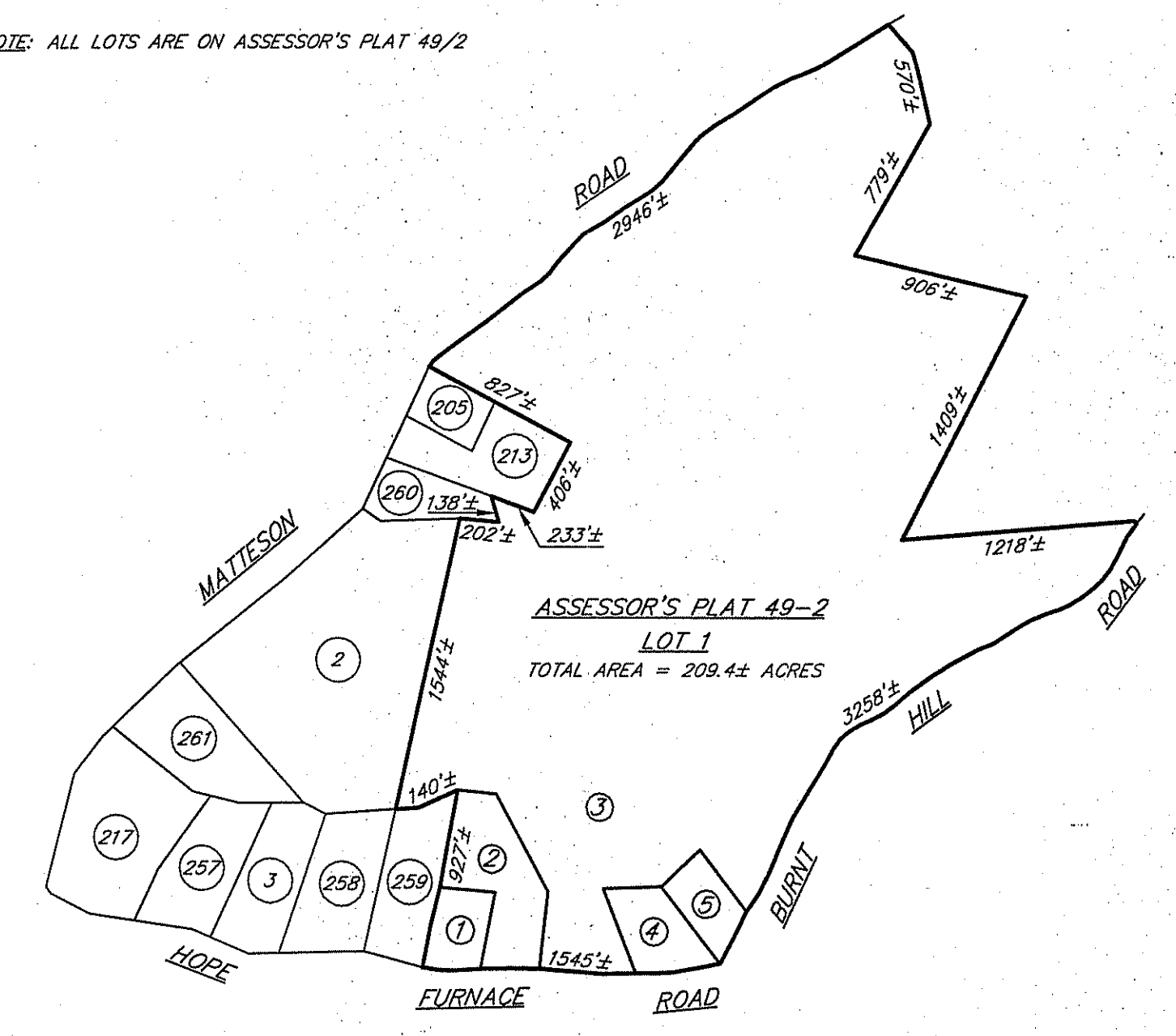


LOCATION PLAN SCALE: 1"=2000'

**NOTES**

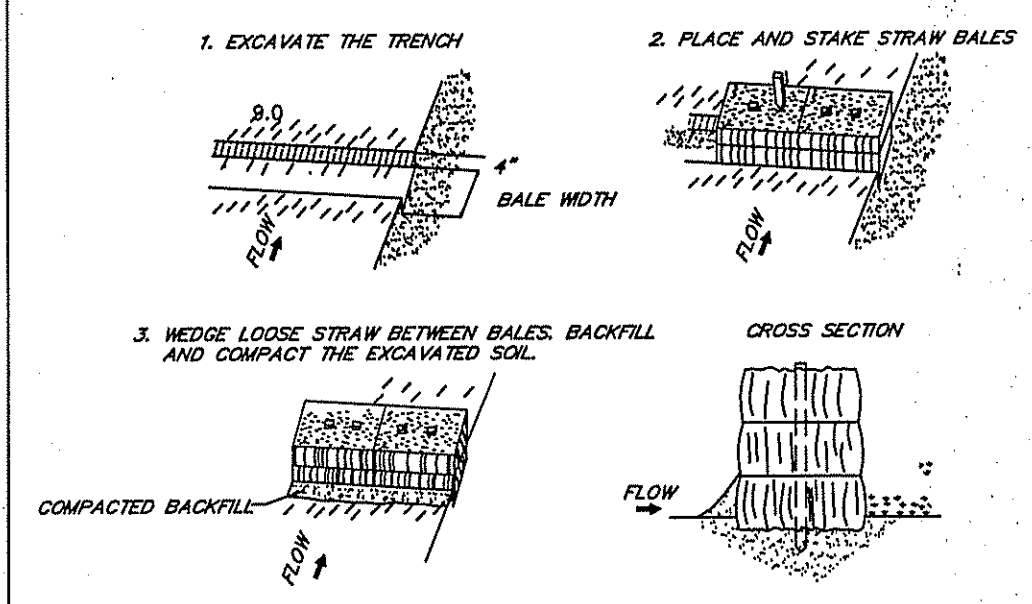
1. THE TOPOGRAPHICAL INFORMATION SHOWN ON THIS PLAN WAS COMPILED FROM AN AERIAL PHOTOGRAMMETRIC SURVEY. THE MAXIMUM POSSIBLE VERTICAL ERROR IS 1/2 THE CONTOUR INTERVAL. THE HORIZONTAL DATUM IS BASED UPON NAD 83 COORDINATES AND WAS OBTAINED USING GLOBAL POSITIONING SYSTEM DATA WITH A MAXIMUM POSSIBLE ERROR OF 1.5". THE BENCH MARK USED FOR THE SURVEY WAS A RAILROAD SPIKE FOUND IN POLE #103 AT THE CORNER OF HOPE FURNACE ROAD AND BURNT HILL ROAD. IT ORIGINATED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC MAP OF LAND ... OWNED BY MACERA REALTY, INC., PREPARED BY LUNAR MAPPING LTD." THE PLAN REFERENCED THE BENCH MARK AS "N.G.S. M.S.L. DATUM". THE CONTOUR INTERVALS ARE TWO FEET.
2. THE WETLANDS DELINEATION FLAGS WERE LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. IN MARCH AND APRIL 2007 USING GLOBAL POSITIONING SYSTEM DATA. DELINEATION WAS CONDUCTED BY NATURAL RESOURCE SERVICES, INC. IN FEBRUARY, 2007. THEIR REPORT IDENTIFIED A WOODED SWAMP (A & B-SERIES), SEVERAL WATERCOURSES LESS THAN 10 FEET WIDE (WITHIN THE SWAMP) AND ONE RIVER GREATER THAN 10 FEET WIDE (BOYD BROOK). THE JURISDICTIONAL SETBACKS INCLUDE 50' FOR THE SWAMP, 100' FOR THE SMALL STREAM CHANNELS AND 200' FOR BOYD BROOK. ALL DELINEATIONS ARE SUBJECT TO VERIFICATION BY RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
3. SITE IS LOCATED WITHIN FLOOD HAZARD ZONE C (AREAS OF MINIMAL FLOODING) AND ZONE A (AREAS OF 100-YEAR FLOOD). BASE ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED. REFER TO F.I.R.M. COMMUNITY PANEL 440024 002 B JANUARY 2, 1981.
4. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
5. EXCEPT WHERE INDICATED SITE IS ENTIRELY WOODED.
6. NO SEWAGE DISPOSAL FACILITIES ARE PROPOSED WITHIN 150' OF THE EDGE OF ANY POND OR STREAM, NO STRUCTURES ARE WITHIN 75' OF THE EDGE OF ANY POND OR STREAM PER TOWN OF SCITUATE ZONING REGULATIONS SECTION 7.
7. THE SITE IS NOT WITHIN THE SCITUATE RESERVOIR WATERSHED CRITICAL RESOURCE AREA.
8. SITE WILL BE SERVICED BY PRIVATE WELLS.
9. FOR WATER TABLE DATA SEE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT INSPECTION REPORT FOR HOPE FURNACE ROAD & BURNT HILL ROAD DATED 6/14/07 AND THE SOIL EVALUATIONS OF THE SAME DATE.
10. THERE ARE NO EXISTING OR PROPOSED PUBLIC WATER SUPPLY SOURCES WITHIN 500' OF PROPOSED LOTS OTHER THAN THOSE SHOWN ON PLAN.
11. THERE ARE NO EXISTING OR PROPOSED SEWAGE DISPOSAL SYSTEMS WITHIN 100' OF THE PROPOSED SEWAGE DISPOSAL SYSTEMS OTHER THAN THOSE SHOWN ON THE PLAN.
12. THERE ARE NO EXISTING OR PROPOSED INDIVIDUAL WATER SUPPLIES WITHIN 200' OF THE PROPOSED SEWAGE DISPOSAL SYSTEMS OTHER THAN THOSE SHOWN ON THE PLAN.
13. HAYBALE EROSION CHECK (RI STANDARD 9.1.0) AND/OR SILT FENCE SHALL BE INSTALLED AT ALL LIMITS OF DISTURBANCE PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
14. ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD. PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM).
15. ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF ALL STATE AND LOCAL PERMITS.
16. ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
17. UNLESS OTHERWISE SHOWN THERE ARE NO KNOWN HISTORIC AREAS, CEMETERIES, FOUNDATIONS, ETC. ON THE SUBJECT PROPERTY.
18. UNLESS OTHERWISE SHOWN THERE ARE NO KNOWN EXTRAORDINARY OR UNUSUAL NATURAL FEATURES ON THE SUBJECT PROPERTY.
19. UNLESS OTHERWISE SHOWN THERE ARE NO KNOWN EXISTING STRUCTURES OR BUILDINGS ON THE SUBJECT PROPERTY.
20. EACH STAGE OF CONSTRUCTION OF THE INDIVIDUAL SEWAGE DISPOSAL SYSTEMS MUST BE SUPERVISED BY THE SYSTEM DESIGNER.

NOTE: ALL LOTS ARE ON ASSESSOR'S PLAT 49/2



COMPILATION PLAN SCALE: 1"=800'

THIS PLAN IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH A CLASS III STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY AND IS SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.

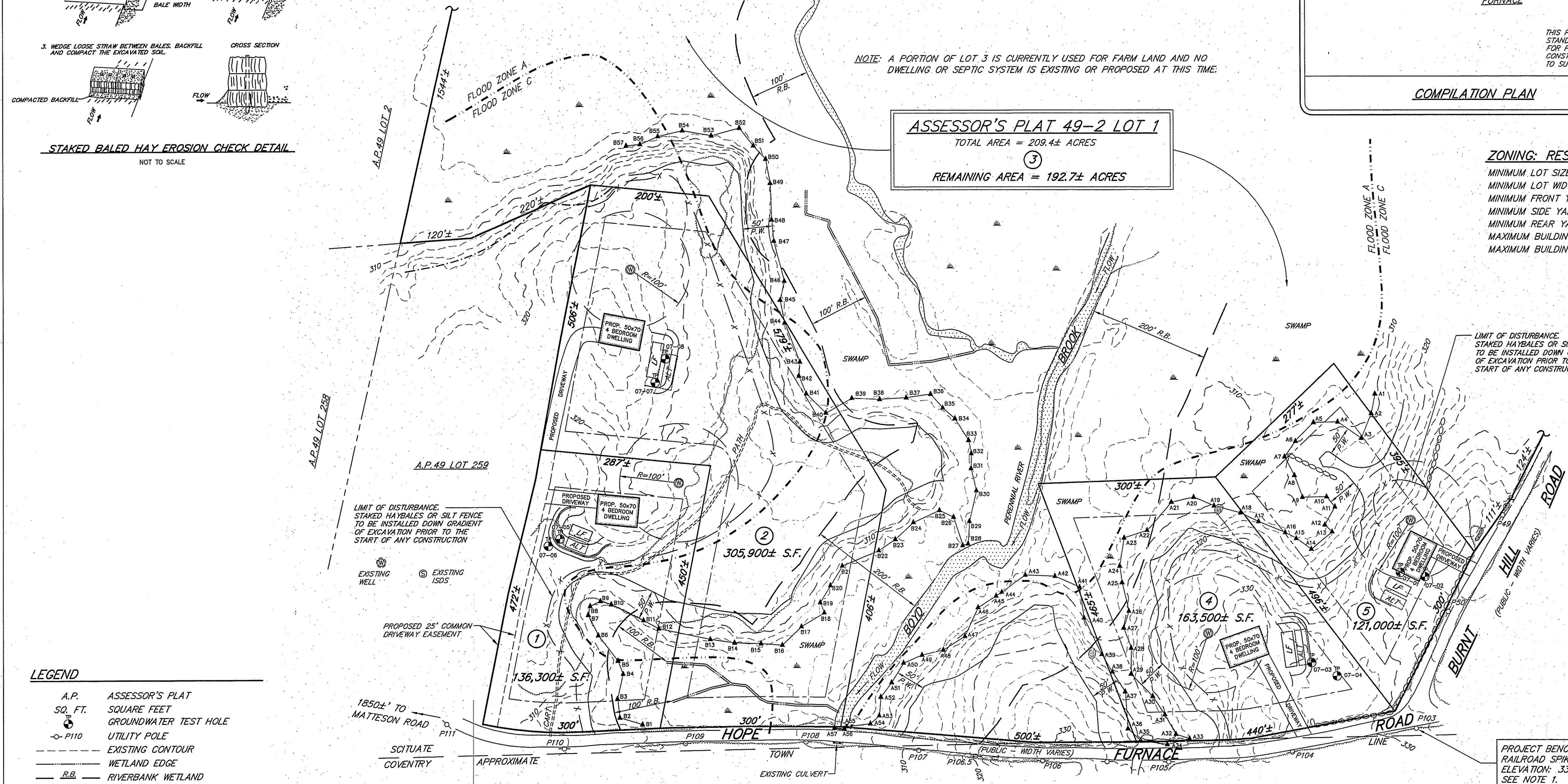


STAKED BALED HAY EROSION CHECK DETAIL NOT TO SCALE

NOTE: A PORTION OF LOT 3 IS CURRENTLY USED FOR FARM LAND AND NO DWELLING OR SEPTIC SYSTEM IS EXISTING OR PROPOSED AT THIS TIME.

**ASSESSOR'S PLAT 49-2 LOT 1**  
TOTAL AREA = 209.4± ACRES  
**3**  
REMAINING AREA = 192.7± ACRES

**ZONING: RESIDENCE RR-120 DISTRICT**  
MINIMUM LOT SIZE: 120,000 SQ. FT.  
MINIMUM LOT WIDTH: 300 FT.  
MINIMUM FRONT YARD DEPTH: 50 FT.  
MINIMUM SIDE YARD DEPTH: 35 FT.  
MINIMUM REAR YARD DEPTH: 60 FT.  
MAXIMUM BUILDING COVERAGE: 15%  
MAXIMUM BUILDING HEIGHT: 30 FT.



- LEGEND**
- A.P. ASSESSOR'S PLAT
  - SQ. FT. SQUARE FEET
  - ⊙ GROUNDWATER TEST HOLE
  - ⊙ P110 UTILITY POLE
  - - - EXISTING CONTOUR
  - - - WETLAND EDGE
  - - - RIVERBANK WETLAND
  - - - P.W. PERIMETER WETLAND
  - - - BUILDING SETBACK LINE
  - - - TREE LINE
  - ⊖ STONE WALL
  - ⊖ ROCK
  - ⊖ PROPOSED WELL
  - ⊖ LF PROPOSED LEACHFIELD
  - ⊖ ALT ALTERNATE AREA
  - ⊖ PROPOSED 4 BEDROOM DWELLING

**DESIGN CRITERIA**

LOT NO.	TEST HOLE	DESIGN DEPTH	PERC RATE	SYSTEM TYPE	SYSTEM SIZE	BOTTOM BED	STONE DEPTH	INVERT ELEV.	TOP FND.
1	07-05	2.5'	10	ELJEN	18'x36'	314.5'	-	315.08'	321.5'
2	07-08	6.0'	10	TRENCH	19'x57'	321.0'	1.0'	322.00'	329.5'
4	07-03	6.0'	10	TRENCH	19'x57'	327.0'	1.0'	328.00'	333.0'
5	07-01	6.0'	15	ELJEN	18'x40'	331.0'	-	331.58'	338.5'

PROJECT BENCH MARK: RAILROAD SPIKE FOUND IN POLE #103 ELEVATION: 331.92" N.G.S. M.S.L. DATUM SEE NOTE 1.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED DEC 10 2007 FILE # 07-0340  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

**OWNER/APPLICANT**

F.P.L. REALTY, LLC  
1 WHITEROCK ROAD  
COVENTRY, RHODE ISLAND 02816  
401-822-2730

**SCITUATE SURVEYS, INC.**  
410 TIOGUE AVENUE  
COVENTRY, RHODE ISLAND 02816  
401-821-8101  
LAND SURVEYING / MAPPING / SITE PLANNING

EXTEND L.O.D. FOR RECORD LOT 1  
EDGE STREET AND ROAD INDEX FILE UNDER:  
HOPE FURNACE ROAD & BURNT HILL ROAD  
THIS SURVEY AND PLAN CONFORMS TO A CLASS III STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.  
*Angelo M. Rainondi* 9/13/07  
ANGELO M. RAINONDI, PROFESSIONAL LAND SURVEYOR NO. 1782

ANGELO M. RAINONDI  
No. 1162  
PROFESSIONAL LAND SURVEYOR

**SUBDIVISION SUITABILITY**  
"MACERA PLAT"  
ASSESSOR'S PLAT 49-2 LOT 1  
HOPE FURNACE ROAD & BURNT HILL ROAD  
SCITUATE, RHODE ISLAND  
PREPARED FOR: F.P.L. REALTY, LLC  
DATE: JULY 23, 2007 REVISION: SEPTEMBER 7, 2007  
PROJECT NO.: SS2224 SHEET 1 OF 1  
DRAWING NO.: SS3322