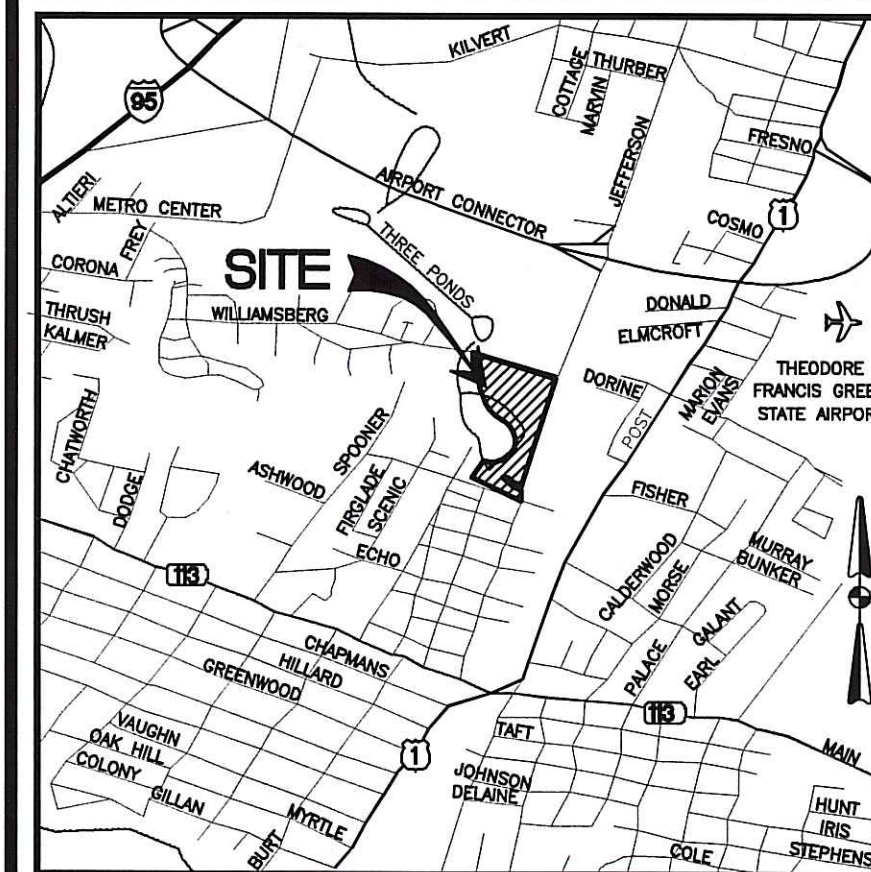


SITE PLAN SET
FOR
PROPOSED
BANK and OFFICE
BUILDING

ASSESSOR'S PLAT 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND
ZONING DISTRICT: (GI) - GENERAL INDUSTRIAL



LOCATION MAP
NOT TO SCALE

INDEX OF DRAWINGS

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C8	OVERALL SITE PLAN
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JAN 18 2008

APPLICANT/OWNER:

WELLFLEET PROPERTIES, LLC.
2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

ENGINEERS:



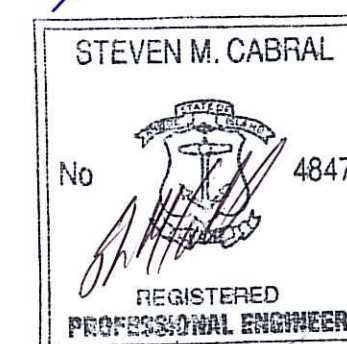
**CROSSMAN
ENGINEERING, INC.**
151 Centerville Road
Warwick, Rhode Island 02886
Phone: (401) 738-5660 - Fax: (401) 738-8157
Email: cei@crossmaneng.com

JULY 2007

SHEET 1 of 22

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 26 2008 FILE # 07-0333
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

W. Joseph Casey



Kindly be advised that this
Permit is not equivalent to a
verification of the type or extent
of freshwater wetlands on site.

AGENCY REVIEW SUBMISSION

REVISIONS:

NO.:	DATE:	DESCRIPTION:
1	10/23/07	DEM COMMENTS/SITE MODIFICATIONS

GENERAL NOTES:

1. ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON BEST AVAILABLE INFORMATION AND REPRESENT APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE & UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
2. SPECIFICATIONS TO GOVERN THIS PROJECT ARE R.I.D.O.T. STANDARD SPECIFICATIONS AND DETAILS. FOR ALL EXCAVATION, PLACEMENT OF FILL, PIPE INSTALLATION, BITUMINOUS PAVEMENT, CUTTING INTO CATCHBASIN/MANHOLES, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE PURCHASED FROM THE OFFICE OF:
- CONTRACTS AND SPECIFICATIONS
RIDOT, TWO CAPITOL HILL, ROOM 331
PROVIDENCE, RI 02903 TEL. (401)277-2495, EXT. 4400
3. RHODE ISLAND STANDARDS REFERENCED ARE ACCORDING TO THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS "RHODE ISLAND STANDARD DETAILS" DATED JUNE 15, 1998, PREPARED BY THE DEPARTMENT OF TRANSPORTATION
4. THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
5. WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
6. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
7. ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE ROAD RIGHT-OF-WAY.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1988 EDITION, INCLUDING REVISION 3, SEPTEMBER 3, 1993, AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

CONSTRUCTION NOTES

1. THE CONTRACTOR IS REQUIRED TO OBTAIN AND REVIEW ALL ENGINEERING DOCUMENTS COMPLETED FOR FINAL DESIGN INCLUDING BUT NOT LIMITED TO GEOTECHNICAL REPORTS. THE GEOTECHNICAL REPORTS SPECIFY SOIL COMPACTION METHODS AND OTHER CONSTRUCTION RELATED REQUIREMENTS.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO ANY SITE EXCAVATION AND INSTALLATION OF UTILITIES ON SITE. THE COORDINATION IS NECESSARY FOR THE ENGINEER TO SCHEDULE SITE INSPECTIONS AS REQUIRED.
3. THE CONTRACTOR IS REQUIRED TO MAINTAIN DETAILED AS-BUILT INFORMATION FOR ALL UTILITY INSTALLATION. AS-BUILT INFORMATION INCLUDES MATERIAL LIST, PIPE DEPTH NOTATIONS AND SWING TIE LOCATIONS (2 MINIMUM) NEW PIPE TO BUILDING CORNERS. ALL PIPE BEND/ELBOW LOCATIONS SHALL BE DIMENSIONED.

DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

MAINTENANCE OF DRAINAGE SYSTEM (INCLUDING; UNDERGROUND DETENTION SYSTEM, EXTENDED DETENTION BASIN A, INFILTRATION BASIN B, WATER QUALITY CHAMBER, CATCH BASINS, MANHOLES AND PIPE) SHALL BE SHARED BETWEEN THE OWNERS OF PARCEL 1 AND PARCEL 2. PERCENTAGE OF COST FOR MAINTENANCE OPERATIONS WILL BE DETERMIED UPON SALE OF LAND/AND OR BUILDING. MAINTENANCE OPERATIONS SHALL BE CONDUCTED AT THE SAME TIME AS DECRIBED BELOW.

RECOMMENDATIONS FOR MAINTENANCE OF THE DRAINAGE SYSTEM ARE PROVIDED BELOW

1. UNDERGROUND DETENTION SYSTEM:
- FOLLOWING CONSTRUCTION, THE DETENTION SYSTEM SHALL BE CLEANED OF ACCUMULATED SEDIMENT ONCE EVERY TEN YEARS. IF REQUIRED, THE SYSTEM SHALL BE DEWATERED PRIOR TO SEDIMENT REMOVAL, AND ALL DEWATERING FLOW MUST BE ADEQUATELY FILTERED PRIOR TO DISCHARGE. THE RESULTING SYSTEM CONDITION AFTER SEDIMENT REMOVAL MUST BE THE ORIGINAL DESIGN CONDITIONS. ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE AND FEDERAL REGULATIONS.
2. CATCH BASINS, MANHOLES, DRAIN LINES AND WATER QUALITY CHAMBER:
- AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
- DAMAGE TO GRATES/COVERS
 - EVIDENCE OF STANDING WATER
 - DEBRIS REMOVAL
 - STRUCTURAL ALIGNMENT/INTEGRITY
- ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED.
3. SEDIMENT REMOVAL:
- FOLLOWING CONSTRUCTION, THE CATCH BASINS AND WATER QUALITY CHAMBER ARE TO BE CLEANED OF ACCUMULATED SEDIMENT AS REQUIRED. ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE AND FEDERAL REGULATIONS.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

FLOOD ZONE NOTE:

PORTIONS OF THE SITE ARE IN FLOOD ZONE 'X', AREAS OF 500 YEAR FLOOD, AREAS OF 100 YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE (FLOOD ELEVATION NOT DETERMINED), ACCORDING TO (FIRM) FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 445409, 0002 D, REVISED 4/16/91.

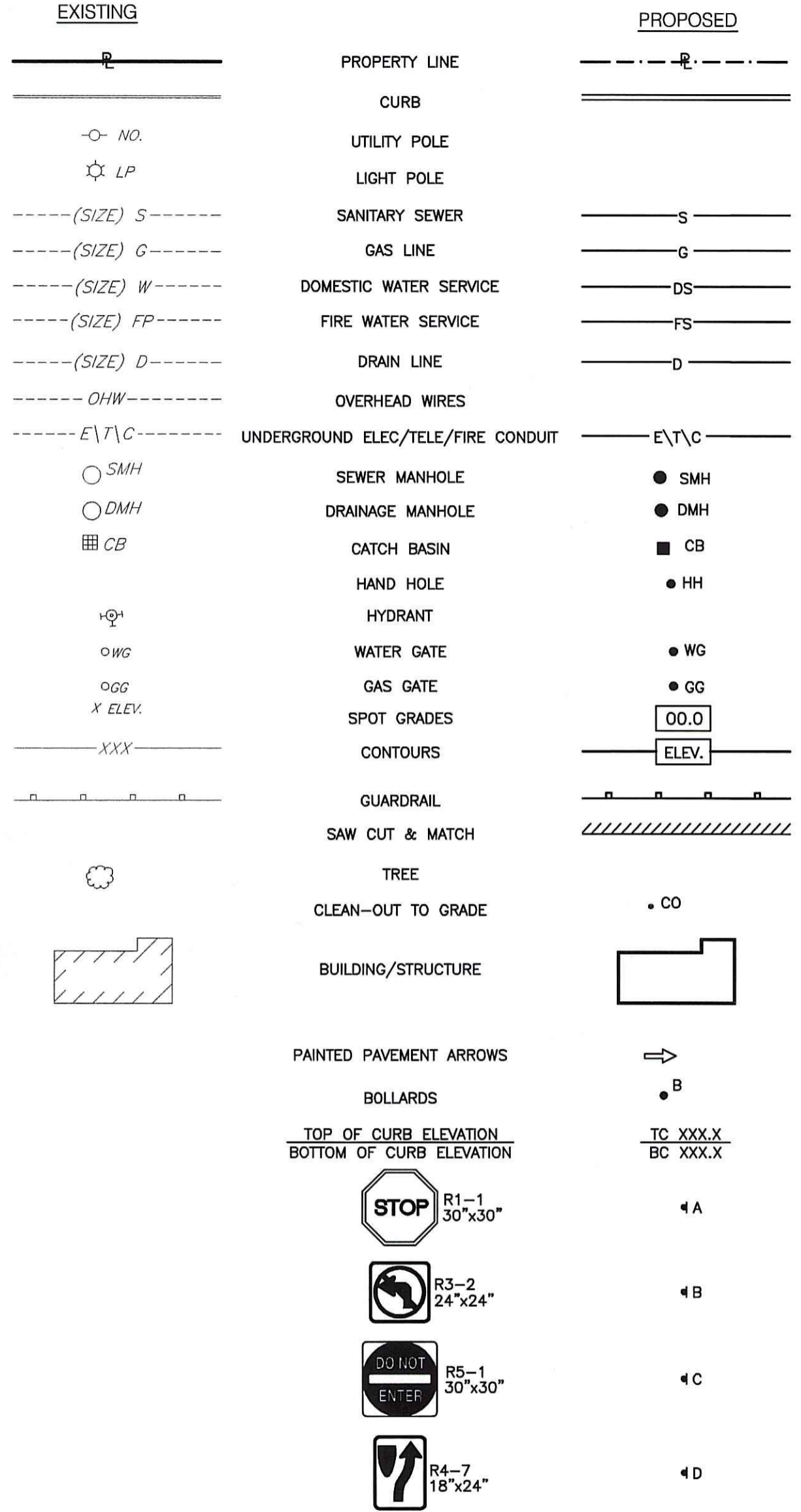
PROPOSED PAVEMENT STRUCTURE:

1-1/2" BITUMINOUS CONCRETE SURFACE COURSE CLASS I-1
2" BITUMINOUS CONCRETE BINDER COURSE
12" GRAVEL BORROW SUBBASE (STRUCTURAL FILL) GEOGRID PLACEMENT

OBSERVATION WELLS-GROUNDWATER READINGS					
WELL NO.	READING DATE / DEPTHS			SURFACE ELEVATION	GROUND WATER ELEVATION
	11/27/06	11/28/06	11/29/06		
MW#1 / B-1	4.20'	4.40'	4.40'	36.00±	31.80±
MW#3 / B-3	5.20'	5.22'	5.33'	37.00±	31.80±
MW#4 / B-4	NO READING	NO READING	5.10'	38.00±	32.90±
MW#6 / B-6	NO READING	NO READING	8.00'	42.00±	34.00±
MW#7 / B-7	----	17.80'	19.90'	53.00±	35.20±

NOTE:
MONITORING WELL #1 / B-1 IS WITHIN THE VICINITY OF WATER QUALITY DEPRESSION "A" USE ELEVATION 32.00 AS THE DESIGN E.S.H.G.W.T.

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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W. Joseph Casey

CROSSMAN ENGINEERING, INC.
151 Centerville Road
Warwick, Rhode Island 02886
Phone: (401) 738-5660 - Fax: (401) 738-8157
Email: cel@crossmaneng.com
Web Page: www.crossmaneng.com

STEVEN M. CABRAL
No 4847
REGISTERED PROFESSIONAL ENGINEER

BANK and OFFICE BUILDING
A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND

WELLFLEET PROPERTIES, LLC.
2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

GENERAL NOTES AND LEGEND

DATE: JULY 2007 SCALE: 1" = 200'

DWG. NAME: 1357-02-NOTES-REV1.dwg

NO. DATE REVISION
1 10/23/07 DEM COMMENT/SITE MODIFICATIONS

DRAWING NUMBER

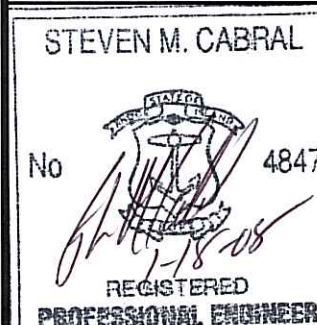
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SHEET: 2 OF 22

AGENCY REVIEW SUBMISSION



**CROSSMAN
ENGINEERING, INC.**
151 Centerville Road
Warwick, Rhode Island 02886
Phone: (401) 738-5660 - Fax: (401) 738-8157
Email: cel@crossmaneng.com
Web Page: www.crossmaneng.com



PROJECT TITLE:

**BANK and
OFFICE BUILDING**

**A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND**

JAN 18 2008

PREPARED FOR:

WELLFLEET PROPERTIES, LLC.

**2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND**

DRAWING TITLE:

**EXISTING CONDITIONS
PLAN No. 1**

DATE: JULY 2007 SCALE: 1" = 60'

DWG. NAME: 1357-06-EXCN-1-REV1.dwg

NO.	DATE	REVISION
1	10/23/07	DEM COMMENTS/SITE MODIFICATIONS

AGENCY REVIEW SUBMISSION

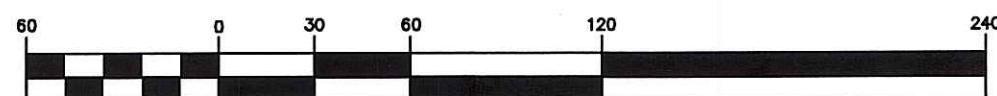
MATCHLINE TO EXISTING CONDITIONS PLAN NO. 2

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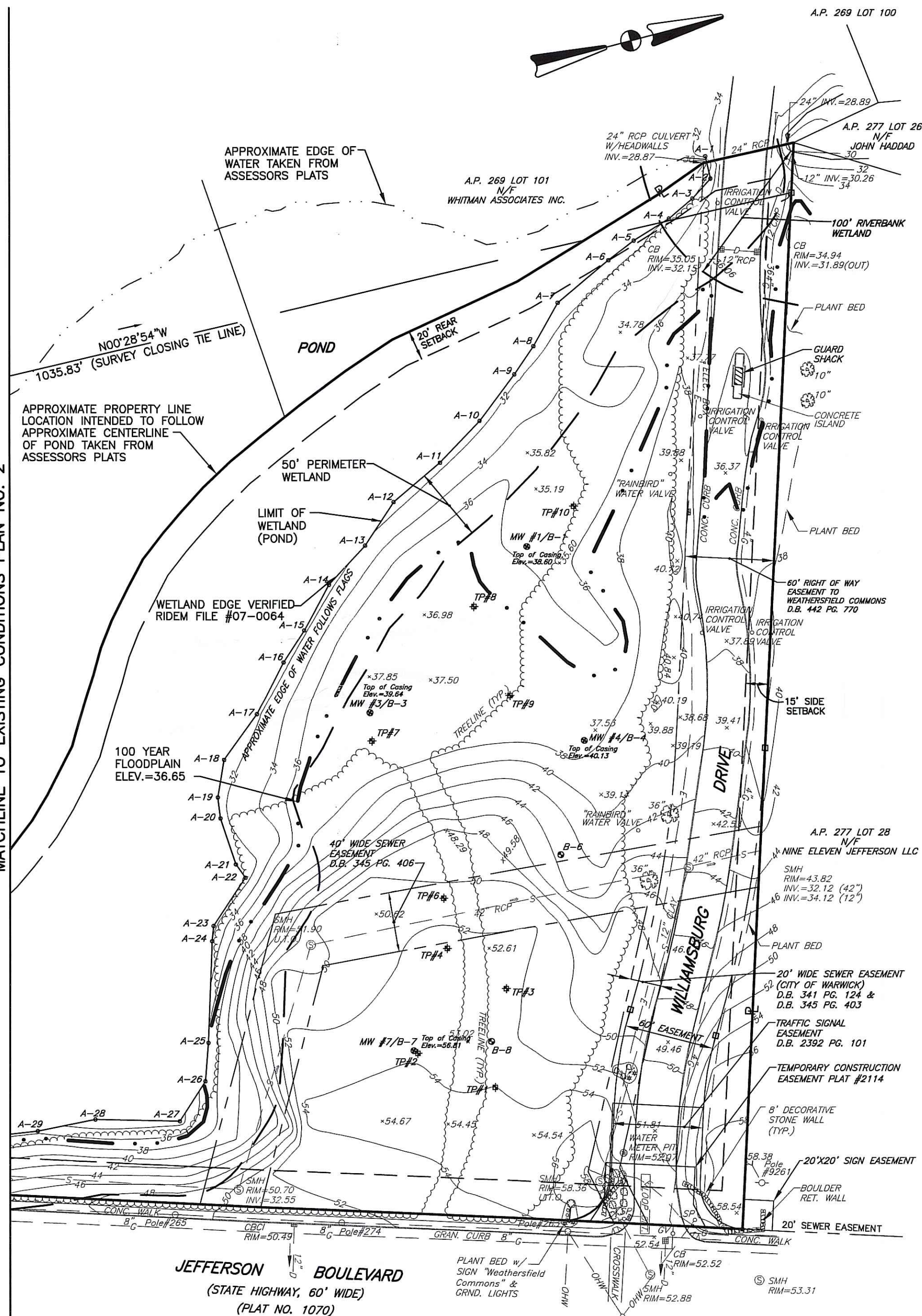
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
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W. Joseph Cooley

GRAPHIC SCALE



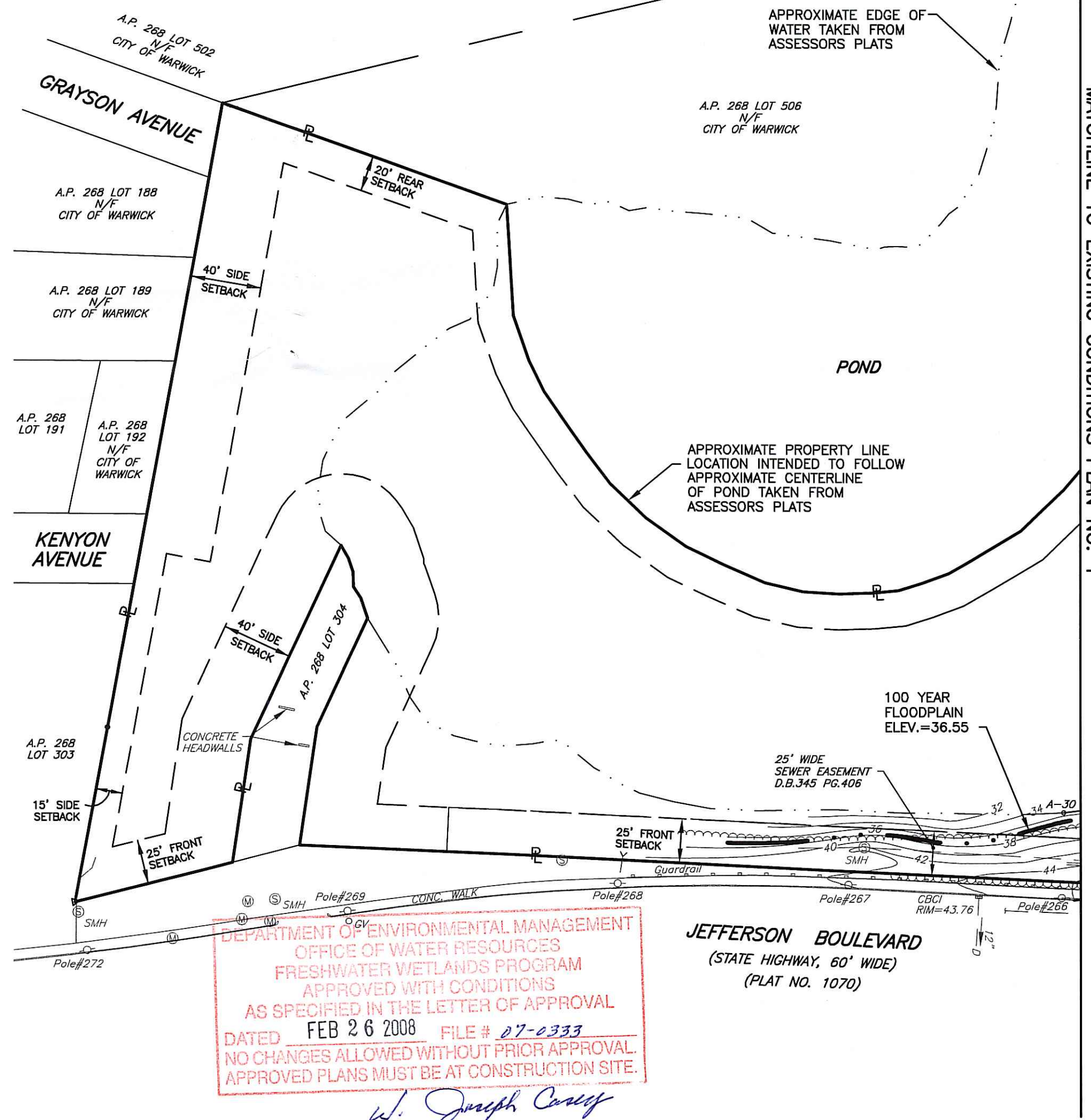
(IN FEET)
1 inch = 60 ft.



	PROPERTY LINE		FIRE HYDRANT
	EASEMENT LINE		WATER GATE
<i>A.P.</i>	ASSESSORS PLAT		GAS GATE
<i>N/F</i>	NOW OR FORMERLY		ELECTRIC METER
<i>D.B., PG.</i>	DEED BOOK, PAGE		ELECTRIC HANDHOLE
<i>S.F.</i>	SQUARE FEET		BUILDING FACE
<i>AC</i>	ACRES		EDGE OF WATER
	CONTOUR LINE		STONE WALL
<i>XX.XX</i> <i>x</i>	SPOT GRADE		DRAIN LINE
	CATCH BASIN		SEWER LINE
	CURB INLET		WATER LINE
	SIGNAL POLE		GAS LINE
	SEWER MANHOLE		ELECTRIC LINE
	SIGN	<i>A-S</i>	WETLAND FLAG
	UTILITY POLE		MONITORING WELL
	GROUND LIGHT	<i>U.T.O.</i>	UNABLE TO OPEN
	LIGHT POLE		TEST BORINGS

1. THE WETLAND FLAGS DELINEATED BY NATURAL RESOURCE SERVICES ON SEPTEMBER 2006 AND FIELD LOCATED BY CROSSMAN ENGINEERING, INC.
2. THIS EXISTING CONDITIONS PLAN HAS BEEN CREATED FROM FIELD SURVEY LAST CONDUCTED ON JANUARY 9, 2007, AND IS CURRENT TO JANUARY 9, 2007. ANY SITE CHANGES, EASEMENTS, OR ACQUISITIONS ON THIS SITE OR ON LAND ADJACENT TO THIS SITE AFTER THE DATE OF JANUARY 9, 2007, WILL NOT BE REFERENCED ON THIS PLAN.
3. A CLASS I BOUNDARY SURVEY HAS BEEN CONDUCTED BY CROSSMAN ENGINEERING, INC. ON DECEMBER 14, 2006. PROPERTY LINES AND EASEMENTS IDENTIFIED ON THIS PLAN ARE IN REFERENCE TO THE BOUNDARY SURVEY.
4. FLOOD ZONE NOTE: THE SITE IS LOCATED IN ZONE X; AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN AND ZONE X; AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, AS SHOWN ON THE ON THE FLOOD INSURANCE RATE MAP, CITY OF WARWICK, RHODE ISLAND, KENT COUNTY, PANEL 2 OF 9, COMMUNITY PANEL NUMBER 445409 0002D, MAP REVISED: APRIL 16, 1991.
5. THE 100-YEAR FLOODPLAIN REFERENCED HAS BEEN CALCULATED BY CROSSMAN ENGINEERING.
6. THE WETLAND EDGE HAS BEEN VERIFIED BY RIDEM FILE NO. 07-0064.
7. TEST PITS WERE CONDUCTED BY CROSSMAN ENGINEERING AND HOFFMAN ENGINEERING IN SEPTEMBER 2006. THE TEST BORINGS AND MONITORING WELLS WERE CONDUCTED/INSTALLED BY PAUL B. ALDINGLER & ASSOCIATES INC., IN DECEMBER 2006.

(IN FEET)
1 inch = 60 ft.



STEVEN M. CABRAL

No 4847

REGISTERED
PROFESSIONAL ENGINEER

PROJECT TITLE:

**BANK and
OFFICE BUILDING**

A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND

JAN 18 2008

PREPARED FOR:

WELLFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:
EXISTING CONDITIONS
PLAN No. 2

DATE: JULY 2007

DWG. NAME: 1357-07-EXCN-2-REV1.dwg

NO.	DATE	REVISION
1	10/23/07	DEM COMMENTS/SITE MODIFICATIONS

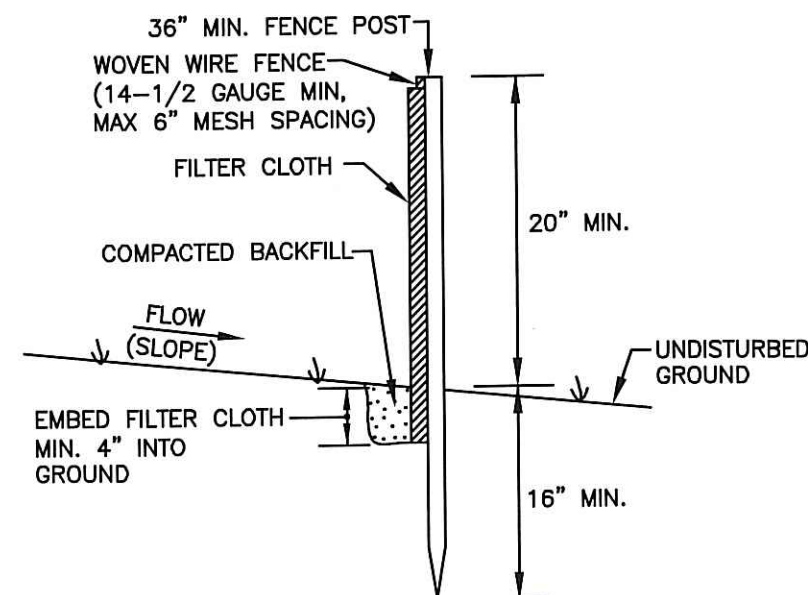
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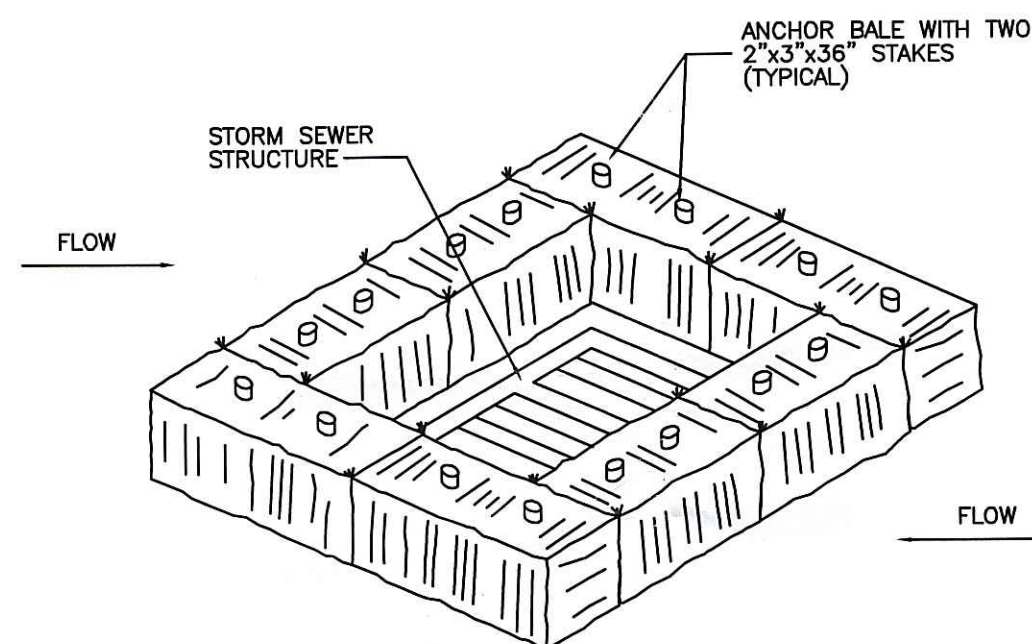
SHEET: 7 OF: 22

AGENCY REVIEW SUBMISSION



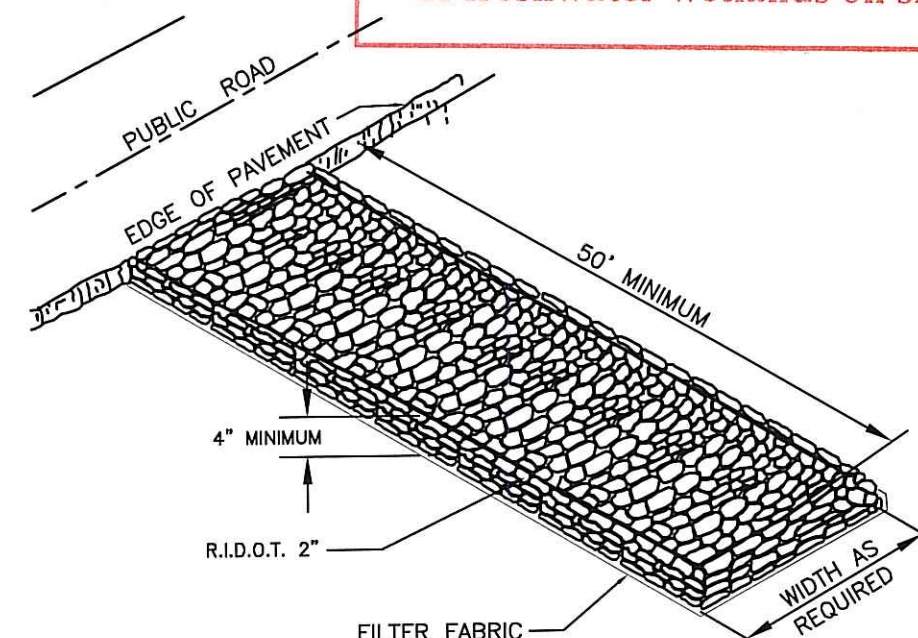
NOTE:
PAVEMENT PATCHING TO BE DONE WHERE CONTRACTOR HAS
DISTURBED ROAD PAVEMENT. ALL OTHER AREAS MUST RECEIVE 4"
LOAM AND SEED.

SILT FENCE DETAIL
NOT TO SCALE



TYPICAL HAY BALE INSTALLATION
AROUND CATCH BASIN DURING CONSTRUCTION
NOT TO SCALE

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CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

1. PRIOR TO COMMENCING CLEARING, GRUBBING AND DEMOLITION OPERATIONS, SILT FENCING SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY OR ABUTTING PROPERTIES.
2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE ROADWAY DRAINAGE SYSTEM AS WELL AS THE WETLANDS.
3. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
6. ADDITIONAL SILT FENCING OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. THE "R.I. EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.
9. FINISHED SLOPES ARE NOT TO EXCEED 2:1.
10. DENUDE SLOPES SHALL NOT BE UNATTENDED OR EXPOSED.
11. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS).
12. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
13. THE FINISHED SLOPES SHALL RECEIVE 4" OF LOAM AND SEED.
14. ALL 2:1 SLOPES ARE TO BE LINED WITH CURLEX EXCELSIOR EROSION CONTROL BLANKET (AMERICAN EXCELSIOR COMPANY), OR EQUAL, LAST INSTALLATION MUST CONFORM TO MANUFACTURER'S SPECIFICATIONS.

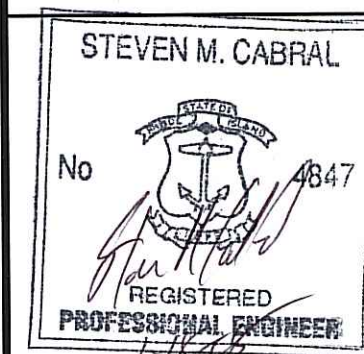
1. SILT FENCES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY AND WETLANDS.
2. THE CONTRACTOR MUST REPLACE AND/OR RESEED ANY VEGETATION THAT DOES NOT DEVELOP/SURVIVE WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
3. ALL SILT FENCES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
4. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHENEVER FEASIBLE; THE AREA BEYOND THE DROPLINE SHALL BE FENCED OR ROPED OFF TO PROTECT TREES FROM CONSTRUCTION EQUIPMENT.
5. AREAS DAMAGED DURING CONSTRUCTION SHALL BE RESODDED, RESEED, OR OTHERWISE RESTORED AT THE CONTRACTOR'S EXPENSE.
6. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
7. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
8. CONTRACTOR MAY USE STACKED HAYBALES IN LIEU OF SILT FENCE ALONG LIMIT OF DISTURBANCE LOCATIONS.

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE TOWN OR OWNER,
THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS (AS
RECOMMENDED BY THE "R.I. EROSION AND SEDIMENT CONTROL HANDBOOK")
TO CONTROL DUST:

- A. WATER THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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APPROVED PLANS MUST BE AT CONSTRUCTION SITE.



PROJECT TITLE:

*BANK and
OFFICE BUILDING*

A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND

JAN 18 2008

PREPARED FOR:

WELLFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:

SOIL EROSION AND SEDIMENT CONTROL PLAN

DATE: JULY 2007

SCALE:
AS NOTED

DWG. NAME: 1357-08-EROS-REV1.dwg

[illegible]

DRAWING NUMBER		

C7

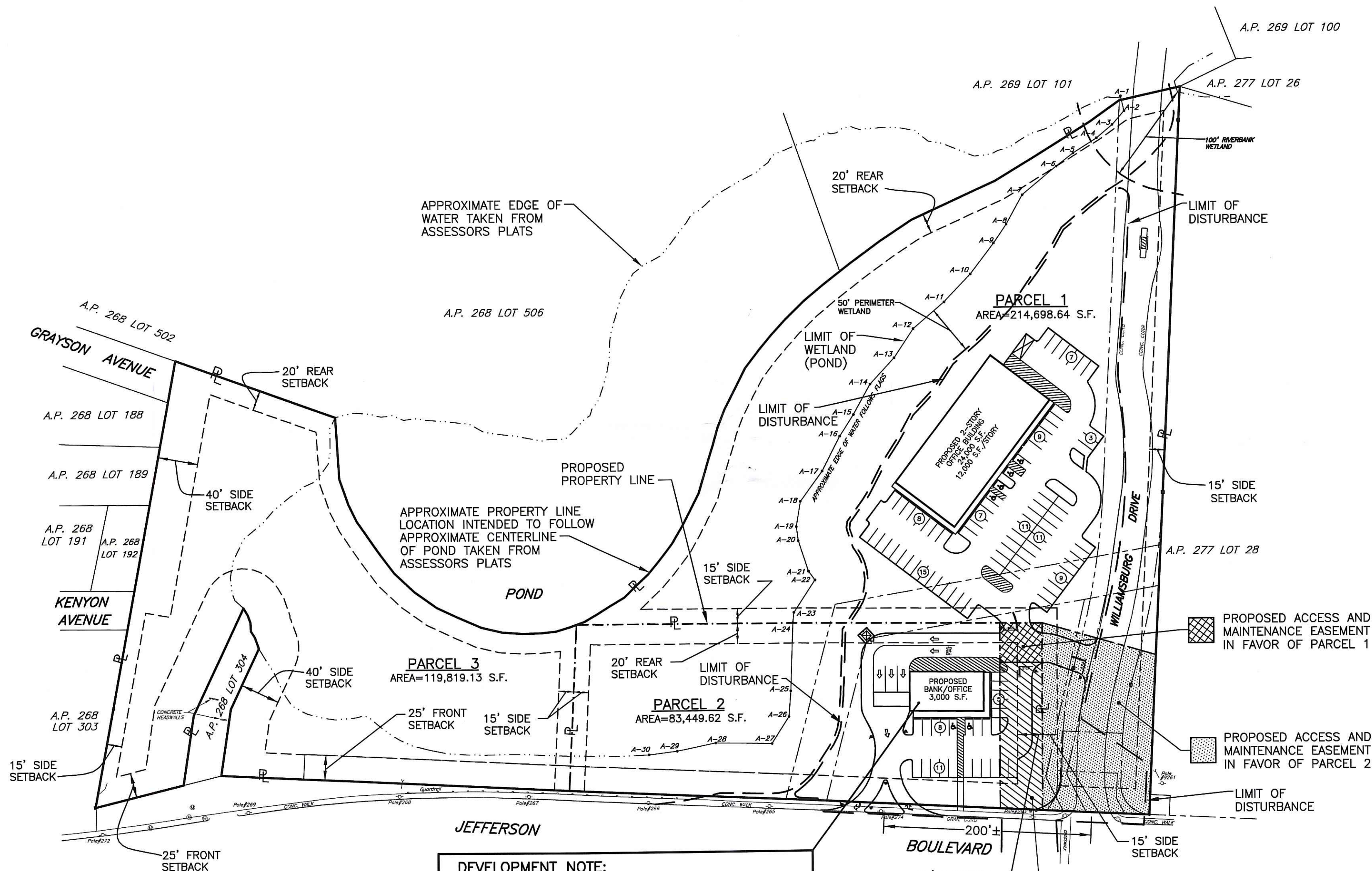
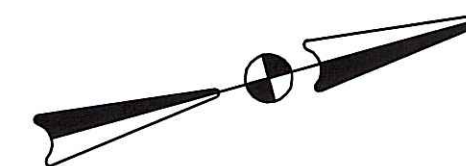
SHEET: 8 OF: 22

AGENCY REVIEW SUBMISSION

FIGURE 5-1 DETAIL FOR INSTALLATION OF JUTE NETTING
R.I. SOIL EROSION and SEDIMENT CONTROL HANDBOOK
NOT TO SCALE

DRAINAGE SYSTEM MAINTENANCE NOTE:

PARCELS 1 AND 2 SHALL ALLOW ACCESS ON SITE TO PERSON(S) RESPONSIBLE TO INSPECT AND MAINTAIN THE DRAINAGE SYSTEM. MAINTENANCE OF THE DRAINAGE SYSTEM (INCLUDING; UNDERGROUND DETENTION SYSTEM, EXTENDED DETENTION BASIN A, INFILTRATION BASIN B, WATER QUALITY CHAMBER, CATCH BASINS, MANHOLES AND PIPE) SHALL BE SHARED BETWEEN THE OWNERS OF PARCEL 1 AND PARCEL 2.



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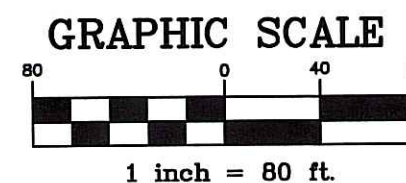
DEVELOPMENT NOTE:

THE PROPOSED BUILDING MAY BE FOR BANK OR OFFICE USE. OFFICE BUILDING FOOTPRINT MAY BE LARGER THAN 3000 S.F. BUT ALL IMPERVIOUS IMPROVEMENTS (BUILDING AND PARKING) WILL BE WITHIN LIMITS OF IMPERVIOUS REFERENCED ON THESE PLANS.

EASEMENT NOTE:

EASEMENTS FOR ALL UTILITIES, DRAINAGE, ACCESS AND MAINTENANCE SHALL BE PROVIDED FOR SUBDIVISION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 26 2008 FILE # 07-0333
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.



CROSSMAN ENGINEERING, INC.
151 Centerville Road
Warwick, Rhode Island 02886
Phone: (401) 738-5660 - Fax: (401) 738-8157
Email: ce@crosmaneng.com
Web Page: www.crosmaneng.com

STEVEN M. CABRAL
No 4847
REGISTERED PROFESSIONAL ENGINEER

PROJECT TITLE:

BANK and OFFICE BUILDING

A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND

JAN 18 2008

PREPARED FOR:

WELLFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:

OVERALL SITE PLAN

DATE: JULY 2007 SCALE: 1" = 80'

DWG. NAME: 1357-09-OVER-REV1.dwg

NO.	DATE	REVISION
1	10/23/07	DEM COMMENTS/SITE MODIFICATIONS

DRAWING NUMBER **C8**

SHEET: 9 OF 22

AGENCY REVIEW SUBMISSION

WARWICK ZONING REQUIREMENTS

ZONING DISTRICT: GI - GENERAL INDUSTRIAL				
PERMITTED USE - BANKING INSTITUTION & OFFICE USES				
MINIMUM LOT REQUIREMENTS	REQUIRED	PROVIDED		
		PARCEL 1	PARCEL 2	PARCEL 3
MINIMUM LOT AREA	6,000 S.F.	214,698.64 S.F.	83,449.62 S.F.	119,819.13 S.F.
MINIMUM LOT FRONTAGE	60'	107'	475'	441'
MINIMUM LOT WIDTH	60'	107'	475'	441'
SETBACK REQUIREMENTS				
FRONT & CORNER YARD SETBACK	25'	280'	94'	*
SIDE YARD SETBACK	15'	117'	60'	*
REAR YARD SETBACK	20'	155'	48'	*
MAXIMUM STRUCTURE HEIGHT	45'	<45'	<45'	*

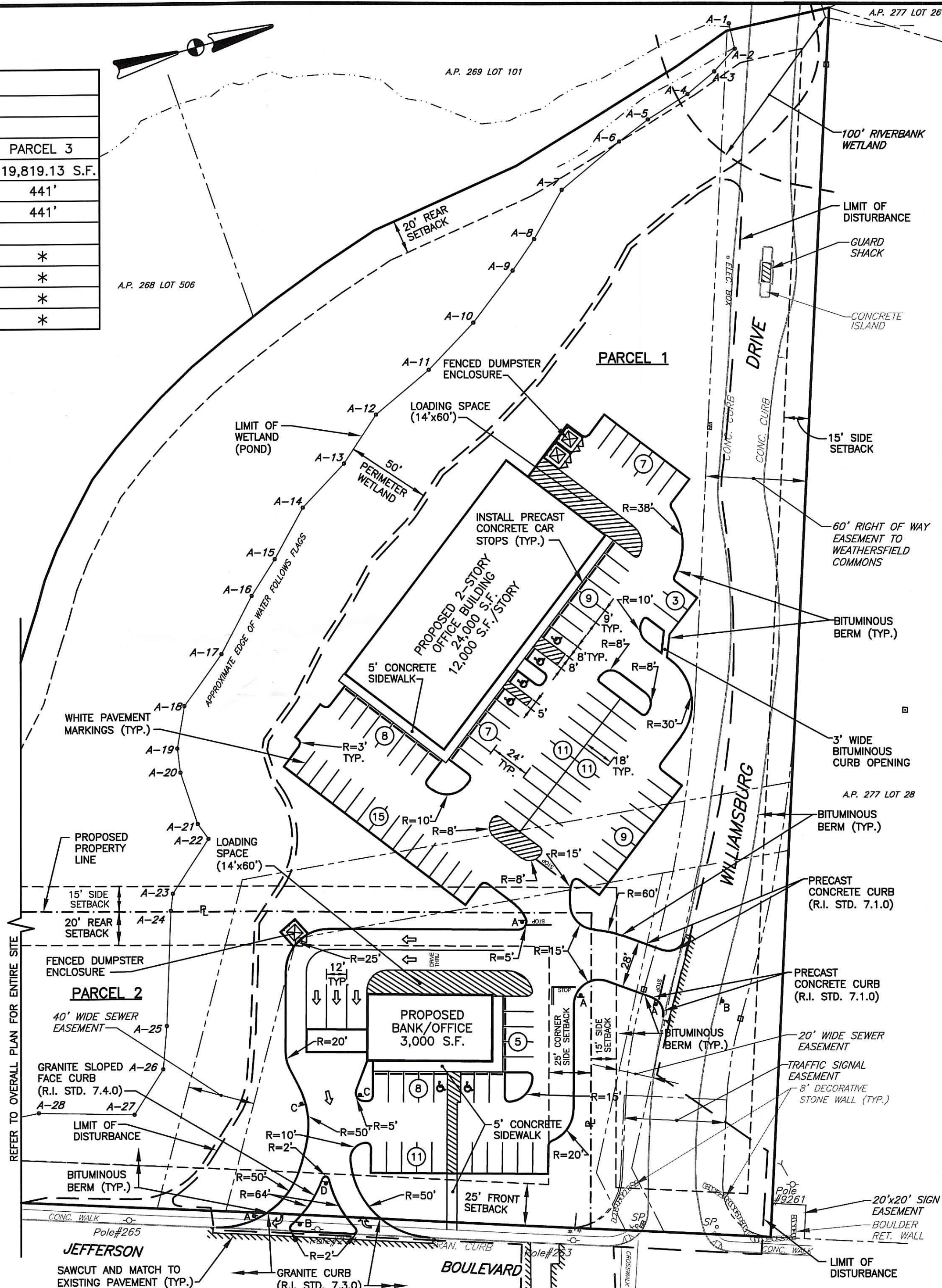
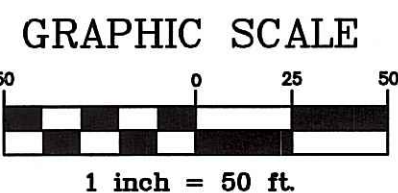
* DEVELOPMENT ON PARCEL 3 IS NOT PROPOSED UNDER THIS SUBMISSION.

OFF-STREET PARKING AND LOADING REQUIREMENTS		
PARKING REQUIREMENTS		
OFFICE: 1 SPACE PER 300 S.F. OF GFA		
BANK/OFFICE: 1 SPACE PER 200 S.F. OF GFA		
USE	REQUIRED	PROVIDED
OFFICE: (PARCEL 1) 24,000± S.F.	80 SPACES	80 SPACES
BANK/OFFICE: (PARCEL 2) 3,000 S.F.	15 SPACES	24 SPACES
PARKING STALL SIZE	9' x 18'	9' x 18'
NO. OF LOADING SPACES (60' x 14')		
OFFICE: (PARCEL 1)	1	1
BANK/OFFICE: (PARCEL 2)	1	1

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W. Joseph Casey



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A.P. 268 LOT 305
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WARWICK, RHODE ISLAND

WELLFLEET PROPERTIES, LLC.
2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:
SITE LAYOUT PLAN

DATE: JULY 2007 SCALE: 1" = 50'

DWG. NAME: 1357-10-SITE-REV1.dwg

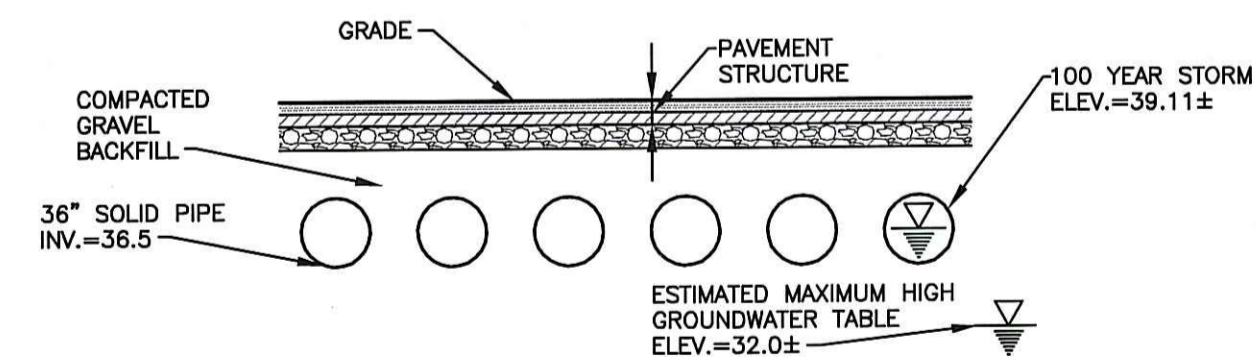
NO.	DATE	REVISION
1	10/23/07	DEM COMMENTS/SITE MODIFICATIONS

DRAINAGE STRUCTURE SCHEDULE					
NUMBER	STRUCTURE	FRAME & GRATE*	RIM	INVERT (IN)	INVERT (OUT)
CB 1	PRECAST CONCRETE (4' DIA)	LF 244	41.70	----	36.75
CB 2	PRECAST CONCRETE (4' DIA)	LF 244	41.00	----	37.25
CB 4	PRECAST CONCRETE (4' DIA)	LF 244	41.40	36.70	36.70
CB 5	PRECAST CONCRETE (5' DIA)	LF 244	43.00	37.50	37.40
CB 6	PRECAST CONCRETE (4' DIA)	LF 244	41.35	----	38.35
CB 7	PRECAST CONCRETE (4' DIA)	LF 244 (2)	43.50	----	40.50
CB 8	PRECAST CONCRETE (4' DIA)	LF 244	45.50	40.90	40.80
CB 9	PRECAST CONCRETE (4' DIA)	LF 244	46.50	----	43.50
CB 10	PRECAST CONCRETE (4' DIA)	LF 244	47.00	43.50	43.40
DMH 1	PRECAST CONCRETE (6' DIA)	LC 244	42.40	36.50	36.50
DMH 2	PRECAST CONCRETE (5' DIA)	LC 244	42.30	36.50	36.50
STORMCEPTOR WATER QUALITY CHAMBER MODEL NO. STC 2400		STORMCEPTOR	42.00	36.25	36.25

* LEBARON FOUNDRY

NOTES:

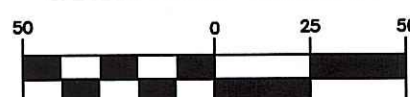
- CONTRACTOR TO VERIFY THAT ALL STRUCTURES ARE COMPATIBLE WITH FRAME AND GRATE.
- SHOP DRAWINGS AND SPECIFICATIONS FOR ALL DRAINAGE RELATED ITEMS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER, PRIOR TO ORDERING.
- ALL STRUCTURES SHALL BE DESIGNED FOR H-20 LOADING.
- FRAMES AND GRATES/COVERS FOR CATCH BASINS AND MANHOLES SHALL BE SHALLOW/LOW PROFILE 4". (LEBARON FOUNDRY, INC.)
- OTHER CATCH BASINS WILL HAVE A 3' SUMP. WEEP HOLES IN STRUCTURES WILL BE FILLED.
- ALL CATCH BASINS AND MANHOLES SHALL BE PRECAST CONCRETE WATER TIGHT STRUCTURES. (NO WEEP HOLES)
- ALL DRAINAGE PIPE SHALL BE ADS N-12 HDPE OR RCP CLASS IV. PIPE BEDDING SHALL BE IN CRUSHED STONE WRAPPED IN FILTER FABRIC OR GRAVEL BORROW COMPACTED TO 95% DRY DENSITY (MODIFIED PROCTOR METHOD). ADS PIPE SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' REQUIREMENTS (REFER TO MISCELLANEOUS DETAILS).
- CB 1, 4, 5 AND 10 SHALL HAVE A TEE ON THE OUTLET PIPE. INVERT ELEVATIONS OF TEES SHALL MATCH OUTLET PIPE (REFER TO MISCELLANEOUS DETAIL PLAN).



DETENTION SYSTEM TYPICAL DETAIL

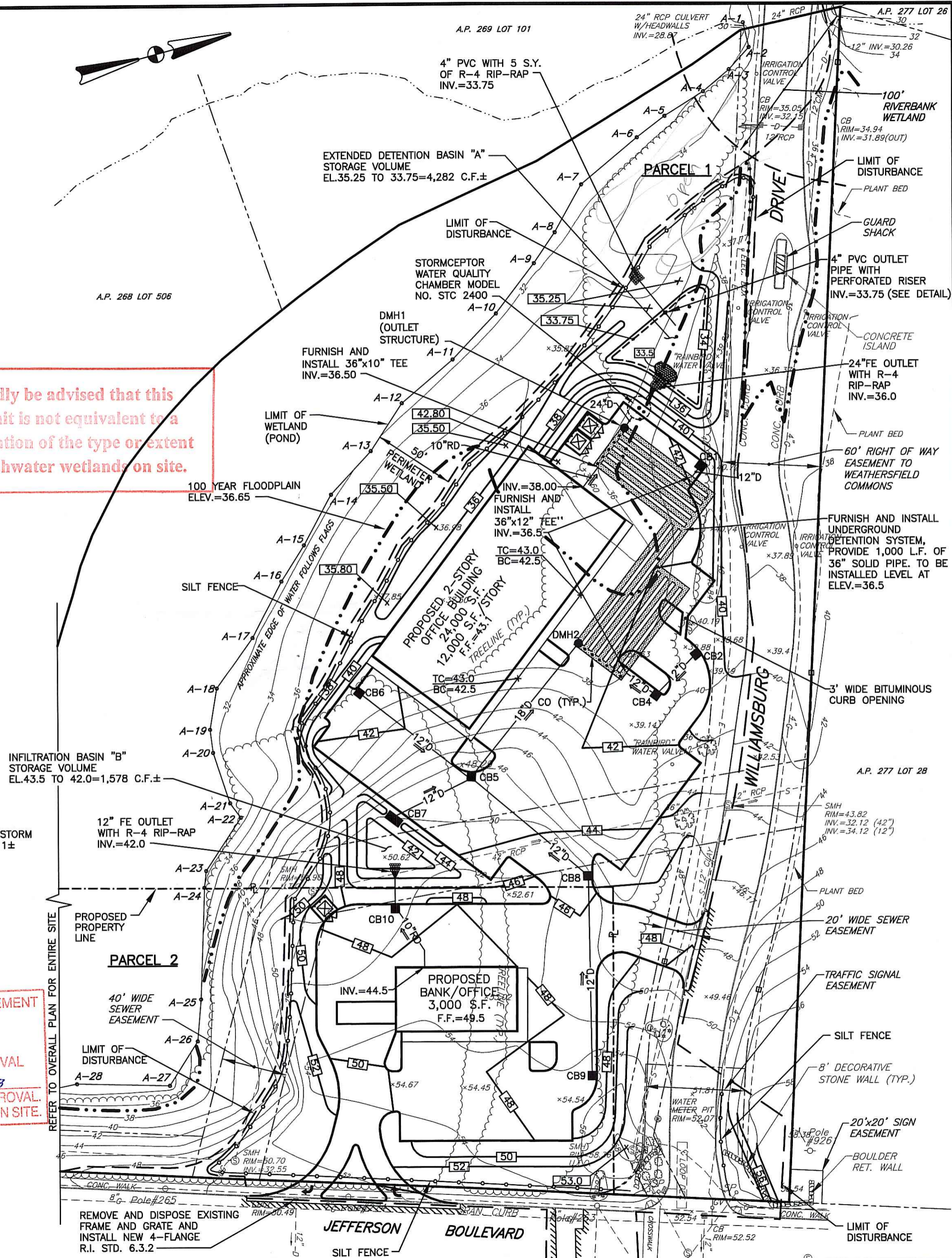
NOT TO SCALE
 DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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GRAPHIC SCALE



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 Web Page: www.crossmaneng.com

STEVEN M. CABRAL



PROJECT TITLE:

BANK and OFFICE BUILDING

A.P. 268 LOT 305
 JEFFERSON BOULEVARD
 WARWICK, RHODE ISLAND

JAN 18 2008

PREPARED FOR:

WELLFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
 EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:

GRADING AND DRAINAGE PLAN

DATE: JULY 2007 SCALE: 1" = 50'

DWG. NAME: 1357-11-G&D-REV1.dwg

NO.	DATE	REVISION
1	10/23/07	DEM COMMENTS/SITE MODIFICATIONS

DRAWING NUMBER

C10

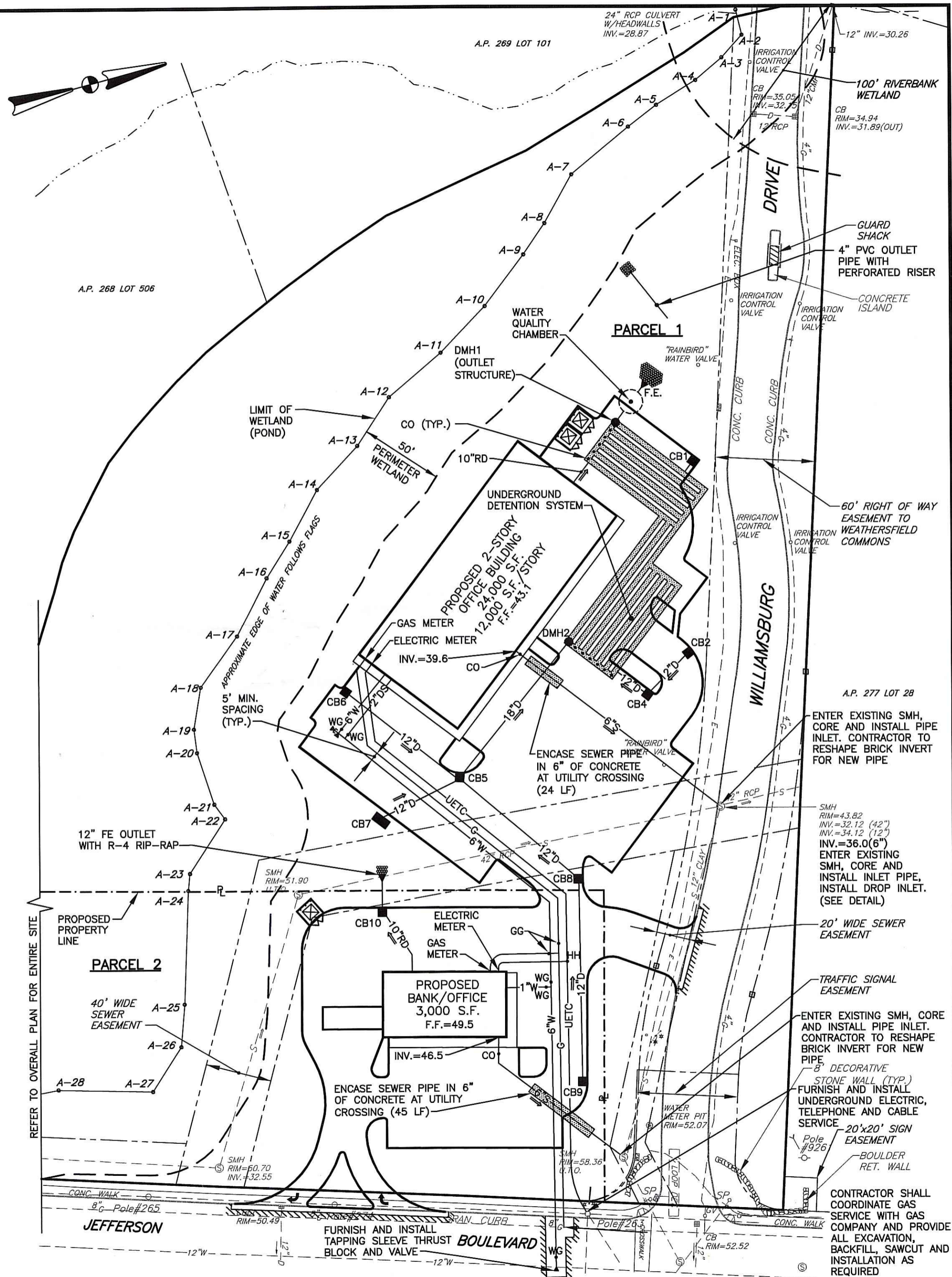
SHEET: 11 OF 22

AGENCY REVIEW SUBMISSION

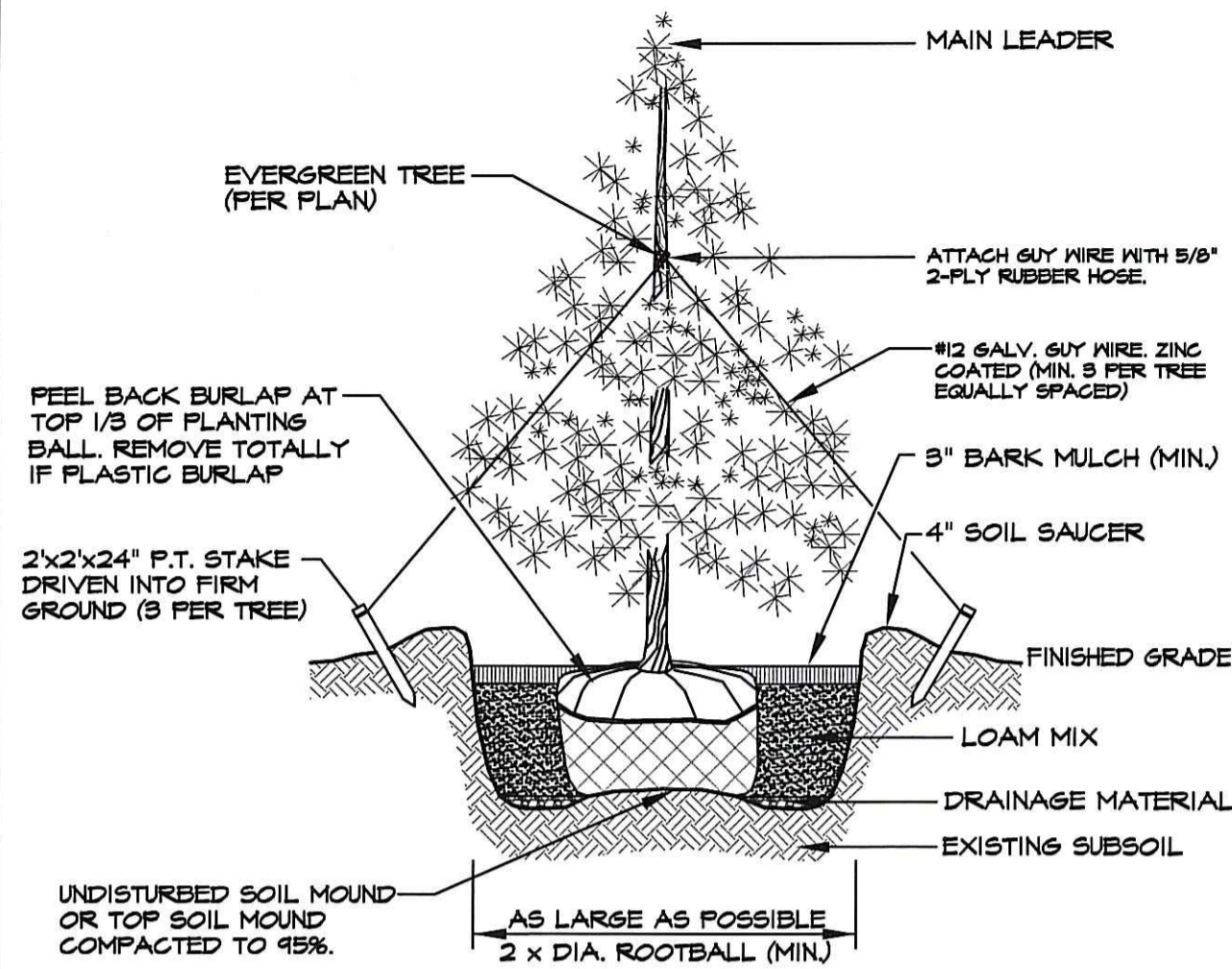
1. PRIOR TO ANY UTILITY CONSTRUCTION, THE CONTRACTOR MUST PERFORM ADDITIONAL TESTS TO:
 - A. CONFIRM THE EXISTING DEPTHS OF UTILITIES AT ALL PROPOSED CONNECTION POINTS AND POTENTIAL CROSSOVER (CONFLICT) POINTS.
 - B. CONFIRM THE EXTENT OF LEDGE WHICH MAY EXIST IN ALL ANTICIPATED UTILITY TRENCH AREAS. PRIOR TO CONSTRUCTION, THE FINDINGS ARE TO BE REVIEWED BY THE OWNER AND THE ENGINEER. IF NECESSARY, ALTERNATIVES TO MINIMIZE LEDGE REMOVAL AND UTILITY CONFLICTS WILL BE DEVELOPED. NO CONSTRUCTION WILL BE ALLOWED WITHOUT THE OWNERS AUTHORIZATION.
 - C. THE CONTRACTOR SHALL DIG TEST HOLES TO VERIFY THE ELEVATIONS AND PIPE MATERIAL OF THE EXISTING SANITARY SERVICE LATERAL AT THE PROPOSED TIE-IN LOCATION.
2. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
3. THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY IRRIGATION PIPING OR ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST. INSTALLATION OF THE IRRIGATION PIPING SHALL HAVE A MINIMUM SEPARATION DISTANCE OF 10' TO ANY SEWER SYSTEM COMPONENT.
4. AS APPROPRIATE EXISTING UTILITIES/IMPROVEMENTS/STRUCTURES ARE TO BE REMOVED & DISPOSED BY THE CONTRACTOR.
5. THE CONTRACTOR MUST LOCATE THE EXISTING WATER MAIN TO OBTAIN THE PROPER OUTSIDE DIAMETER TO SIZE THE SLEEVE.
6. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL UTILITY PIPE SIZES INCLUDING WATER, SEWER AND GAS ARE VERIFIED BY THE ARCHITECT PRIOR TO ORDERING PIPE OR RELATED MATERIAL. WATER PIPE SIZE SHALL ALSO BE VERIFIED BY PLUMBING/FIRE PROTECTION ENGINEER PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO OBTAIN THIS INFORMATION PRIOR TO CONSTRUCTION.
7. THE WATER METER AND BACKFLOW PREVENTION ASSEMBLY SHALL BE INSTALLED INSIDE THE BUILDING. ALL SIZES AND APPARATUS SHALL BE PROVIDED BY ARCHITECT/PLUMBING CONTRACTOR. CONTRACTOR IS RESPONSIBLE TO OBTAIN THIS INFORMATION PRIOR TO CONSTRUCTION.
8. CONTRACTOR SHALL INSTALL (4) 4" CONDUITS AT 3 DIFFERENT LOCATIONS THAT CROSS MAIN DRIVEWAY. LOCATIONS TO BE COORDINATED WITH ENGINEER PRIOR TO CONSTRUCTION.
9. CONTRACTOR TO INSPECT EXISTING SEWER MANHOLES PRIOR TO MAKING CONNECTIONS. PROPOSED SEWER INVERTS SHALL BE COORDINATED WITH ENGINEER.

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(IN FEET)
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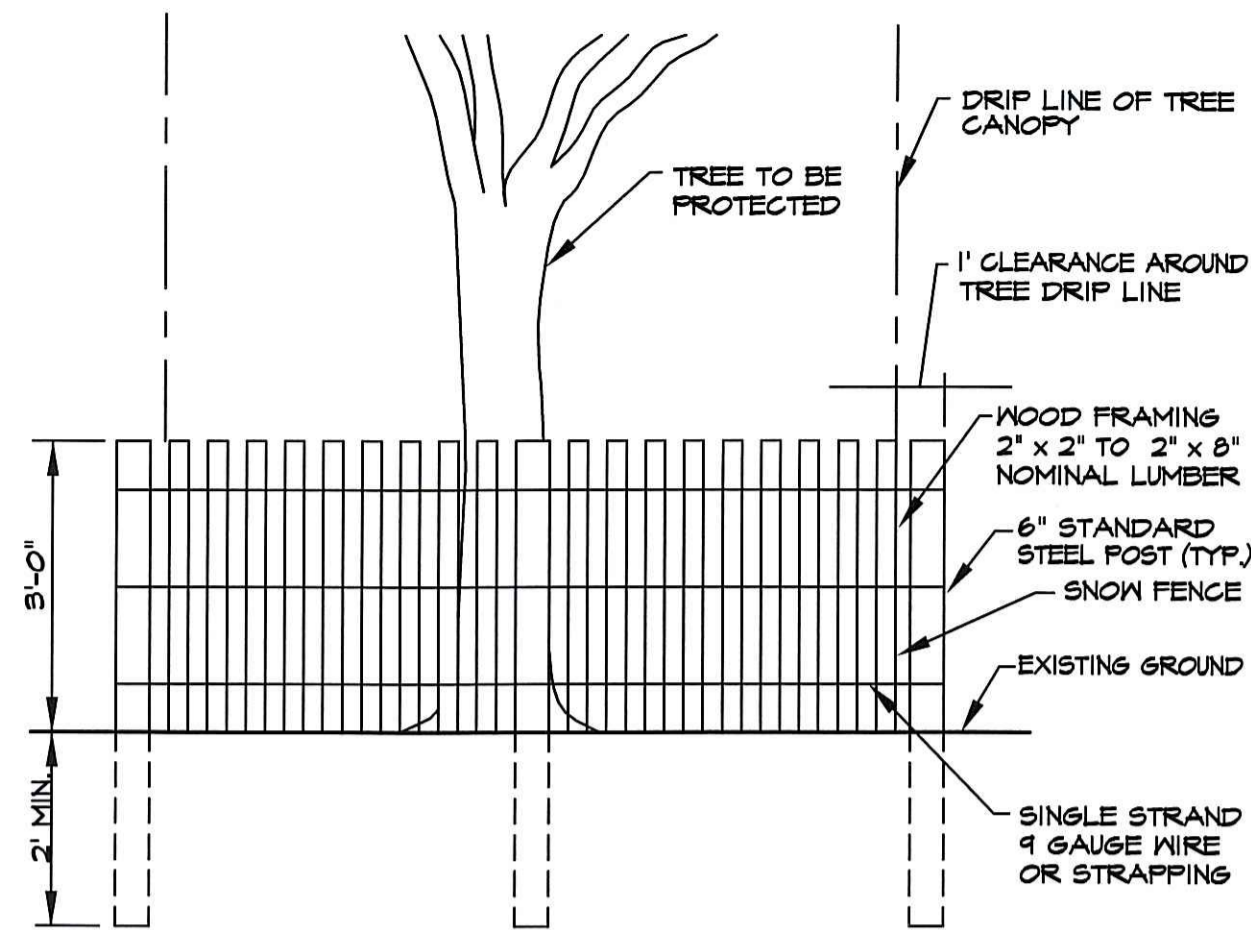


S:\Civil\SDSK\PROJ\1357 - HADDAD - Small Office\dwg\DEM-SUBMISSION\REV1(notsubmitted)BankOption\1357-15-LANDDET1-REV1.dwg, Model, 1/14/2008 8:31:10 AM, 1:1



NOTE:
TREE STAKING OR SUPPORT NECESSARY ONLY WHERE WIND IS A PROBLEM, REMOVE AFTER SIX (6) MONTHS.

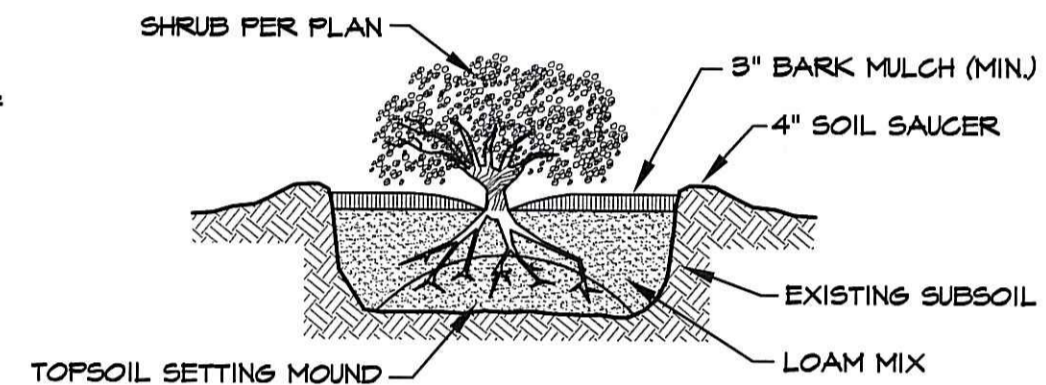
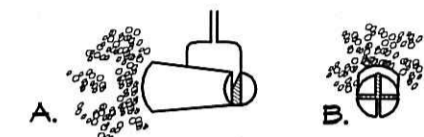
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



**DECIDUOUS OR EVERGREEN TREE
AND SHRUB PROTECTION / SNOW FENCE DETAIL**
NOT TO SCALE

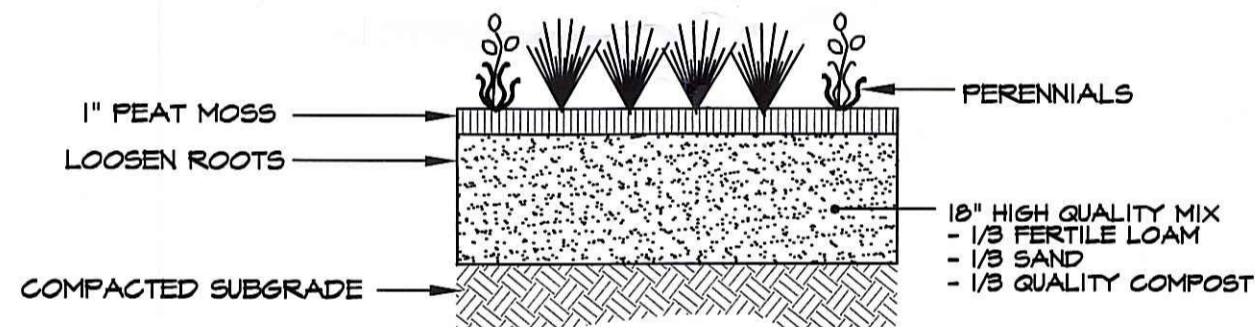
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NOTE: CUT APART ROOTBALL WITHOUT
SEVERING MAIN ROOTS.



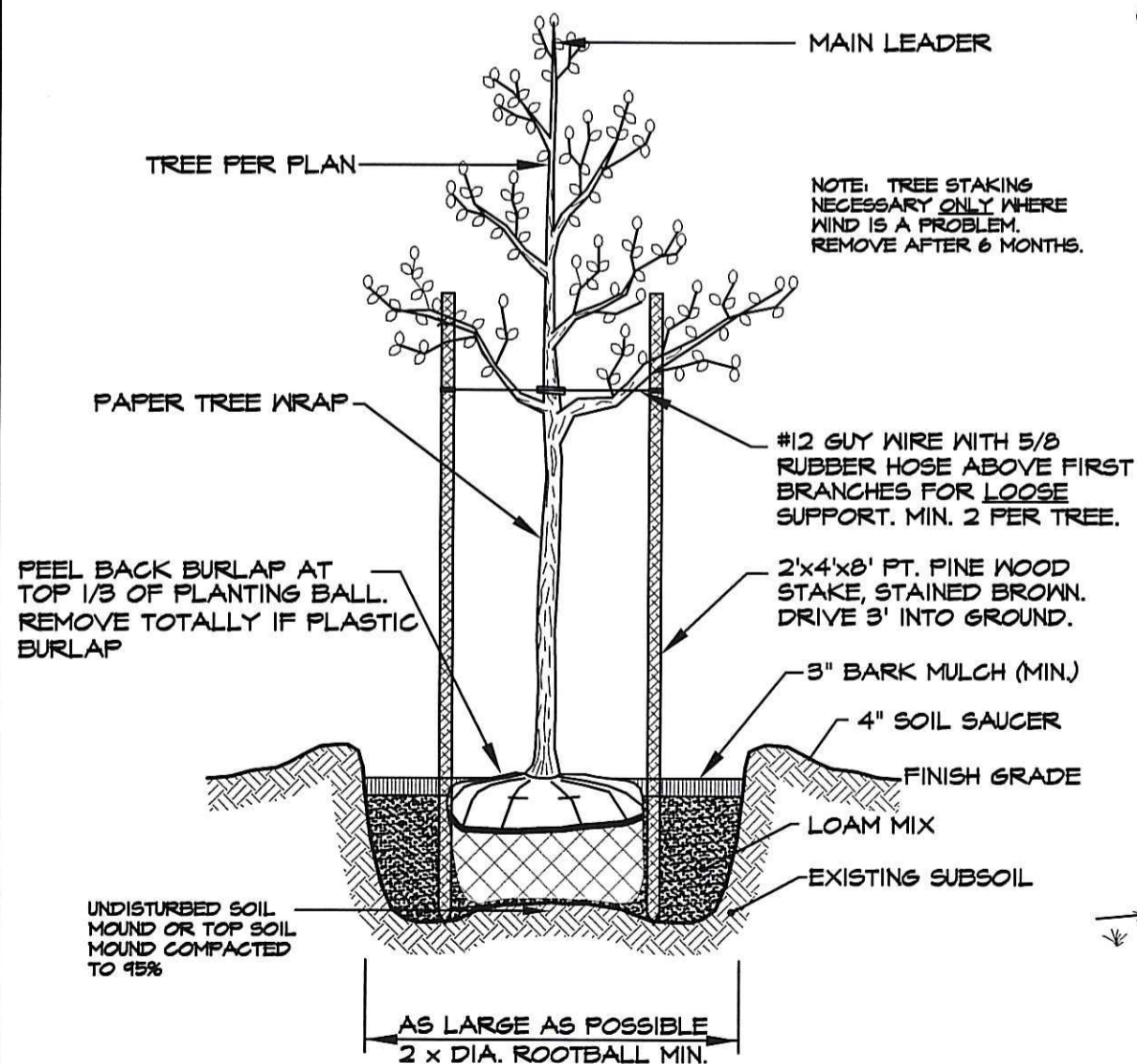
REMOVE CONTAINER AND BUTTERFLY ROOTBALL
TO SPREAD ROOTS OVER SETTING MOUND. PLANT
SHRUBS 1"-2" ABOVE EXISTING GRADE.

**CONTAINER GROWN
PLANTING DETAIL**
NOT TO SCALE

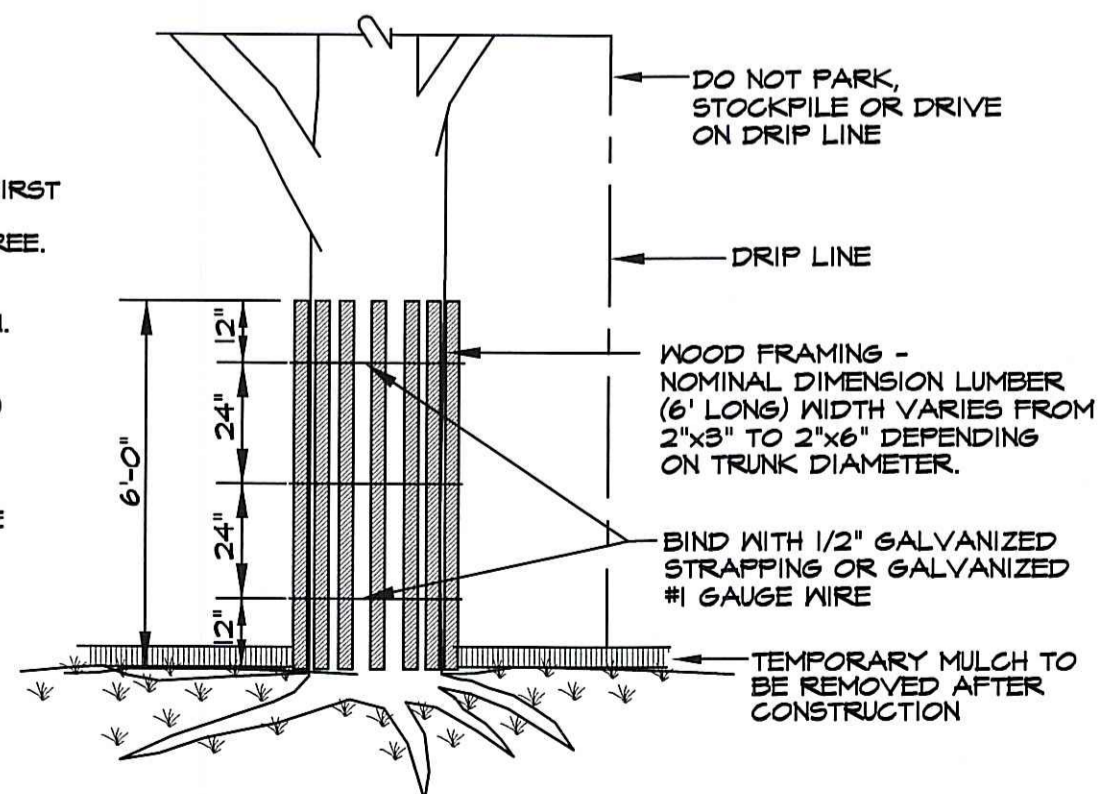


PERENNIAL DETAIL
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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DATED FEB 26 2008 FILE # 07-0533
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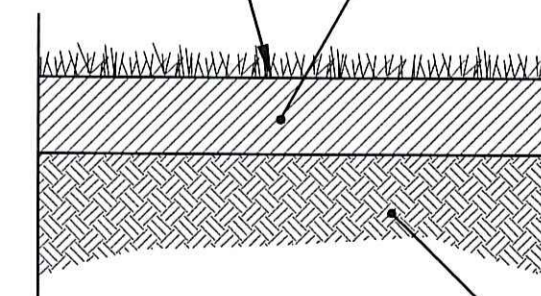


DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



**TREE TRUNK PROTECTION
DEVICE DETAIL**
NOT TO SCALE

SEEDING GRASS -
REFER TO NOTES AND/OR
SPECS FOR SEED MIX TYPE



LOAM-SEED DETAIL
NOT TO SCALE

NOTE:
THE CONTRACTOR WILL BE RESPONSIBLE FOR WATERING
LAWN DURING THE COURSE OF THE GROWING SEASON FOR
A PERIOD OF ONE (1) YEAR.

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PROFESSIONAL ENGINEER

PROJECT TITLE:

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JAN 18 2008

PREPARED FOR:

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2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:

**LANDSCAPE DETAILS
PLAN No. 1**

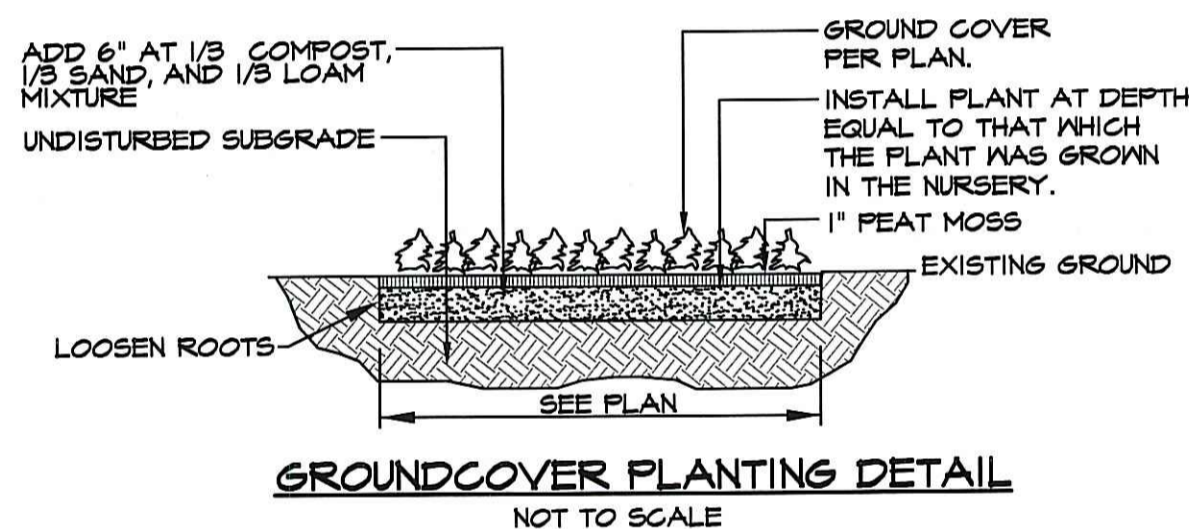
DATE:
JULY 2007

SCALE:
NO SCALE

DWG. NAME:
1357-15-LANDDET1-REV1.dwg

NO. DATE REVISION

1 10/23/07 DEM COMMENTS/SITE MODIFICATIONS



W. Joseph Carey

AGENCY REVIEW SUBMISSION

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STEVEN M. CABRAL



PROJECT TITLE:

**BANK and
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JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND

JAN 18 2008

PREPARED FOR:

WELLFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:

**SITE LIGHTING
PLAN**

DATE:
JULY 2007

SCALE:
1" = 50'

DWG. NAME:
1357-17-LIGHT-REV1.dwg

NO. DATE REVISION

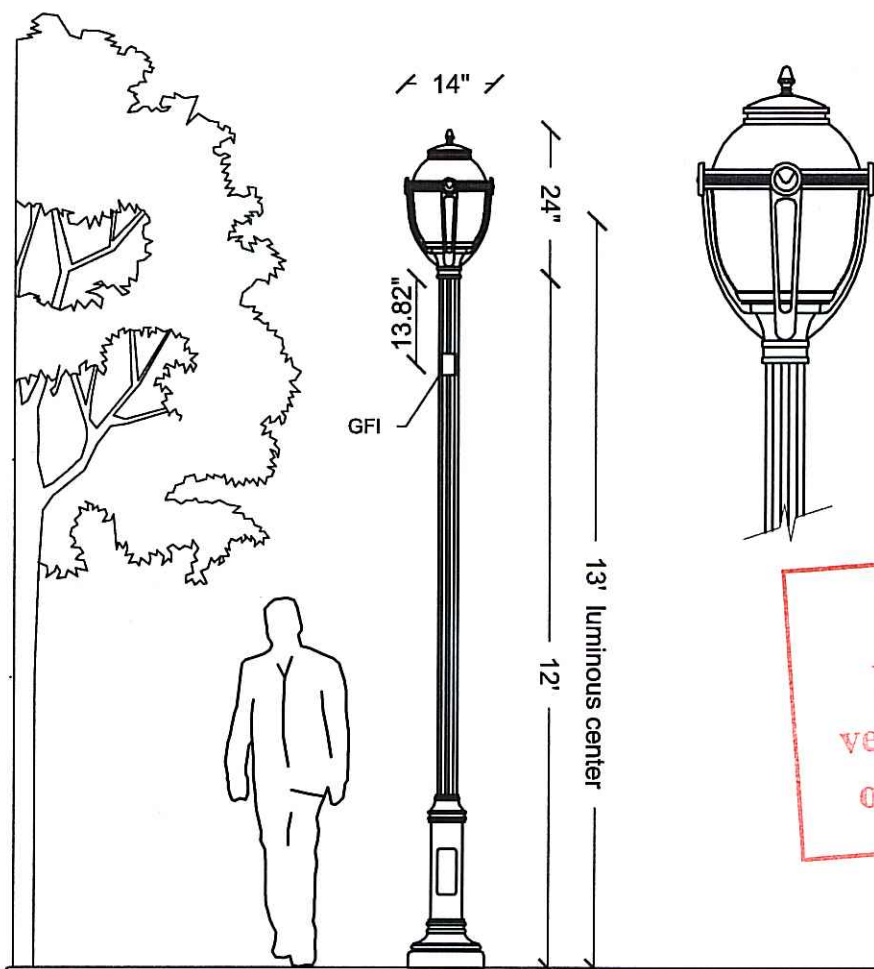
1 10/23/07 DEM COMMENTS/SITE MODIFICATIONS

LEGEND:

★ 13' QUATTRO LUMINAIRE

CAT#: SRA310-OP3N-GAC-175MH-VOLT-COL-AC
AFM64A-12-BQ640-COL-GFI

Project: 1187
Qty:



Proj. #	SRA310-A	Project	PROPOSED LUMINAIRE
Scale/Title	NOT TO SCALE	Design	LUMINAIRE, ARM & POLE PRESENTATION
Designer	C.M.	Drawn	
Date	4 MARS 2005	Drawn	



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NOTE:

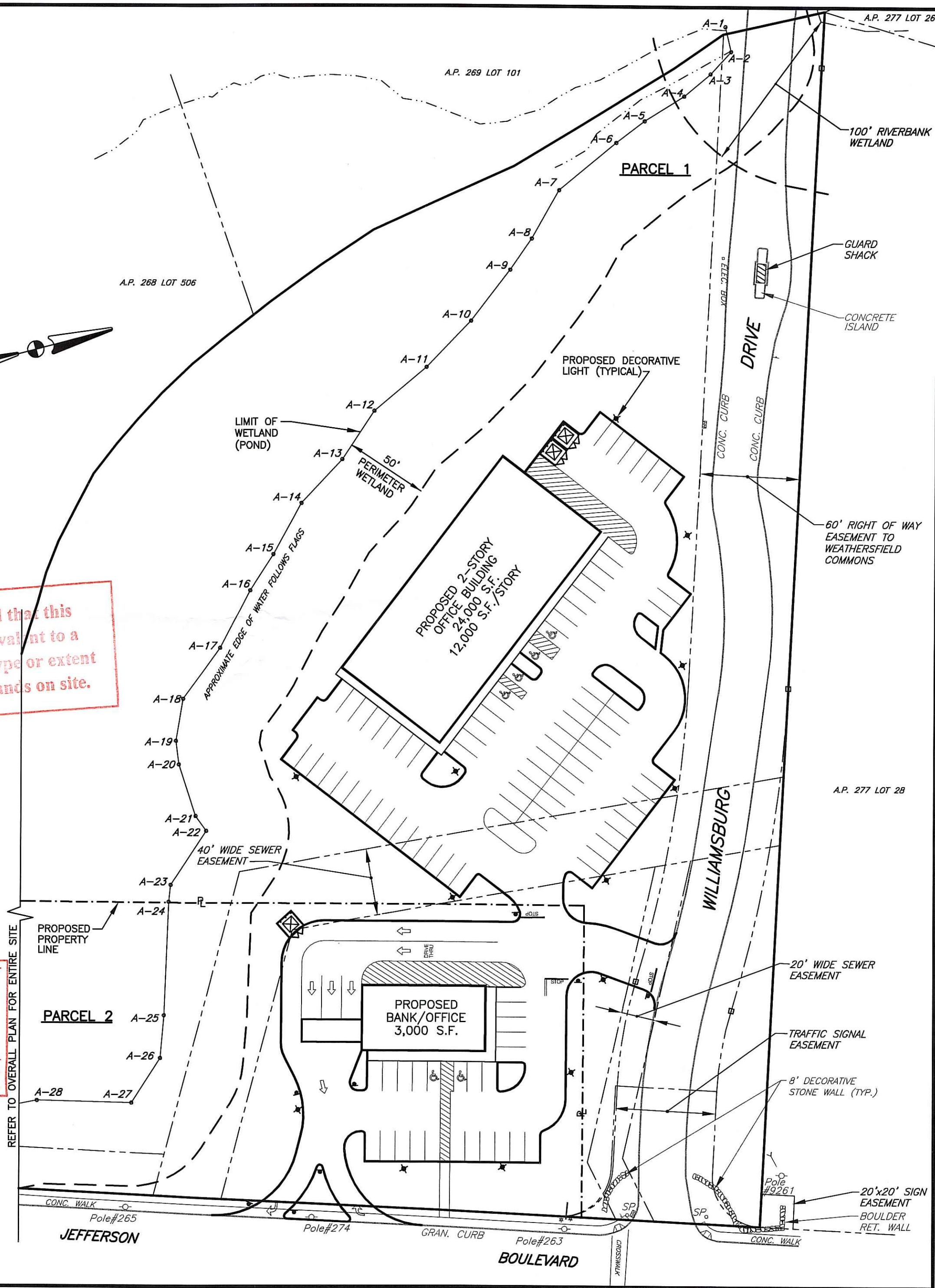
ALL LIGHTS SHALL BE SHIELDED
FROM SHINING INTO WETLANDS
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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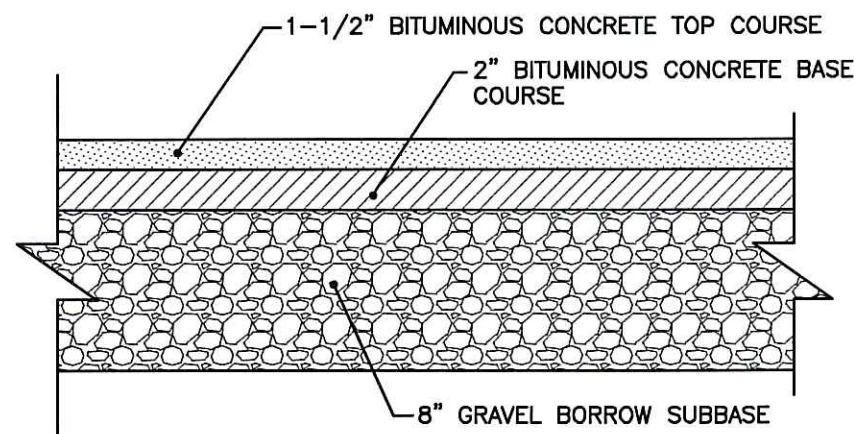
W. Joseph Casey

GRAPHIC SCALE



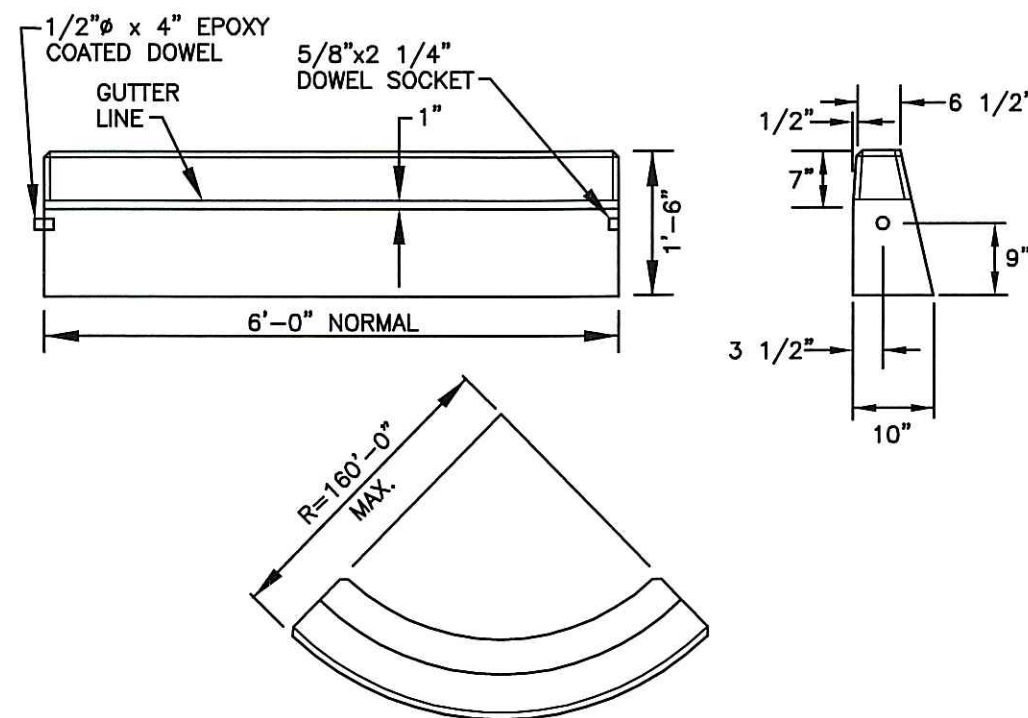
(IN FEET)
1 inch = 50 ft.



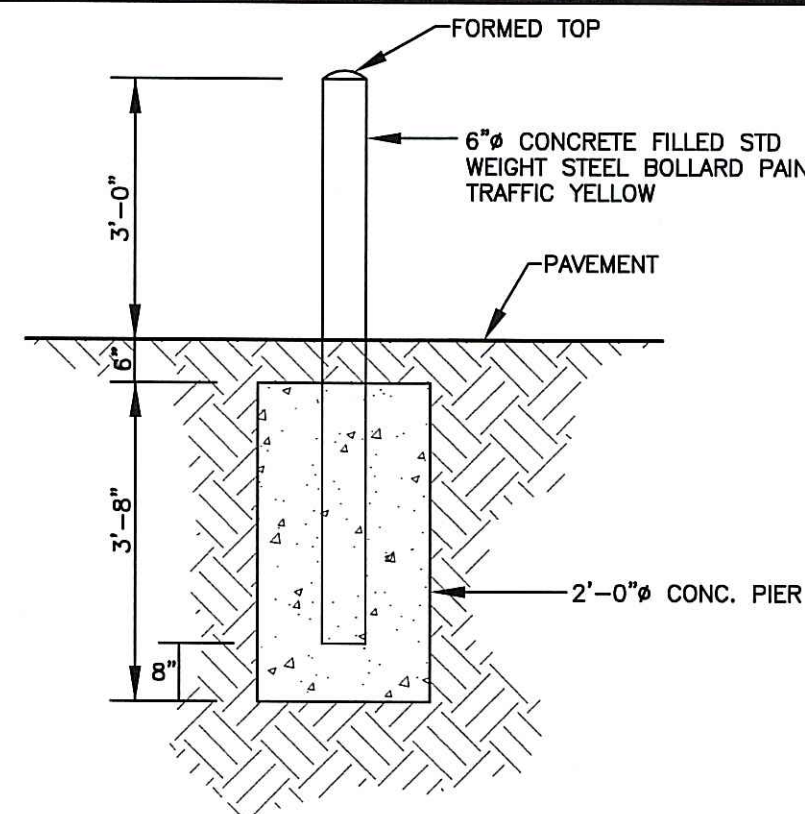


NOTE:
THE ABOVE PAVEMENT THICKNESS REPRESENTS THE MINIMUM THICKNESS FOR PASSENGER VEHICLE AREAS. PAVEMENT DEPTH TO BE BASED UPON SITE SPECIFIC SOIL CONDITIONS.

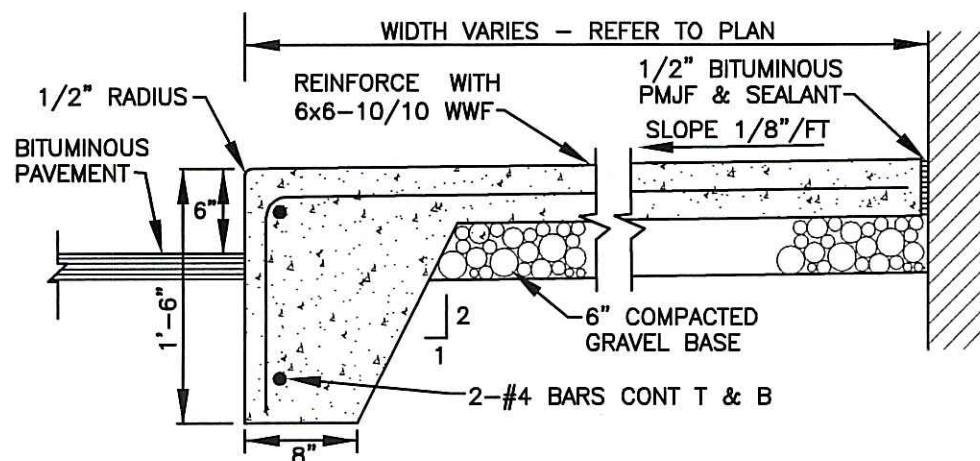
TYPICAL PAVEMENT STRUCTURE DETAIL
NOT TO SCALE



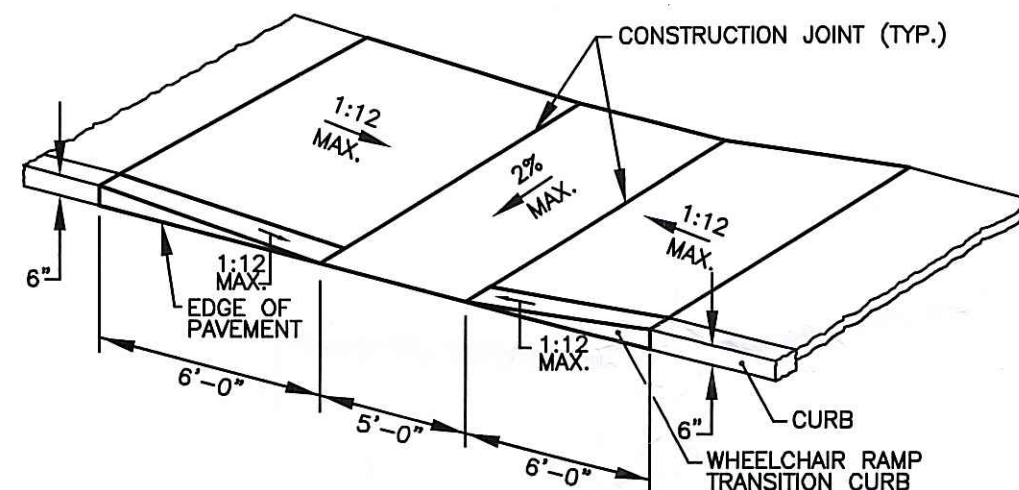
CIRCULAR CURB
PRECAST CONCRETE CURB
NOT TO SCALE



TYPICAL BOLLARD DETAIL
NOT TO SCALE

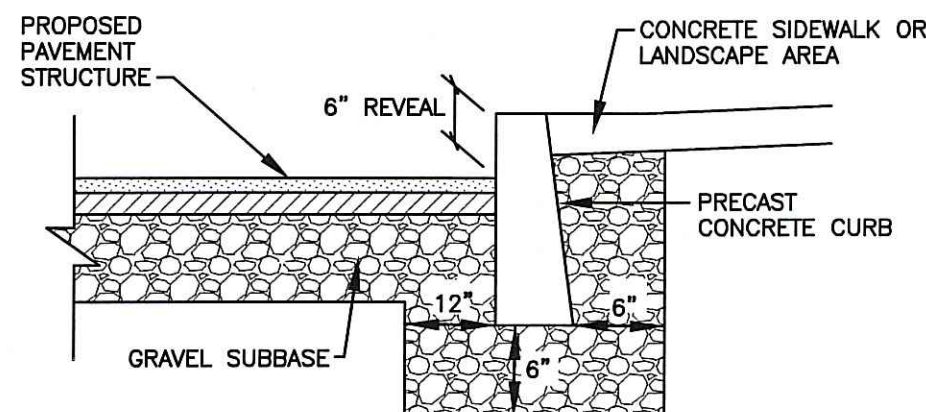


TYPICAL CONCRETE WALK DETAIL
NOT TO SCALE

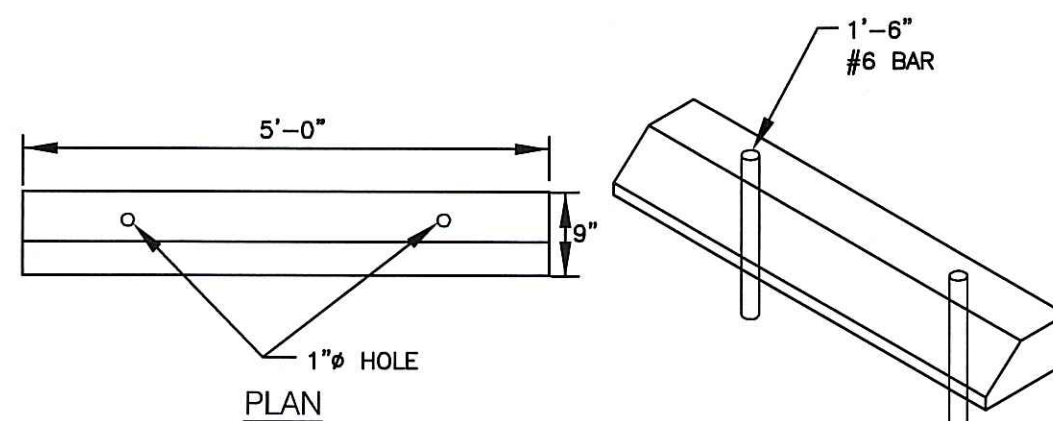


NOTE:
ALL WHEELCHAIR RAMPS SHALL BE IN ACCORDANCE WITH THE LOCAL DOT STANDARDS, STATE BUILDING CODE AND ADA REQUIREMENTS.

WHEELCHAIR RAMP DETAIL
NOT TO SCALE



TYPICAL PRECAST CONCRETE CURB INSTALLATION
NOT TO SCALE



FRONT ELEVATION
SIDE ELEVATION
PRECAST CONCRETE CAR STOPS DETAIL
NOT TO SCALE

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W. Joseph Carey

CE
- Civil
- Transportation
- Environmental
- Site Planning
- Land Surveying
**CROSSMAN
ENGINEERING, INC.**
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Warwick, Rhode Island 02886
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STEVEN M. CABRAL
No 4847
REGISTERED
PROFESSIONAL ENGINEER

PROJECT TITLE:

**BANK and
OFFICE BUILDING**

A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND

JAN 18 2008

PREPARED FOR:

WELLFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:

**MISCELLANEOUS DETAILS
PLAN No. 1**

DATE: JULY 2007 SCALE: NO SCALE

DWG. NAME: 1357-18-DET1-REV1.dwg

NO.	DATE	REVISION
1	10/23/07	DEM COMMENTS/SITE MODIFICATIONS

DRAWING NUMBER

C17

SHEET: 18 OF 22

AGENCY REVIEW SUBMISSION

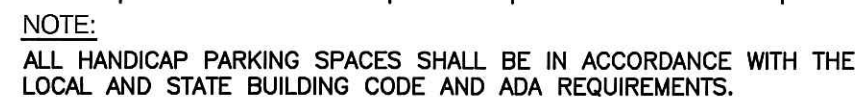


Diagram illustrating the dimensions for a person in a wheelchair using a white cane. The person is seated in a wheelchair, and the cane is held in their right hand. The dimensions shown are:

- Overall height of the person: 27"
- Height of the head: 5"
- Width of the head: 6"
- Height of the shoulders: 2"
- Width of the shoulders: 6"
- Height of the hips: 8"
- Width of the hips: 6"
- Radius of the wheelchair wheel: 18"
- Width of the wheelchair seat: 26"
- Width of the wheelchair base: 5"

The cane is labeled "WHITE" and is shown in a vertical position.

NOTE:
ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE.

Diagram illustrating the dimensions and components of a stop sign:

- STOP BAR WHITE REFLECTIVE**: Points to the white reflective bar above the sign.
- 12"**: Dimension of the white reflective bar.
- 5'-0"**: Dimension of the white reflective bar.
- 8'-0"**: Dimension of the sign face.
- STOP**: The word on the sign face.
- 8'-6"**: Dimension of the sign face.

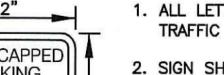
12"Ø CONCRETE BOLLARD

MOUNTING DETAIL FOR SIGNS WITHIN PAVED PARKING AREA.

MOUNTING DETAIL FOR SIGNS BEHIND CURBING.

NOTE:

1. ALL LETTERS ARE 1" SERIES "C" PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD),
2. SIGN SHALL BE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
3. CONTRACTOR SHALL VERIFY THE POSTED "FINE" AMOUNT WITH THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
4. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE.
5. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MUTCD.
6. SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, ALIGNED WITHIN 12" OF CENTER OF THE PARKING SPACE.
7. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE.



The diagram shows a rectangular sign with a blue background and white border. At the top, it says 'HANDICAPPED PARKING'. In the center is a white square containing a blue wheelchair symbol. Below the symbol, it says 'CERTIFICATE REQUIRED' and 'TOWING ENFORCED \$XX FINE'. To the right of the sign, a vertical dimension line indicates a height of 18".



The diagram shows a rectangular sign with a blue background and white border. It says 'VAN ACCESSIBLE'. To the right of the sign, a vertical dimension line indicates a height of 6".

SIGN NOTES:

1. SIGN POSTS SHALL BE GALVANIZED STEEL U-CHANNEL (3 1/2" WIDE-MIN.) AND INSTALLED IN CONFORMANCE WITH MUTCD AND LOCAL STANDARDS AND SPECIFICATIONS.
2. POSTS SHALL BE DRIVEN TO A DEPTH OF 4 FEET (MIN.)
3. THE EDGE OF THE SIGN SHALL BE 18" FROM THE FACE OF THE CURB.
4. WITHIN SIDEWALK LOCATIONS THE SIGN POST WILL BE INSTALLED WITHIN A 8"x8"x6" SQUARE BOX FORM.

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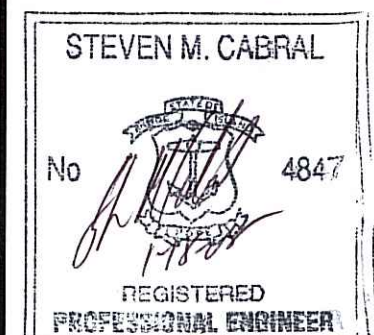
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 26 2008 FILE # 07-0333
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
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W. Joseph Carey



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OFFICE BUILDING*

**A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND**

JAN 18 2008

PREPARED FOR:

WELLFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:
MISCELLANEOUS DETAILS
PLAN No. 2

DATE: JULY 2007	SCALE: NO SCALE
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DWG. NAME: 1357-20-DET2-REV1.dwg

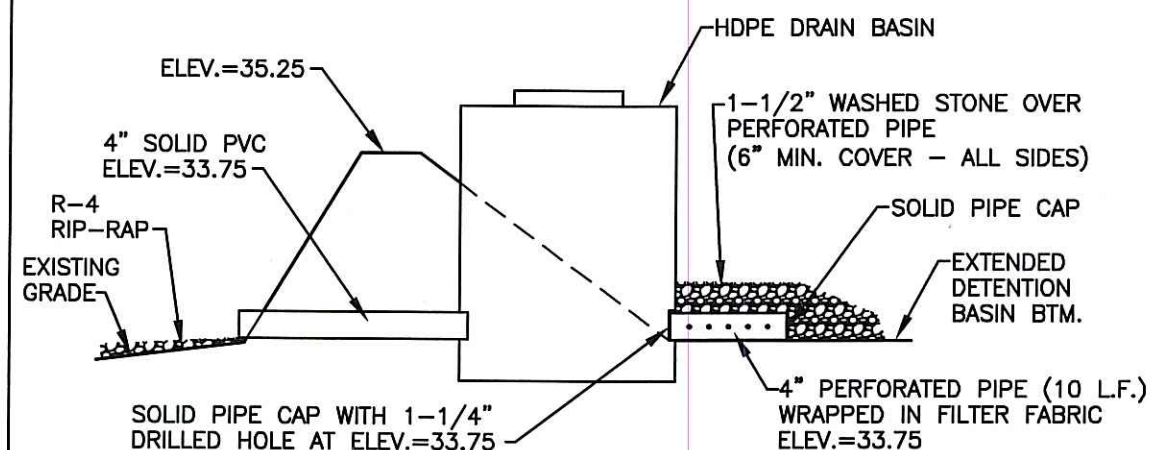
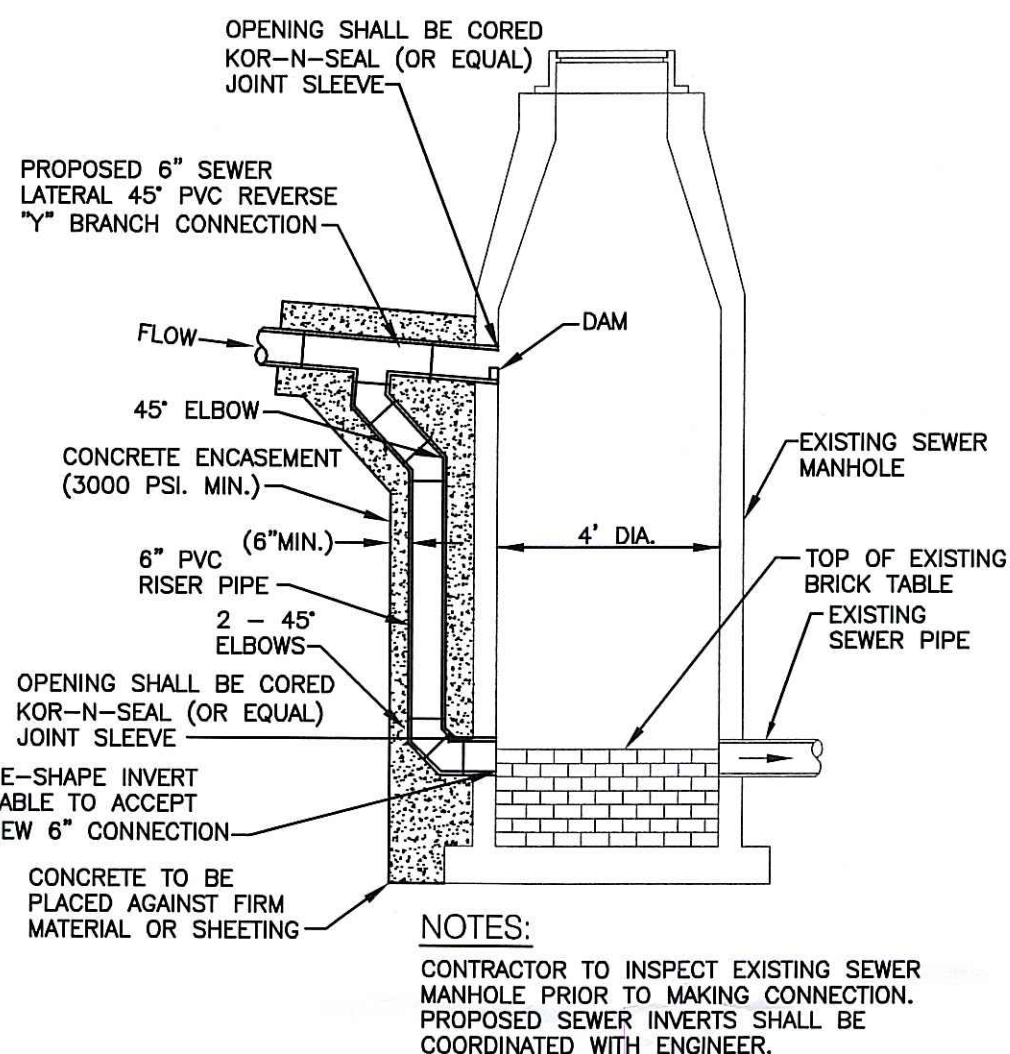
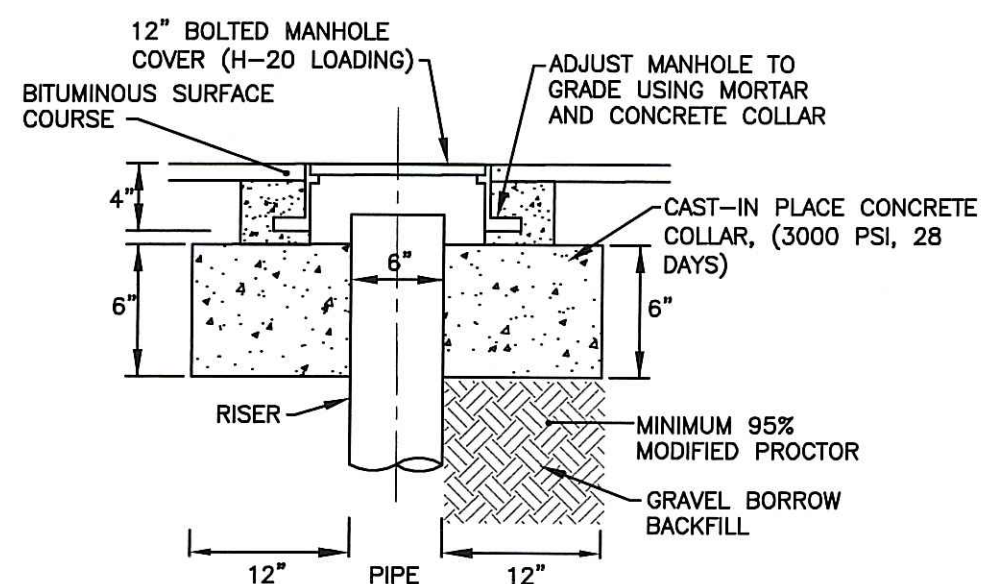
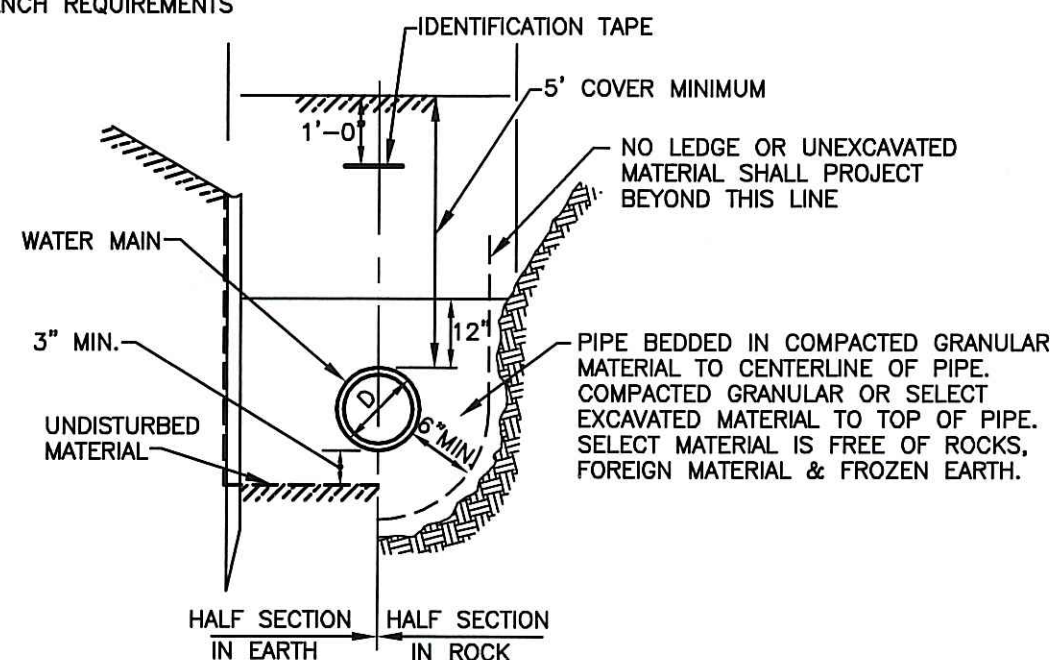
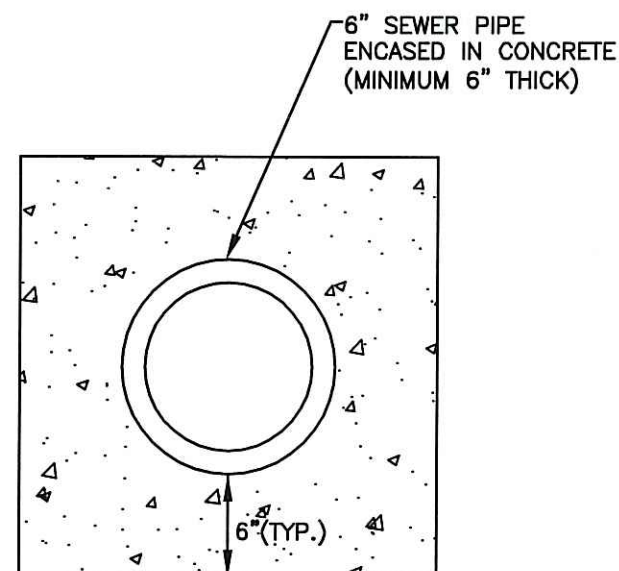
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DRAWING NUMBER

C18

SHEET: 19 OF: 22

AGENCY REVIEW SUBMISSION



GENERAL SEWER NOTES

1. INSTALLATION OF THE SEWERAGE FACILITIES SHALL BE IN ACCORDANCE WITH THE WARWICK PUBLIC WORKS SPECIFICATIONS & REQUIREMENTS.
2. PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE STANDARDS AND RECEIVE THE WRITTEN APPROVAL, BASED ON MANUFACTURER'S DRAWINGS AND OTHER DATA, FROM THE ENGINEER.
3. ALL SEWERAGE FACILITIES SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO ACCEPTANCE.
4. AS-BUILT DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR AS A CONDITION FOR OWNER ACCEPTANCE OF THE NEW SEWERAGE FACILITIES.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARDS AND SPECIAL DETAILS, AND STANDARD SPECIFICATIONS. ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION WITHIN THE LIMITS OF WORK AS SHOWN ON THE DRAWINGS.
7. ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER. ALL GRASSED AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE LOAMED AND SEEDDED.
8. LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITIES INCLUDING "DIG-SAFE" PRIOR TO STARTING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COST OF REPAIRS SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
9. RELATION TO WATER LINES:
 - A. HORIZONTAL SEPARATION: WHENEVER POSSIBLE, SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET (3.0 m), HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER LINE. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER LINE IF:
 1. IT IS LAID IN A SEPARATE TRENCH, OR IF
 2. IT IS LAID IN THE SAME TRENCH WITH THE WATER LINE LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND IF
 3. IN EITHER CASE THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM (INVERT) OF THE WATERLINE.
 - B. VERTICAL SEPARATION: WHENEVER SEWER MUST CROSS UNDER WATER LINES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM OF THE WATER LINE. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER LINE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET (3.0 m) ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER LINE SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
 - C. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL-JOINT CEMENT LINED DUCTILE IRON PIPE OR OTHER EQUIVALENT BASED ON WATER TIGHTNESS AND STRUCTURAL SOUNDNESS. BOTH PIPES SHALL BE PRESSURE TESTED BY AN APPROVED METHOD TO ASSURE WATER TIGHTNESS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING REQUIRED IN THE SEWER INSTALLATION.
11. THE PROPOSED GRAVITY SANITARY SEWER PIPES SHALL BE 6" SDR-35, AS SHOWN ON PLANS.
12. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE ELEVATIONS OF EXISTING SEWER LINES PRIOR TO INSTALLATION.

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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- Civil
- Transportation
- Environmental
- Site Planning
- Land Surveying

STEVEN M. CABRAL

No 484

REGISTERED
PROFESSIONAL ENGINEER

PROJECT TITLE:

*BANK and
OFFICE BUILDING*

A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND
JAN 18 2008

PREPARED FOR

WELLFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:

MISCELLANEOUS DETAILS
PLAN No. 3

DATE: JULY 2007	SCALE: NO SCALE
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DWG. NAME: 1357-20-DET3-REV1.dwg

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DRAWING NUMBER

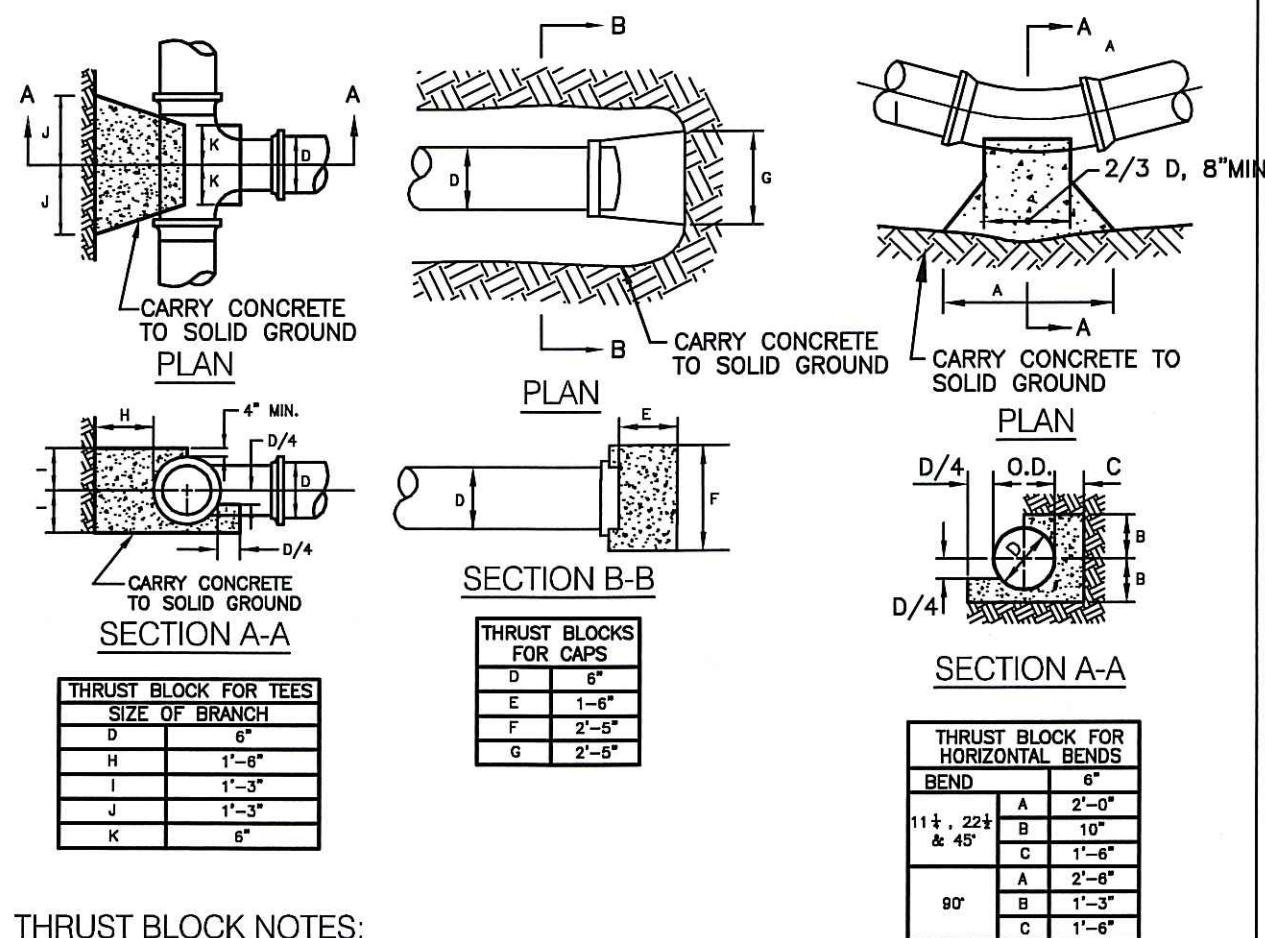
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SHEET: 20 OF 22

AGENCY REVIEW SUBMISSION

WATER NOTES:

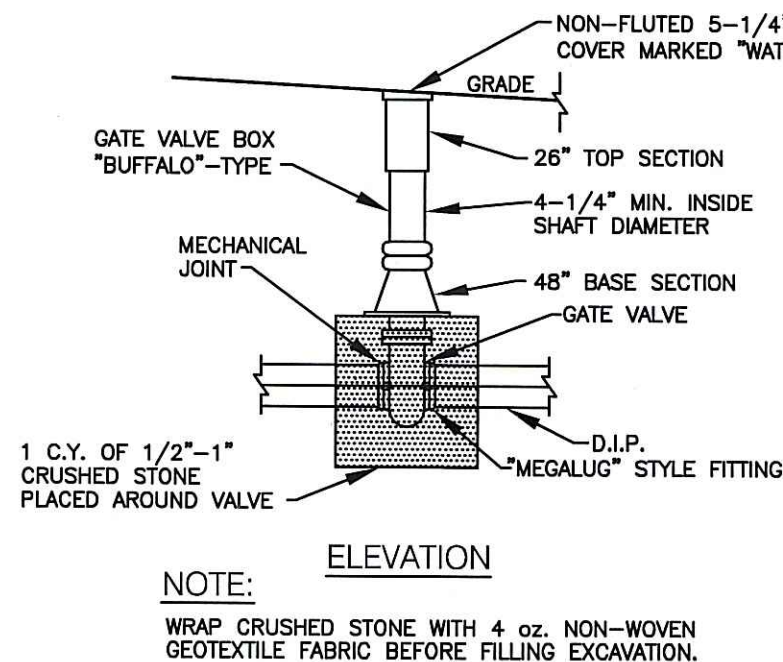
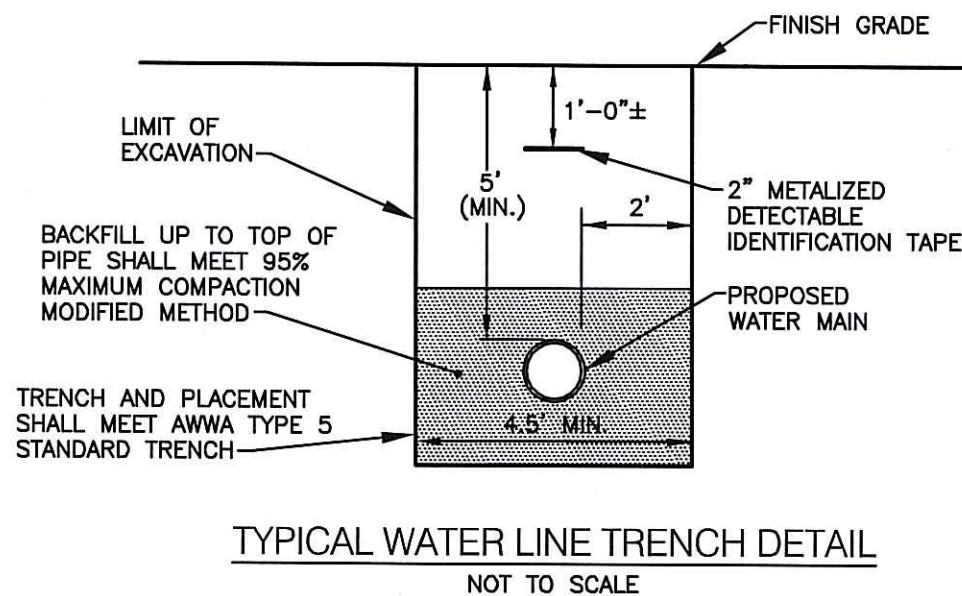
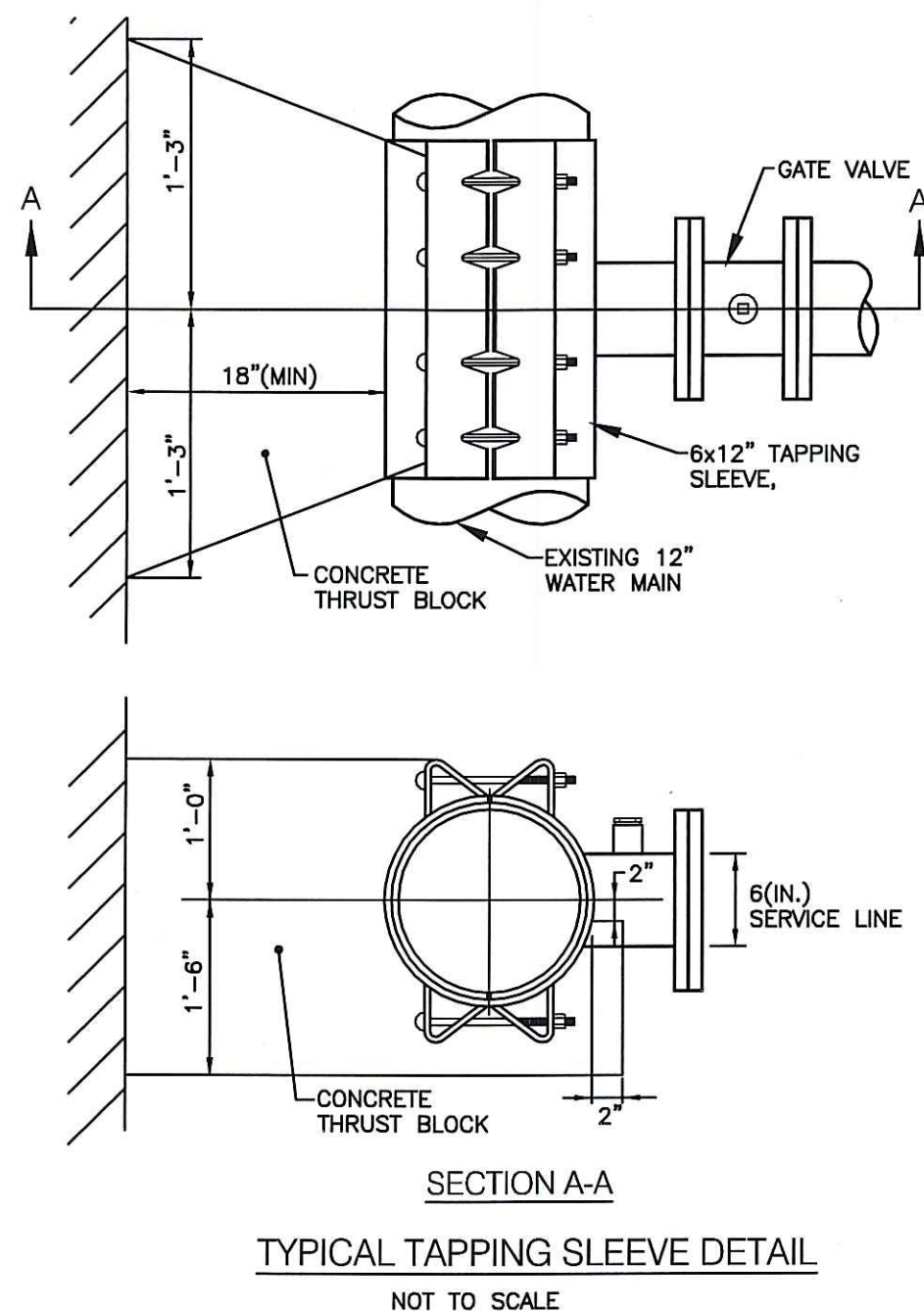
- ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE WARWICK PUBLIC WORKS DEPARTMENT REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- ALL FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CLASS 350 CEMENT MORTAR LINED COMPACT STYLE (BY AMERICAN MANUFACTURER ONLY). CONTRACTOR HAS OPTION TO USE PVC C900 PIPE AND FITTINGS IN LIEU OF DUCTILE IRON. FITTINGS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C153/A21.53. MECHANICAL JOINTS SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C111/A21.11.
- WATER PIPE SHALL BE DOUBLE CEMENT MORTAR LINED DUCTILE IRON PIPE CL52 OR PVC C900 PIPE AND SHALL MEET THE REQUIREMENTS OF ANSI/AWWA C151/A21.51.
- CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, "MEGA-LUG" RESTRAINED MECHANICAL JOINTS, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
- "MEGA-LUG" RESTRAINED MECHANICAL JOINTS SHALL BE INSTALLED IN LOCATIONS INDICATED AND AT ALL BENDS, FITTINGS, PLUGS, ETC.
- PRESSURE AND LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO AMERICAN WATER WORKS ASSOCIATION (AWWA) RECOMMENDATIONS, WARWICK PUBLIC WORKS DEPARTMENT REQUIREMENTS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- ALL FITTINGS, PIPE, JOINTS, ETC. SHALL BE DESIGNED FOR 1.5 TIMES WORKING PRESSURE BUT NOT LESS THAN 150 PSI.
- WATER PIPE SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPE, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER MAIN IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER MAIN PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR WATER IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER MAIN. THE USE OF DUCTILE IRON TIGHT JOINT SEWER PIPE IN LIEU OF CONCRETE ENCASEMENT WILL BE CONSIDERED UPON CONTRACTORS SUBMITTAL OF SPECIFICATIONS TO ENGINEERS FOR APPROVAL.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS PIPE, RESTRAINED MECHANICAL JOINTS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE WARWICK PUBLIC WORKS DEPARTMENT AND ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
 - TYPE AND MANUFACTURER OF SERVICE BOXES
 - TYPE AND MANUFACTURER OF CORPORATIONS AND CURB STOPS
 - TYPE AND MANUFACTURER OF VALVE BOXES
 - TYPE AND MANUFACTURER OF D.I. MECHANICAL JOINTS AND FITTINGS
 - TYPE AND MANUFACTURER OF TAPPING SLEEVES
 - TYPE AND MANUFACTURER OF DI PIPING
 - TYPE AND MANUFACTURER OF RESILIENT SEALED GATE VALVES
 - TYPE AND MANUFACTURER OF POLYETHYLENE SERVICE LINE
- WHEN THIS PROJECT IS COMPLETE, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE WATER DEPARTMENT AND ENGINEER TWO SETS OF AS BUILT PLANS (ONE BLUE LINE, ONE REPRODUCIBLE COPY-MYLAR OR SEPIA) WHICH INDICATES:
 - ALL CURB STOPS WITH APPROPRIATE LOCATING MEASUREMENTS - MAIN-TO-CURB AND MEASUREMENTS FROM PERMANENT STRUCTURES.
 - A SCHEDULE OF MATERIALS WHICH INDICATES: AND MEASUREMENTS FROM PERMANENT STRUCTURES.
 - ITEM QUANTITY
 - MANUFACTURER
 - DESCRIPTION
 - INCLUDE SERIAL #'S AS APPLICABLE
 - MATERIAL
 - OPERATION CHARACTERISTICS
- THE CONTRACTOR SHALL VERIFY THE FIRE SERVICE PIPE SIZE REQUIREMENT WITH THE BUILDING ARCHITECT AND PLUMBING/FIRE SPRINKLER CONTRACTOR PRIOR TO ORDERING PIPE, METERS AND BACKFLOW PREVENTORS. COORDINATION WITH THE WARWICK PUBLIC WORKS DEPARTMENT IS REQUIRED TO DETERMINE THE EXISTING WATER PRESSURE AVAILABLE.
- ALL VALVES TO BE RESILIENT WEDGE GATE VALVES.
- ALL FITTINGS TO BE RESTRAINED WITH MECHANICAL JOINTS. RESTRAINTS TO BE MEGA-LUG OR EQUAL. ALL DESIGN AND/OR PLACEMENT SHALL BE REVIEWED AND APPROVED BY THE QUONSET/DAVISVILLE DEVELOPMENT.
- RESTRAIN ALL PUSH-ON BELL JOINTS WITHIN 20 FEET OF MECHANICAL JOINTS. RESTRAINTS TO BE SERIES 800 COVER-ALL BY EBAA IRON OR EQUAL.



THRUST BLOCK NOTES:

- ALL CONCRETE TO BE CLASS B.
- BUTTRESS DIMENSIONS SHOWN ARE MINIMUM. DIMENSIONS ARE BASED UPON SOIL BEARING PRESSURE OF 1500 P.S.F. LATERAL AND STATIC WATER PRESSURE OF 150 P.S.I. WHERE PRESSURE EXCEEDS 150 P.S.I. OR WHERE SOIL BEARING PRESSURE IS LESS THAN 1500 P.S.F. LATERAL; OR SOIL CONDITIONS OR EXCAVATION LIMITS ENCOUNTERED DURING CONSTRUCTION MAKE IT UNFEASIBLE TO PLACE THRUST BLOCKS AGAINST UNDISTURBED EARTH OF THE PROPER BEARING CAPACITY. THE CONTRACTOR SHALL DESIGN, GET APPROVAL OF, AND PLACE SPECIAL REACTION BLOCKS OF SUFFICIENT WEIGHT TO RESIST THE FULL THRUST OF THE LINE UNDER TEST AND OPERATING PRESSURES. THE DESIGN OF SUCH BLOCKS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF WARWICK WATER DEPARTMENT AND THE ENGINEER BEFORE ACTUAL INSTALLATION TAKES PLACE.
- ALL THRUST BLOCKS SHALL BE CONCRETE 3,000 P.S.I. @ 28 DAYS AND BEARING AGAINST UNDISTURBED EARTH.

THRUST BLOCKS FOR CAPS, TEES AND HORIZONTAL BENDS



TYPICAL WATER GATE BOX INSTALLATION

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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W. Joseph Conley

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STEVEN M. CABRAL
No 4847
REGISTERED PROFESSIONAL ENGINEER

PROJECT TITLE:

BANK and OFFICE BUILDING

A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND

JAN 18 2008

PREPARED FOR:

WELLFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:

**MISCELLANEOUS DETAILS
PLAN No. 4**

DATE: JULY 2007 SCALE: NO SCALE

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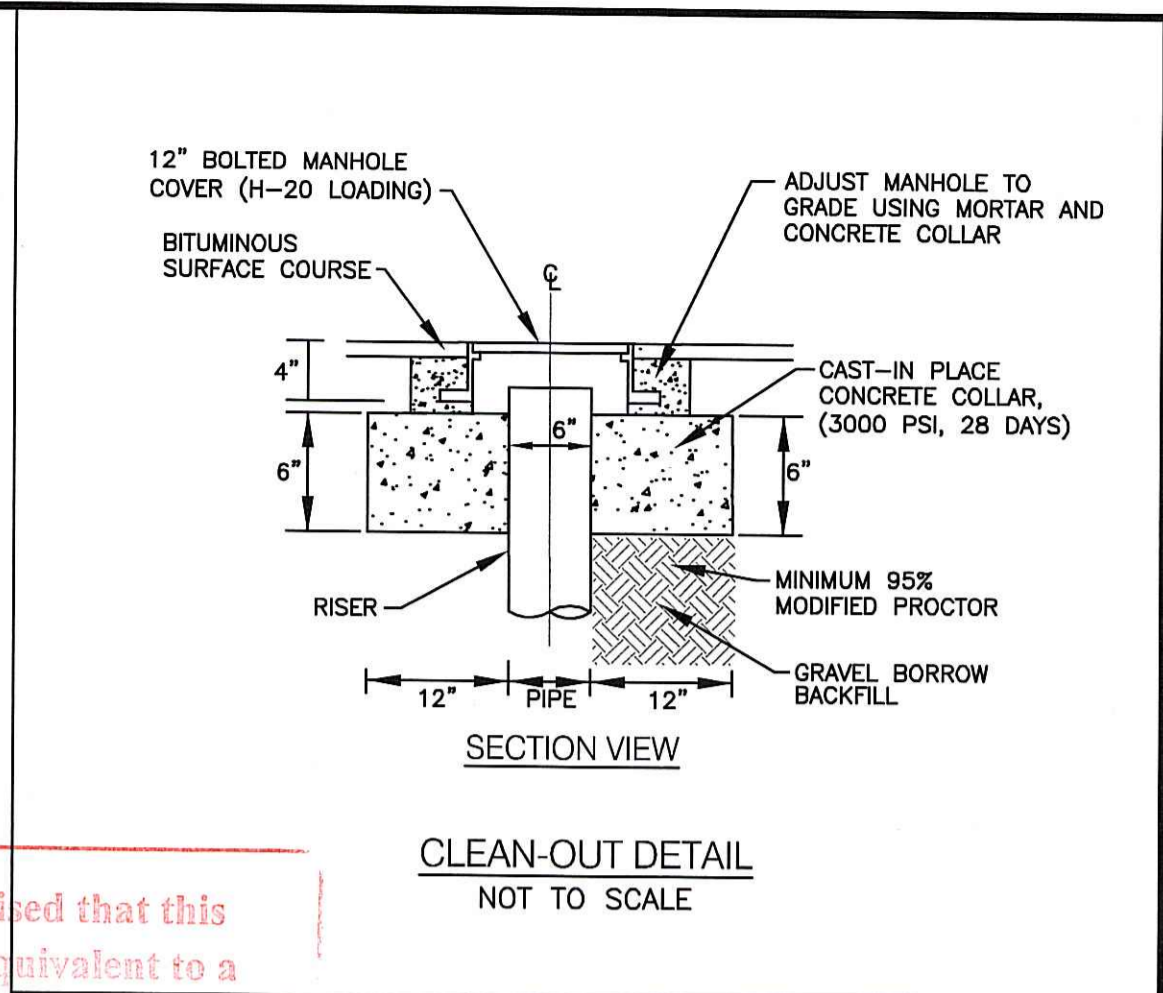
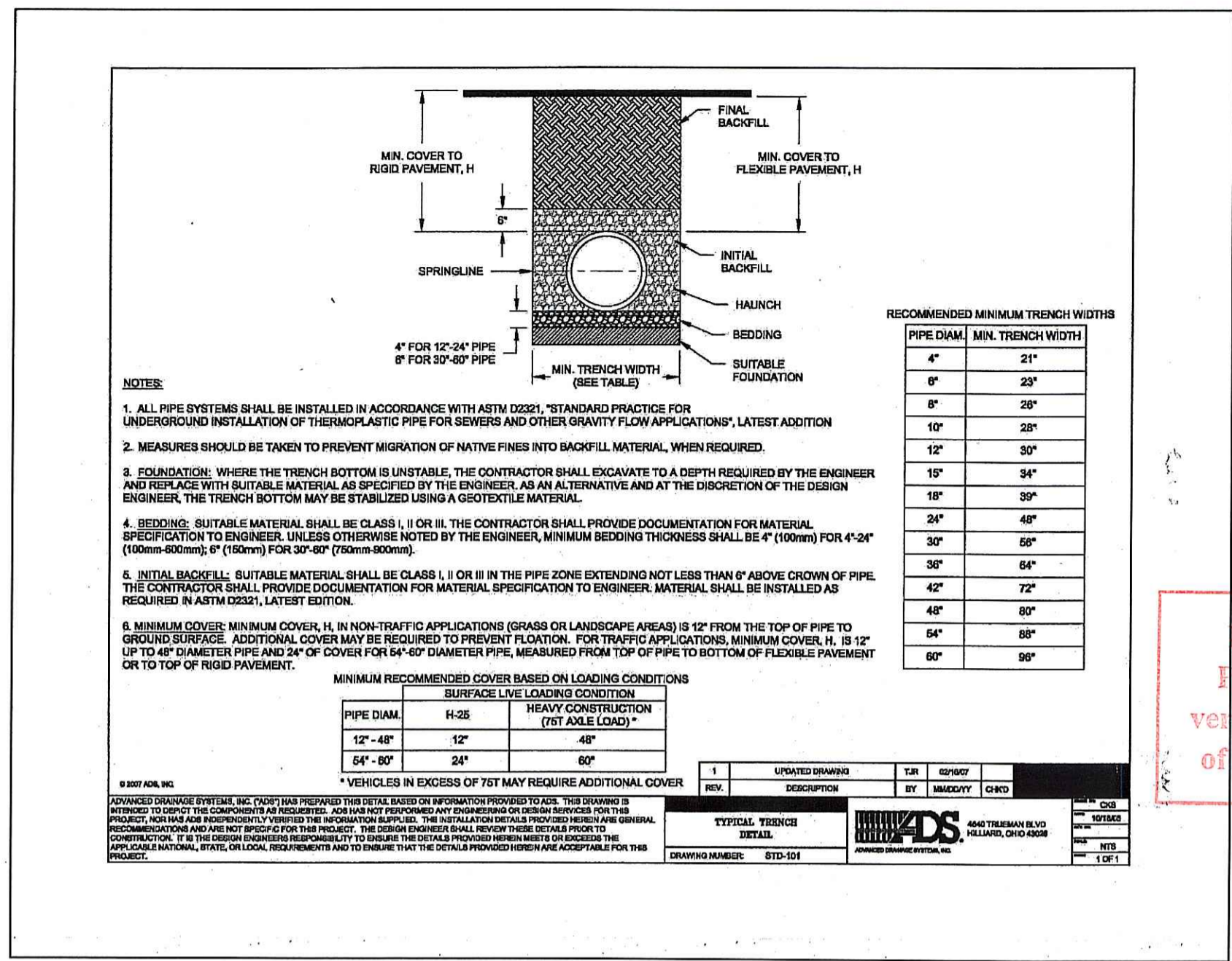
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1 10/23/07 DEM COMMENTS/SITE MODIFICATIONS

DRAWING NUMBER

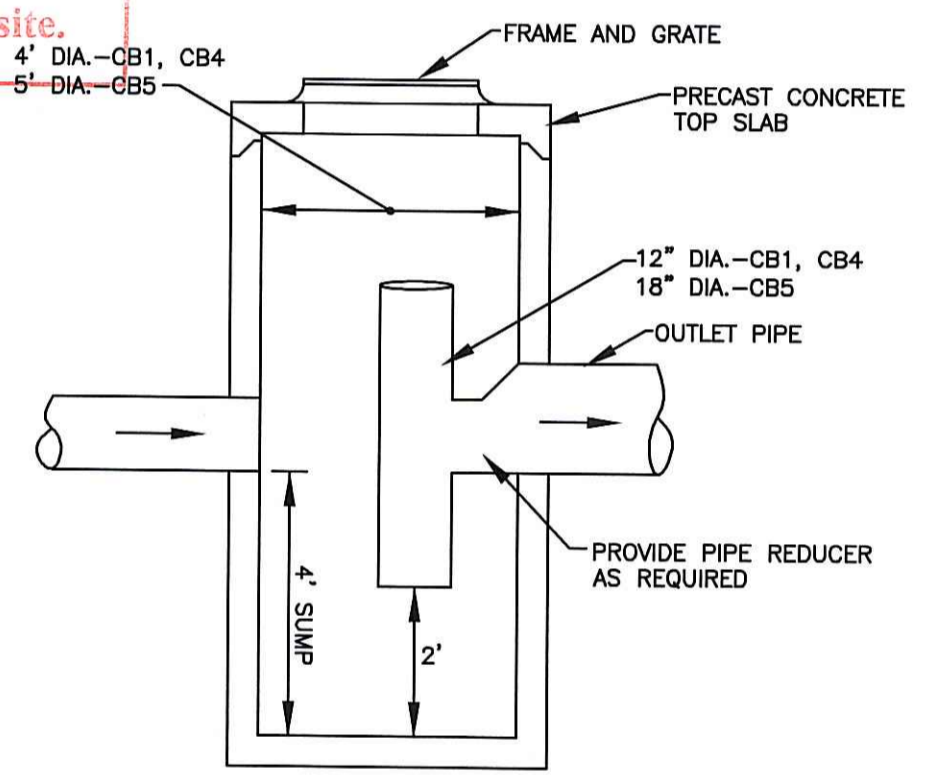
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SHEET: 21 OF 22

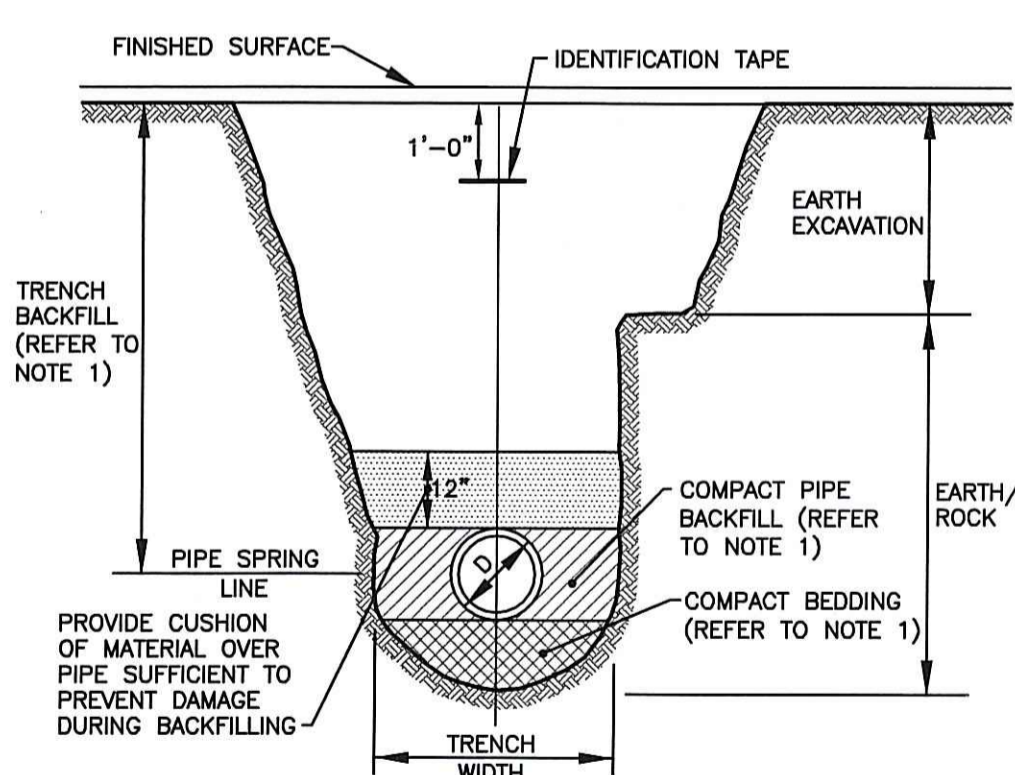
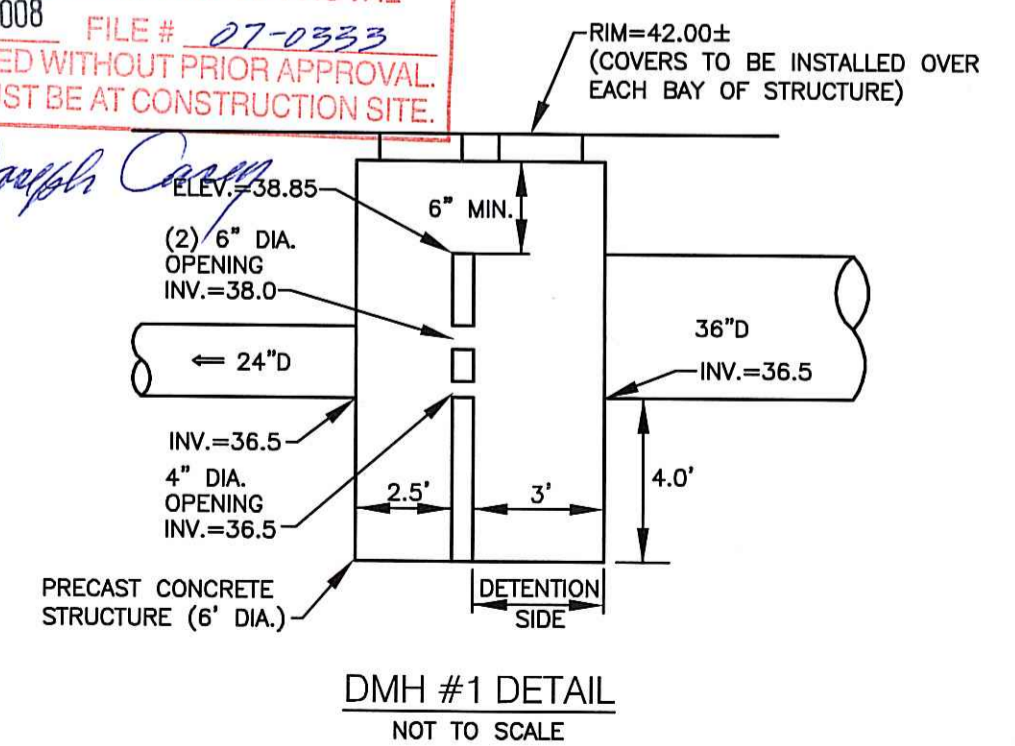
AGENCY REVIEW SUBMISSION



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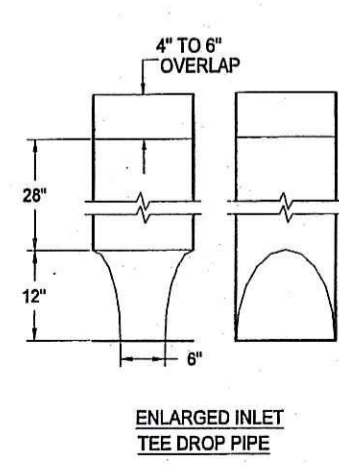
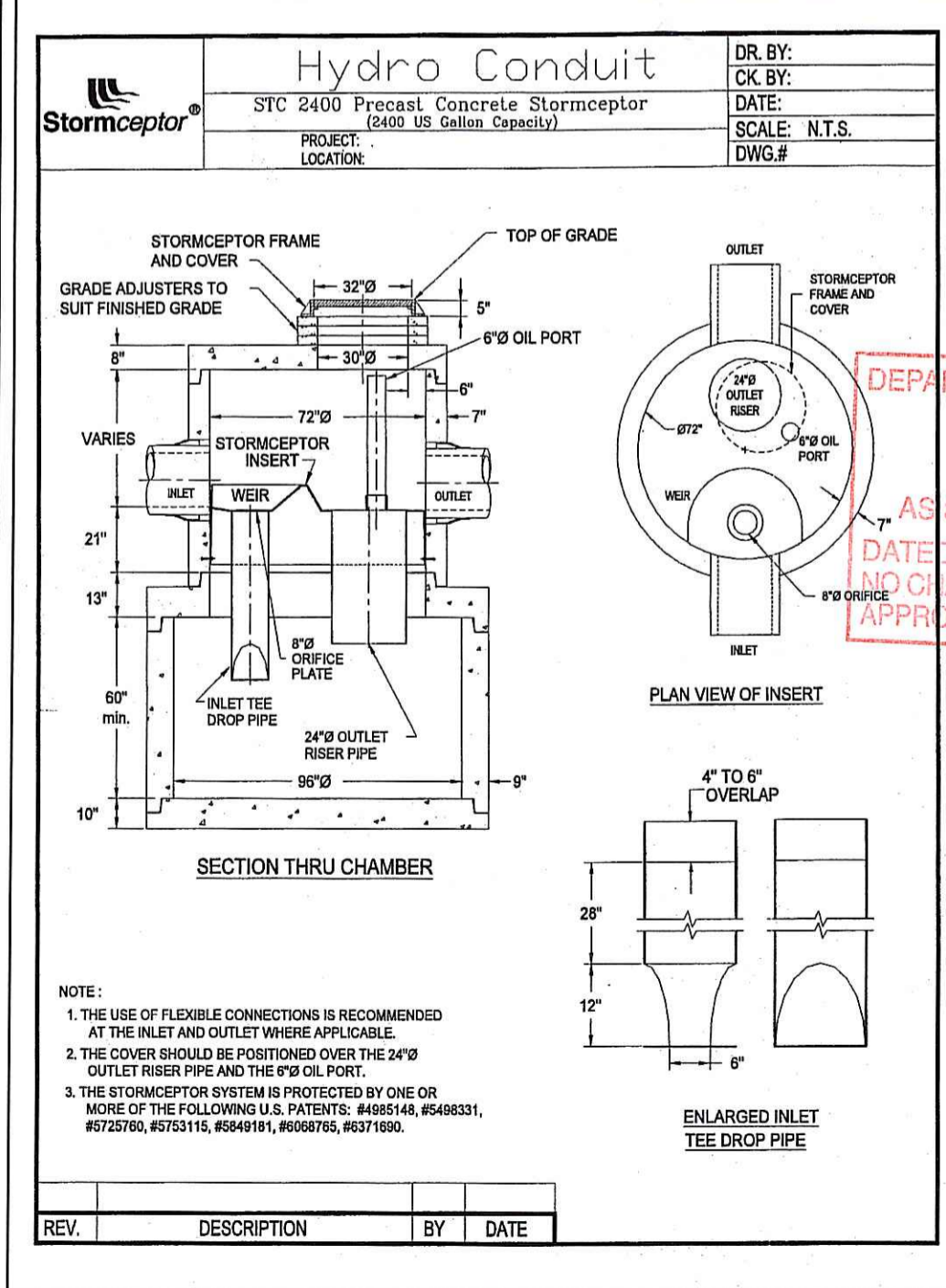


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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- NOTES:
- PIPE BEDDING SHALL CONSIST OF CRUSHED STONE, SAND OR SUITABLE EXCAVATED MATERIAL AS APPROVED BY ENGINEER. PIPE BACKFILL SHALL CONSIST OF CRUSHED STONE (WRAPPED IN FILTER FABRIC) OR GRAVEL (3" MINUS, WITH SIEVE ANALYSIS APPROVED BY ENGINEER), OR OTHER APPROVED MATERIAL. TRENCH BACKFILL SHALL CONSIST OF SUITABLE EXCAVATED MATERIAL OR OTHER APPROVED MATERIAL. ALL BEDDING/BACKFILL TO BE COMPACTED TO 95% DRY DENSITY, MODIFIED PROCTOR METHOD.
 - ALL TRENCH EXCAVATION AND ANY SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND OSHA REGULATIONS.
 - MINIMUM TRENCH WITH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 12". MAXIMUM TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 24".

TRENCH DETAIL
NOT TO SCALE



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No 484
REGISTERED PROFESSIONAL ENGINEER

PROJECT TITLE:
BANK and OFFICE BUILDING

A.P. 268 LOT 305
JEFFERSON BOULEVARD
WARWICK, RHODE ISLAND

JAN 18 2008

PREPARED FOR:
WELFLEET PROPERTIES, LLC.

2790 SOUTH COUNTY TRAIL
EAST GREENWICH, RHODE ISLAND

DRAWING TITLE:
**MISCELLANEOUS DETAILS
PLAN No. 5**

DATE: JULY 2007
SCALE: NO SCALE
DWG. NAME: 1357-22-DET5-REV1.dwg

NO.	DATE	REVISION
1	10/23/07	DEM COMMENTS/SITE MODIFICATIONS

DRAWING NUMBER
C21
SHEET: 22 OF 22
AGENCY REVIEW SUBMISSION