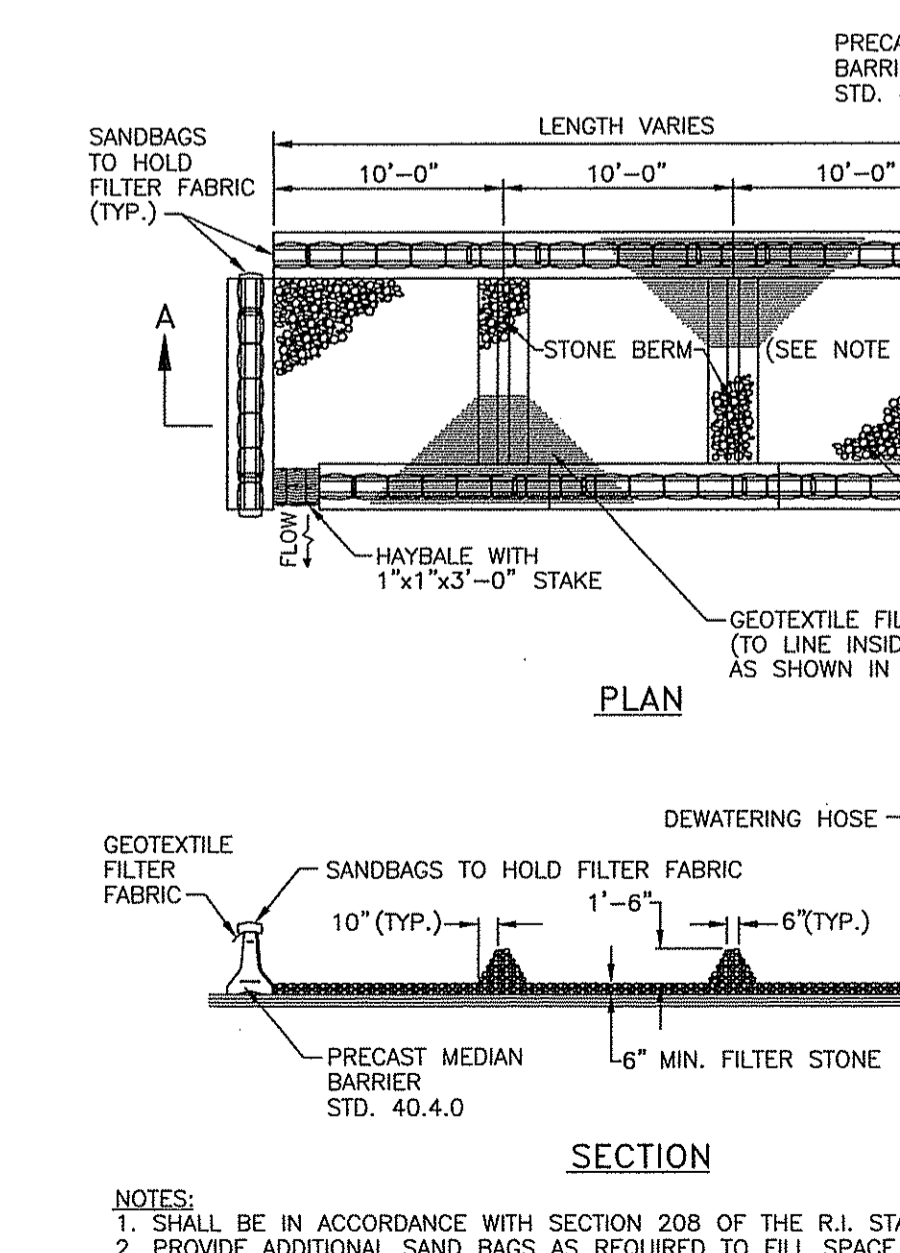
SILT FENCE DETAIL
N.T.S.



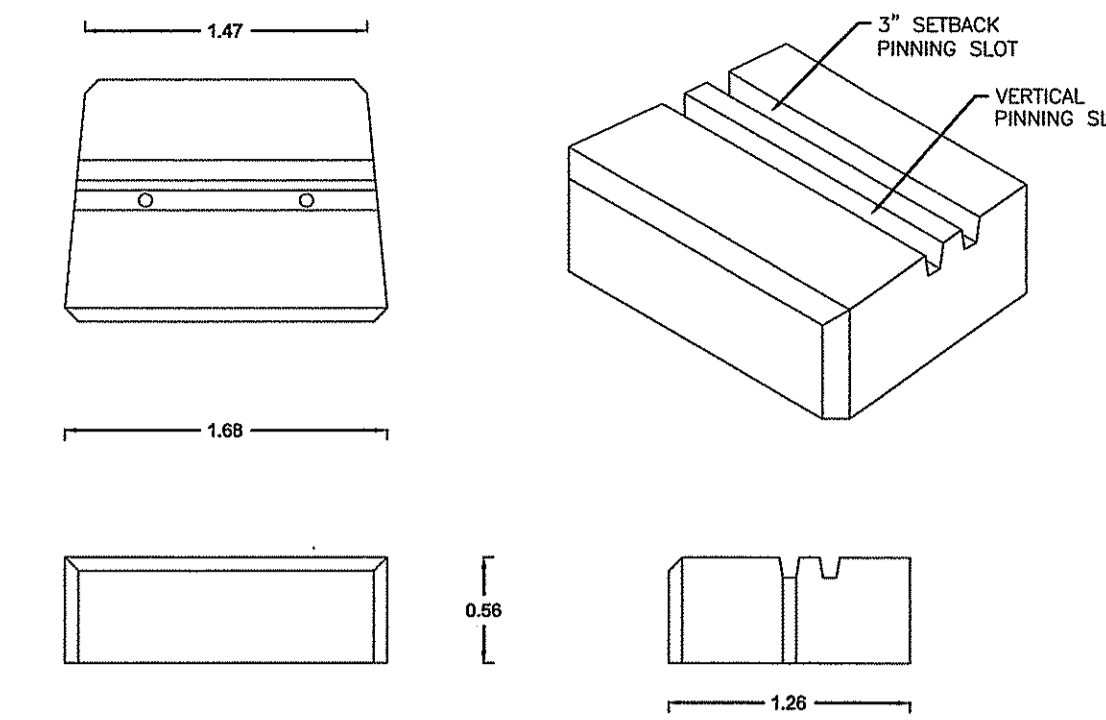
CONSTRUCTION ACCESS
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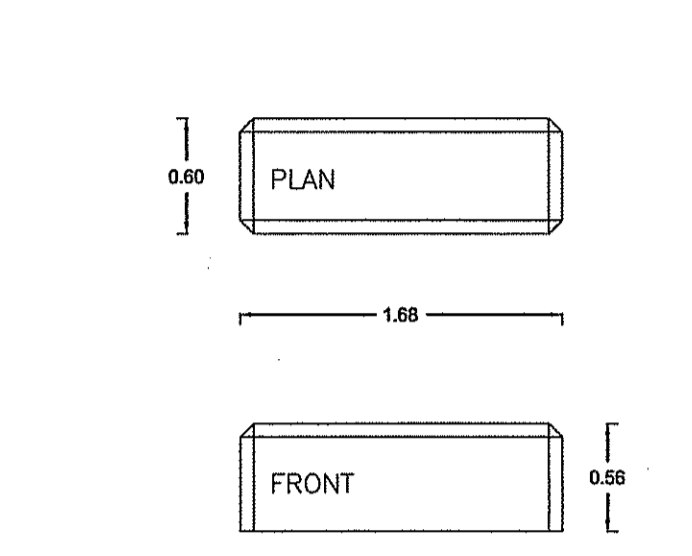
CURVE DETAIL
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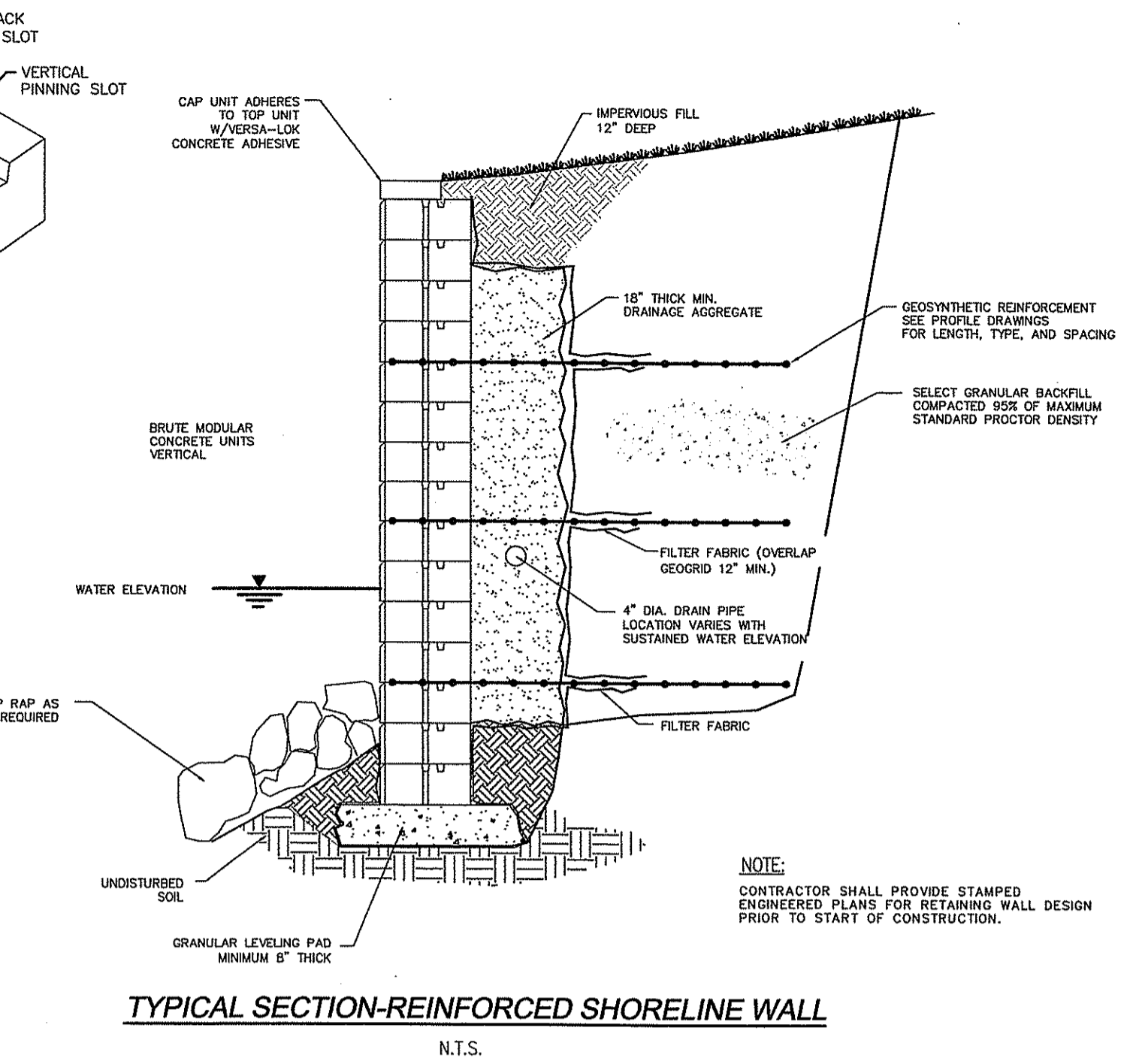
DEWATERING BASIN
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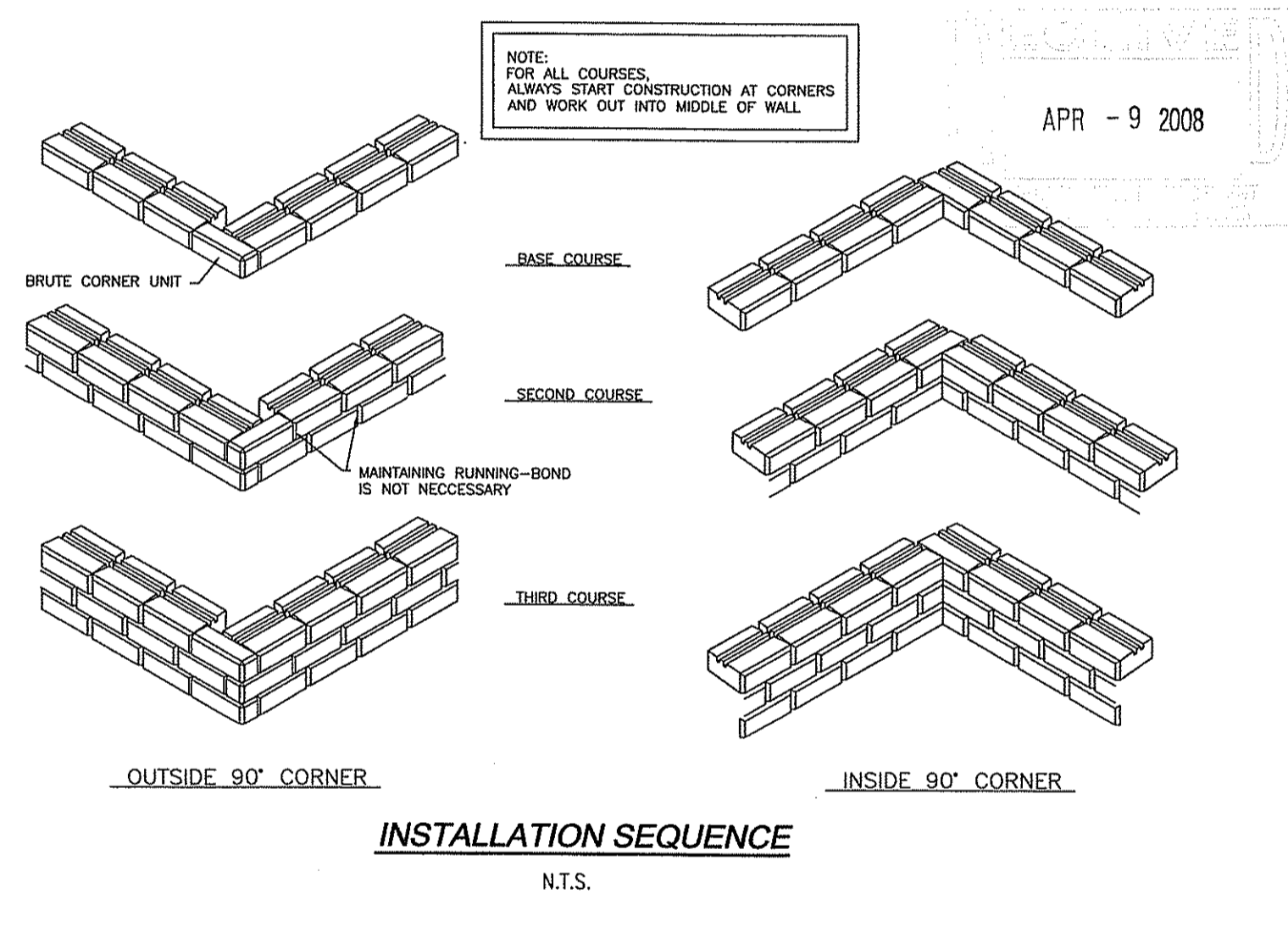
VERSALOK BRUTE UNIT
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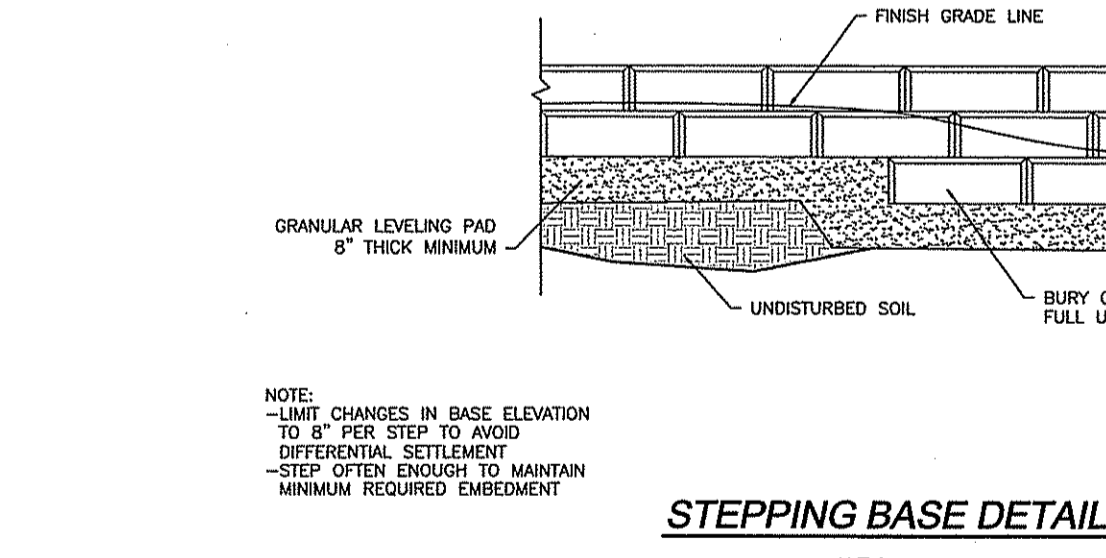
VERSALOK BRUTE HALF UNIT
N.T.S.



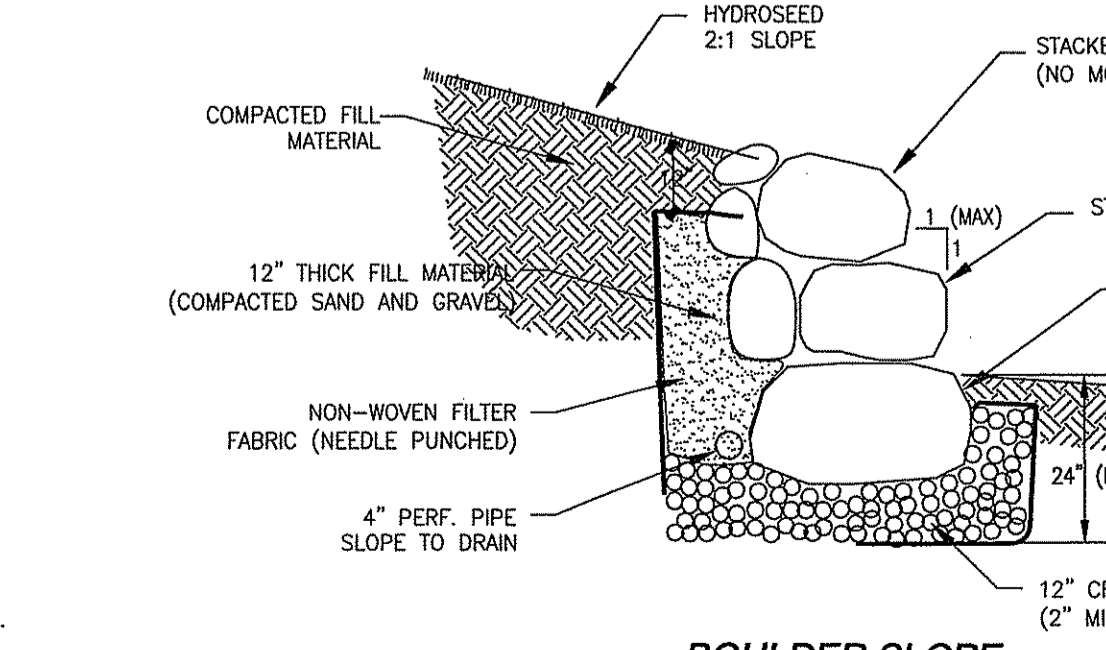
TYPICAL SECTION-REINFORCED SHORELINE WALL
N.T.S.



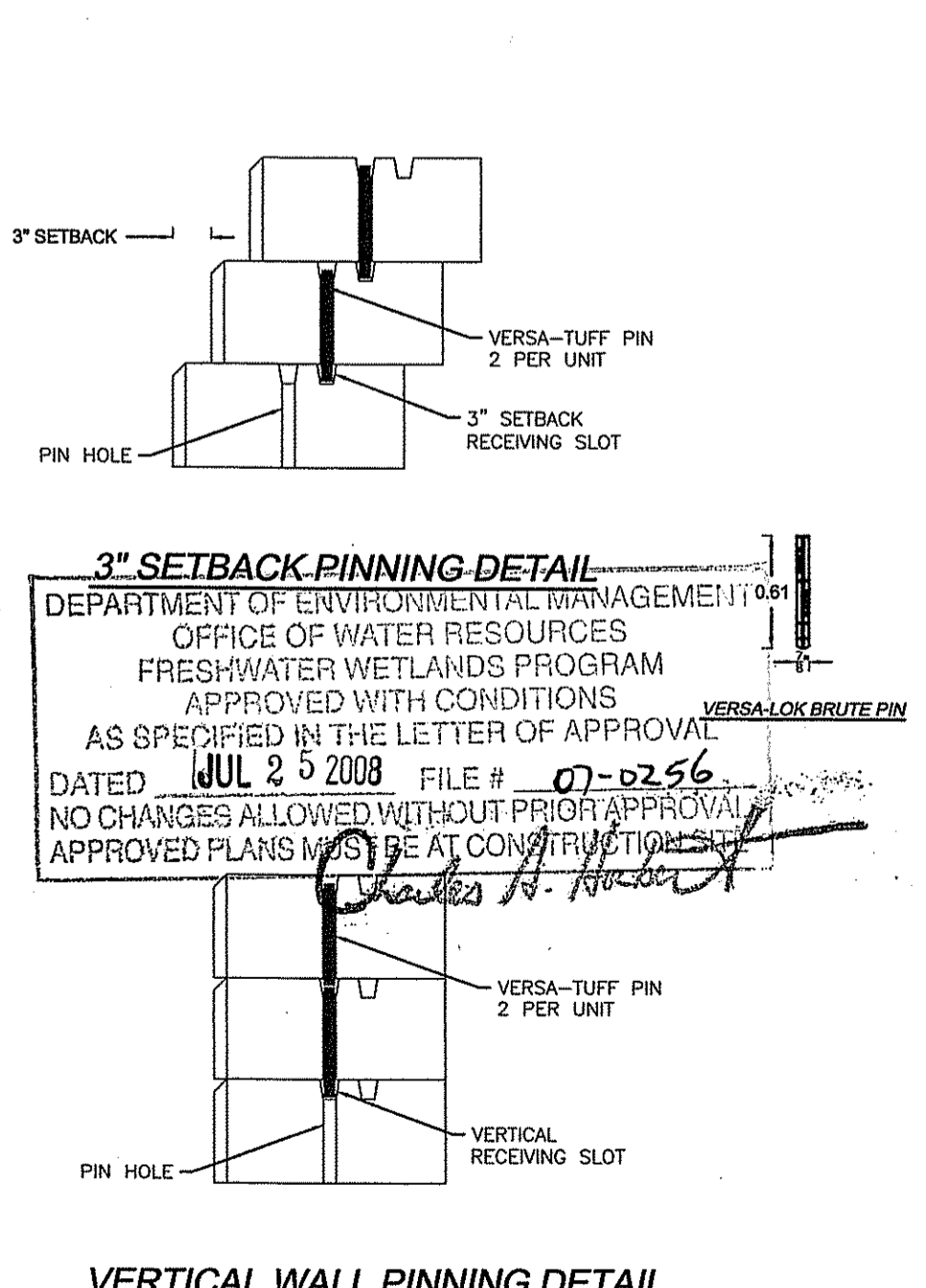
INSTALLATION SEQUENCE
N.T.S.



STEPPING BASE DETAIL
N.T.S.



BOULDER SLOPE
N.T.S.



VERTICAL WALL PINNING DETAIL
N.T.S.

3" SETBACK PINNING DETAIL
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Block 25
Rhode Island
scale: 1"=40'

Notes & Details
Map 2

Phenix Commons
771 Main Street
Prepared for:
Phenix Commons, LLC
100 Bernon Street, Woonsocket, RI
date: May-2007

Drawn By: JEA
Checked By: BPT

Sheet
6
of 6

FILE NO.: 06.044

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