

# Whittier Estates

A

## Major Subdivision

Map 56-4 Lots 38 & 40  
on Willard Avenue in  
South Kingstown, RI

Submitted to the  
Town of South Kingstown

for Combined Master/Preliminary Plan Review

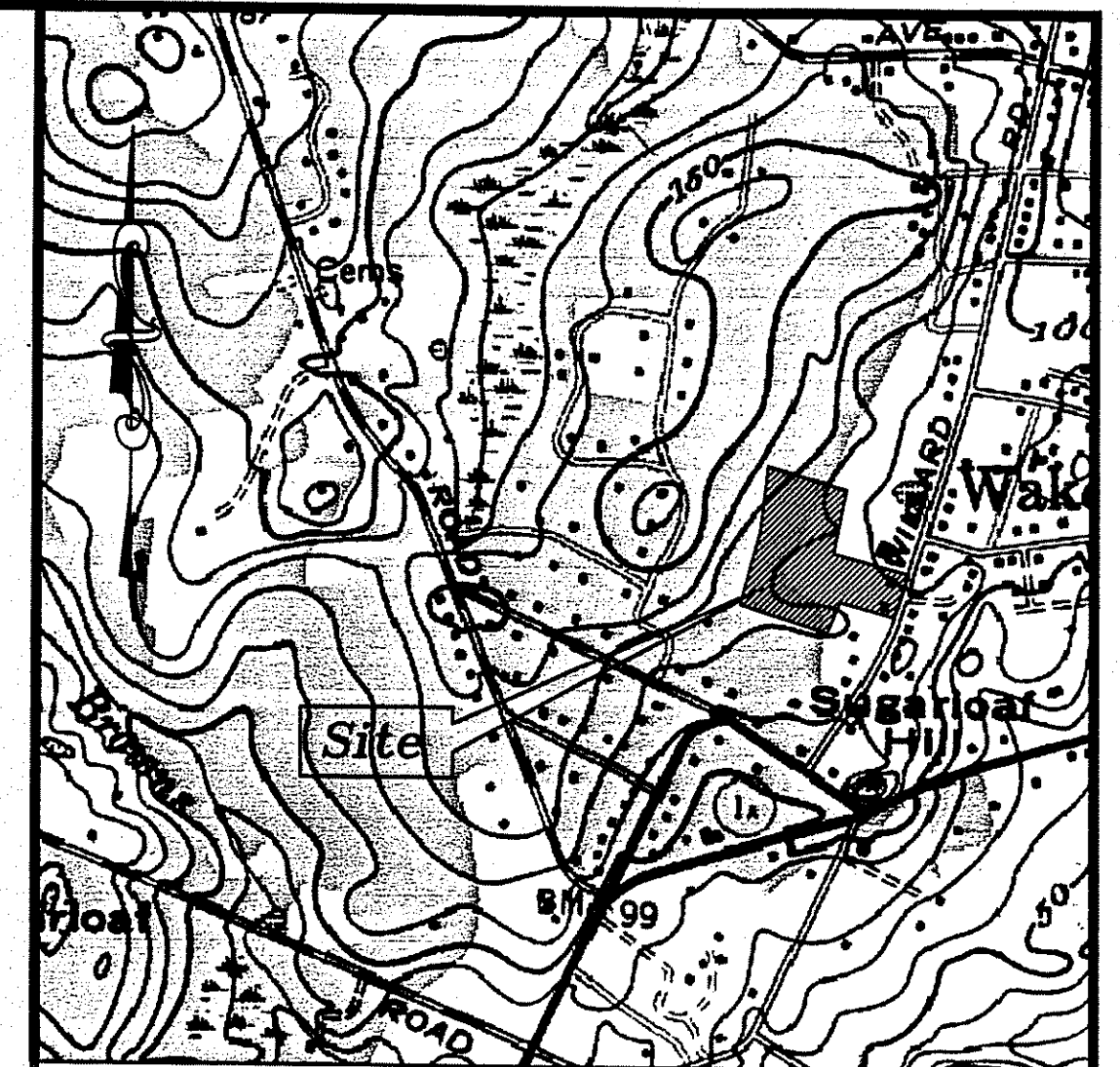
Zone R10

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED AUG 19 2010 FILE # *Dr-084*  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Charles A. Horvath*



Location Map  
(Not To Scale)

## Cover Sheet

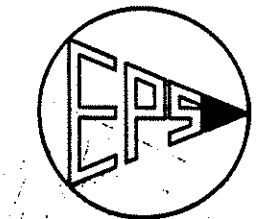
### Master/Preliminary "Whittier Estates" Major Subdivision

Prepared For:  
Robert Leonard/Mark Lubic  
P.O. Box 9  
Narragansett, Rhode Island 02882

Owner of Record:  
Linda M. Sisson  
52 Willard Avenue  
Wakefield, Rhode Island 02879

In The Town of:  
South Kingstown, Rhode Island  
Map 56-4, Lots 38 & 40  
R10 Zoning District

NO.	DATE	DESCRIPTION	BY
1	3/24/2010	TECHNICAL REVIEW COMMITTEE COMMENTS	C.A.C.
DRAWN BY:		CAC	DATE: FEBRUARY, 2010
CHECKED BY:		W.G. III	5931007 SUBDIVISION SINGLE-DUPLEX DRAWING NO.:
JOB NO.:		5931.007	SHEET 1 OF 12



Environmental Planning & Surveying, Inc.

Civil Engineering  
Surveying  
C A D Drafting

22 Kersey Road Wakefield, Rhode Island 02879 (401) 789-3628

**GENERAL NOTES**

1. SITE LIES WITHIN ZONE "C" OF FLOOD INSURANCE RATE MAP FOR THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY COMMUNITY PANEL NUMBER 445407 0018 E. MAP REVISED JUNE 16, 1992.
2. PROPOSED LOTS WILL BE SERVICED BY PUBLIC WATER AND SEWERS.
3. ESTIMATED INCREASE IN POPULATION OF PROPOSED SUBDIVISION IS 27.12 PEOPLE. (2 DUPLEX HOUSES X 5.22 PERSONS PER HOUSEHOLD + 7 SINGLE FAMILY X 2.47 PERSONS PER UNIT) ESTIMATED NUMBER OF SCHOOL-AGED CHILDREN IN PROPOSED SUBDIVISION= 7.
4. SUBJECT SITE DOES NOT LIE WITHIN A NATURAL HERITAGE AREA, NARROW RIVER SPECIAL AREA MANAGEMENT PLAN, SALT PONDS SPECIAL AREA MANAGEMENT PLAN OR A GROUNDWATER PROTECTION OVERLAY DISTRICT.
5. EXISTING GARAGE AND SHED (ON LOT 38) TO BE REMOVED.
6. SITE IS VEGETATED WITH A MIX OF HARDWOODS & BRUSH.
7. ALL SPECIFICATIONS AND DETAILS SHALL CONFORM TO THE LATEST TOWN OF SOUTH KINGSTOWN (TSK) STANDARD SPECIFICATIONS AND DETAILS, THE LATEST STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND AND THE RHODE ISLAND STANDARD DETAILS AND THE R.I. BRIDGE STANDARD DETAILS. THE AFOREMENTIONED STANDARDS ARE MADE A PART HERETO. THE TSK STANDARD SPECIFICATIONS AND DETAILS MAY BE OBTAINED AT THE DEPARTMENT OF PUBLIC SERVICES. THE RHODE ISLAND STANDARD SPECIFICATIONS AND DETAILS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
8. IF CONFLICTS EXIST, THE LATEST TSK STANDARD SPECIFICATIONS AND DETAILS SHALL TAKE PRECEDENCE OVER ANY DISCREPANCIES BETWEEN TSK STANDARDS, STATE STANDARDS, OR THOSE ATTACHED TO THESE PLANS.
9. THE CONTRACTOR IS REQUIRED TO VERIFY THAT ALL STANDARDS INCORPORATED INTO THE PLANS ARE THE MOST CURRENT BEFORE BEGINNING CONSTRUCTION.
10. PARKING SHALL NOT BE PERMITTED ON NORTH SIDE OF WHITTIER DRIVE FROM WILLARD AVENUE TO POINT CURVATURE FOR THE PROPOSED CUL-DE-SAC.

**EROSION CONTROL PROGRAM**

1. BANKS OR SLOPES NOT RECEIVING RIP-RAP SHALL BE SEEDED AND PROTECTED WITH A FIBER MULCH (MULCH FOR SLOPES > OR = 3:1).
2. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND STORM RUNOFF.
3. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH AND EVERY STORM OCCURRENCE.
4. ADDITIONAL HAYBALES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
5. ALL SEDIMENTS SHALL BE REMOVED FROM THE CATCH BASINS WHEN DIRECTED BY THE ENGINEER.
6. REFERENCE THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE, SOILS CONSERVATION SERVICE, 1990, AS A GUIDE.
7. DENUDED SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME, INCLUDING THE WINTER SHUT DOWN PERIOD.
8. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING THE CONSTRUCTION SEASON.
9. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STANDARD SPECIFICATION M.20.
10. THE SEED MIX SHALL BE AS SHOWN ON PLANS. LIMING AND FERTILIZING AS SHOWN ON PLANS.
11. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OF FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBER GLASS NETTING, EXCELISOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER (FOR ALL BANKS OR SLOPES > OR = 3:1).
12. HAY OR STRAW APPLICATIONS SHALL BE APPLIED AT THE RATE OF 200 LBS/ACRE.
13. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
14. THE CONTRACTOR MUST REMAIN AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITH THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
15. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST TO OCTOBER 15TH.
16. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STANDARD SPECIFICATIONS SECTION 202.
17. STABILIZATION PROCEDURES AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
18. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDES SLOPES NO GREATER THAN 30 PERCENT AND STOCKPILES SHALL ALSO BE SEEDED AND OR STABILIZED.
19. SOIL EROSION PLAN TO BE REQUIRED BY BUILDING OFFICIAL WHEN BUILDING PERMIT PULLED.

**MATERIALS AND SUBMISSIONS**

1. WOOD STAKES TO BE 1" X 1" X 30" HARDWOOD.
2. HAYBALE SHALL BE HAY OR STRAW OF ACCEPTABLE HERBACEOUS GROWTH REASONABLY FREE FROM NOXIOUS WEEDS OR WOODY STEMS AND SHALL BE REASONABLY DRY. NO SALT MARSH HAY SHALL BE USED.
3. CONTRACTOR SHALL PLACE BALED HAY, STAKED THROUGH WITH TWO HARDWOOD STAKES, AT THE LINES AND GRADES SHOWN ON PLAN.

**CONSTRUCTION SEQUENCE**

1. ALL HAYBALE EROSION CONTROL SYSTEMS ON OPEN SPACE ARE TO BE INSTALLED AS SOON AS PRACTICALLY POSSIBLE AT THE START OF CONSTRUCTION.
2. ALL HAYBALE EROSION CONTROL SYSTEMS AROUND CATCH BASINS ARE TO BE INSTALLED AS SOON AS CATCH BASINS ARE INSTALLED.
3. HAYBALE EROSION CONTROL SYSTEMS ARE TO BE MAINTAINED IN THE CONDITION SHOWN ON PLANS THROUGHOUT THE DURATION OF THE PROJECT. ANY DAMAGED HAYBALES MUST BE IMMEDIATELY REPAIRED OR REPLACED.
4. THE HAYBALE EROSION SYSTEM SHALL NOT BE REMOVED UNTIL THE ENGINEER GIVES WRITTEN APPROVAL THAT ALL PLANT MATERIAL AND GRASSES HAVE SUFFICIENTLY ESTABLISHED THEMSELVES IN A WAY THAT SOIL EROSION SHOULD NOT OCCUR.
5. HAYBALES SHALL BE REMOVED FROM THE SITE COMPLETELY AND DISPOSED OF LEGALLY OFF-SITE. ANY SILT BUILDUP SHALL BE REMOVED. THOSE AREAS UNDER HAYBALES SHALL RECEIVE SUFFICIENT QUANTITIES OF LOAM AND GRASS SEED SPECIFIED FOR THAT AREA.

**DETENTION BASIN CONSTRUCTION NOTES**

1. DETENTION BASIN BERM AREAS ARE TO BE CONSTRUCTED WITH COMMON BORROW COMPACTED TO 95% AND THEN LOAMED AND SEEDED.
2. TREES AND SHRUBS SHALL NOT BE PLANTED ON ANY IMPOUNDING EMBANKMENT.
3. DISTURBED AREAS ARE TO BE LOAMED A MINIMUM OF 4" AND SEEDED WITH A CONSERVATION TYPE MIXTURE.
4. ALL CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK".

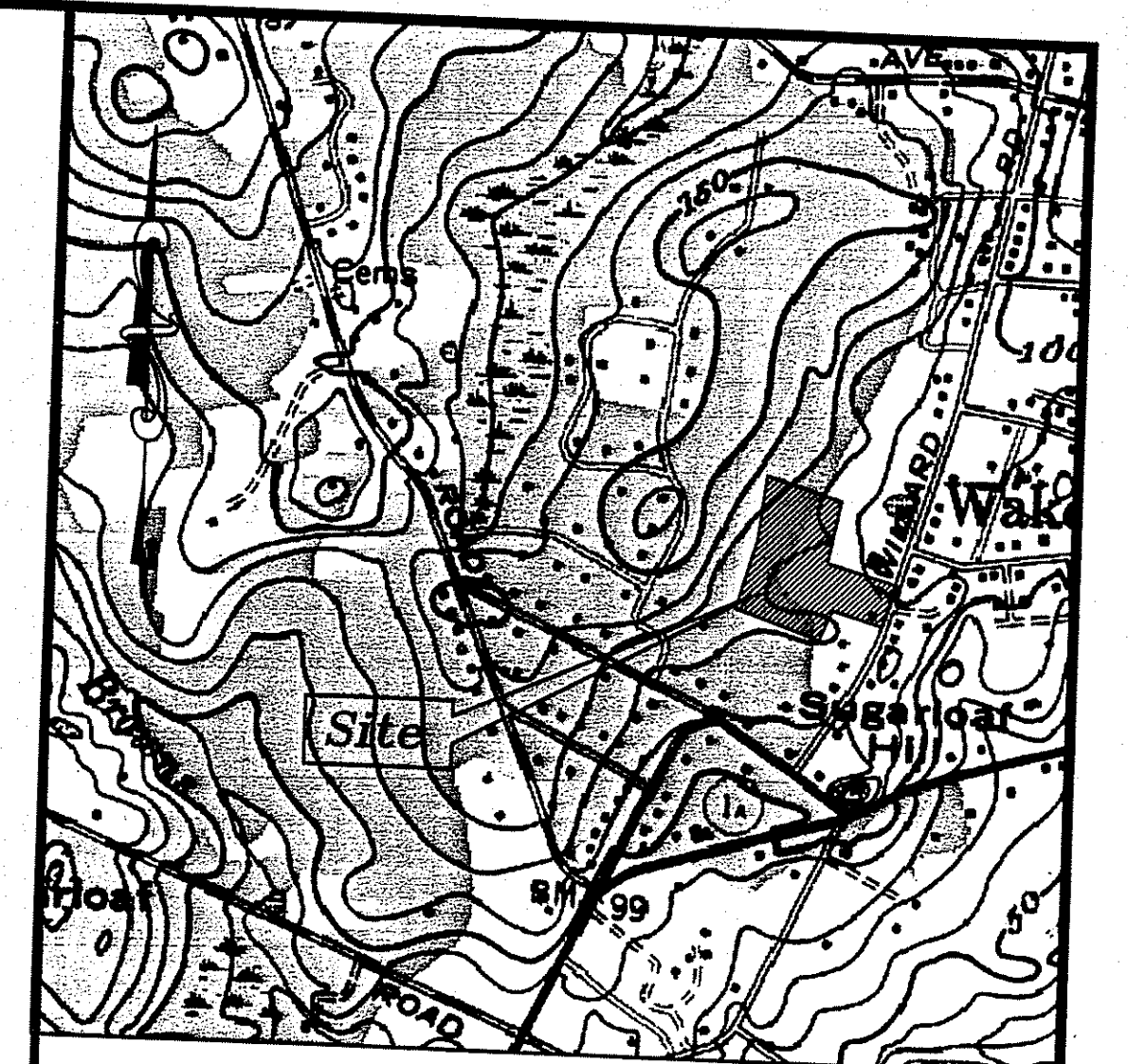
**STORMWATER DRAINAGE SYSTEM MAINTENANCE**

- THE HOMEOWNERS' ASSOCIATION SHALL OWN AND MAINTAIN THE STORMWATER DRAINAGE SYSTEM WITH THE EXCEPTION OF THOSE PORTIONS WITHIN THE TOWN RIGHT OF WAY.
1. GRASSES MUST BE PLANTED AROUND AND WITHIN THE BASIN IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE THE SLOPES AND PREVENT EROSION.
  2. SIDE-SLOPES, EMBANKMENTS, AND THE UPPER STAGE OF THE BASIN MUST BE MOWED AT LEAST ONCE DURING THE GROWING SEASON BY AUGUST 15TH. ALL TRASH AND LITTER SHALL BE REMOVED FROM THE BASINS DURING MOWING OPERATIONS.
  3. SEDIMENTS MUST BE REMOVED FROM THE BASINS AT TEN YEAR INTERVALS AND AS NECESSARY.
  4. THE OUTLET STRUCTURE AND ALL OUTFLOW CHANNELS MUST BE INSPECTED ANNUALLY. EXTENDED DETENTION DEVICES MUST BE INSPECTED AT LEAST TWICE A YEAR. INSPECTIONS DURING THE FIRST SIX MONTHS OF OPERATIONS MUST BE ACCOMPLISHED OFTEN, ESPECIALLY AFTER RAINFALL EVENTS.
  5. THE GRASSED AREAS OF THE BASIN MUST BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION. PROBLEM AREAS MUST BE RESEDED IMMEDIATELY.
  6. SIDE-SLOPES, EMBANKMENTS, AND THE UPPER STAGE OF BASINS SHALL BE MOWED AT LEAST ONCE PER GROWING SEASON, TO PREVENT UNWANTED WOODY GROWTH.
  7. ALL TRASH AND LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER FACILITY INCLUDING INLET AND OUTLET STRUCTURES. THIS MUST BE ACCOMPLISHED AT LEAST TWICE A YEAR, PREFERABLY SPRING AND FALL.
  8. INSPECTIONS OF ALL CATCH BASINS ON-SITE SHALL OCCUR ON AN ANNUAL BASIS TO CHECK FOR DEBRIS REMOVAL (SEDIMENT AND HYDROCARBONS) AND STRUCTURAL INTEGRITY OR DAMAGE. SUCH DEFICIENCIES MUST BE CORRECTED IMMEDIATELY. SEDIMENTS MUST BE REMOVED FROM CATCH BASINS WHEN SUMPS ARE HALF FILLED.
  9. REPAIRS OR REPLACEMENT OF INLET / OUTLET STRUCTURES, RIP-RAP CHANNELS, OR OTHER ELEMENTS OF THE FACILITY MUST BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT, THEN REPAIR / REPLACEMENT MUST BE DONE IMMEDIATELY.
  10. DRAINAGE STRUCTURES WITHIN THE TOWN RIGHT OF WAY SHALL BE MAINTAINED BY THE TOWN ALONG WITH ALL OTHER PUBLIC UTILITIES.

**UTILITY NOTES**

1. ALL PIPING USED IN GRAVITY SEWER MAIN AND LATERAL CONSTRUCTION SHALL BE SDR 35 PVC PIPE AS REQUIRED BY THE TOWN OF SOUTH KINGSTOWN.
2. SEWER LATERALS SHALL NOT BE LESS THAN 6" IN DIAMETER WITH A MINIMUM SLOPE OF 0.0167 FT/FT.
3. THE MINIMUM HORIZONTAL DISTANCE OF A SANITARY SEWER LATERAL FROM A WATER SERVICE LINE AND/OR WATER MAIN SHALL BE TEN (10) FEET. SEWER LINES CROSSING OTHER UTILITIES SHALL HAVE A MINIMUM OF TWELVE (12) INCHES FROM THE OUTSIDE DIAMETER OF SAID PIPES. SANITARY SEWER SERVICE PIPES SHALL BE LOWER IN ELEVATION THAN POTABLE WATER SERVICE LINES AND/OR WATER MAINS.
4. REINFORCED CONCRETE PIPE (RCP) MUST BE USED FOR ALL TOWN OWNED DRAINAGE INFRASTRUCTURE.
5. ALL ROOFTOP RUNOFF SHALL CONNECT AND DISCHARGE TO THE ROOF DRAIN SYSTEMS.

- LEGEND**
- 123.45 DISTANCE IN FEET
  - ⊙ WELL
  - △ STAKE SET
  - EXISTING BOUND
  - DRILL HOLE
  - IRON PIN
  - UTILITY POLE
  - CATCH BASIN
  - ~~~~ TREE LINE
  - w — WATER LINE
  - s — SEWER LINE
  - d — DRAINAGE LINE
  - - - - - LIMIT OF DISTURBANCE
  - - - - - LOD
  - ○ ○ ○ ○ HAYBALES
  - ○ ○ ○ ○ STONE WALL



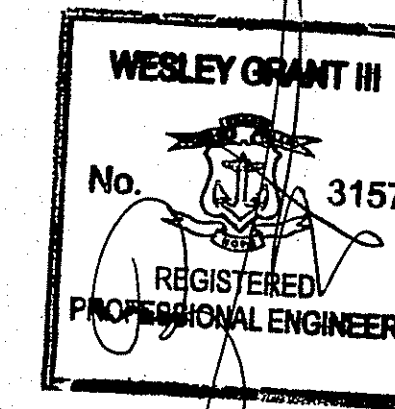
Location Map  
(Not To Scale)

**General Notes**  
**Master/Preliminary**  
**"Whittier Estates"**  
**Major Subdivision**

Prepared For:  
**Robert Leonard/Mark Lubic**  
P.O. Box 9  
Narragansett, Rhode Island 02882

Owner of Record:  
**Linda M. Sisson**  
52 Willard Avenue  
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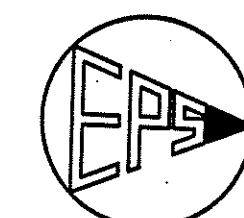
In The Town of:  
**South Kingstown, Rhode Island**  
Map 56-4, Lots 38 & 40  
R10 Zoning District



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AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED AUG 18 2010 FILE # 09-087  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Charles A. Hobbs*

NO.	DATE	DESCRIPTION	BY
1	3/24/2010	TECHNICAL REVIEW COMMITTEE COMMENTS	C.A.C.
DRAWN BY:		C.A.C.	DATE: FEBRUARY, 2010
CHECKED BY:		W.G. III	5931007 SUBDIVISION SINGLE-DUPLEX DRAWING NO.:
JOB NO.:		5931.007	SHEET 2 OF 12



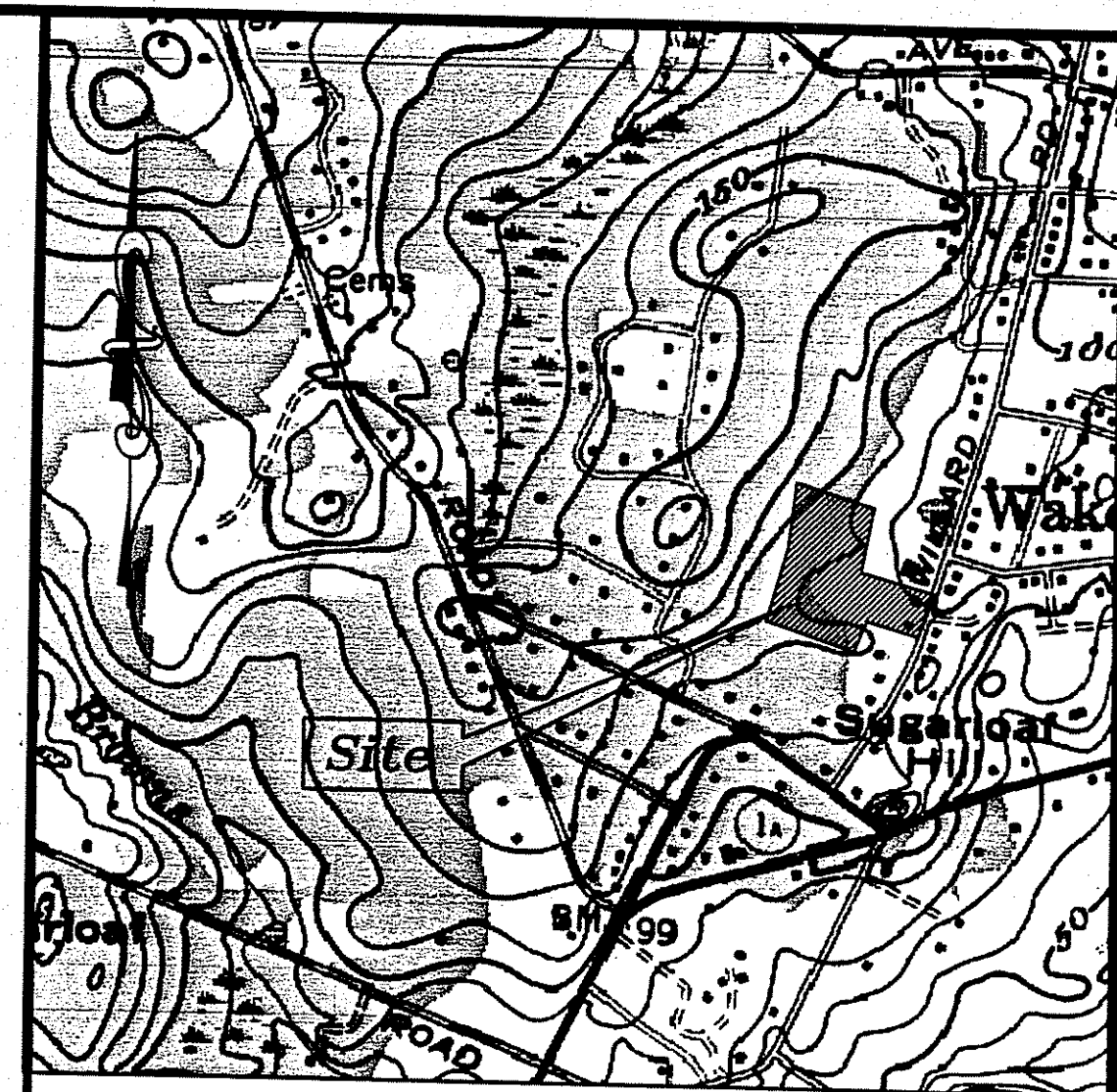
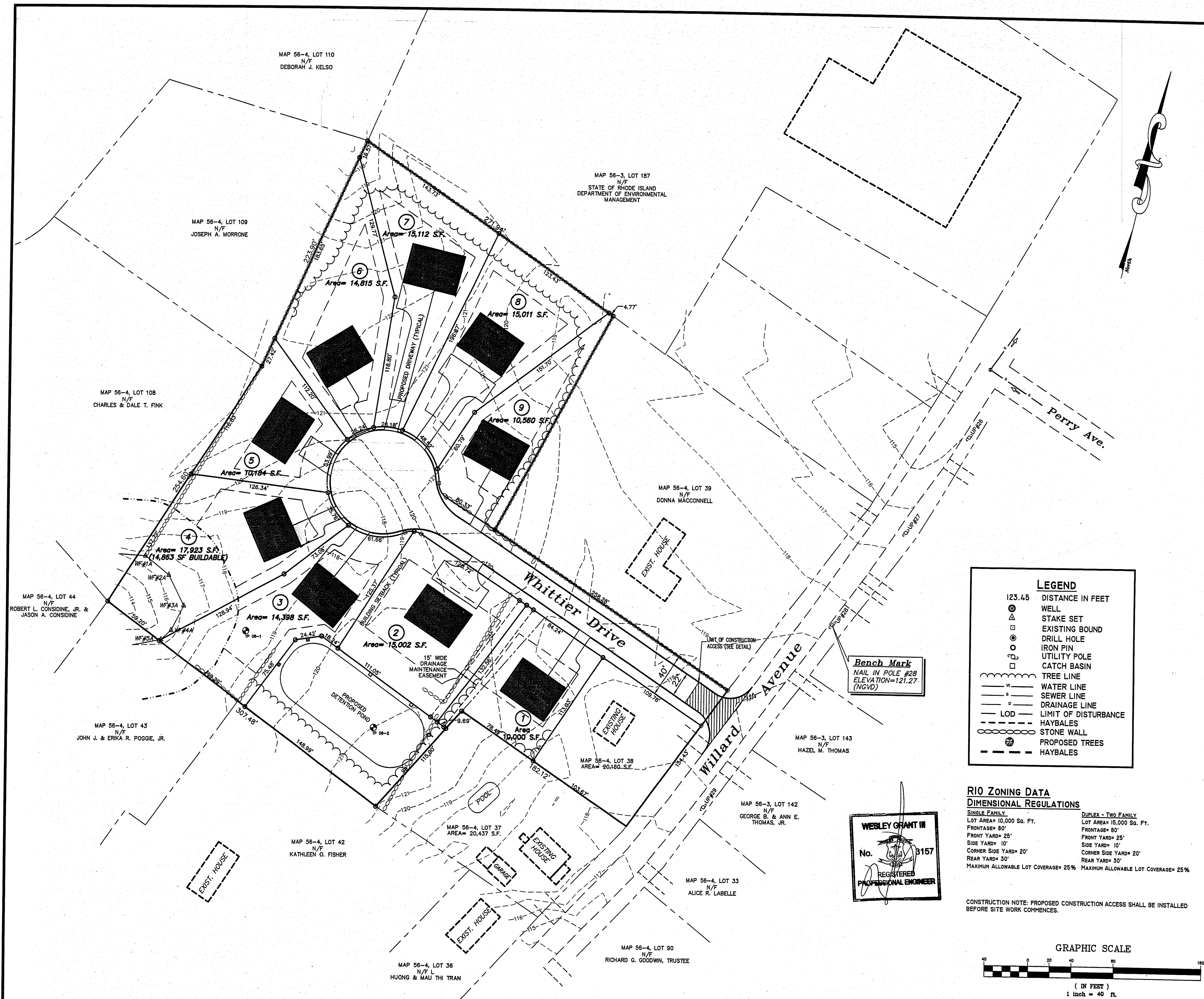
**Environmental Planning & Surveying, Inc.**

Civil Engineering  
Surveying  
C.A.D. Drafting  
JUN 28 2010

2010 ENVIRONMENTAL PLANNING & SURVEYING, INC.







Location Map  
(Not To Scale)

# Site Plan

## Master/Preliminary

### "Whittier Estates"

### Major Subdivision

Prepared For:  
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P.O. Box 9  
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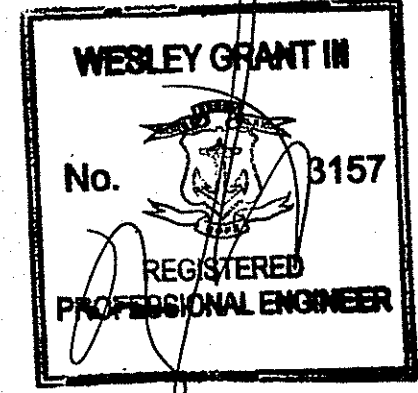
**LEGEND**

125.45	DISTANCE IN FEET
⊙	WELL
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□	EXISTING BOUND
○	DRILL HOLE
⊙	IRON PIN
⊙	UTILITY POLE
⊙	CATCH BASIN
⊙	TREE LINE
—w—	WATER LINE
—s—	SEWER LINE
—d—	DRAINAGE LINE
—o—	LIMIT OF DISTURBANCE
---	HAYBALES
⊙	STONE WALL
⊙	PROPOSED TREES
---	HAYBALES

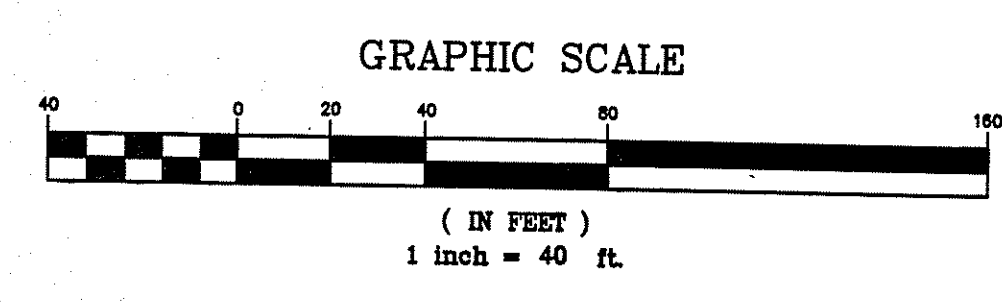
**R10 ZONING DATA**

**DIMENSIONAL REGULATIONS**

<b>SINGLE FAMILY</b> LOT AREA= 10,000 Sq. Ft. FRONTAGE= 60' FRONT YARD= 25' SIDE YARD= 10' CORNER SIDE YARD= 20' REAR YARD= 30' MAXIMUM ALLOWABLE LOT COVERAGE= 25%	<b>DUPLEX - TWO FAMILY</b> LOT AREA= 15,000 Sq. Ft. FRONTAGE= 60' FRONT YARD= 25' SIDE YARD= 10' CORNER SIDE YARD= 20' REAR YARD= 30' MAXIMUM ALLOWABLE LOT COVERAGE= 25%
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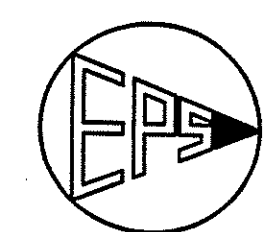


CONSTRUCTION NOTE: PROPOSED CONSTRUCTION ACCESS SHALL BE INSTALLED BEFORE SITE WORK COMMENCES.



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1	3/24/2010	Technical Review Committee Comments	C.A.C.
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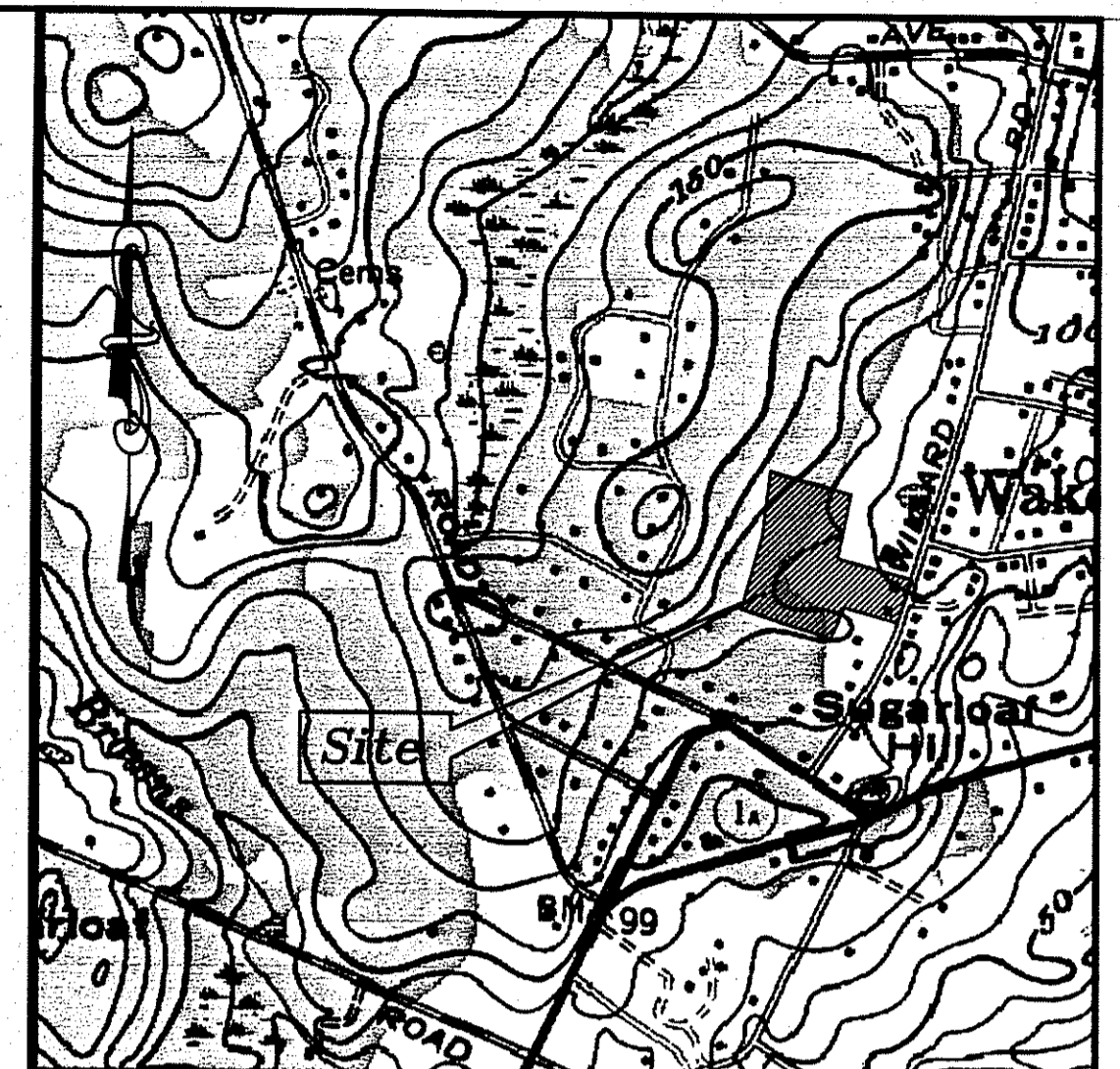
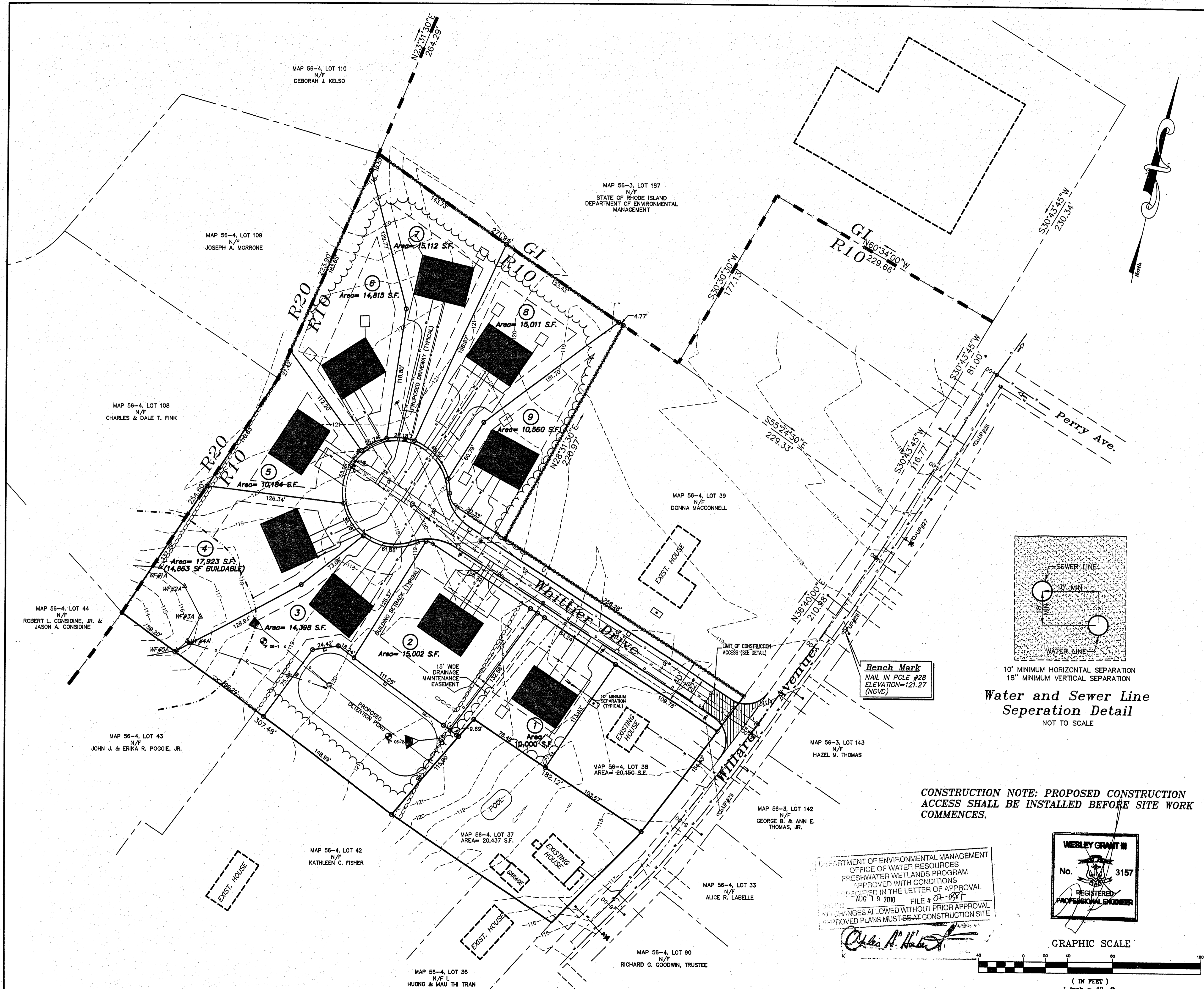


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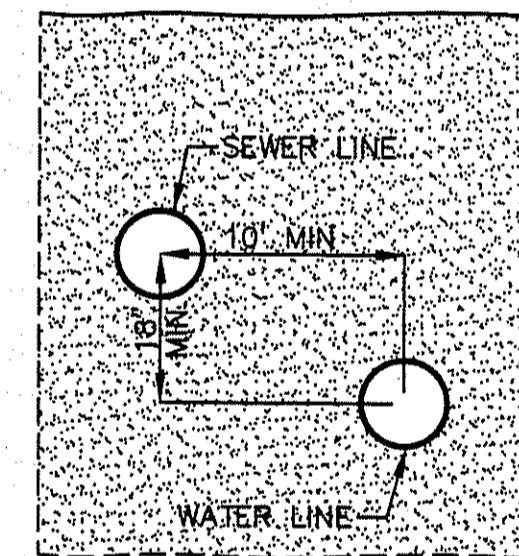
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# Utility Plan Master/Preliminary "Whittier Estates" Major Subdivision

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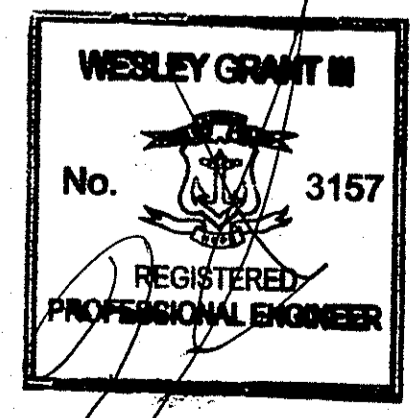


10' MINIMUM HORIZONTAL SEPARATION  
18" MINIMUM VERTICAL SEPARATION  
**Water and Sewer Line  
Separation Detail**  
NOT TO SCALE

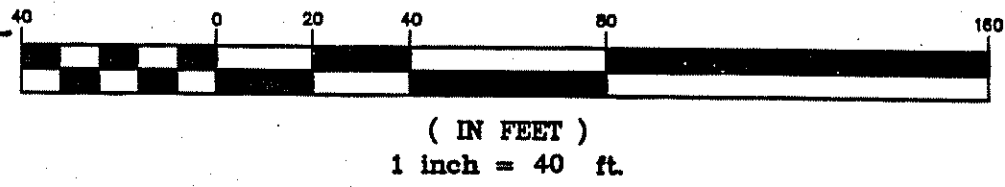
**Bench Mark**  
NAIL IN POLE #28  
ELEVATION=121.27  
(NGVD)

**CONSTRUCTION NOTE: PROPOSED CONSTRUCTION  
ACCESS SHALL BE INSTALLED BEFORE SITE WORK  
COMMENCES.**

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GRAPHIC SCALE



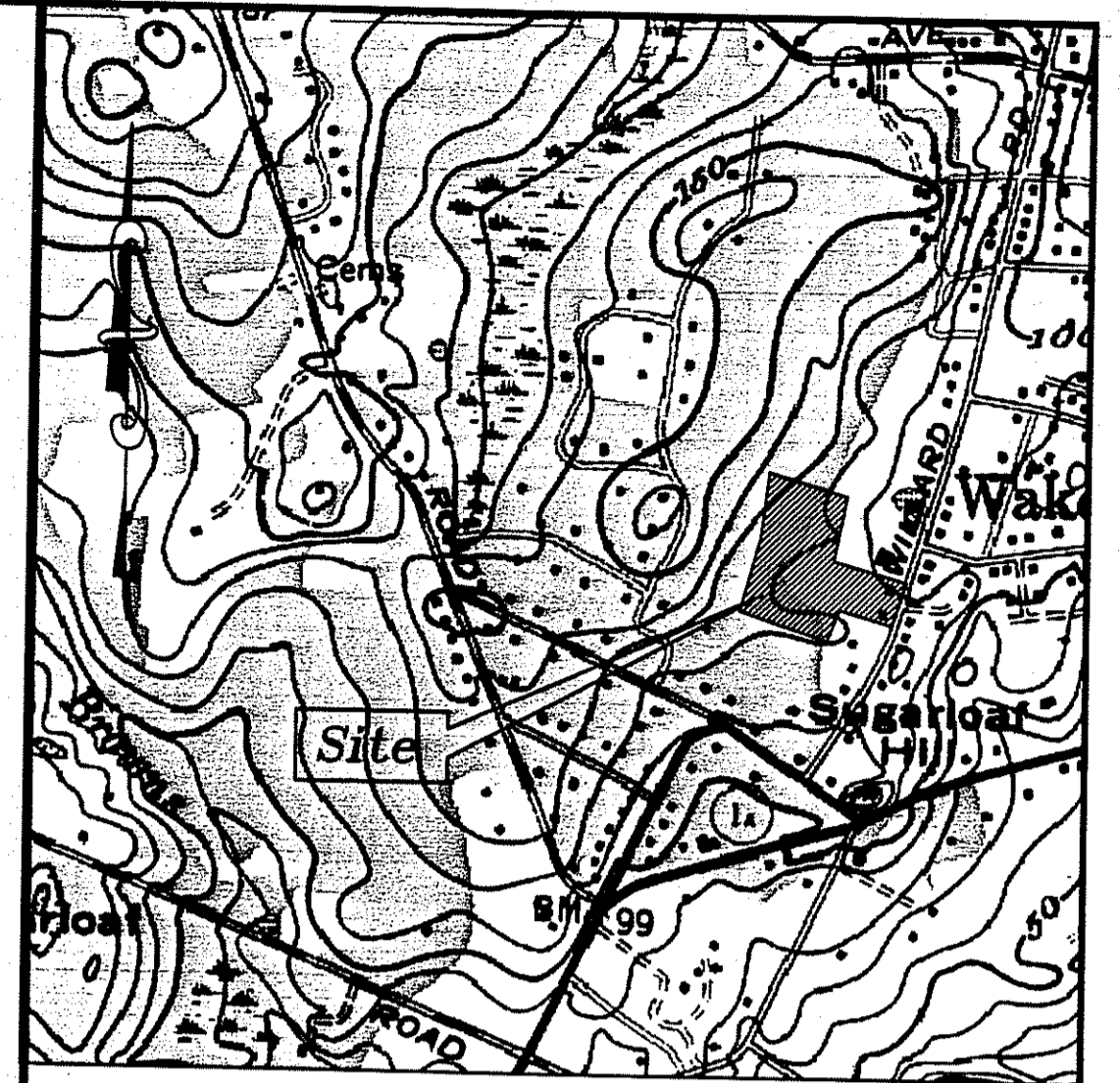
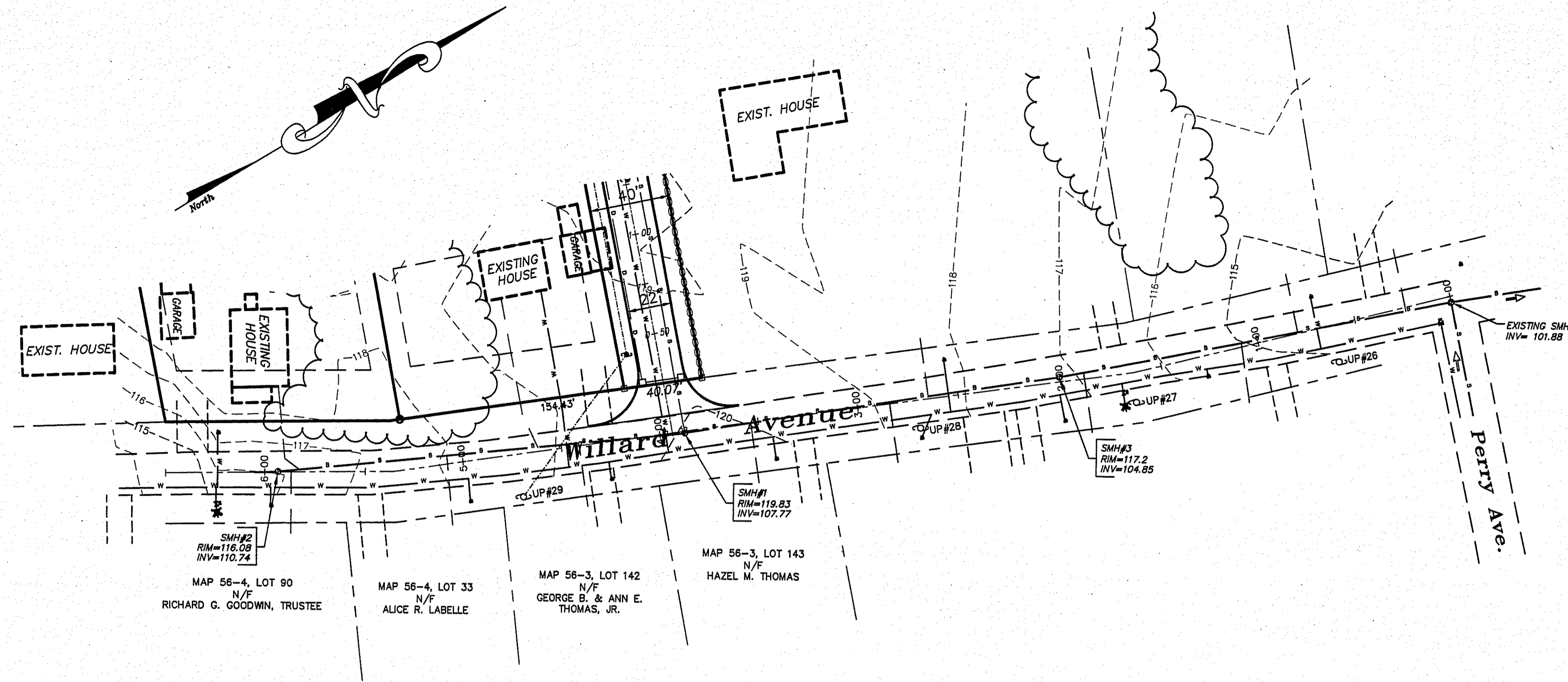

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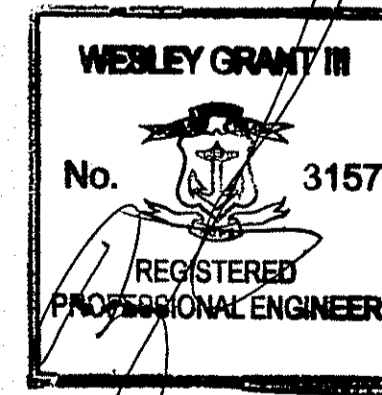
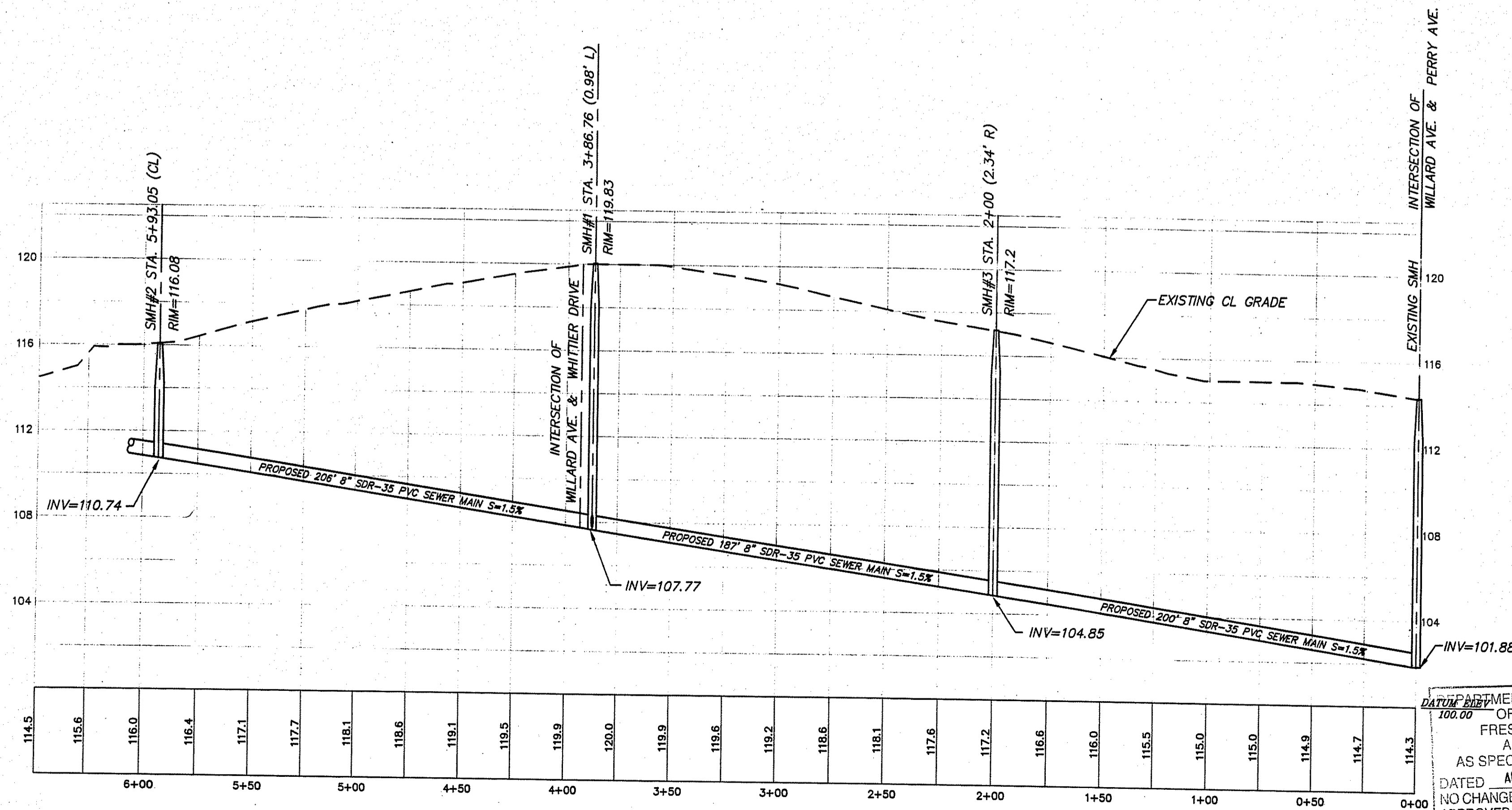
# Willard Profile

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DATUM: MEAN SEA LEVEL  
100.00

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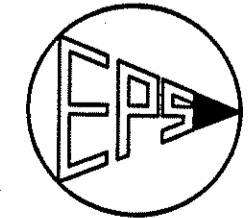
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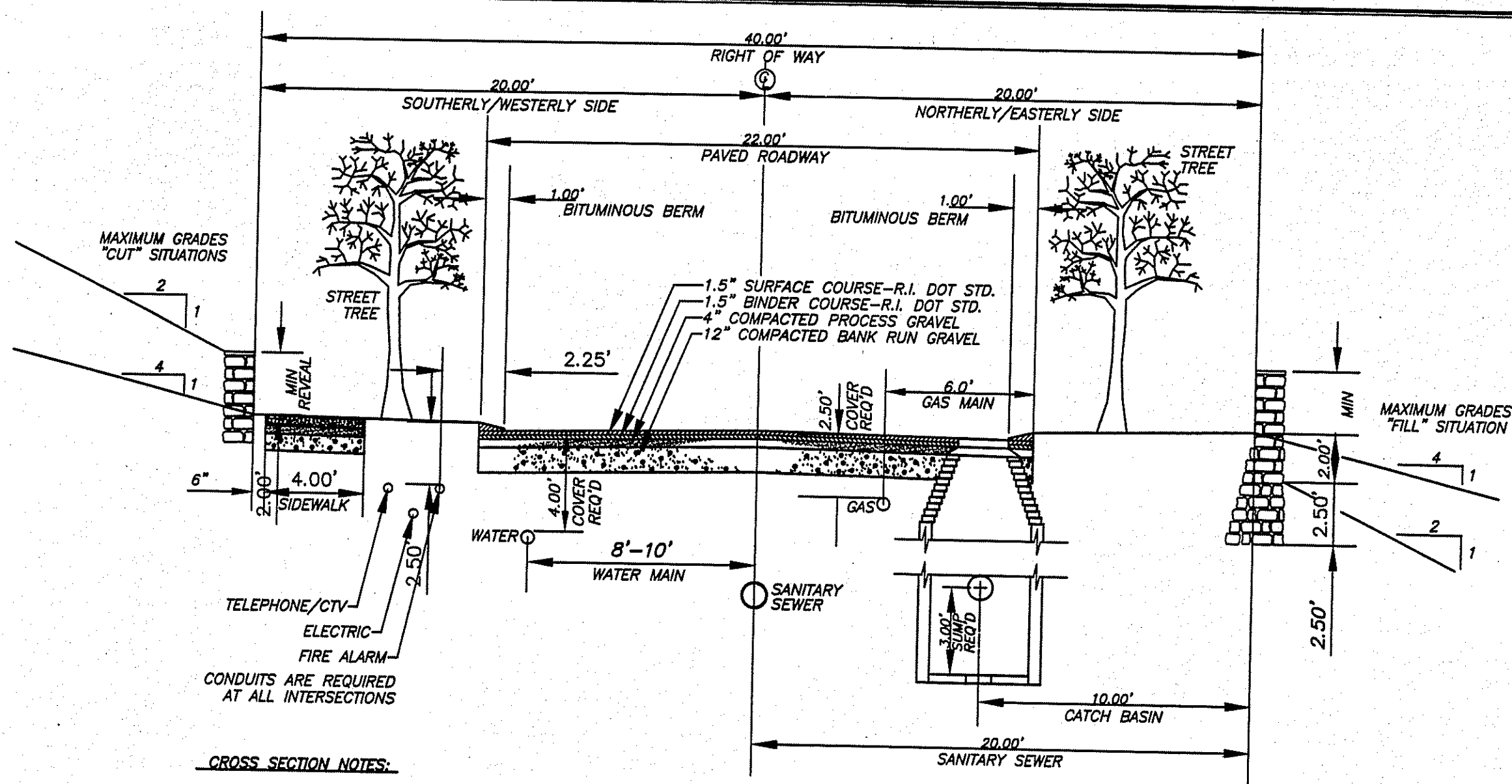


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JUN 28 2010

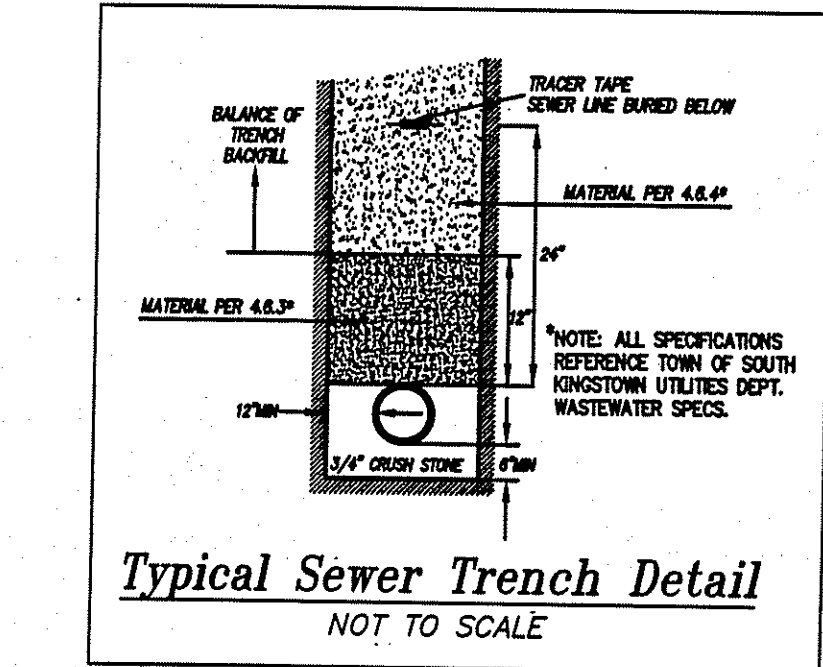
22 Kersey Road Wakefield, Rhode Island 02879 (401) 789-3628



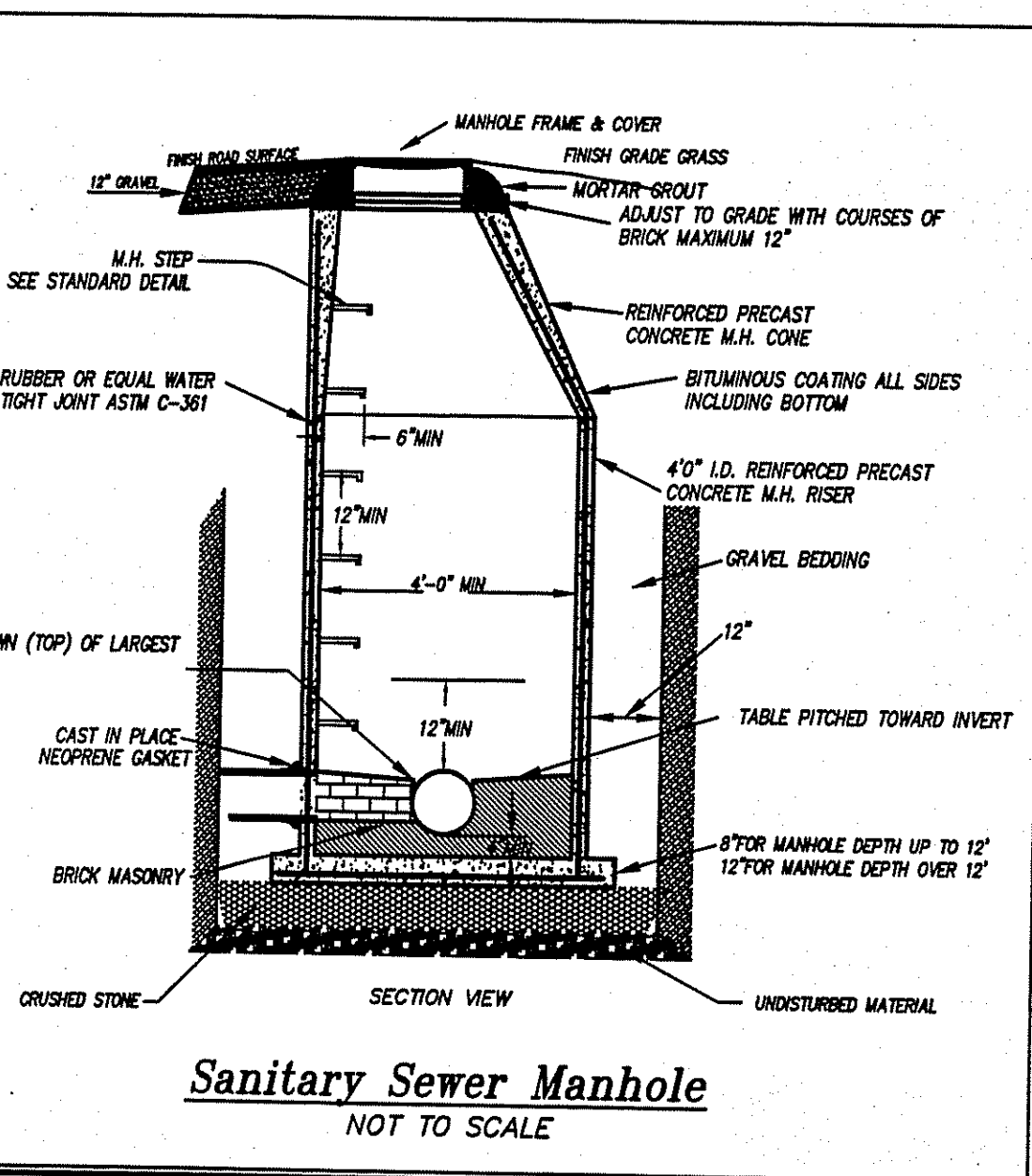
- CROSS SECTION NOTES:**
- ROADWAY CROSS SECTION AND MATERIALS SHALL CONFORM TO T.S.K. STANDARDS FOR ROAD CONSTRUCTION AND UTILITY LOCATION.
  - CAPE COD CURBING—HALL MANUFACTURING COMPANY MOLD JIB OR D.P.W. APPROVED EQUAL. SLOPE FACED PRECAST CONCRETE CURBING REQUIRED AT ALL INTERSECTION FILLET CURVES, SEE R.I. DOT STD. 7-21
  - RETAINING WALL — R.I. DOT STD. 10.1 OR APPROVED EQUAL.
  - STONE WALL — R.I. DOT STD. 10.3 OR APPROVED EQUAL.
  - WATER MAIN LOCATION IS SUBJECT TO APPROVAL OF THE DIRECTOR OF PUBLIC SERVICES AND THE KINGSTON WATER DISTRICT.
  - CONCRETE SIDEWALK — T.S.K. STANDARD, 5" THICK BY 4.0" WIDE (MIN), 4.0000, MIX OVER 4" PROCESSED GRAVEL OVER 8" BANK RUN GRAVEL.
  - STORM DRAIN MATERIALS AND METHODS SHALL CONFORM TO APPLICABLE T.S.K. AND R.I. DOT STANDARDS.
  - UTILITY LOCATIONS FOR 40.00' WIDE R.O.W. IS SUBJECT TO APPROVAL BY THE TOWN ENGINEER.
  - BITUMINOUS BERM TO BE INSTALLED IN SINGLE PASS WITH FINAL ASPHALT COURSE.

**NOTE:** ALL SEWER AND STORMWATER CONSTRUCTION SHALL BE SUBJECT TO THE LATEST TOWN OF SOUTH KINGSTOWN STANDARD DETAILS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE LATEST STANDARDS AND COORDINATING WITH THE TOWN OF SOUTH KINGSTOWN PRIOR TO THE START OF CONSTRUCTION.

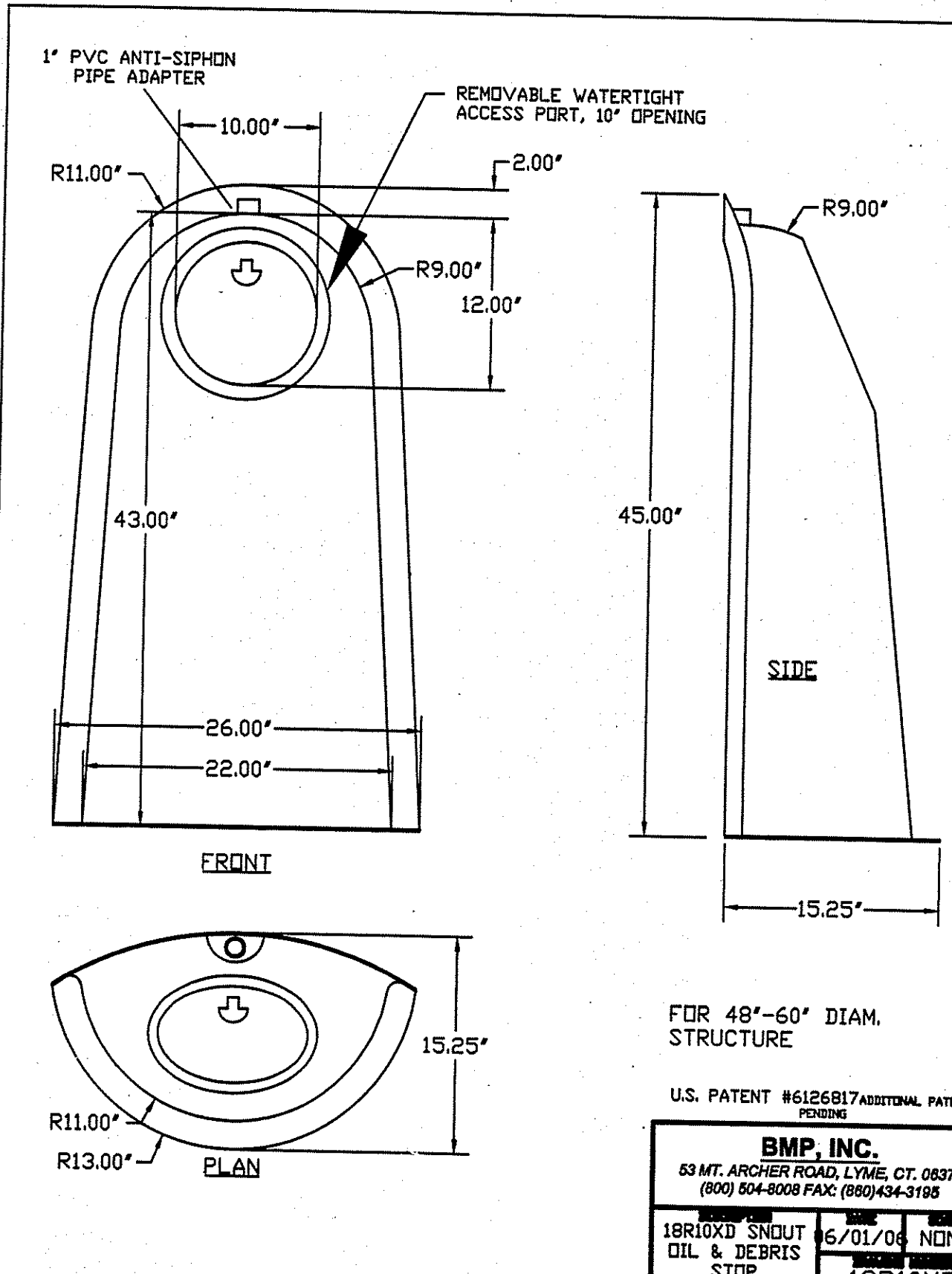
**Typical Roadway Cross-Section**  
NOT TO SCALE



**Typical Sewer Trench Detail**  
NOT TO SCALE



**Sanitary Sewer Manhole**  
NOT TO SCALE

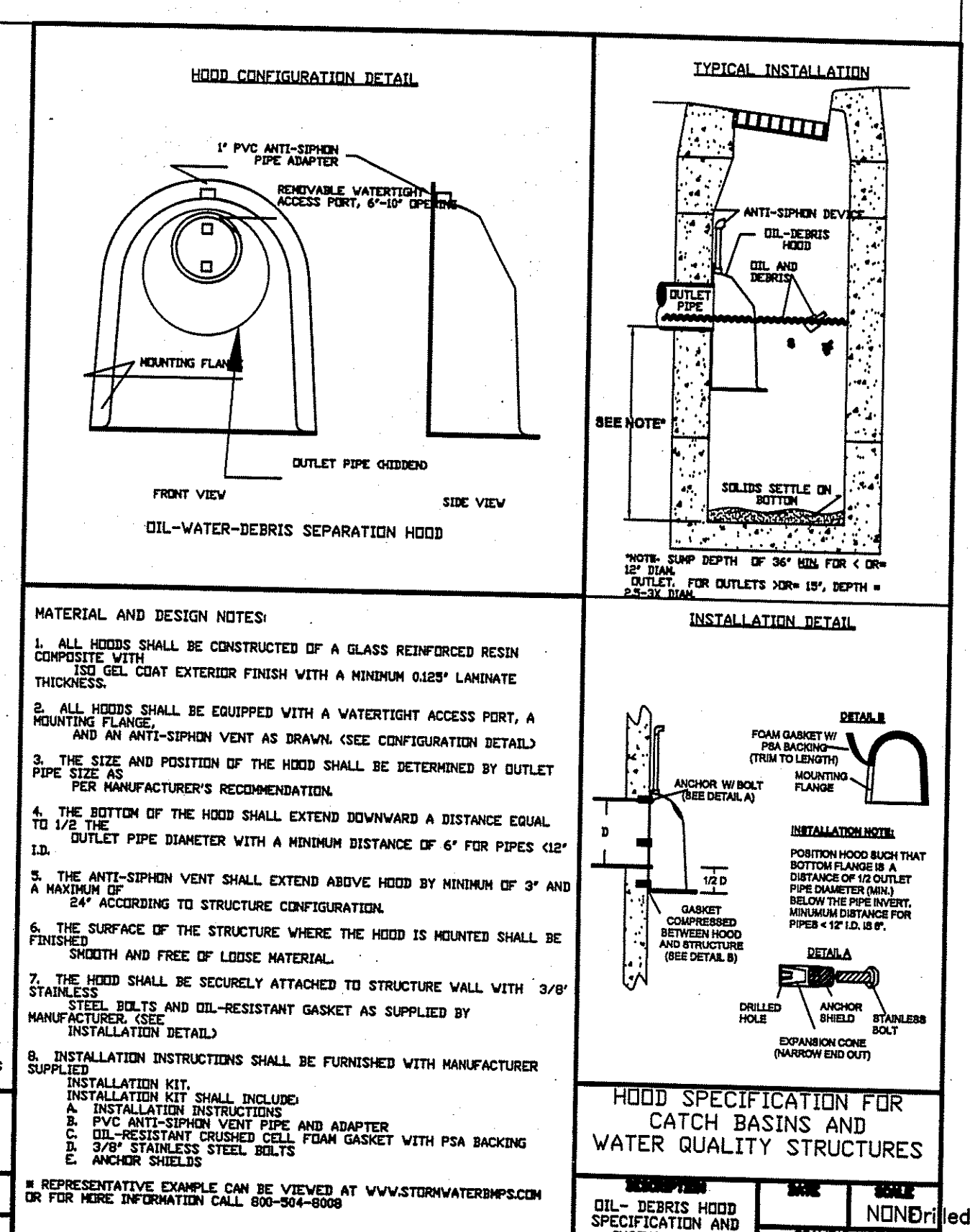


FOR 48"-60" DIAM. STRUCTURE

U.S. PATENT #6126817 ADDITIONAL PATENTS PENDING

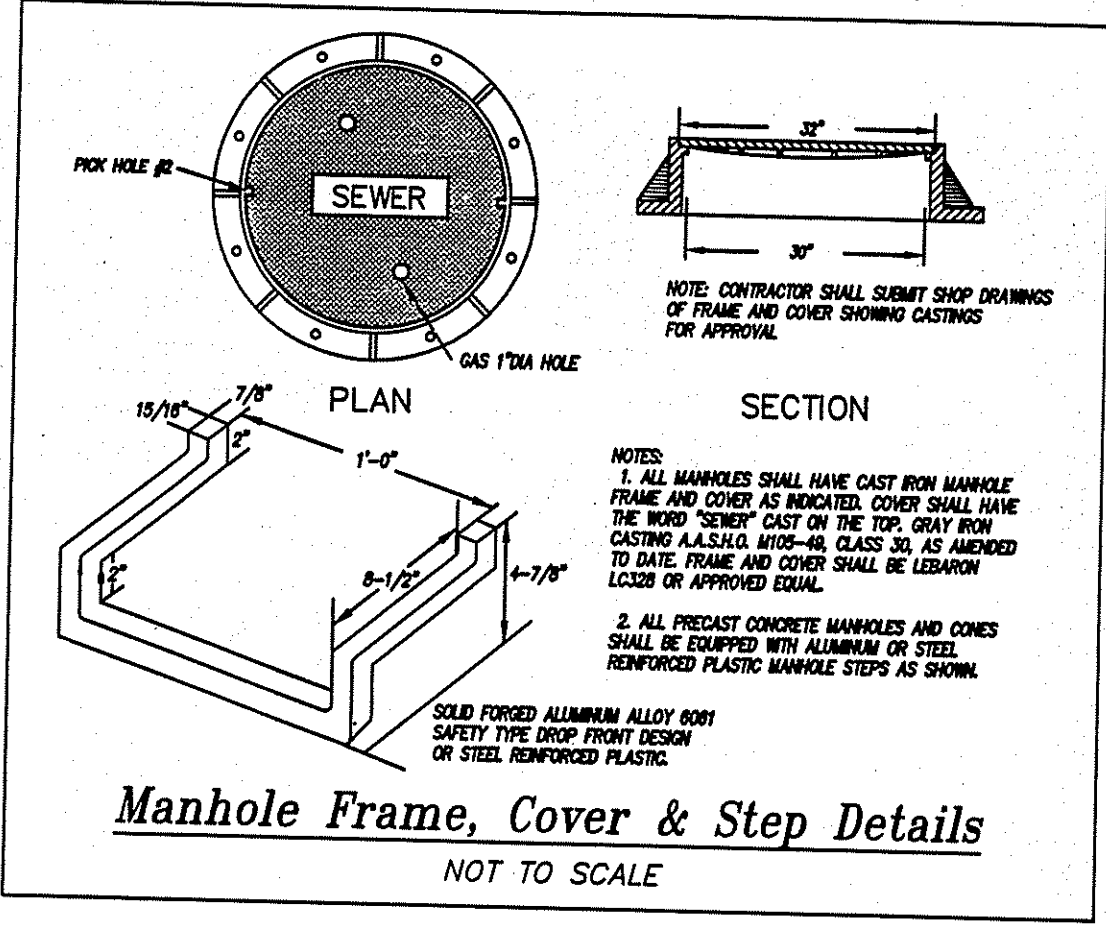
**BMP, INC.**  
63 MT. ARCHER ROAD, LYME, CT. 06377  
(860) 504-8008 FAX: (860) 434-3168

18R10XD SNOUT OIL & DEBRIS STOP 18R10XD

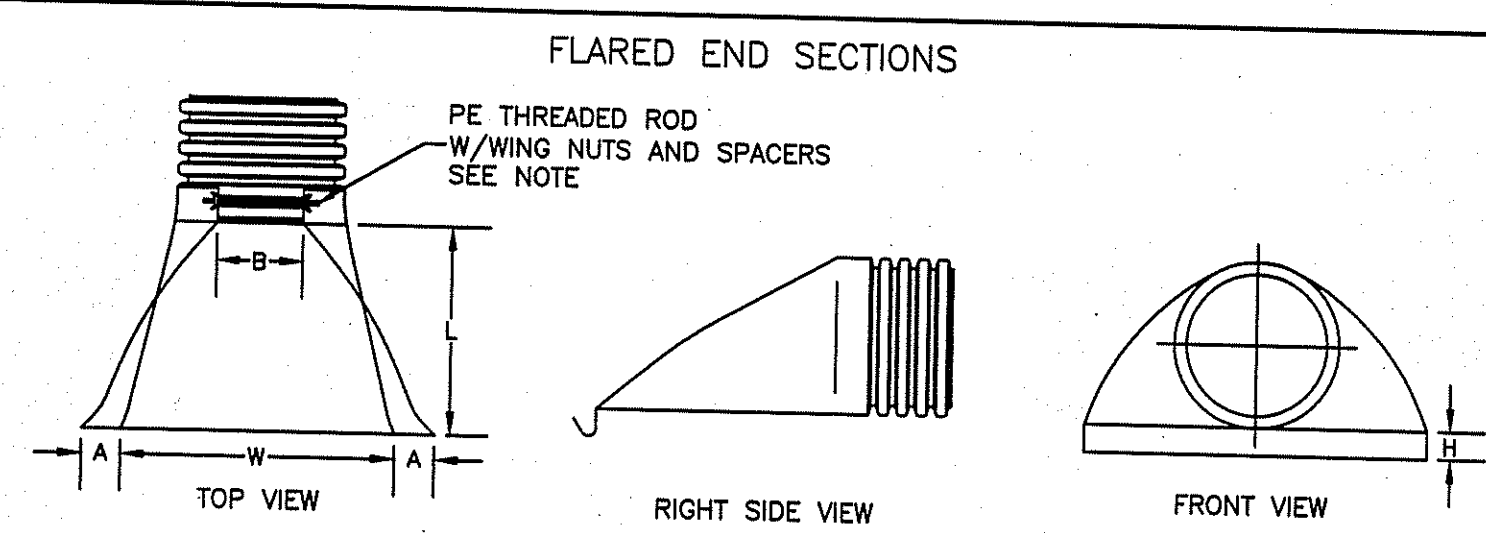


- MATERIAL AND DESIGN NOTES:**
- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH A MINIMUM 0.025" LAMINATE THICKNESS. GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.025" LAMINATE.
  - ALL HOODS SHALL BE EQUIPPED WITH A WATER TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS SHOWN (SEE CONFIGURATION DETAIL).
  - THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
  - THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES 12" I.D.
  - THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
  - THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE SMOOTH AND FREE OF LOOSE MATERIAL.
  - THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER (SEE INSTALLATION DETAIL).
  - INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED.
  - INSTALLATION KIT SHALL INCLUDE:
    - INSTALLATION INSTRUCTIONS
    - PVC ANTI-SIPHON VENT PIPE AND ADAPTER
    - OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
    - 2"Ø STAINLESS STEEL BOLTS
    - ANCHOR SHELLS
  - REPRESENTATIVE EXAMPLE CAN BE VIEWED AT WWW.STORMWATERBMP.COM OR FOR MORE INFORMATION CALL 800-364-8008

**HOOD SPECIFICATION FOR CATCH BASIN AND WATER QUALITY STRUCTURES**



**Manhole Frame, Cover & Step Details**  
NOT TO SCALE

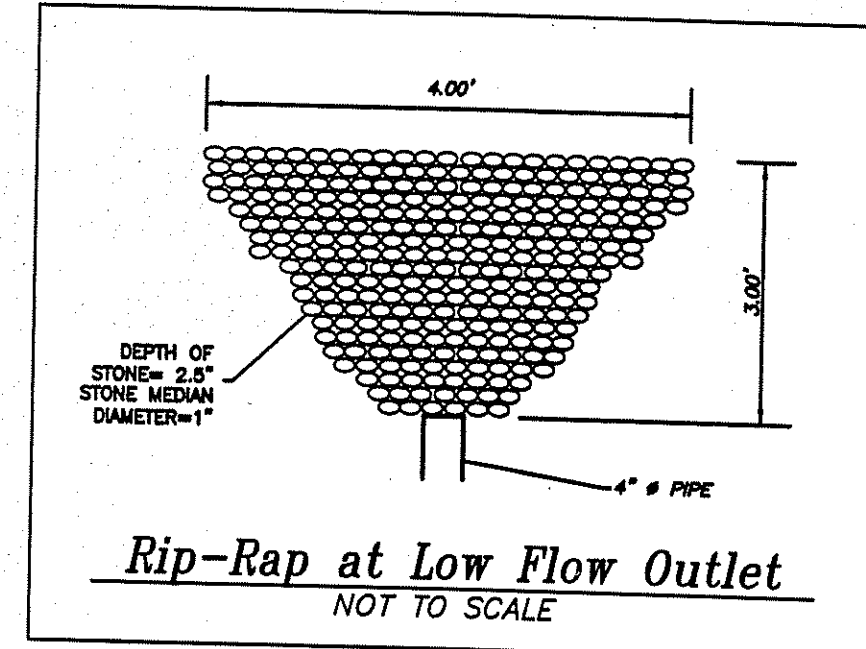


PART #	PIPE SIZE	A	B (MAX)	H	L	W
1210NP	12 in (300 mm)	6.50 in (165 mm)	10.00 in (254 mm)	6.50 in (165 mm)	25.00 in (635 mm)	29.00 in (737 mm)
1510NP	15 in (375 mm)	6.50 in (165 mm)	10.00 in (254 mm)	6.50 in (165 mm)	25.00 in (635 mm)	29.00 in (737 mm)
1810NP	18 in (450 mm)	7.50 in (191 mm)	15.00 in (381 mm)	6.50 in (165 mm)	32.00 in (813 mm)	35.00 in (889 mm)
2410NP	24 in (600 mm)	7.50 in (191 mm)	18.00 in (457 mm)	6.50 in (165 mm)	36.00 in (914 mm)	45.00 in (1143 mm)
3015NP	30 in (750 mm)	7.50 in (191 mm)	12.00 in (305 mm)	8.60 in (218 mm)	58.00 in (1473 mm)	63.00 in (1600 mm)
3615NP	36 in (900 mm)	7.50 in (191 mm)	25.00 in (635 mm)	8.60 in (218 mm)	58.00 in (1473 mm)	63.00 in (1600 mm)

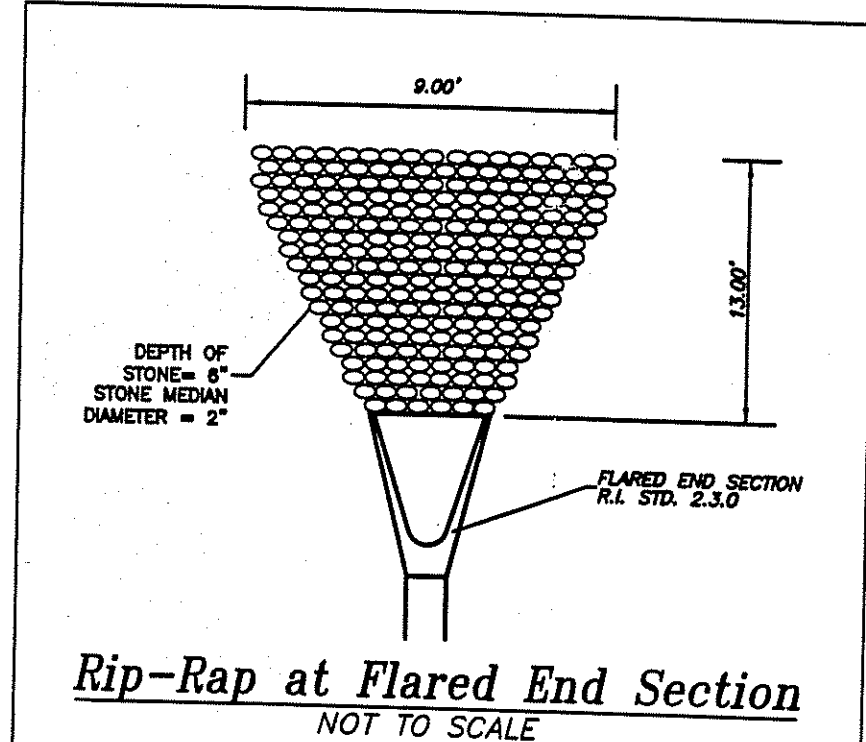
**NOTE:** PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.

NOTE: ALL DIMENSIONS ARE NOMINAL

REVISIONS	
BY	DATE
AWM	01.31.05

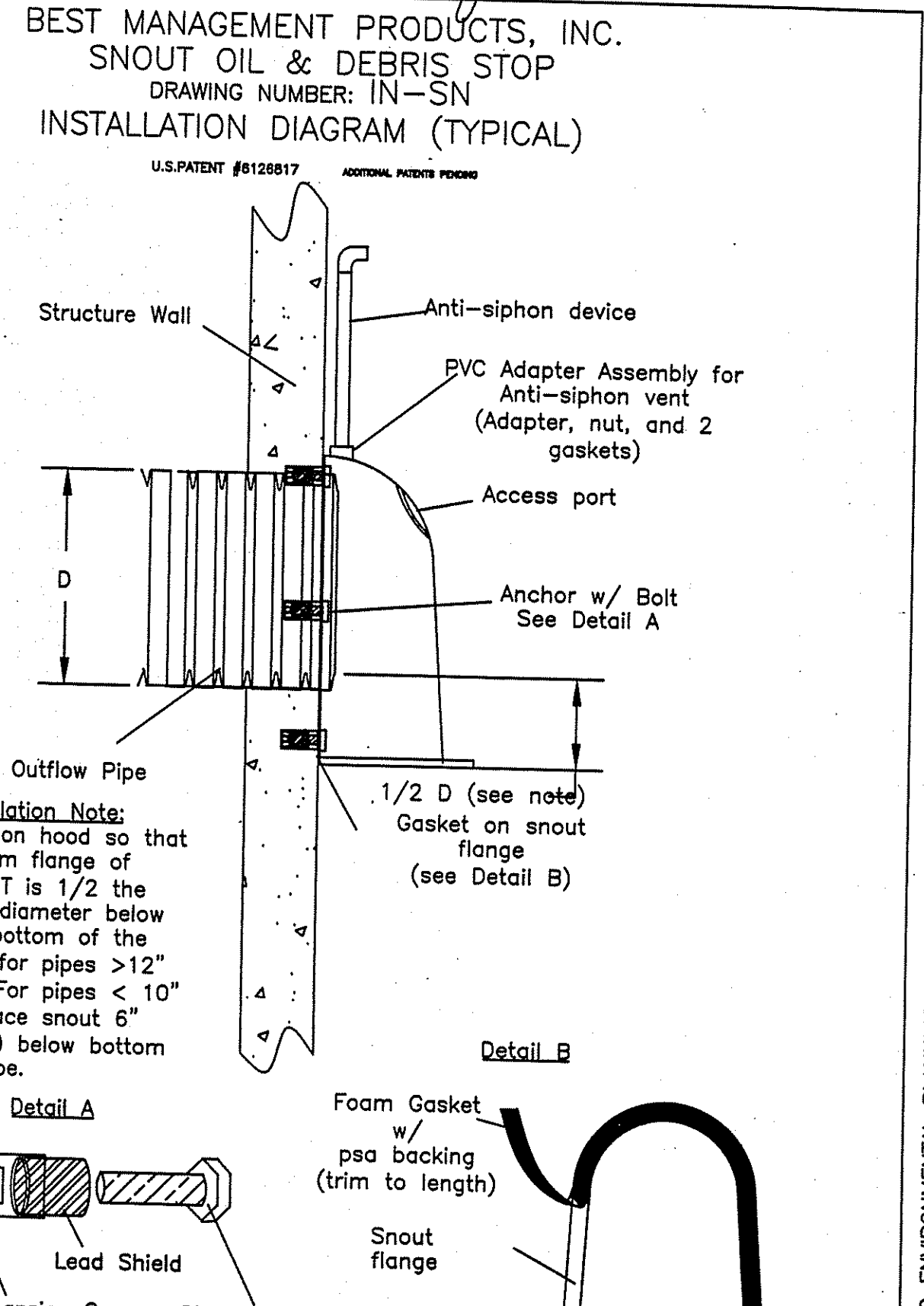
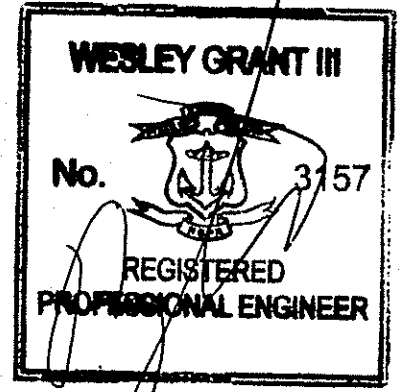


**Rip-Rap at Low Flow Outlet**  
NOT TO SCALE



**Rip-Rap at Flared End Section**  
NOT TO SCALE

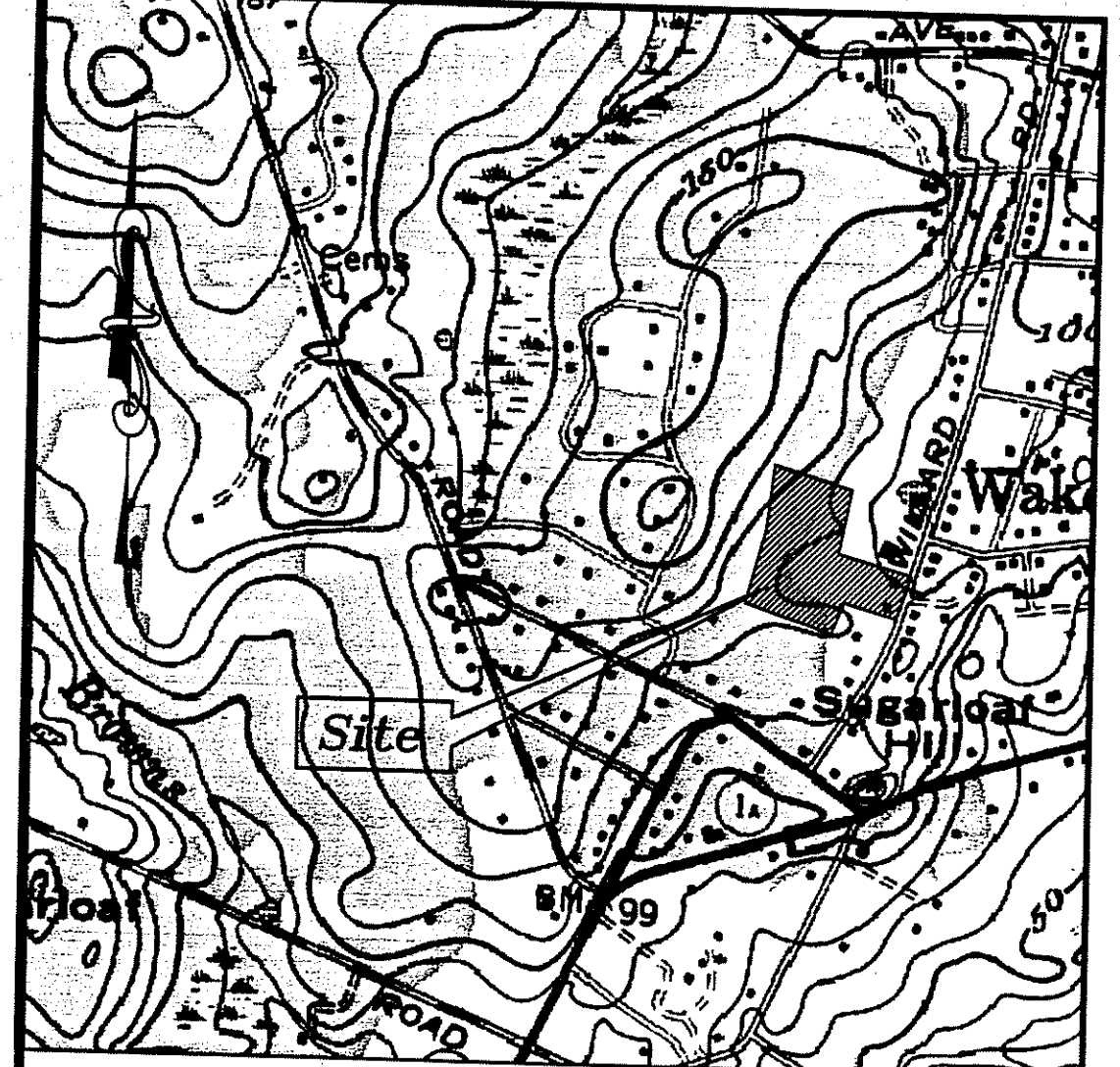
**NOTE:** RIP RAP SIZING PER OUTLET PROTECTION CALCULATIONS SET FORTH IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK



**Installation Note:** Position hood so that bottom flange of SNOUT is 1/2 the pipe diameter below the bottom of the pipe for pipes >12" id. For pipes <10" id place snout 6" (min.) below bottom of pipe.

**Detail A:** Lead Shield, Expansion Cone (narrow end out), Snout flange

**Detail B:** Foam Gasket w/ psa backing (trim to length), Snout flange



**Location Map**  
(Not To Scale)

**Detail Sheet 1**  
**Master/Preliminary**  
**"Whittier Estates"**  
**Major Subdivision**

Prepared For:  
**Robert Leonard/Mark Lubic**  
P.O. Box 9  
Narragansett, Rhode Island 02882

Owner of Record:  
**Linda M. Sisson**  
52 Willard Avenue  
Wakefield, Rhode Island 02879

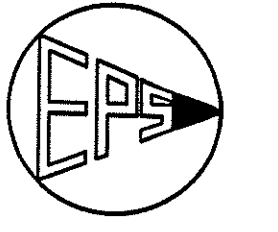
In The Town of:  
**South Kingstown, Rhode Island**  
Map 56-4, Lots 38 & 40  
R10 Zoning District

NO.	DATE	DESCRIPTION	BY
1	3/24/2010	TECHNICAL REVIEW COMMITTEE COMMENTS	C.A.C.

DRAWN BY: C.A.C. DATE: FEBRUARY, 2010

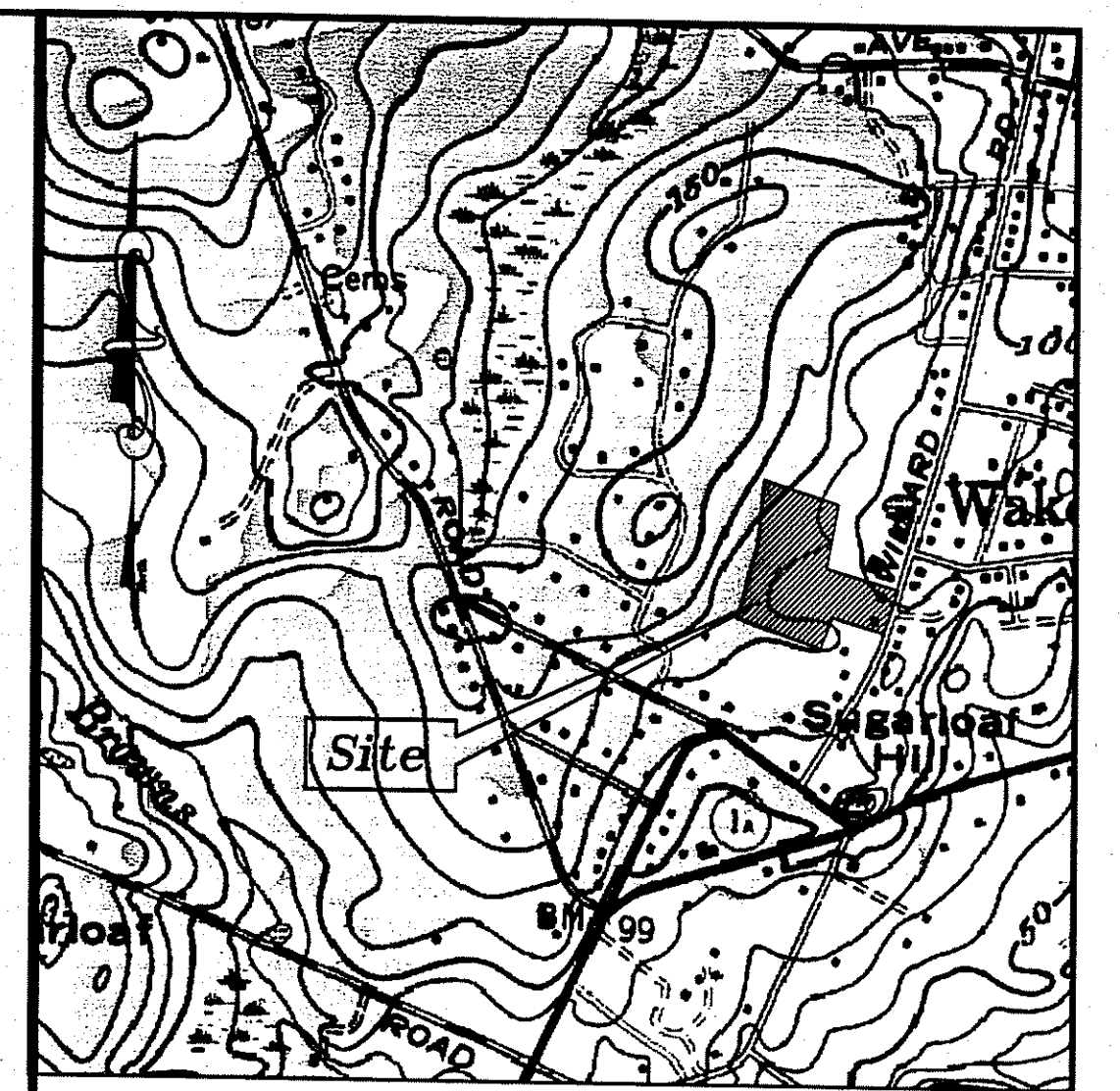
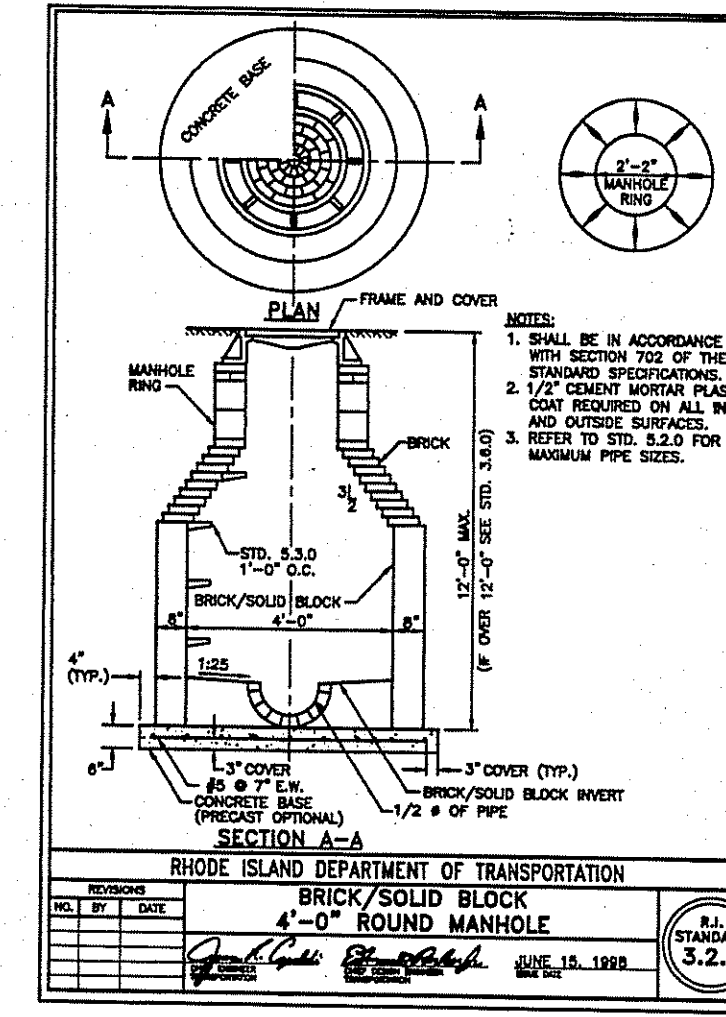
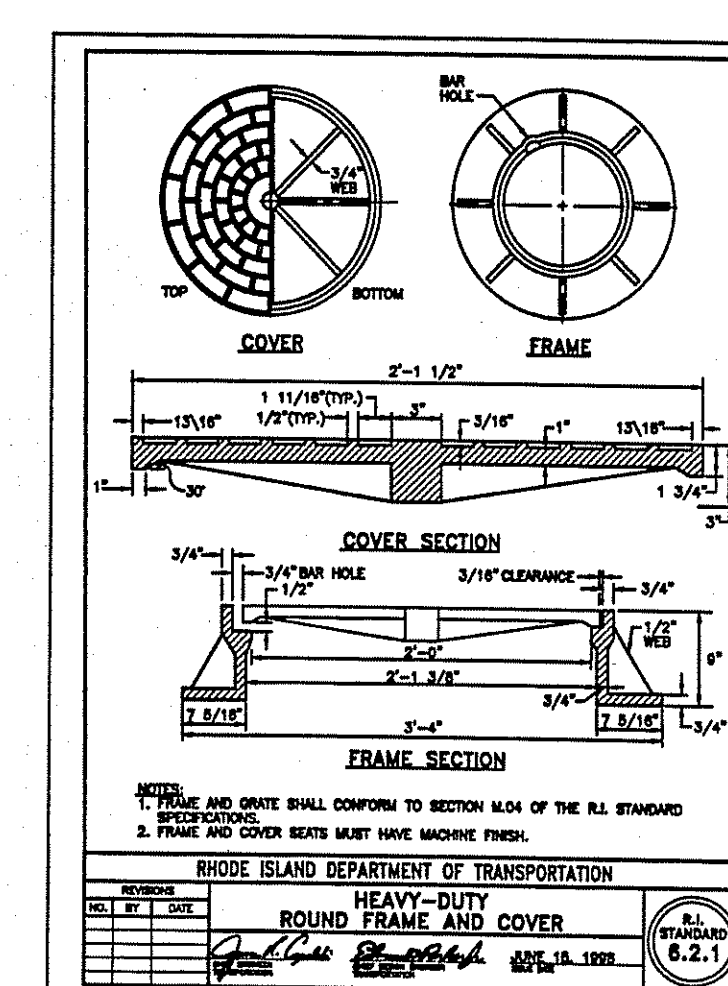
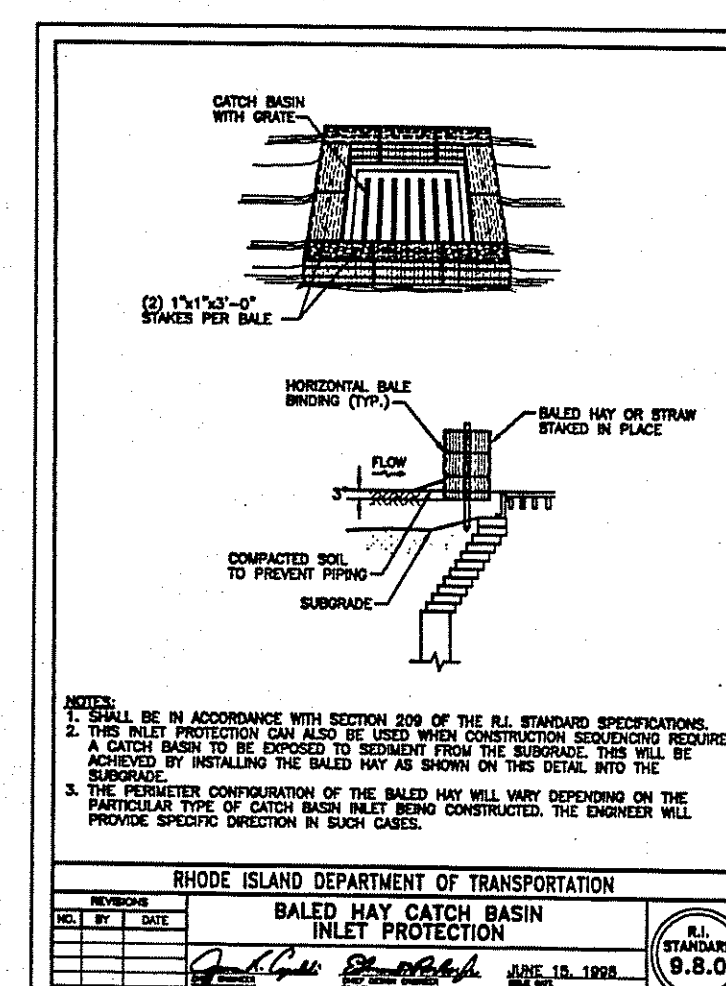
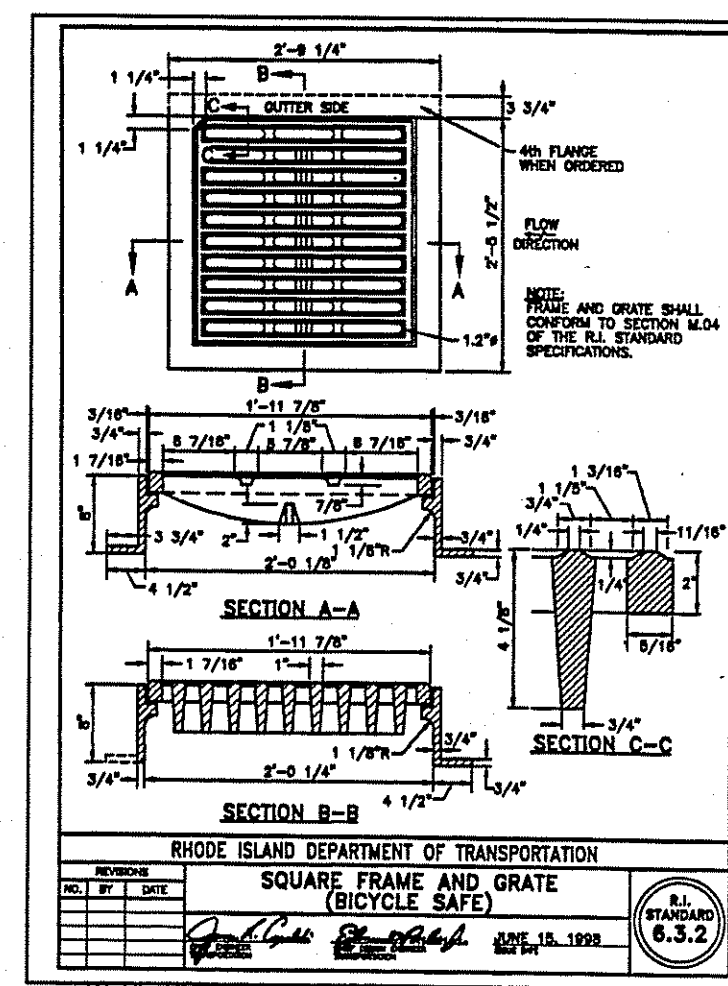
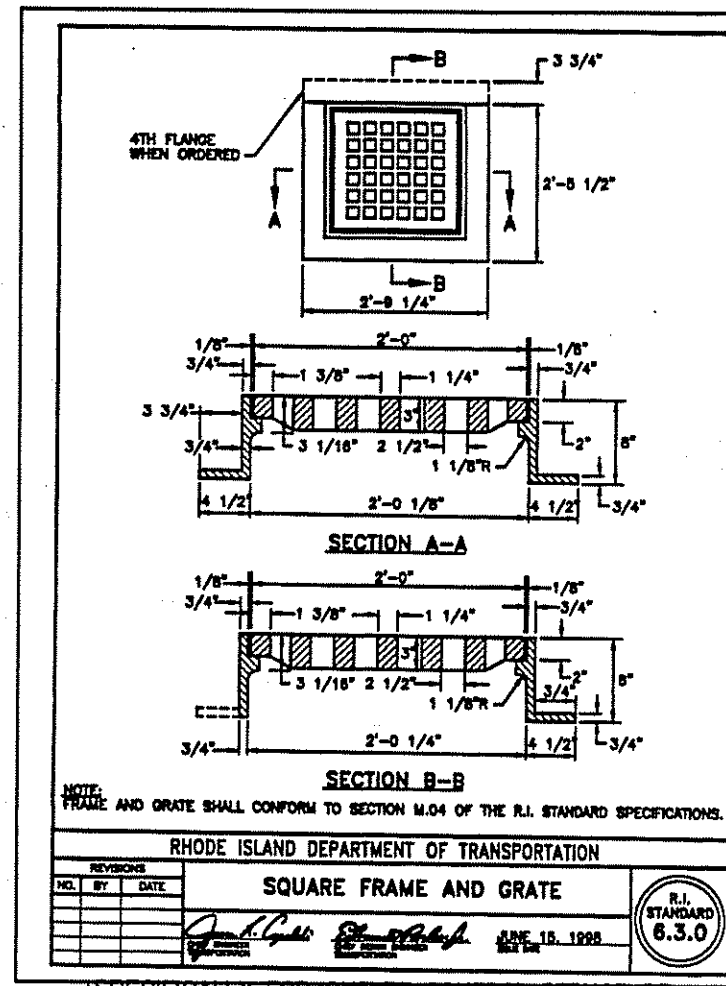
CHECKED BY: W.G. III 5931007 SUBDIVISION SINGLE-DUPLEX DRAWING NO.:

JOB NO.: 5931.007 SHEET 10 OF 12



**Environmental Planning & Surveying, Inc.**

Civil Engineering  
Surveying  
C A D Drafting



Location Map  
(Not To Scale)

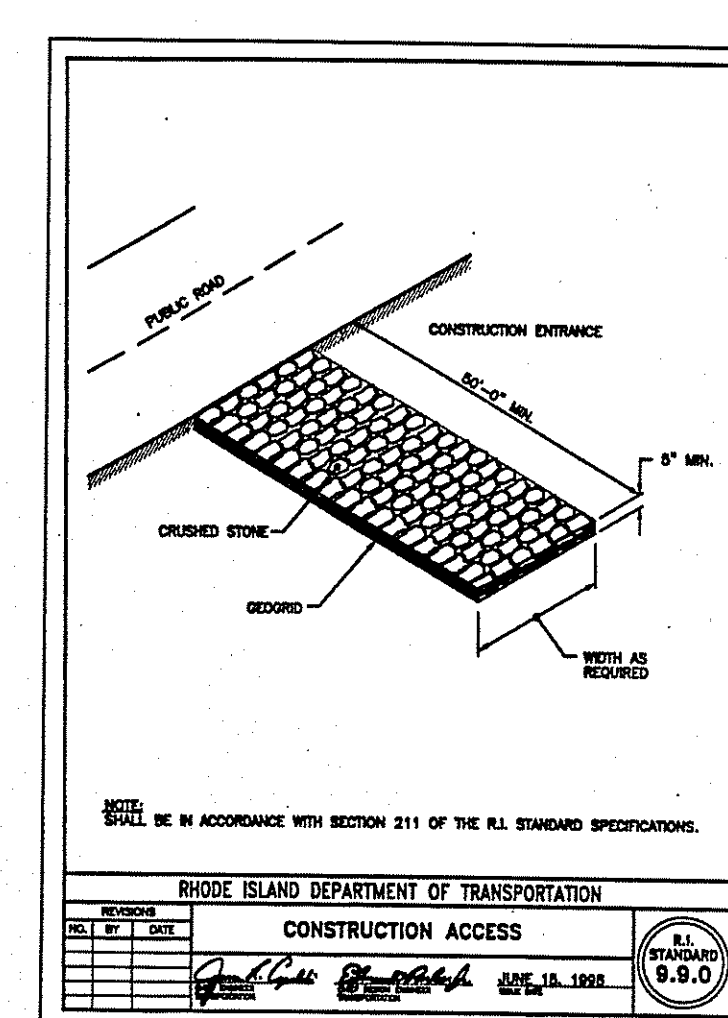
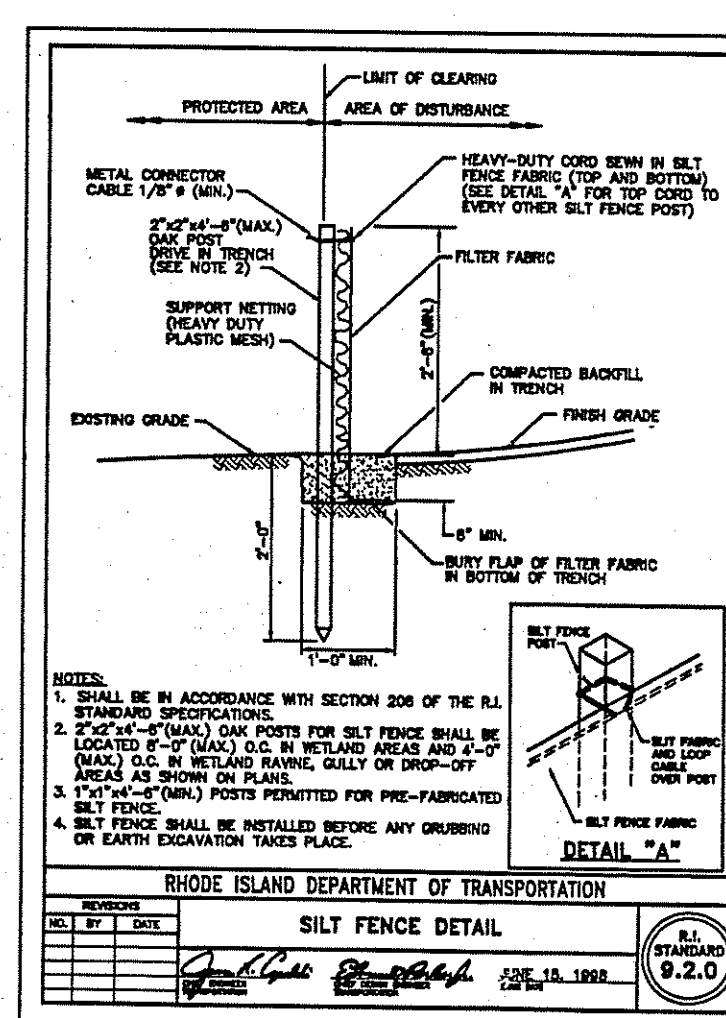
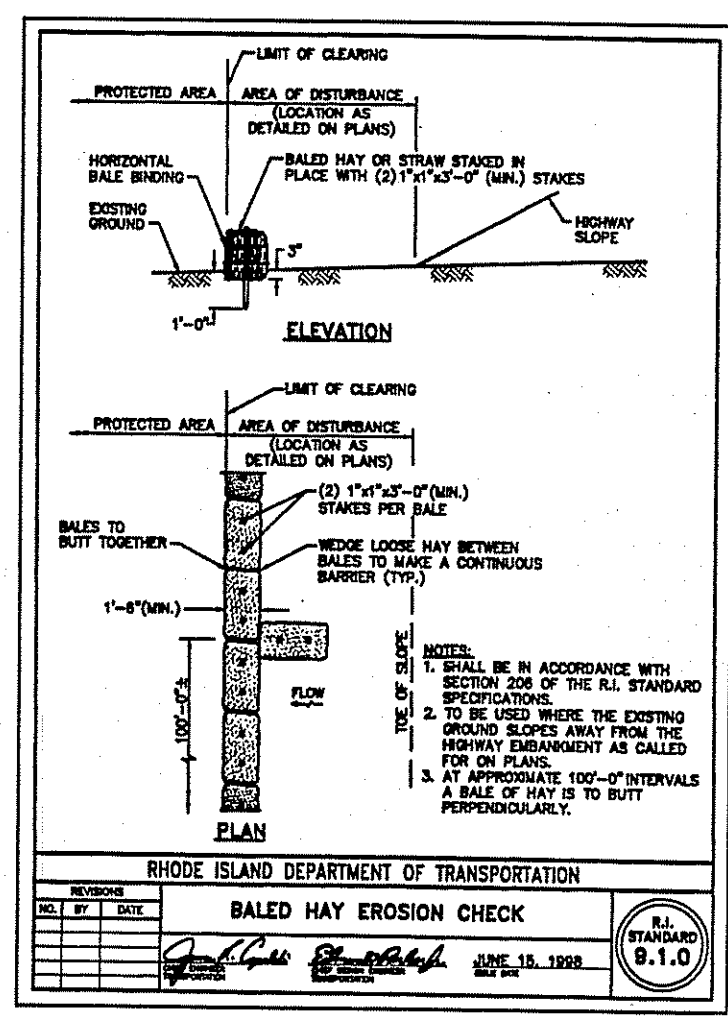
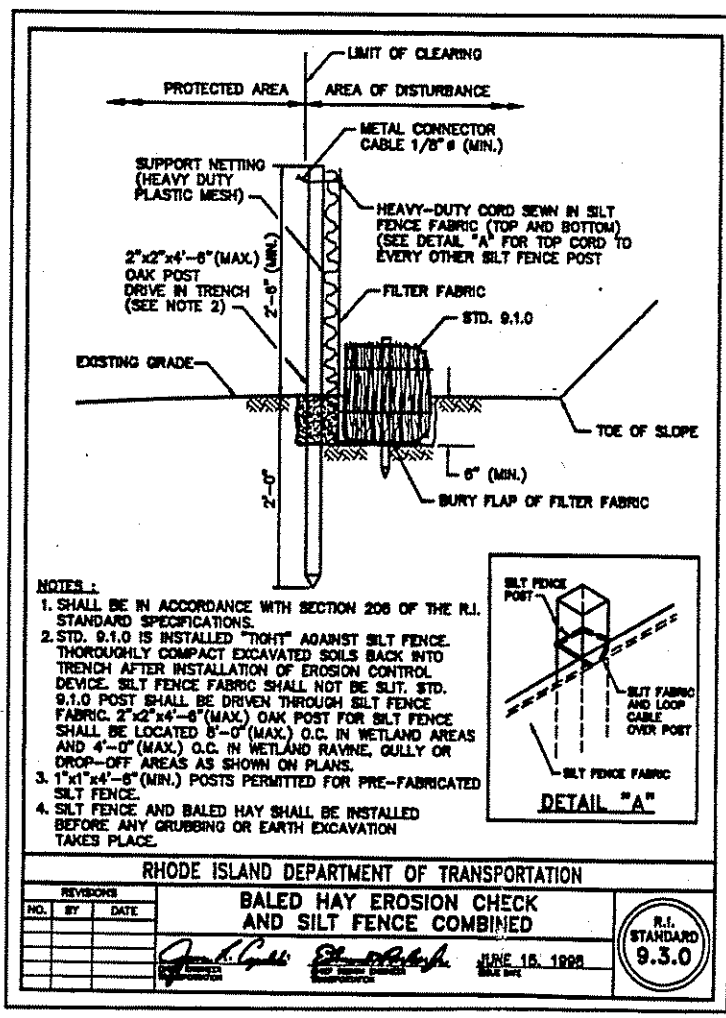
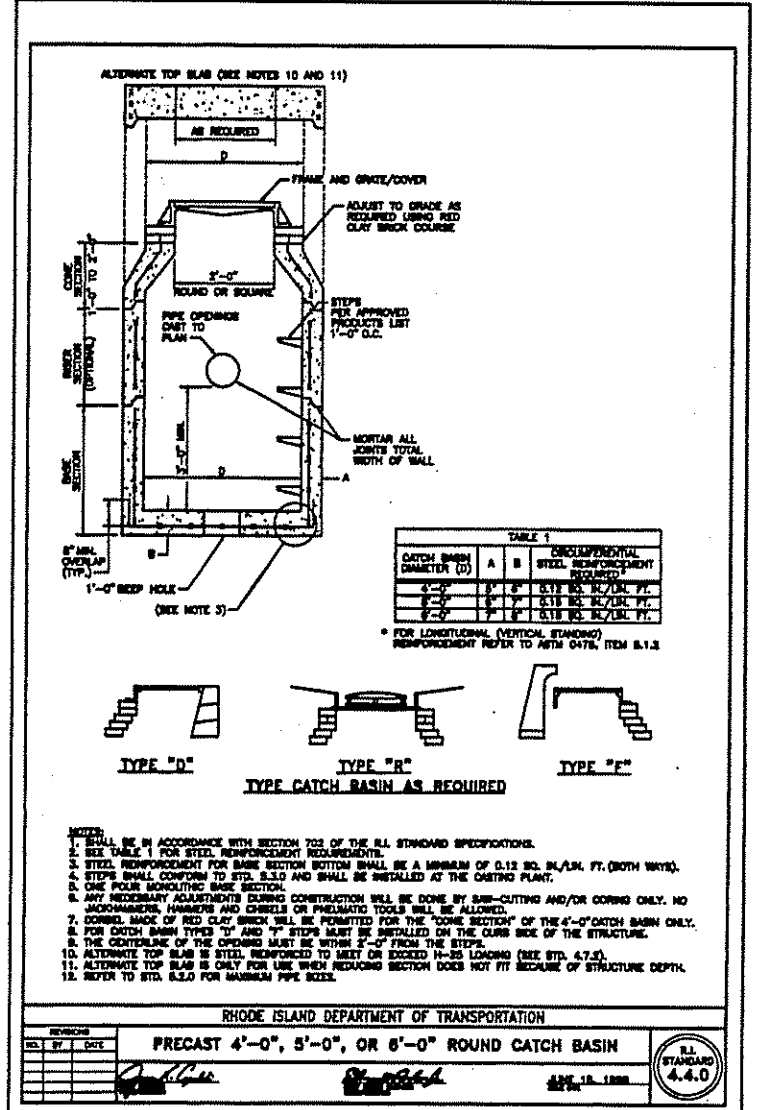
# Detail Sheet 2

## Master/Preliminary "Whittier Estates" Major Subdivision

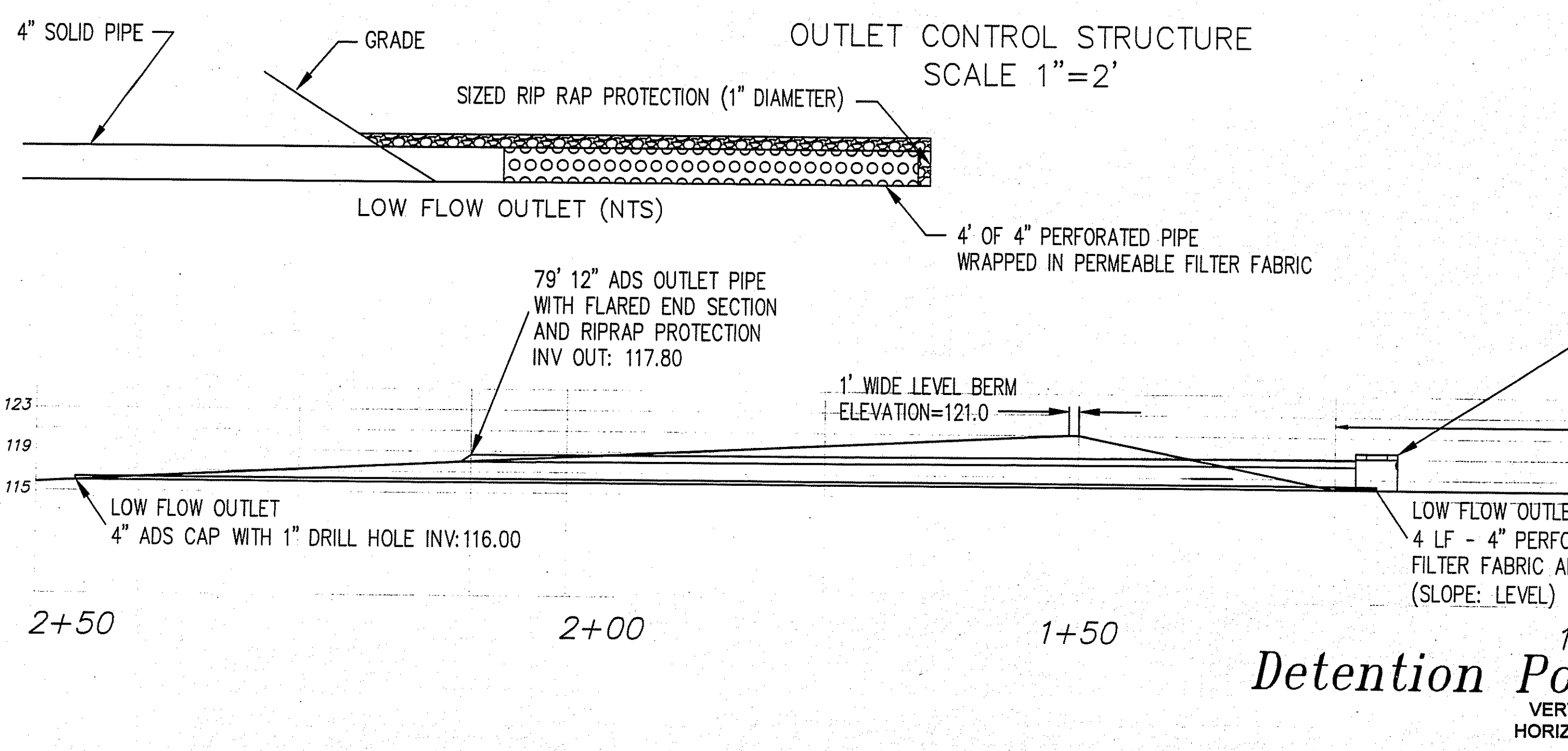
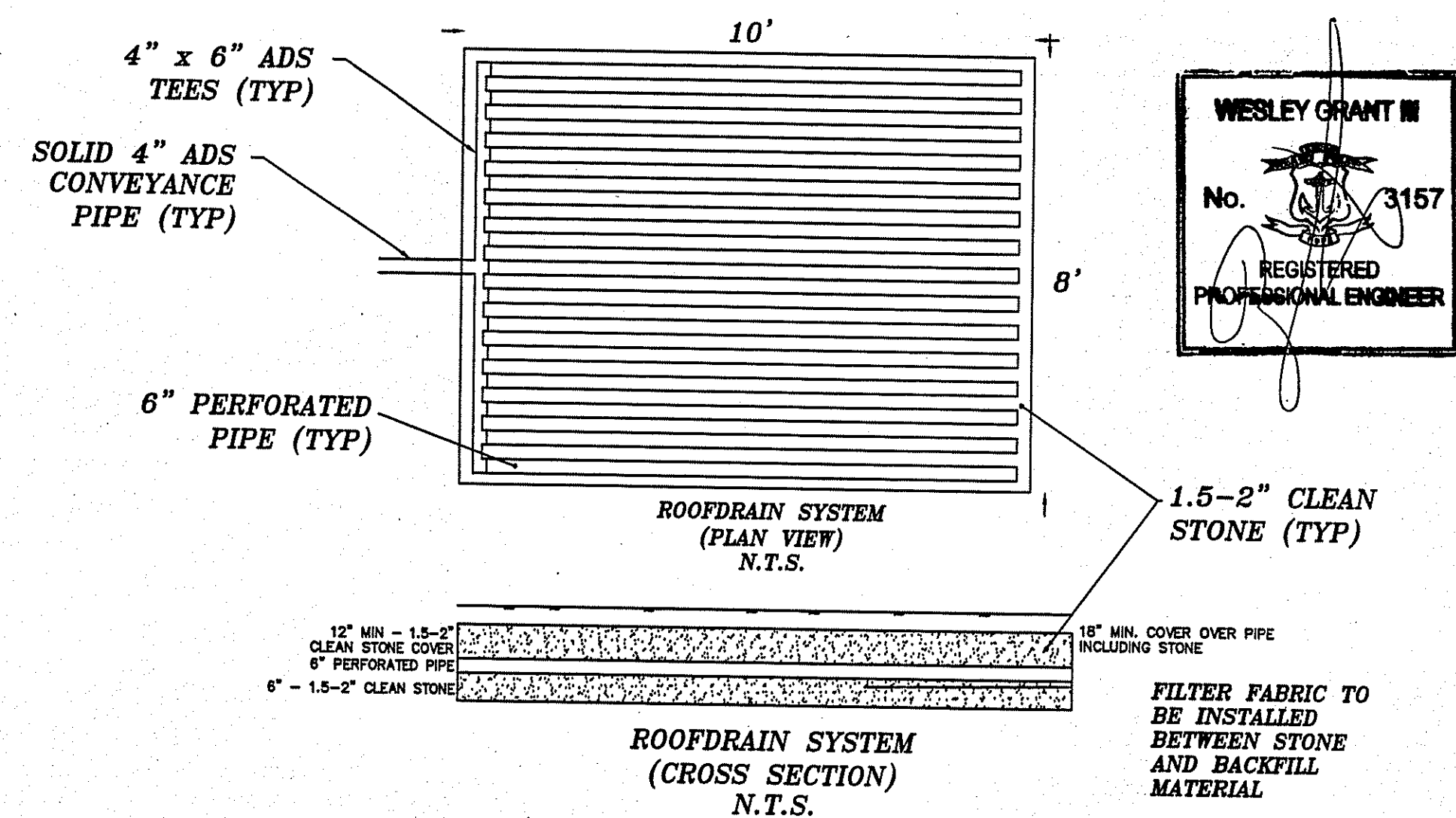
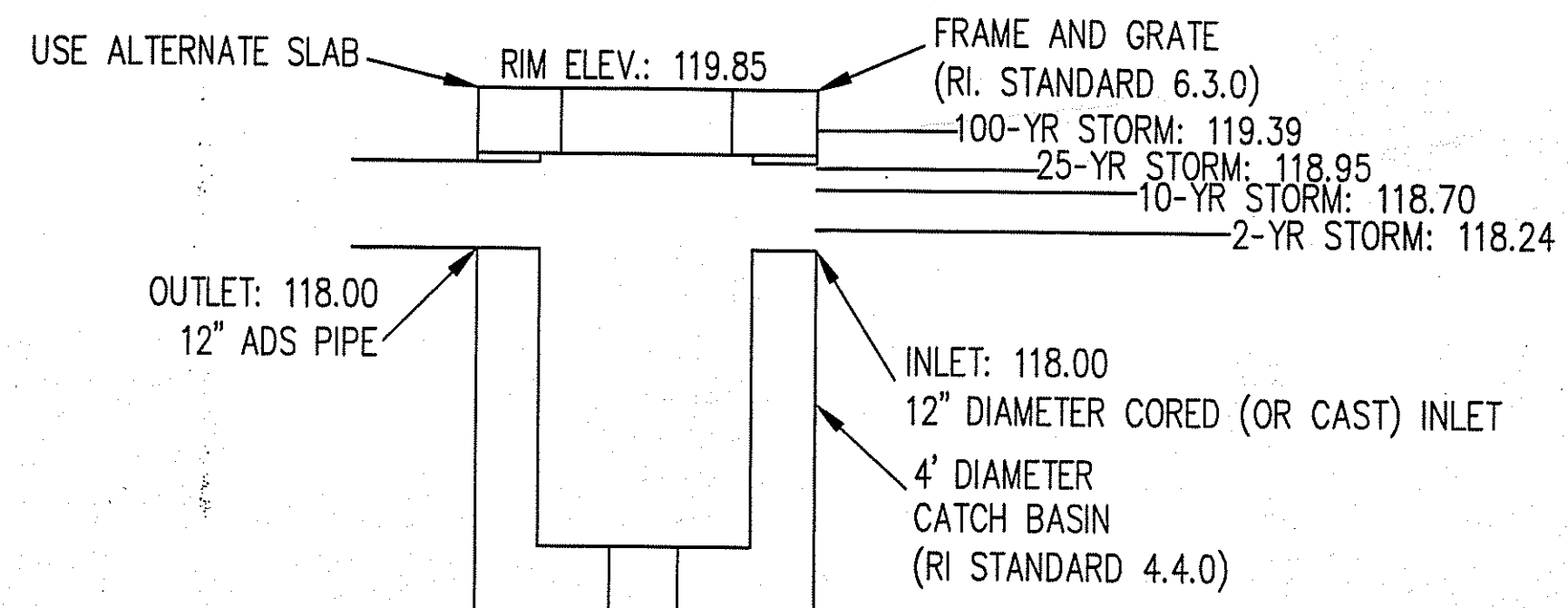
Prepared For:  
 Robert Leonard/Mark Lubic  
 P.O. Box 9  
 Narragansett, Rhode Island 02882

Owner of Record:  
 Linda M. Sisson  
 52 Willard Avenue  
 Wakefield, Rhode Island 02879

In The Town of:  
 South Kingstown, Rhode Island  
 Map 56-4, Lots 38 & 40  
 R10 Zoning District



4' - 4.4.0 TO BE MODIFIED AS FOLLOWS:  
 1. SUMP SHALL BE 4' IN DEPTH  
 2. CATCH BASINS WITH OIL/WATER SEPARATORS SHALL HAVE A MINIMUM SUMP OF 2' BELOW BOTTOM OF SEPARATOR



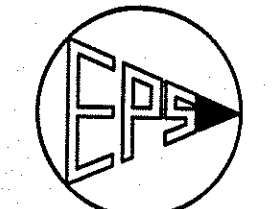
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED AUG 19 2010 FILE # 02-0387  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Harker  
 6/15/2010

NO.	DATE	DESCRIPTION	BY
1	3/24/2010	TECHNICAL REVIEW COMMITTEE COMMENTS	C.A.C.

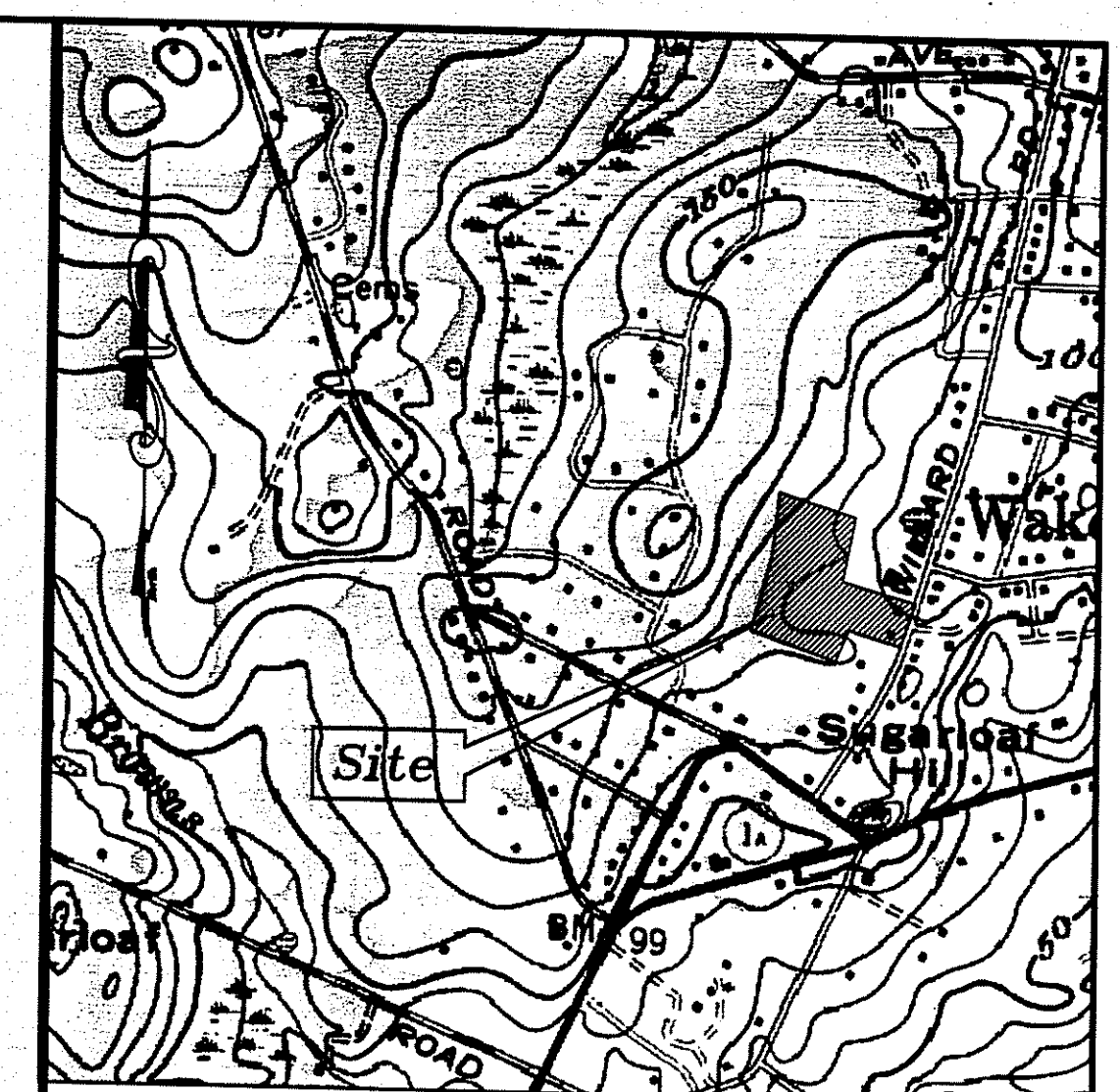
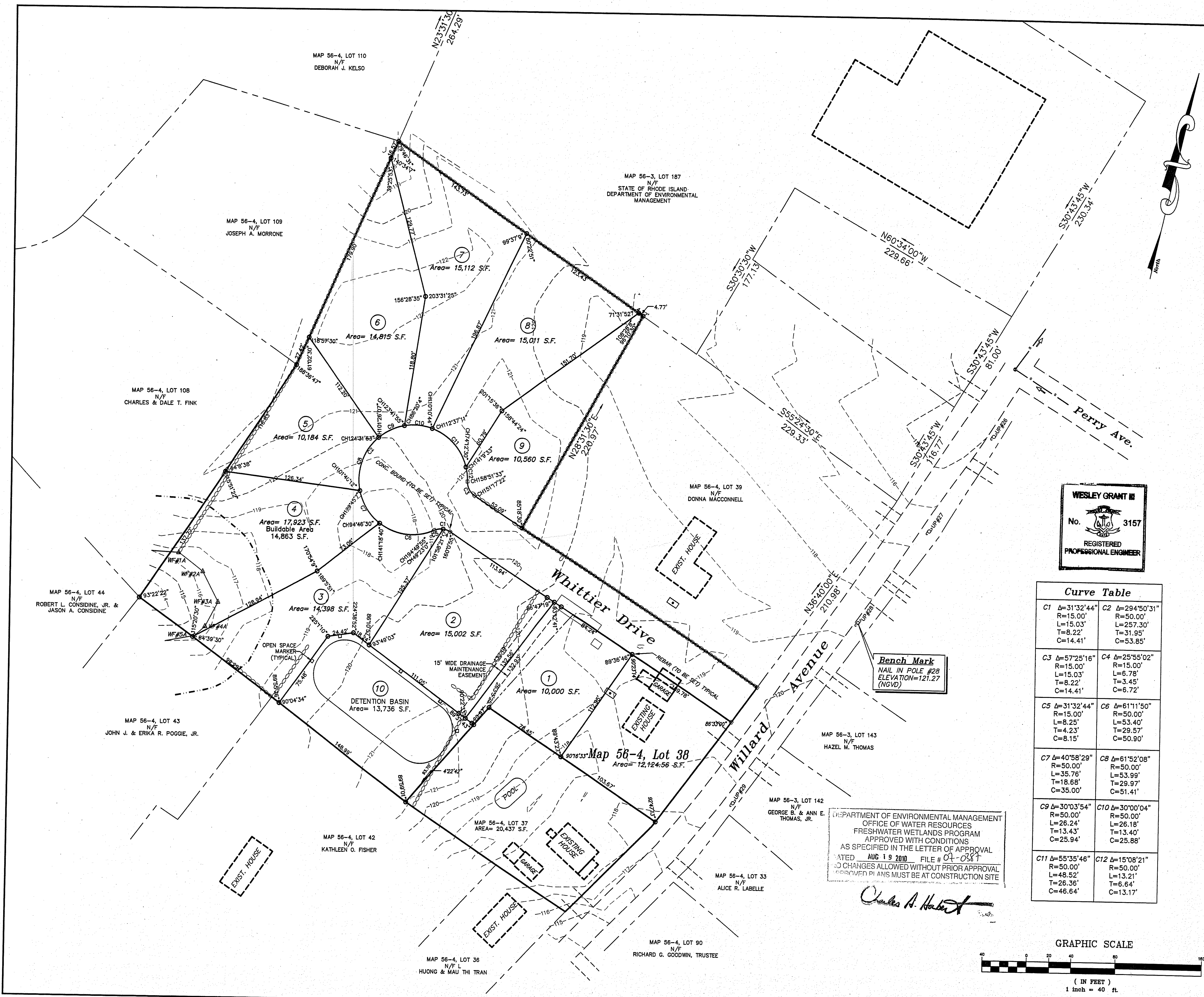
DRAWN BY:	C.A.C.	DATE:	FEBRUARY, 2010
CHECKED BY:	W.G. III	5931007 SUBDIVISION SINGLE-DUPLEX DRAWING NO.:	
JOB NO.:	5931.007	SHEET	11 OF 12



Environmental Planning & Surveying, Inc.

Civil Engineering  
 Surveying  
 C A D Drafting

22 Kersey Road Wakefield, Rhode Island 02879 (401) 789-3628



Location Map  
(Not To Scale)

# Survey Plan

## Master/Preliminary

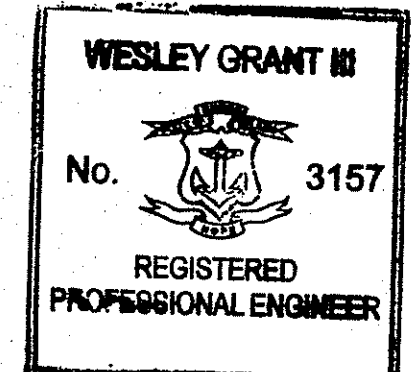
### "Whittier Estates"

### Major Subdivision

Prepared For:  
**Robert Leonard/Mark Lubic**  
 P.O. Box 9  
 Narragansett, Rhode Island 02882

Owner of Record:  
**Linda M. Sisson**  
 52 Willard Avenue  
 Wakefield, Rhode Island 02879

In The Town of:  
**South Kingstown, Rhode Island**  
 Map 56-4, Lots 38 & 40  
 R10 Zoning District

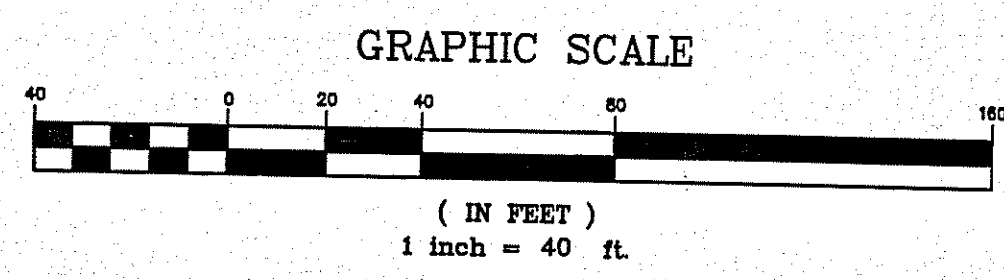


Curve Table	
C1 Δ=31°32'44" R=15.00' L=15.03' T=8.22' C=14.41'	C2 Δ=294°50'31" R=50.00' L=257.30' T=31.95' C=53.85'
C3 Δ=57°25'16" R=15.00' L=15.03' T=8.22' C=14.41'	C4 Δ=25°55'02" R=15.00' L=6.78' T=3.45' C=6.72'
C5 Δ=31°32'44" R=15.00' L=8.25' T=4.23' C=8.15'	C6 Δ=61°11'50" R=50.00' L=53.40' T=29.57' C=50.90'
C7 Δ=40°58'29" R=50.00' L=35.78' T=18.68' C=35.00'	C8 Δ=61°52'08" R=50.00' L=53.99' T=29.97' C=51.41'
C9 Δ=30°03'54" R=50.00' L=26.24' T=13.43' C=25.94'	C10 Δ=30°00'04" R=50.00' L=26.18' T=13.40' C=25.88'
C11 Δ=55°35'46" R=50.00' L=48.52' T=26.36' C=46.64'	C12 Δ=15°08'21" R=50.00' L=13.21' T=6.64' C=13.17'

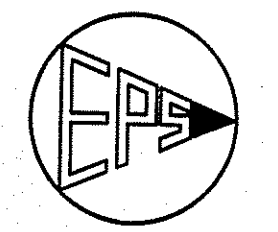
**Bench Mark**  
 NAIL IN POLE #28  
 ELEVATION=121.27  
 (NGVD)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED **AUG 19 2010** FILE # **04-0387**  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED BY PLANS MUST BE AT CONSTRUCTION SITE

*Charles A. Hackett*



NO.	DATE	DESCRIPTION	BY
1	3/24/2010	TECHNICAL REVIEW COMMITTEE COMMENTS	C.A.C.
DRAWN BY: C.A.C.		DATE: FEBRUARY, 2010	
CHECKED BY: W.G. III		5931007 SUBDIVISION SINGLE-DUPLEX DRAWING NO.:	
JOB NO.: 5931.007		SHEET 12 OF 12	



**Environmental Planning & Surveying, Inc.**

Civil Engineering  
 Surveying  
 C A D Drafting

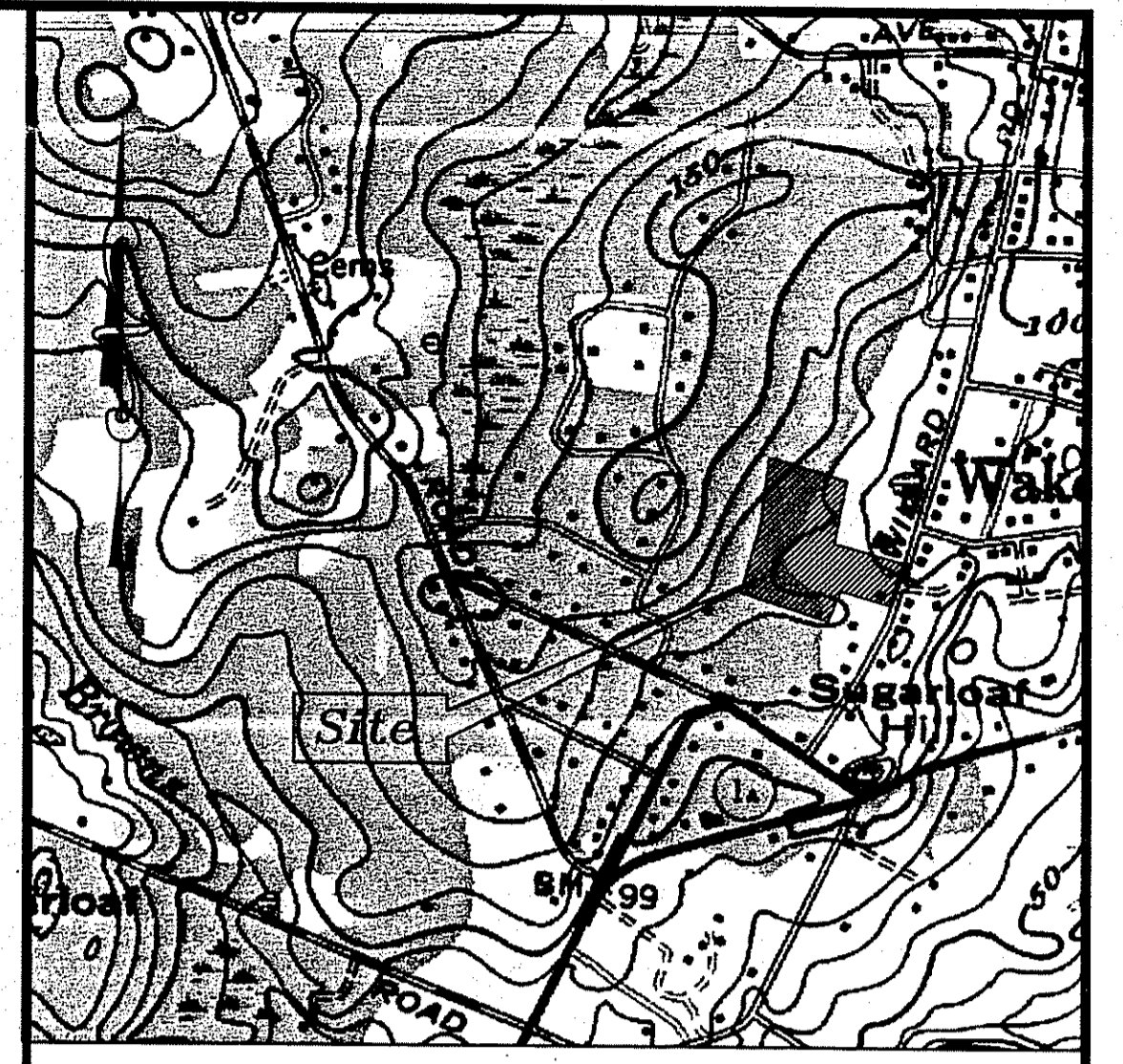
22 Kersey Road Wakefield, Rhode Island 02879 (401) 789-3628

# Whittier Estates

A

**Major Subdivision**  
 Map 56-4 Lots 38 & 40  
 on Willard Avenue in  
 South Kingstown, RI

Kindly be advised that this  
 Permit is not equivalent to a  
 verification of the type or extent  
 of freshwater wetlands on site.



Location Map  
 (Not To Scale)

**COVER SHEET**

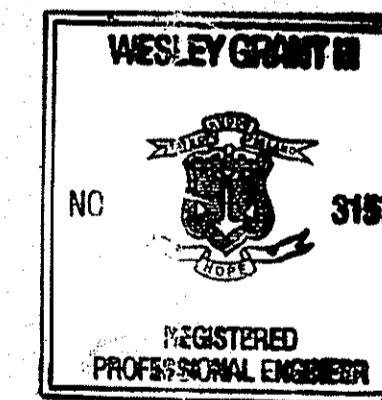
Submitted to the  
**RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT**

for Preliminary Determination

Zone R10

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED 03/16/2006 FILE # 06-088  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

*Master D. Wencel*



**TABLE OF CONTENTS**

- 1 COVER SHEET
- 2 GENERAL NOTES
- 3 EXISTING CONDITIONS
- 4 GRADING & DRAINAGE
- 5 UTILITY SHEET
- 6 WHITTIER PROFILE
- 7 WILLARD PROFILE
- 8 DETAIL SHEET
- 9 RI STANDARD DETAILS

**PRELIMINARY PLAN**  
**"Whittier Estates"**  
**MAJOR SUBDIVISION**  
 Prepared For:  
 Robert Leonard/Mark Lubic  
 P.O. Box 9  
 Narragansett, Rhode Island 02882  
 Owner of Record:  
 Linda M. Sisson  
 52 Willard Avenue  
 Wakefield, Rhode Island 02879  
 In The Town of:  
 South Kingstown, Rhode Island  
 Map 56-4, Lots 38 & 40  
 R10 Zoning District

NO.	DATE	DESCRIPTION	BY
C	06/08	RIDEM FWW COMMENTS	NCA
B	04/08	RIDEM FWW COMMENTS	NCA
A	02/08	RIDEM FWW COMMENTS	NCA

DRAWN BY:	L.J.H.	DATE:	09/07
CHECKED BY:	W.G. III	5931007PRELIMMAJORSUBPLAN	DRAWING NO.:
JOB NO.:	5931007	SHEET	1 OF 9

**Environmental Planning & Surveying, Inc.**  
 Civil Engineering  
 Surveying  
 C A D Drafting

JUL -7 2008

MASTER PLAN APPROVAL GRANTED 03/16/2006

**GENERAL NOTES**

1. SITE LIES WITHIN ZONE "C" OF FLOOD INSURANCE RATE MAP FOR THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY COMMUNITY PANEL NUMBER 445407 0018 E. MAP REVISED JUNE 16, 1992.
2. PROPOSED LOTS WILL BE SERVICED BY PUBLIC WATER AND SEWERS.
3. ESTIMATED INCREASE IN POPULATION OF PROPOSED SUBDIVISION IS 41.76 PEOPLE. (8 MULTIFAMILY HOUSES X 5.22 PERSONS PER HOUSEHOLD) ESTIMATED NUMBER OF SCHOOL-AGED CHILDREN IN PROPOSED SUBDIVISION= 17.
4. SUBJECT SITE DOES NOT LIE WITHIN A NATURAL HERITAGE AREA, NARROW RIVER SPECIAL AREA MANAGEMENT PLAN, SALT PONDS SPECIAL AREA MANAGEMENT PLAN OR A GROUNDWATER PROTECTION OVERLAY DISTRICT.
5. EXISTING GARAGE AND SHED (ON LOT 38) TO BE REMOVED.
6. SITE IS VEGETATED WITH A MIX OF HARDWOODS & BRUSH.
7. ALL SPECIFICATIONS AND DETAILS SHALL CONFORM TO THE LATEST TOWN OF SOUTH KINGSTOWN (TSK) STANDARD SPECIFICATIONS AND DETAILS, THE LATEST STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE RHODE ISLAND STANDARD DETAILS AND THE R.I. BRIDGE STANDARD DETAILS. THE FOREMENTIONED STANDARDS ARE MADE A PART HERETO. THE TSK STANDARD SPECIFICATIONS AND DETAILS MAY BE OBTAINED AT THE DEPARTMENT OF PUBLIC SERVICES. THE RHODE ISLAND STANDARD SPECIFICATIONS AND DETAILS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
8. IF CONFLICTS EXIST, THE LATEST TSK STANDARD SPECIFICATIONS AND DETAILS SHALL TAKE PRECEDENCE OVER ANY DISCREPANCIES BETWEEN TSK STANDARDS, STATE STANDARDS, OR THOSE ATTACHED TO THESE PLANS.
9. THE CONTRACTOR IS REQUIRED TO VERIFY THAT ALL STANDARDS INCORPORATED INTO THE PLANS ARE THE MOST CURRENT BEFORE BEGINNING CONSTRUCTION.

**EROSION CONTROL PROGRAM**

1. BANKS OR SLOPES NOT RECEIVING RIP-RAP SHALL BE SEEDED AND PROTECTED WITH A FIBER MULCH (MULCH FOR SLOPES > OR = 3:1).
2. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND STORM RUNOFF.
3. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH AND EVERY STORM OCCURRENCE.
4. ADDITIONAL HAYBALES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
5. ALL SEDIMENTS SHALL BE REMOVED FROM THE CATCH BASINS WHEN DIRECTED BY THE ENGINEER.
6. REFERENCE THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE, SOILS CONSERVATION SERVICE, 1990, AS A GUIDE.
7. DENUDE SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME, INCLUDING THE WINTER SHUT DOWN PERIOD.
8. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING THE CONSTRUCTION SEASON.
9. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STANDARD SPECIFICATION M.20.
10. THE SEED MIX SHALL BE AS SHOWN ON PLANS. LIMING AND FERTILIZING AS SHOWN ON PLANS.
11. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OF FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBER GLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER (FOR ALL BANKS OR SLOPES > OR = 3:1).
12. HAY OR STRAW APPLICATIONS SHALL BE APPLIED AT THE RATE OF 200 LBS/ACRE.
13. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
14. THE CONTRACTOR MUST REMAIN AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITH THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
15. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST TO OCTOBER 15TH.
16. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STANDARD SPECIFICATIONS SECTION 202.
17. STABILIZATION PROCEDURES AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
18. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDES SLOPES NO GREATER THAN 30 PERCENT AND STOCKPILES SHALL ALSO BE SEEDED AND OR STABILIZED.

**MATERIALS AND SUBMISSIONS**

1. WOOD STAKES TO BE 1" X 1" X 30" HARDWOOD.
2. HAYBALE SHALL BE HAY OR STRAW OF ACCEPTABLE HERBACEOUS GROWTH REASONABLY FREE FROM NOXIOUS WEEDS OR WOODY STEMS AND SHALL BE REASONABLY DRY. NO SALT MARSH HAY SHALL BE USED.
3. CONTRACTOR SHALL PLACE BALED HAY, STAKED THROUGH WITH TWO HARDWOOD STAKES, AT THE LINES AND GRADES SHOWN ON PLAN.

**CONSTRUCTION SEQUENCE**

1. ALL HAYBALE EROSION CONTROL SYSTEMS ON OPEN SPACE ARE TO BE INSTALLED AS SOON AS PRACTICALLY POSSIBLE AT THE START OF CONSTRUCTION.
2. ALL HAYBALE EROSION CONTROL SYSTEMS AROUND CATCH BASINS ARE TO BE INSTALLED AS SOON AS CATCH BASINS ARE INSTALLED.
3. HAYBALE EROSION CONTROL SYSTEMS ARE TO BE MAINTAINED IN THE CONDITION SHOWN ON PLANS THROUGHOUT THE DURATION OF THE PROJECT. ANY DAMAGED HAYBALES MUST BE IMMEDIATELY REPAIRED.
4. THE HAYBALE EROSION SYSTEM SHALL NOT BE REMOVED UNTIL THE LANDSCAPE ARCHITECT GIVES WRITTEN APPROVAL THAT ALL PLANT MATERIAL AND GRASSES HAVE SUFFICIENTLY ESTABLISHED THEMSELVES IN A WAY THAT SOIL EROSION SHOULD NOT OCCUR.
5. HAYBALES SHALL BE REMOVED FROM THE SITE COMPLETELY AND DISPOSED OF LEGALLY OFF-SITE. ANY SILT BUILDUP SHALL BE REMOVED. THOSE AREAS UNDER HAYBALES SHALL RECEIVE SUFFICIENT QUANTITIES OF LOAM AND GRASS SEED SPECIFIED FOR THAT AREA.

**DETENTION BASIN CONSTRUCTION NOTES**

1. DETENTION BASIN BERM AREAS ARE TO BE CONSTRUCTED WITH COMMON BORROW COMPACTED TO 95% AND THEN LOAMED AND SEEDED.
2. TREES AND SHRUBS SHALL NOT BE PLANTED ON ANY IMPOUNDING EMBANKMENT.
3. DISTURBED AREAS ARE TO BE LOAMED A MINIMUM OF 4" AND SEEDED WITH A CONSERVATION TYPE MIXTURE.
4. ALL CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK".

**STORMWATER DRAINAGE SYSTEM MAINTENANCE**

- THE HOMEOWNERS' ASSOCIATION SHALL OWN AND MAINTAIN THE STORMWATER DRAINAGE SYSTEM WITH THE EXCEPTION OF THOSE PORTIONS WITHIN THE TOWN RIGHT OF WAY.
1. GRASSES MUST BE PLANTED AROUND AND WITHIN THE BASIN IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE THE SLOPES AND PREVENT EROSION.
  2. SIDE-SLOPES, EMBANKMENTS, AND THE UPPER STAGE OF THE BASIN MUST BE MOWED AT LEAST ONCE DURING THE GROWING SEASON BY AUGUST 15TH. ALL TRASH AND LITTER SHALL BE REMOVED FROM THE BASINS DURING MOWING OPERATIONS.
  3. SEDIMENTS MUST BE REMOVED FROM THE BASINS AT TEN YEAR INTERVALS AND AS NECESSARY.
  4. THE OUTLET STRUCTURE AND ALL OUTFLOW CHANNELS MUST BE INSPECTED ANNUALLY. EXTENDED DETENTION DEVICES MUST BE INSPECTED AT LEAST TWICE A YEAR. INSPECTIONS DURING THE FIRST SIX MONTHS OF OPERATIONS MUST BE ACCOMPLISHED OFTEN, ESPECIALLY AFTER RAINFALL EVENTS.
  5. THE GRASSSED AREAS OF THE BASIN MUST BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION. PROBLEM AREAS MUST BE RESEDED IMMEDIATELY.
  6. SIDE-SLOPES, EMBANKMENTS, AND THE UPPER STAGE OF BASINS SHALL BE MOWED AT LEAST ONCE PER GROWING SEASON, TO PREVENT UNWANTED WOODY GROWTH.
  7. ALL TRASH AND LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER FACILITY INCLUDING INLET AND OUTLET STRUCTURES. THIS MUST BE ACCOMPLISHED AT LEAST ONCE A YEAR, PREFERABLY SPRING AND FALL.
  8. INSPECTIONS OF ALL CATCH BASINS ON-SITE SHALL OCCUR ON AN ANNUAL BASIS TO CHECK FOR DEBRIS REMOVAL (SEDIMENT AND HYDROCARBONS) AND STRUCTURAL INTEGRITY OR DAMAGE. SUCH DEFICIENCIES MUST BE CORRECTED IMMEDIATELY. SEDIMENTS MUST BE REMOVED FROM CATCH BASINS WHEN SUMPS ARE HALF FILLED.
  9. REPAIRS OR REPLACEMENT OF INLET / OUTLET STRUCTURES, RIP-RAP CHANNELS, OR OTHER ELEMENTS OF THE FACILITY MUST BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT, THEN REPAIR / REPLACEMENT MUST BE DONE IMMEDIATELY.
  10. DRAINAGE STRUCTURES WITHIN THE TOWN RIGHT OF WAY SHALL BE MAINTAINED BY THE TOWN ALONG WITH ALL OTHER PUBLIC UTILITIES.

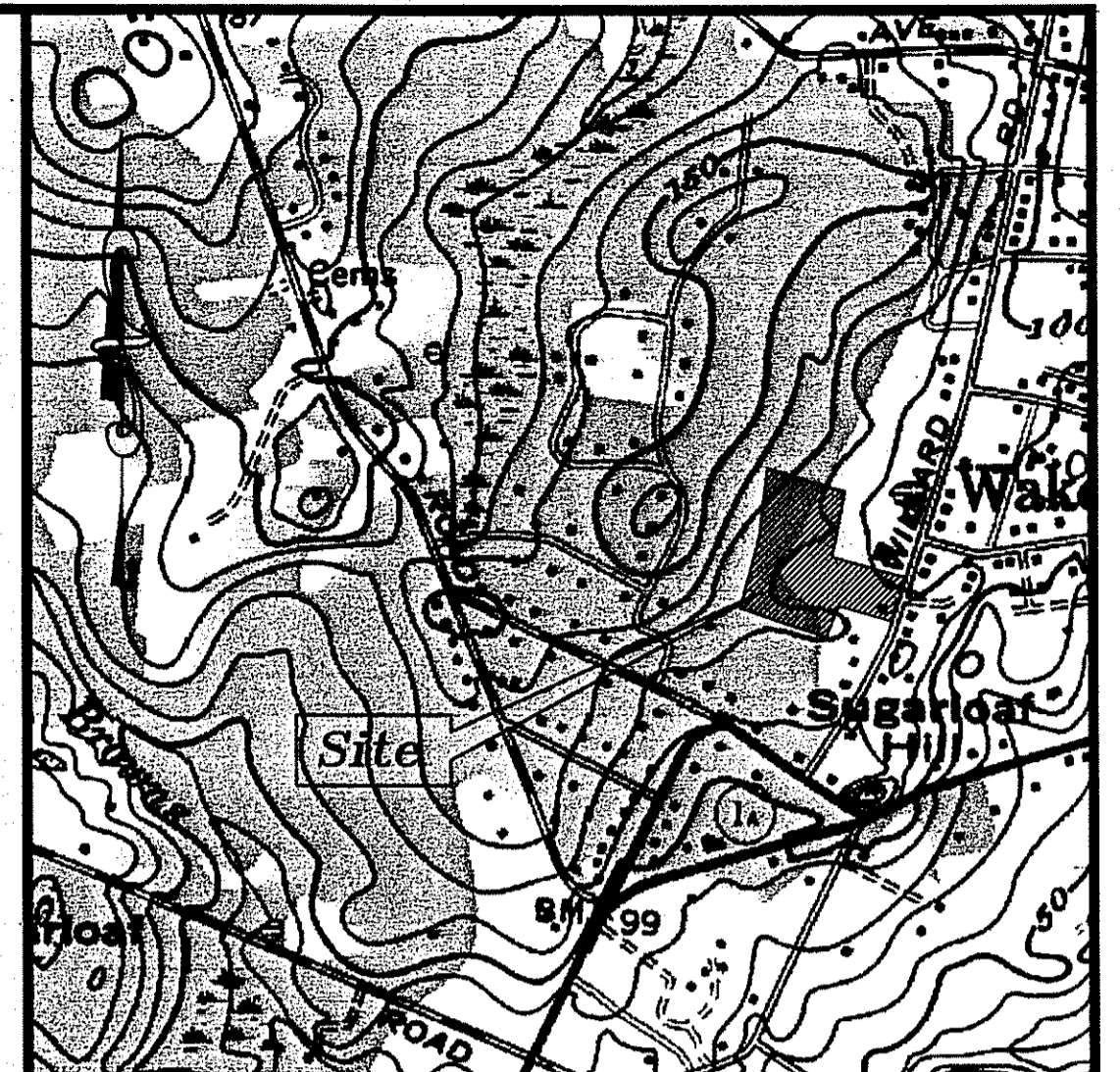
**UTILITY NOTES**

1. ALL PIPING USED IN GRAVITY SEWER MAIN AND LATERAL CONSTRUCTION SHALL BE SDR 35 PVC PIPE AS REQUIRED BY THE TOWN OF SOUTH KINGSTOWN.
2. SEWER LATERALS SHALL NOT BE LESS THAN 6" IN DIAMETER WITH A MINIMUM SLOPE OF 0.0167 FT/FT.
3. THE MINIMUM HORIZONTAL DISTANCE OF A SANITARY SEWER LATERAL FROM A WATER SERVICE LINE AND/OR WATER MAIN SHALL BE TEN (10) FEET. SEWER LINES CROSSING OTHER UTILITIES SHALL HAVE A MINIMUM OF TWELVE (12) INCHES FROM THE OUTSIDE DIAMETER OF SAID PIPES. SANITARY SEWER SERVICE PIPES SHALL BE LOWER IN ELEVATION THAN POTABLE WATER SERVICE LINES AND/OR WATER MAINS.
4. REINFORCED CONCRETE PIPE (RCP) MUST BE USED FOR ALL TOWN OWNED DRAINAGE INFRASTRUCTURE.
5. ALL ROOFTOP RUNOFF SHALL CONNECT AND DISCHARGE TO THE ROOF DRAIN SYSTEMS.

**Legend**

- 123.45 DISTANCE IN FEET
- ⊙ WELL
- △ STAKE SET
- EXISTING BOUND
- DRILL HOLE
- IRON PIN
- ⊕ UTILITY POLE
- CATCH BASIN
- ~~~~~ TREE LINE
- w — w — WATER LINE
- s — s — SEWER LINE
- p — p — DRAINAGE LINE
- LOD — LOD — LIMIT OF DISTURBANCE
- HAYBALES
- STONE WALL

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



Location Map (Not To Scale)

**GENERAL NOTES**

**PRELIMINARY PLAN "Whittier Estates" MAJOR SUBDIVISION**

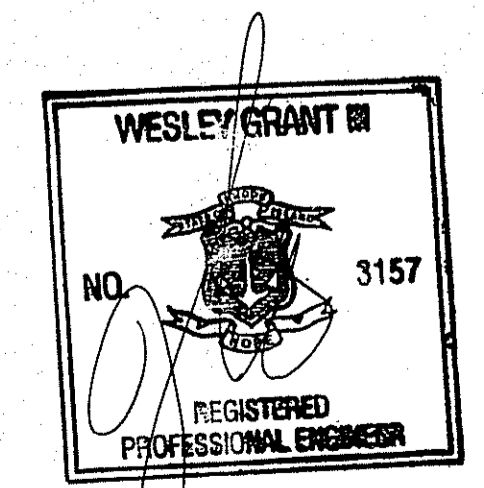
Prepared For:  
Robert Leonard/Mark Lubic  
P.O. Box 9  
Narragansett, Rhode Island 02882

Owner of Record:  
Linda M. Sisson  
52 Willard Avenue  
Wakefield, Rhode Island 02879

In The Town of:  
South Kingstown, Rhode Island  
Map 56-4, Lots 38 & 40  
R10 Zoning District

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED AUG 27 2008 FILE # 07-087  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

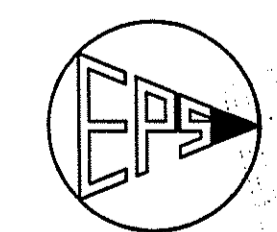
*Christopher D. Wencel*



NO.	DATE	DESCRIPTION	BY
C	06/08	RIDEM FWW COMMENTS	NCA
B	04/08	RIDEM FWW COMMENTS	NCA
A	02/08	RIDEM FWW COMMENTS	NCA

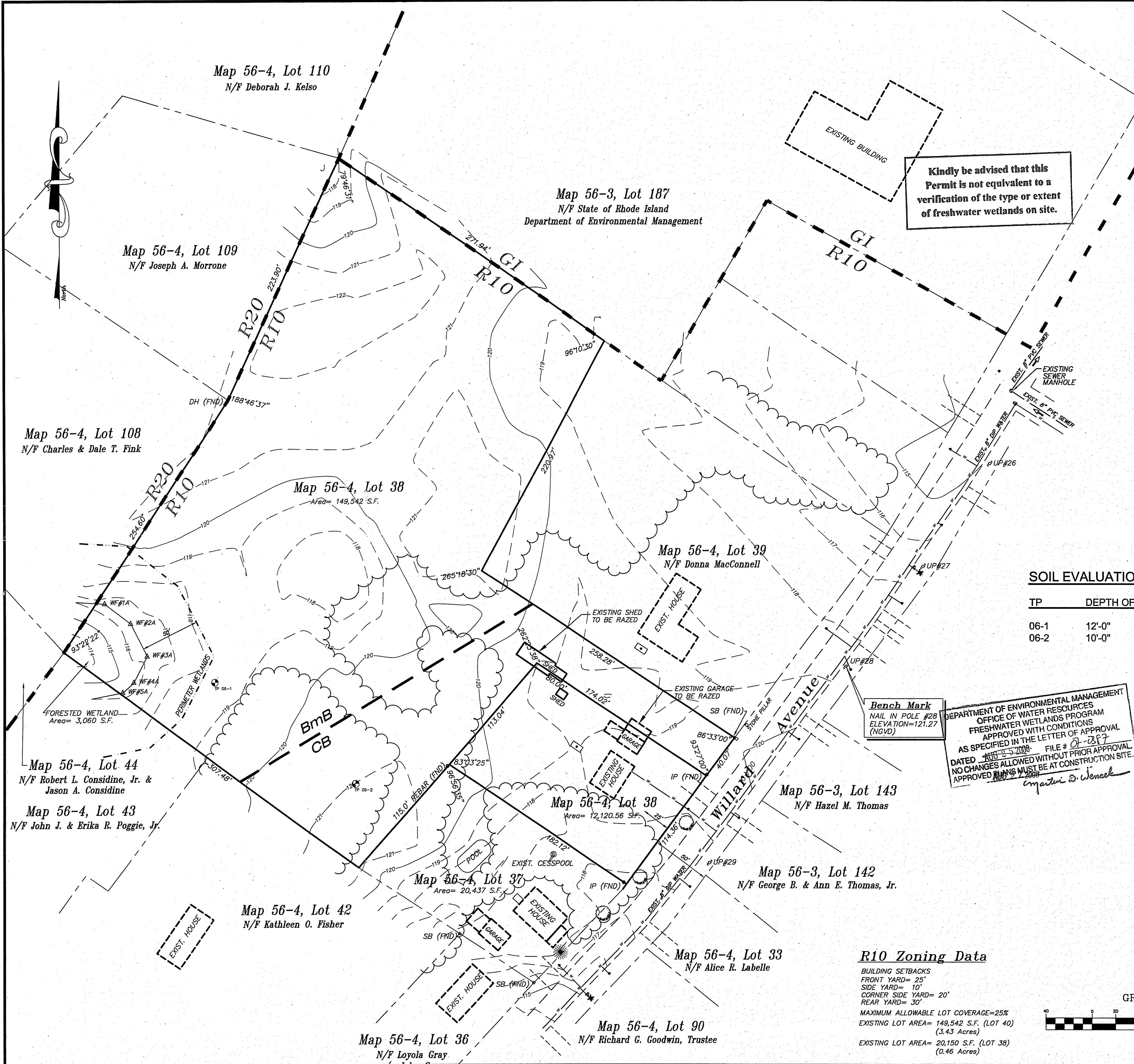
DRAWN BY:	L.J.H.	DATE:	09/07
CHECKED BY:	W.G. III	5931007PRELIMMAJORSUBPLAN	DRAWING NO.:
JOB NO.:	5931007	SHEET	2 OF 9



**Environmental Planning & Surveying, Inc.**

Civil Engineering  
Surveying  
C A D Drafting

I:\Server\Land Projects\215931007.dwg\19931007 PRELIMINARY MAJOR SUBDIVISION PLAN.dwg, 6/30/2008 11:03:17 AM, HP DesignJet 1050C by HP



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**SOIL EVALUATION RESULTS:**

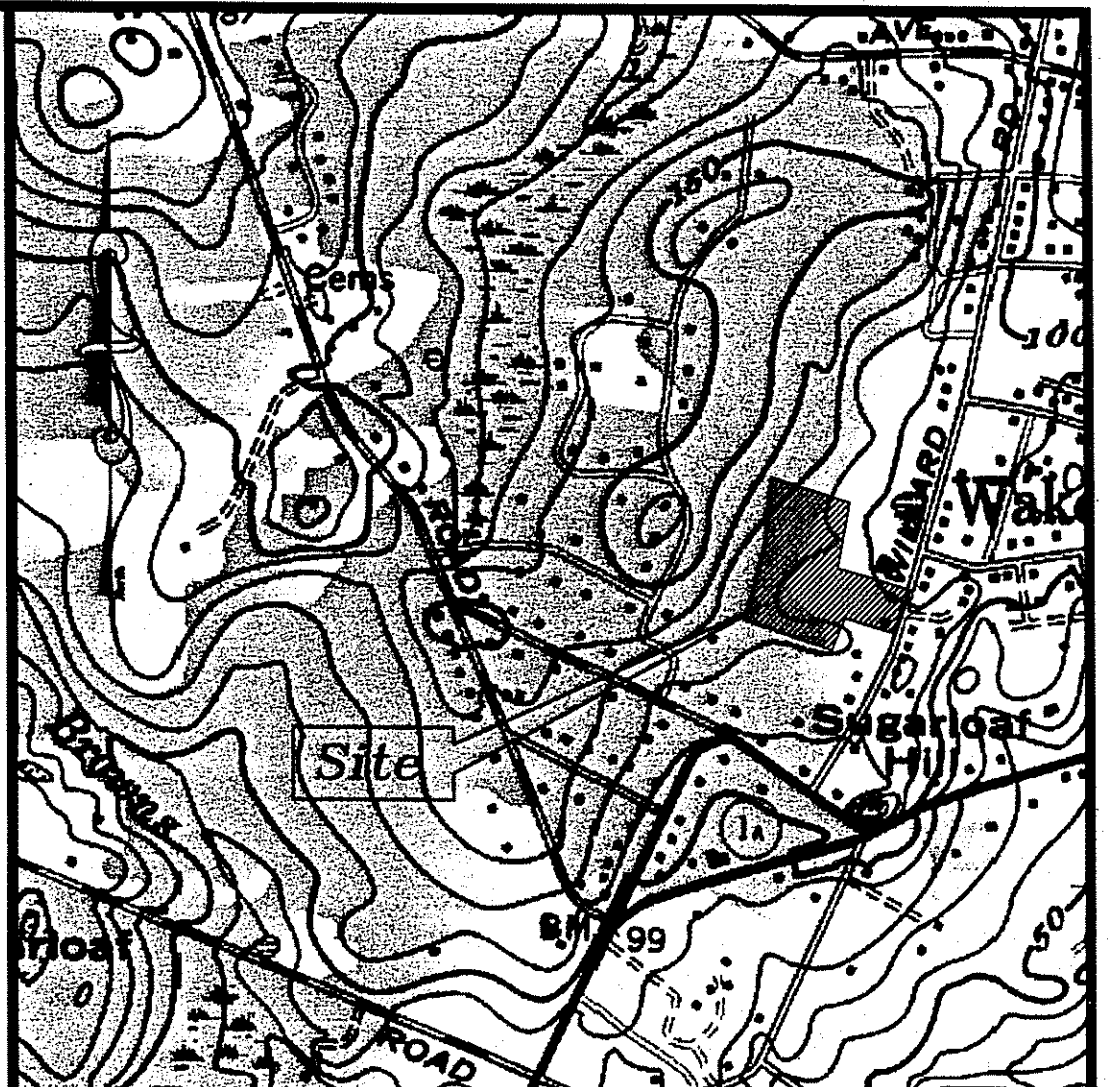
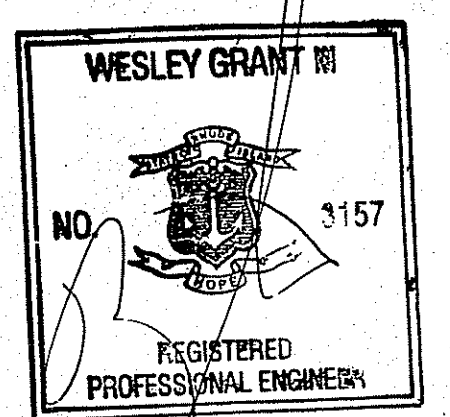
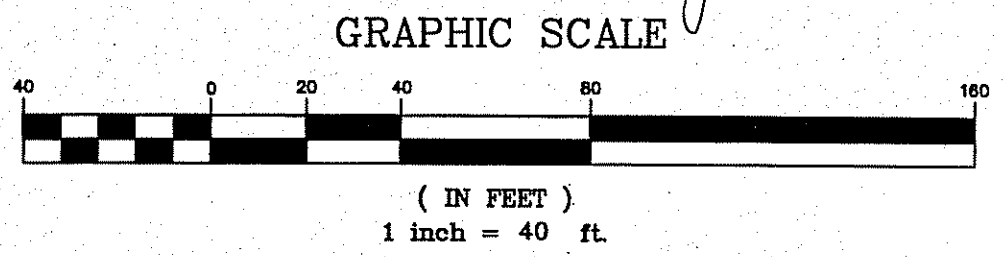
TP	DEPTH OF HOLE	ESWT
06-1	12'-0"	60"
06-2	10'-0"	84"

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
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 DATED 08-23-2008 FILE # 08-287  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.  
*Matthew D. Weneck*

**Bench Mark**  
 NAIL IN POLE #28  
 ELEVATION=121.27  
 (NGVD)

**R10 Zoning Data**

BUILDING SETBACKS  
 FRONT YARD= 25'  
 SIDE YARD= 10'  
 CORNER SIDE YARD= 20'  
 REAR YARD= 30'  
 MAXIMUM ALLOWABLE LOT COVERAGE=25%  
 EXISTING LOT AREA= 149,542 S.F. (LOT 40)  
 (3.43 Acres)  
 EXISTING LOT AREA= 20,150 S.F. (LOT 38)  
 (0.46 Acres)



Location Map  
(Not To Scale)

**EXISTING CONDITIONS**

**PRELIMINARY PLAN  
 "Whittier Estates"  
 MAJOR SUBDIVISION**

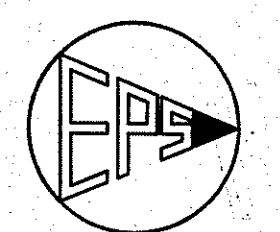
Prepared For:  
 Robert Leonard/Mark Lubic  
 P.O. Box 9  
 Narragansett, Rhode Island 02882

Owner of Record:  
 Linda M. Sisson  
 52 Willard Avenue  
 Wakefield, Rhode Island 02879

In The Town of:  
 South Kingstown, Rhode Island  
 Map 56-4, Lots 38 & 40  
 R10 Zoning District

NO.	DATE	DESCRIPTION	BY
C	06/08	RIDEM FWW COMMENTS	NCA
B	04/08	RIDEM FWW COMMENTS	NCA
A	02/08	RIDEM FWW COMMENTS	NCA

DRAWN BY:	L.J.H.	DATE:	09/07
CHECKED BY:	W.G. III	5931007PRELIMMAJORSUBPLAN	DRAWING NO.:
JOB NO.:	5931007	SHEET	3 OF 9

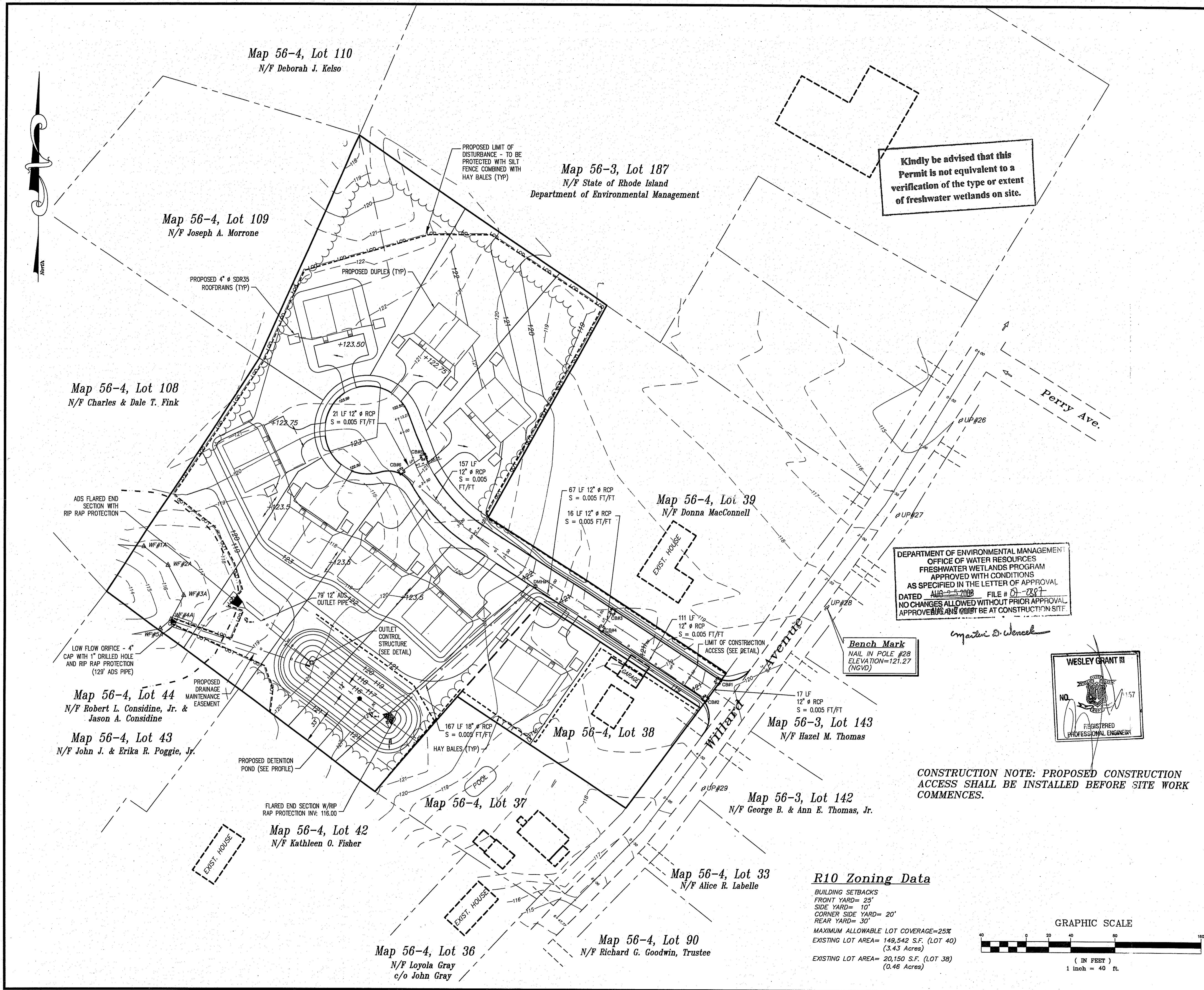


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 Surveying  
 C A D Drafting

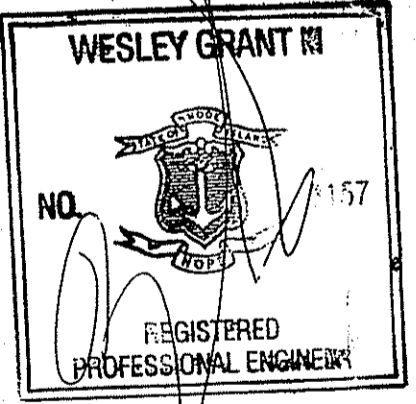
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
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 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED AUG 25 2008 FILE # 07-287  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED BY: [Signature]

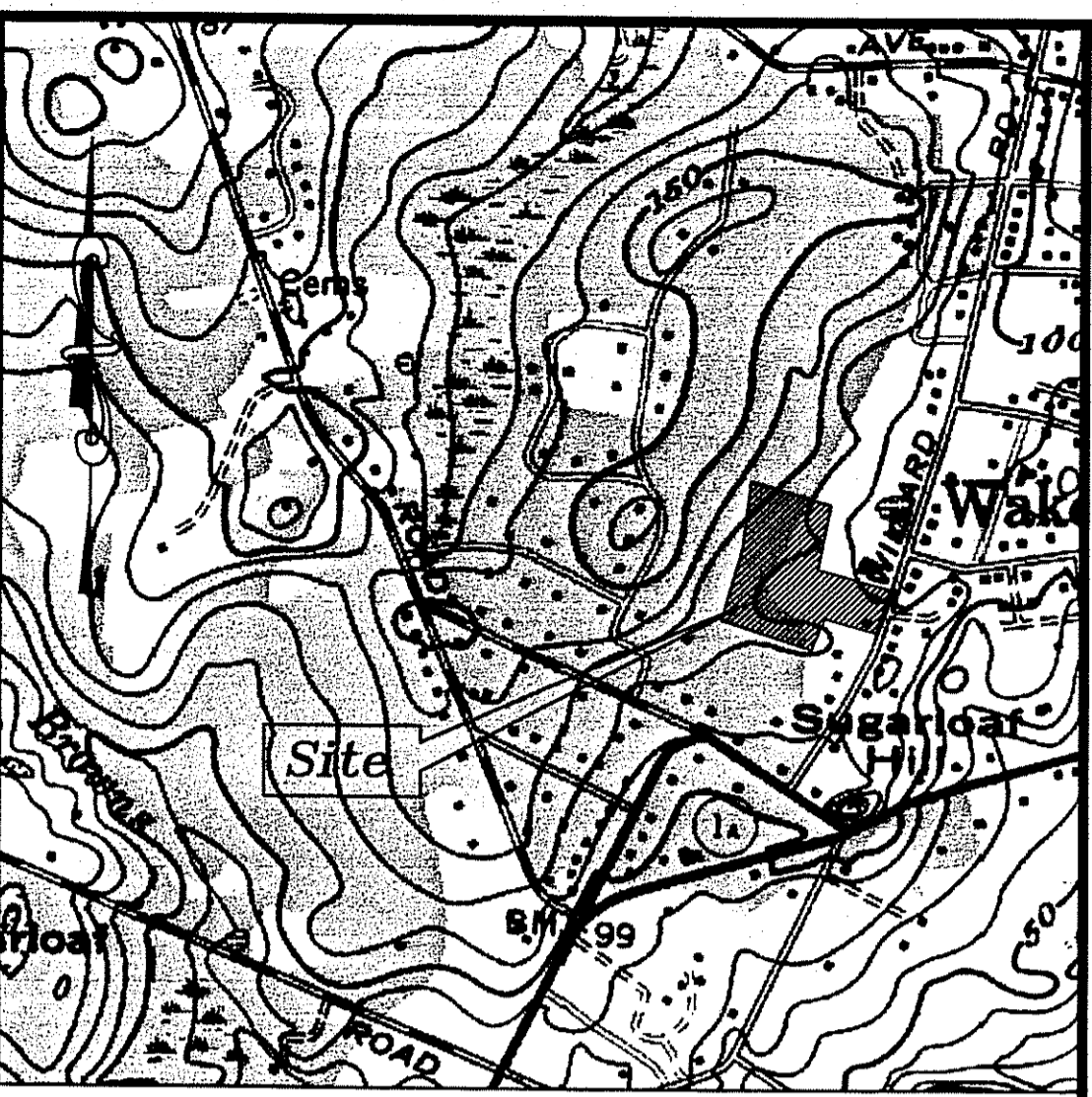
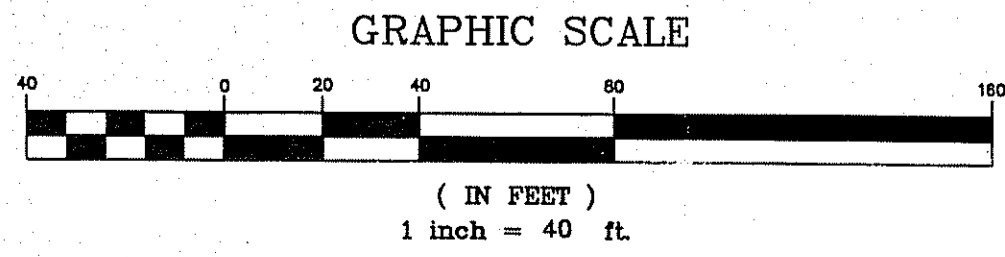
Bench Mark  
 NAIL IN POLE #28  
 ELEVATION=121.27 (NGVD)



CONSTRUCTION NOTE: PROPOSED CONSTRUCTION ACCESS SHALL BE INSTALLED BEFORE SITE WORK COMMENCES.

**R10 Zoning Data**

BUILDING SETBACKS  
 FRONT YARD= 25'  
 SIDE YARD= 10'  
 CORNER SIDE YARD= 20'  
 REAR YARD= 30'  
 MAXIMUM ALLOWABLE LOT COVERAGE=25%  
 EXISTING LOT AREA= 149,542 S.F. (LOT 40)  
 (3.43 Acres)  
 EXISTING LOT AREA= 20,150 S.F. (LOT 38)  
 (0.46 Acres)



Location Map  
 (Not To Scale)

**GRADING & DRAINAGE**

**PRELIMINARY PLAN  
 "Whittier Estates"  
 MAJOR SUBDIVISION**

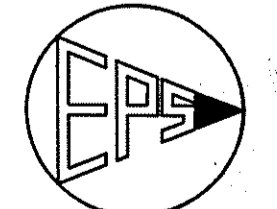
Prepared For:  
 Robert Leonard/Mark Lubic  
 P.O. Box 9  
 Narragansett, Rhode Island 02882

Owner of Record:  
 Linda M. Sisson  
 52 Willard Avenue  
 Wakefield, Rhode Island 02879

In The Town of:  
 South Kingstown, Rhode Island  
 Map 56-4, Lots 38 & 40  
 R10 Zoning District

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C	06/08	RIDEM FWW COMMENTS	NCA
B	04/08	RIDEM FWW COMMENTS	NCA
A	02/08	RIDEM FWW COMMENTS	NCA

DRAWN BY:	L.J.H.	DATE:	09/07
CHECKED BY:	W.G. III	5931007PRELIMMAJORSUBPLAN	DRAWING NO.:
JOB NO.:	5931007	SHEET	4 OF 9



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Civil Engineering  
 Surveying  
 C A D Drafting

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Map 56-4, Lot 110  
N/F Deborah J. Kelso

Map 56-3, Lot 187  
N/F State of Rhode Island  
Department of Environmental Management

Map 56-4, Lot 109  
N/F Joseph A. Morrone

Kindly be advised that this  
Permit is not equivalent to a  
verification of the type or extent  
of freshwater wetlands on site.

Map 56-4, Lot 108  
N/F Charles & Dale T. Fink

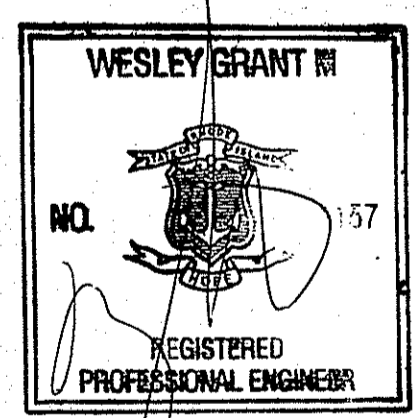
Map 56-4, Lot 39  
N/F Donna MacConnell

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
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DATED 04-29-08 FILE # 07-087  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Map 56-4, Lot 44  
N/F Robert L. Considine, Jr. &  
Jason A. Considine

Map 56-4, Lot 43  
N/F John J. & Erika R. Poggie, Jr.

Bench Mark  
NAIL IN POLE #28  
ELEVATION=121.27  
(NGVD)



CONSTRUCTION NOTE: PROPOSED CONSTRUCTION  
ACCESS SHALL BE INSTALLED BEFORE SITE WORK  
COMMENCES.

Map 56-4, Lot 42  
N/F Kathleen O. Fisher

Map 56-3, Lot 143  
N/F Hazel M. Thomas

Map 56-3, Lot 142  
N/F George B. & Ann E. Thomas, Jr.

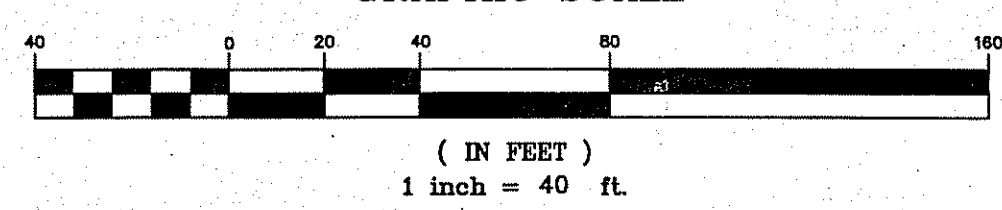
Map 56-4, Lot 38

Map 56-4, Lot 33  
N/F Alice R. Labelle

**R10 Zoning Data**

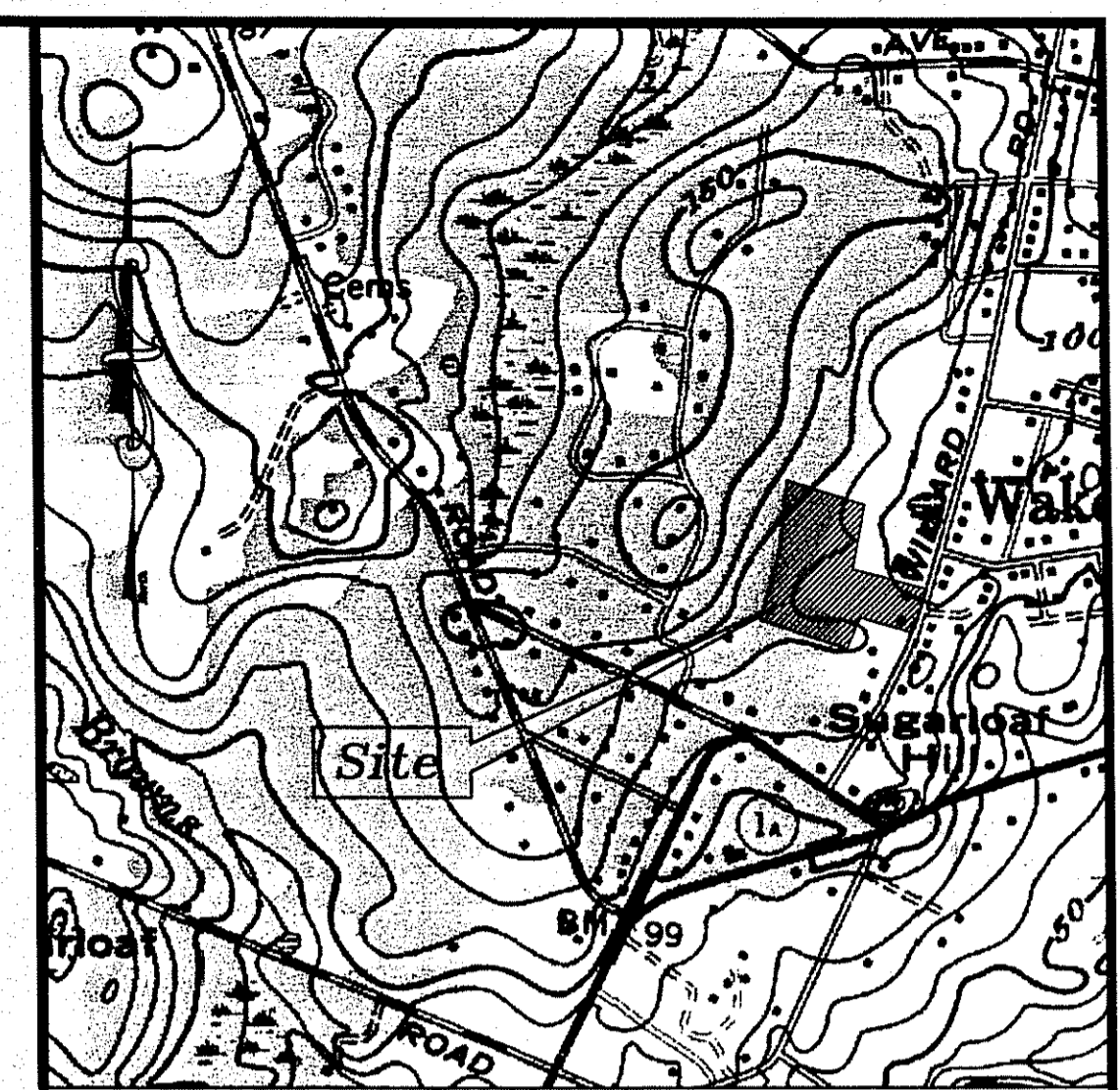
BUILDING SETBACKS  
FRONT YARD= 25'  
SIDE YARD= 10'  
CORNER SIDE YARD= 20'  
REAR YARD= 30'  
MAXIMUM ALLOWABLE LOT COVERAGE=25%  
EXISTING LOT AREA= 149,542 S.F. (LOT 40)  
(3.43 Acres)  
EXISTING LOT AREA= 20,150 S.F. (LOT 38)  
(0.46 Acres)

**GRAPHIC SCALE**



Map 56-4, Lot 36  
N/F Loyola Gray

Map 56-4, Lot 90  
N/F Richard G. Goodwin, Trustee



Location Map  
(Not To Scale)

**UTILITY PLAN**

**PRELIMINARY PLAN  
"Whittier Estates"  
MAJOR SUBDIVISION**

Prepared For:  
Robert Leonard/Mark Lubic  
P.O. Box 9  
Narragansett, Rhode Island 02882

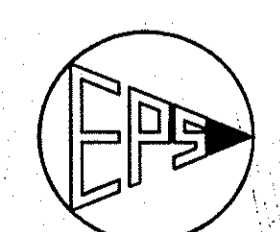
Owner of Record:  
Linda M. Sisson  
52 Willard Avenue  
Wakefield, Rhode Island 02879

In The Town of:  
South Kingstown, Rhode Island  
Map 56-4, Lots 38 & 40  
R10 Zoning District

NO.	DATE	DESCRIPTION	BY
C	06/08	RIDEM FWW COMMENTS	NCA
B	04/08	RIDEM FWW COMMENTS	NCA
A	02/08	RIDEM FWW COMMENTS	NCA

DRAWN BY:	L.J.H.	DATE:	09/07
CHECKED BY:	W.G. III	5931007PRELIMMAJORSUBPLAN	DRAWING NO.:
JOB NO.:	5931007	SHEET	5 of 9

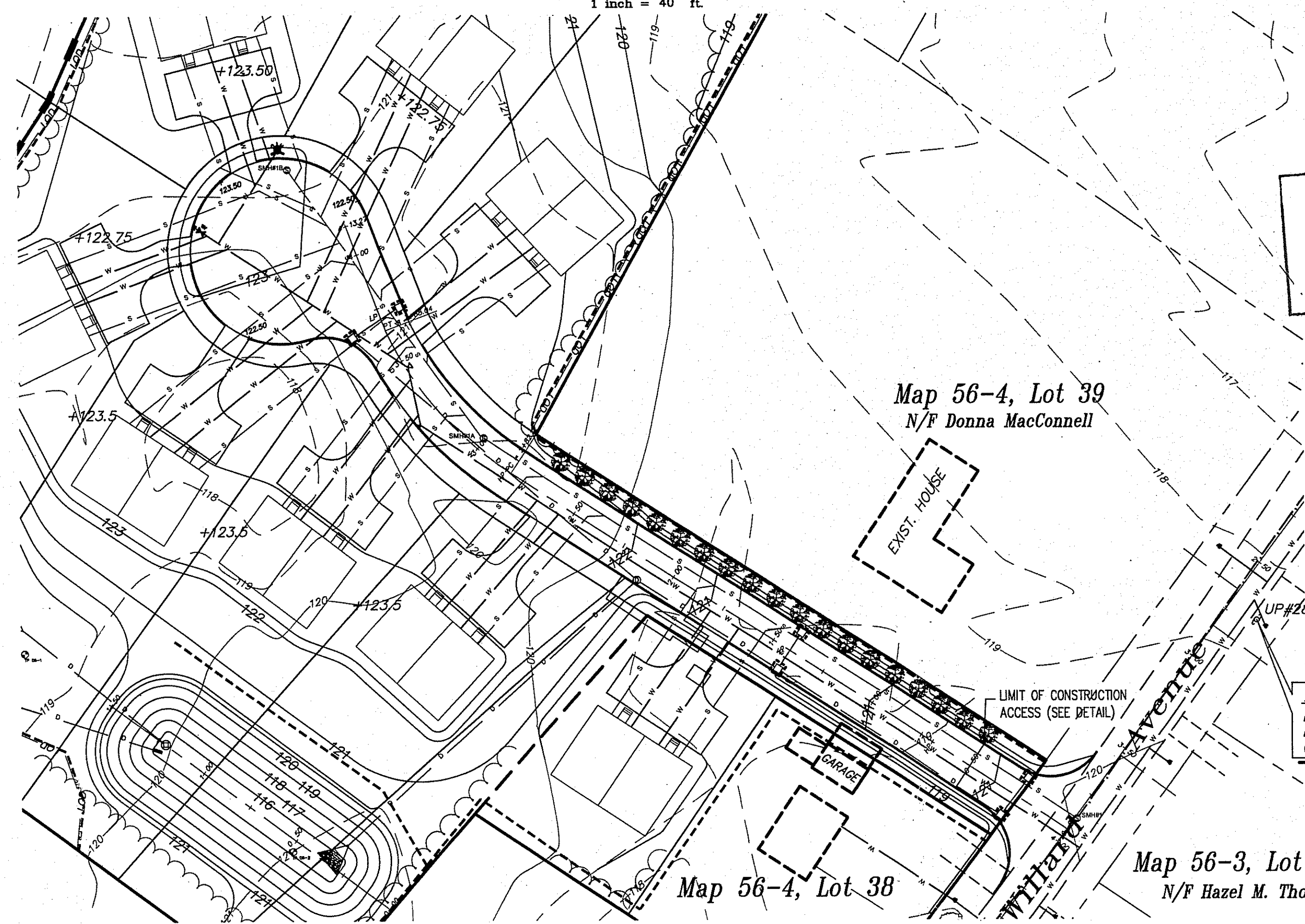
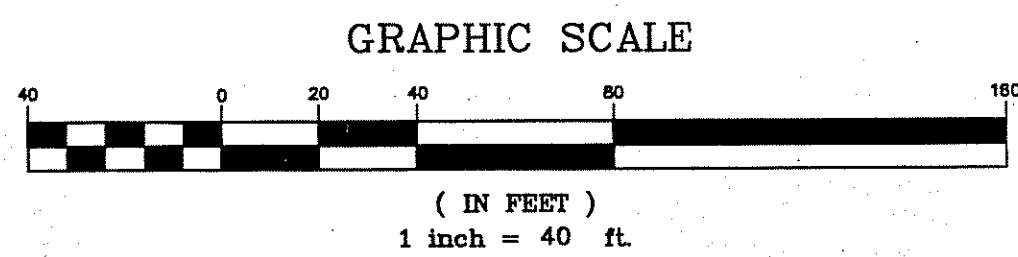


JUL - 7 2008

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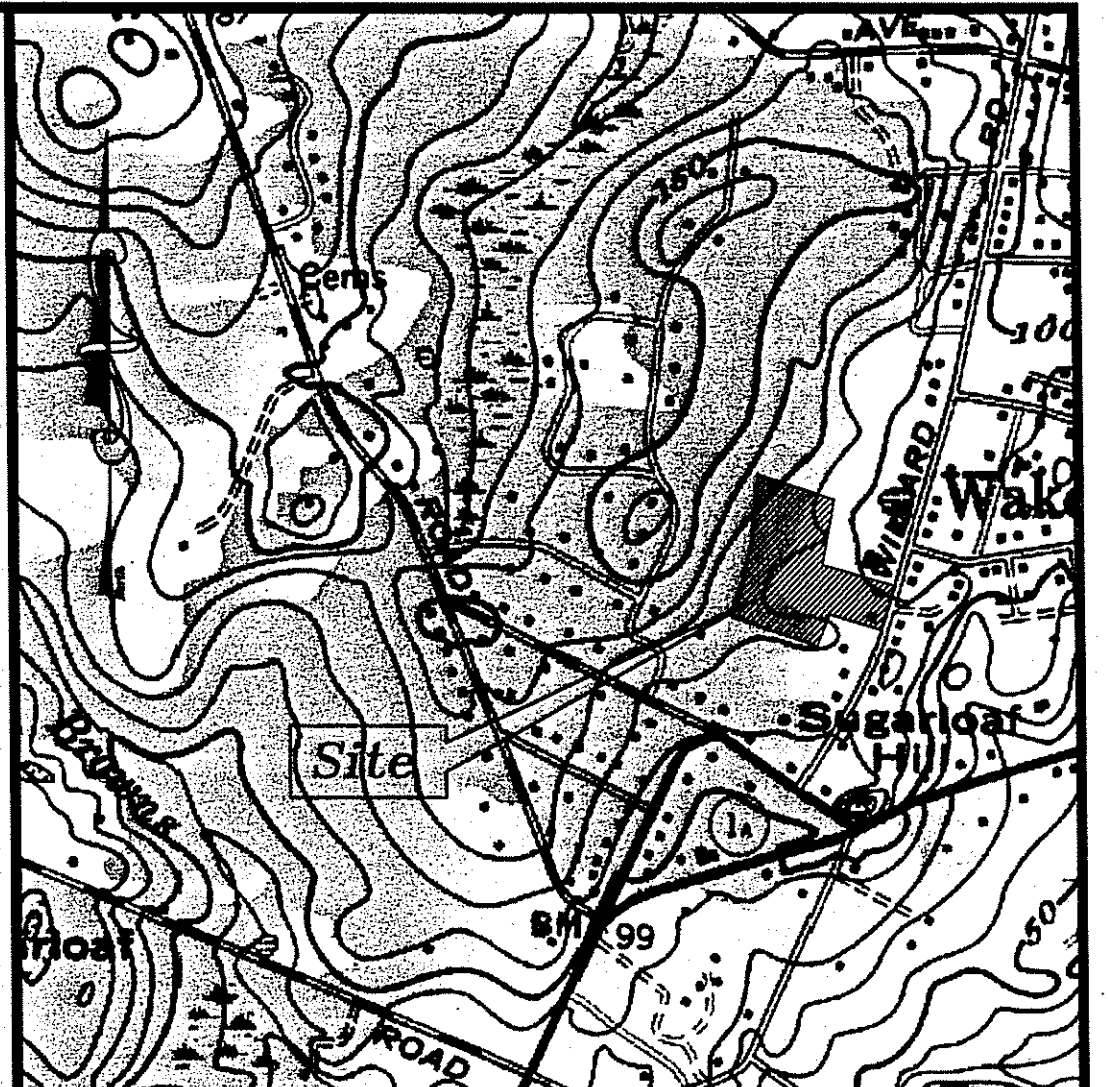
52 Dugway Bridge Road West Kingston, Rhode Island 02892 (401) 789-3628



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED ~~1/10/2008~~ FILE # ~~01-037~~  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

*Matthew D. Weneck*



Location Map  
(Not To Scale)

# WHITTIER PROFILE

## PRELIMINARY PLAN "Whittier Estates" MAJOR SUBDIVISION

Prepared For:  
Robert Leonard/Mark Lubic  
P.O. Box 9  
Narragansett, Rhode Island 02882

Owner of Record:  
Linda M. Sisson  
52 Willard Avenue  
Wakefield, Rhode Island 02879

In The Town of:  
South Kingstown, Rhode Island  
Map 56-4, Lots 38 & 40  
R10 Zoning District

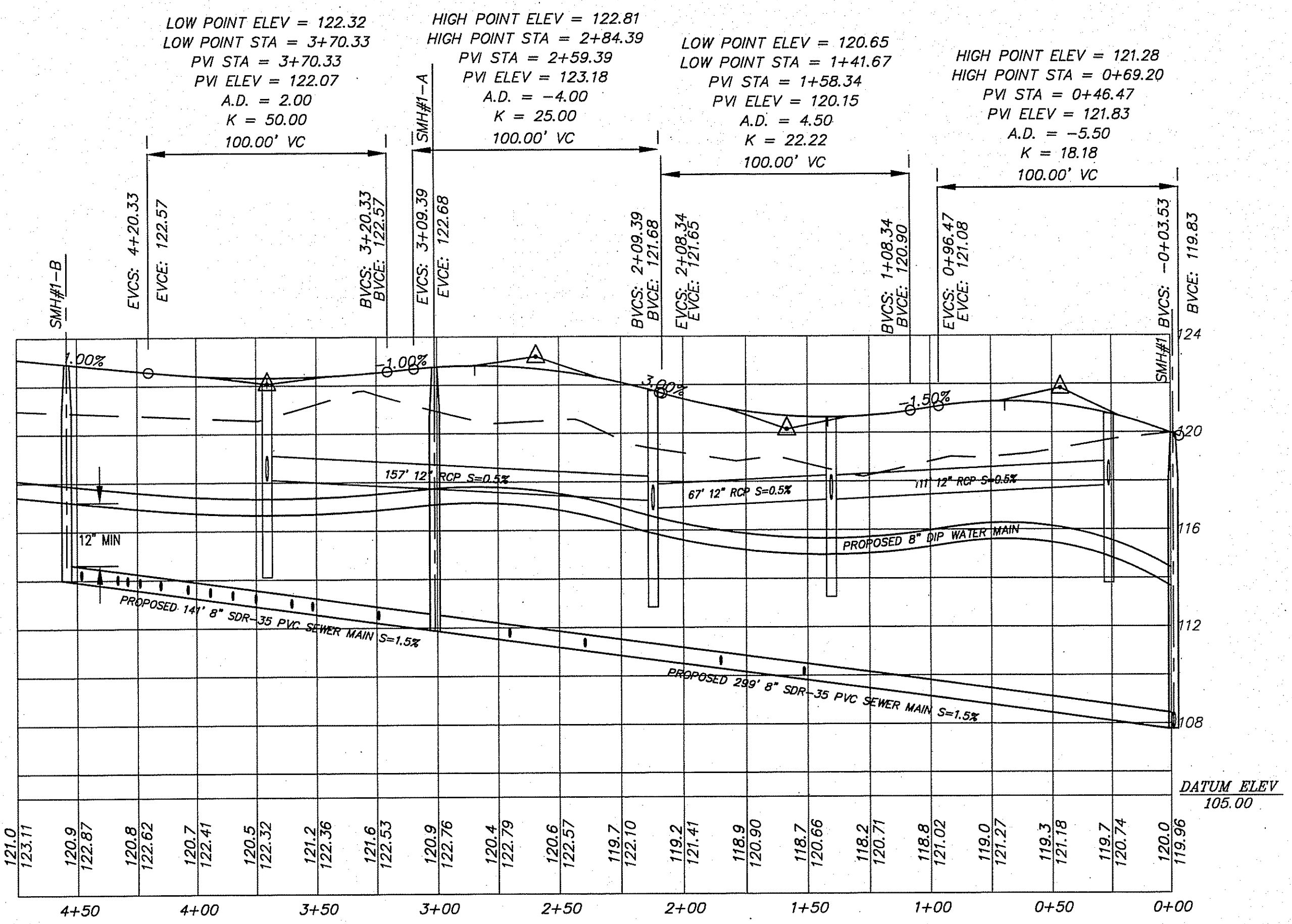
### DRAINAGE STRUCTURE INFORMATION

#	RIM	INV. IN	INV. OUT	RI STANDARD
CB1	120.58	-	117.89	4.4.0m & 6.3.2
CB2	120.58	117.80	117.80	4.4.0m & 6.3.2
CB3	120.32	-	117.32	4.4.0m & 6.3.2
CB4*	120.32	117.24	117.24	4.4.0m & 6.3.2
CB5	122.32	-	118.12	4.4.0m & 6.3.2
CB6*	122.32	118.01	118.01	4.4.0m & 6.3.2
DMH1	121.75	117.22 (N) 116.90 (S)	116.84	3.2.0 & 6.2.1

\*BASIN TO BE EQUIPPED WITH OIL/WATER SEPARATOR HOOD OVER OUTLET

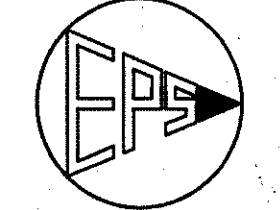
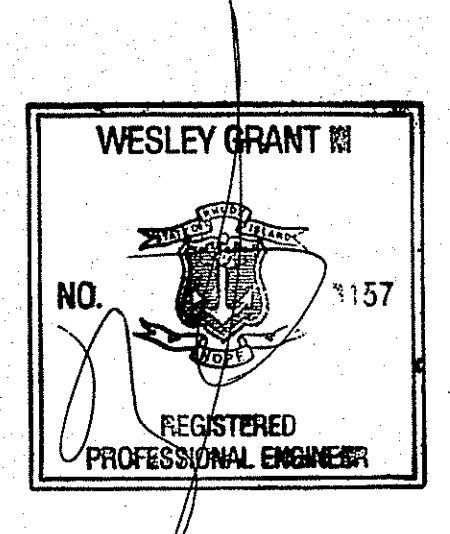
### SEWER STRUCTURE INFORMATION

#	RIM	INV. IN	INV. OUT
SMH#1	119.83	107.77	107.63
SMH#1A	121.52	110.85	110.79
SMH#1B	122.91	-	114.54



NO.	DATE	DESCRIPTION	BY
C	06/08	RIDEM FWW COMMENTS	NCA
B	04/08	RIDEM FWW COMMENTS	NCA
A	02/08	RIDEM FWW COMMENTS	NCA

DRAWN BY:	L.J.H.	DATE:	09/07
CHECKED BY:	W.G. III	5931007PRELIMMAJORSUBPLAN	DRAWING NO.:
JOB NO.:	5931007	SHEET	6 OF 9

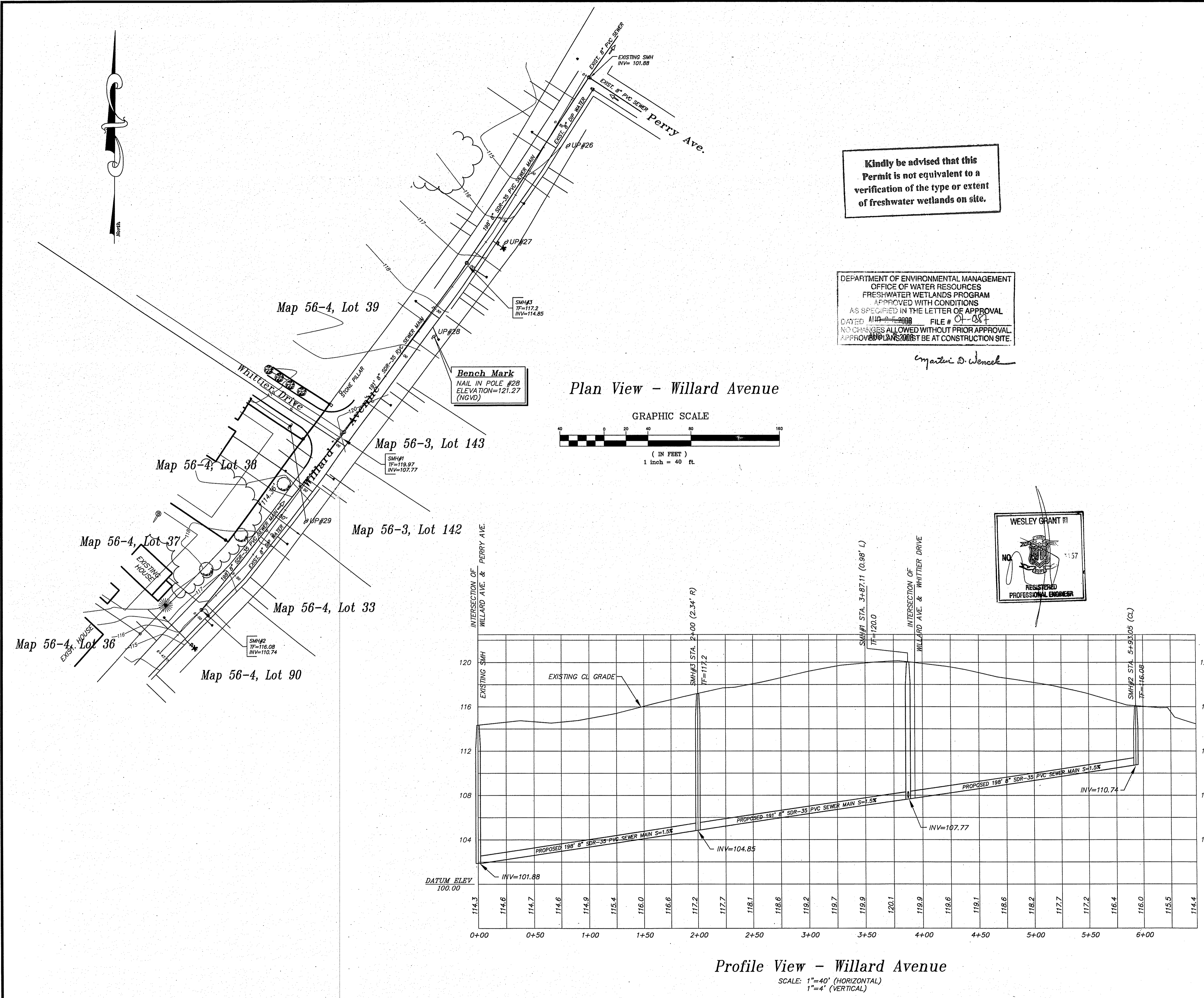


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Civil Engineering  
Surveying  
C A D Drafting

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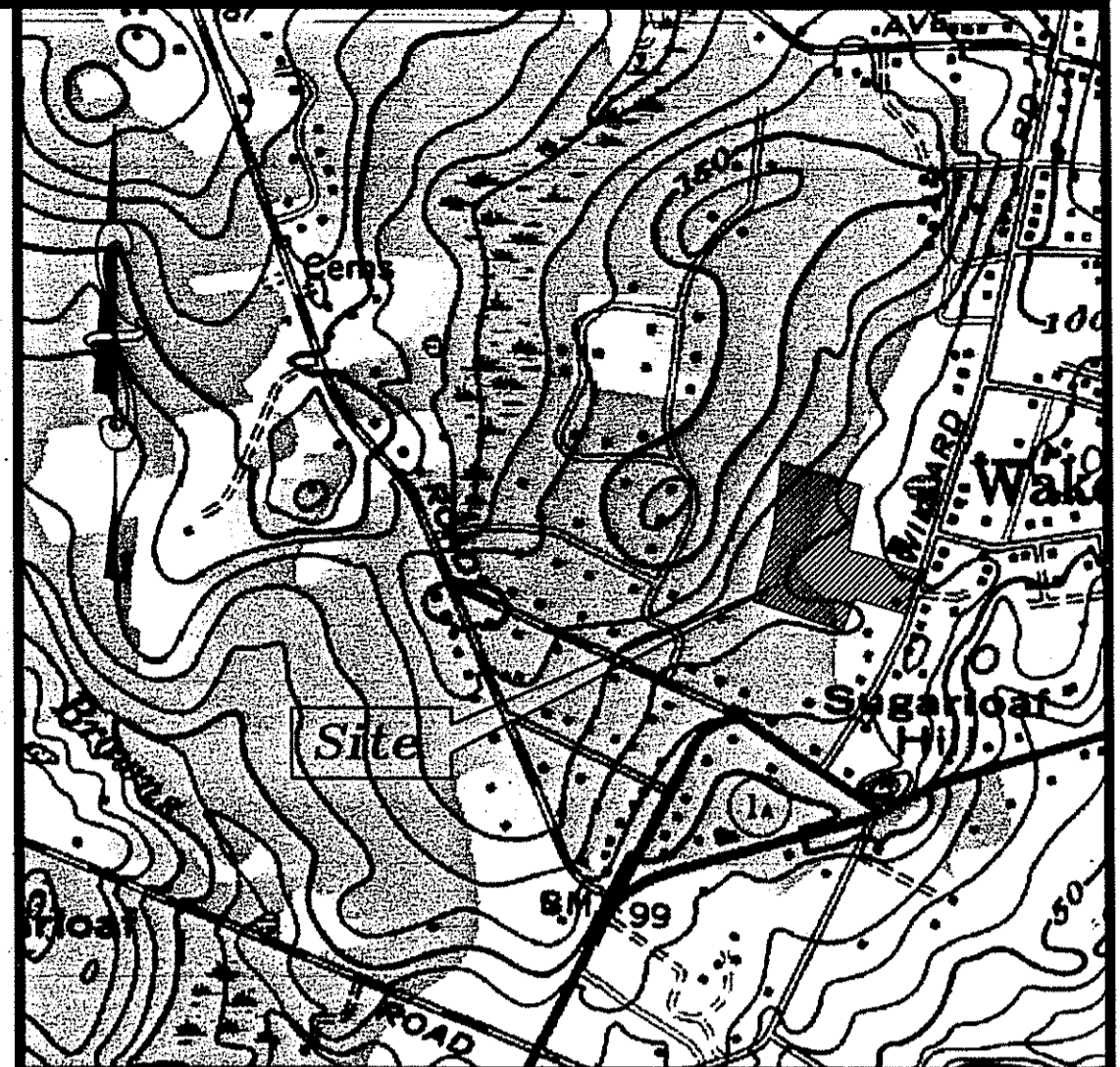
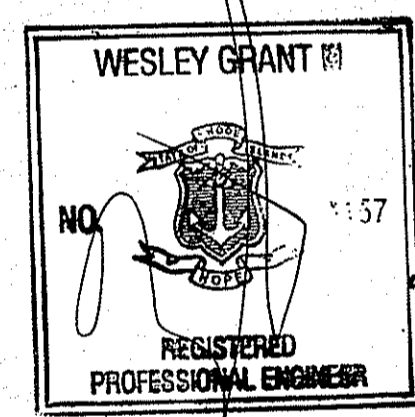
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Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED AND FILE #  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.  
APPROVED FOR CONSTRUCTION AT CONSTRUCTION SITE.

*Wesley Grant III*



Location Map  
(Not To Scale)

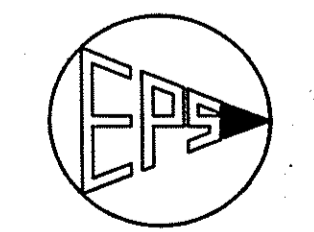
# WILLARD PROFILE

**PRELIMINARY PLAN**  
**"Whittier Estates"**  
**MAJOR SUBDIVISION**  
Prepared For:  
**Robert Leonard/Mark Lubic**  
P.O. Box 9  
Narragansett, Rhode Island 02882  
Owner of Record:  
**Linda M. Sisson**  
52 Willard Avenue  
Wakefield, Rhode Island 02879  
In The Town of:  
**South Kingstown, Rhode Island**  
Map 56-4, Lots 38 & 40  
R10 Zoning District

NO.	DATE	DESCRIPTION	BY
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DRAWN BY: L.J.H.	DATE: 09/07
CHECKED BY: W.G. III	5931007PRELIMMAJORSUBPLAN DRAWING NO.:
JOB NO.: 5931007	SHEET 7 OF 9

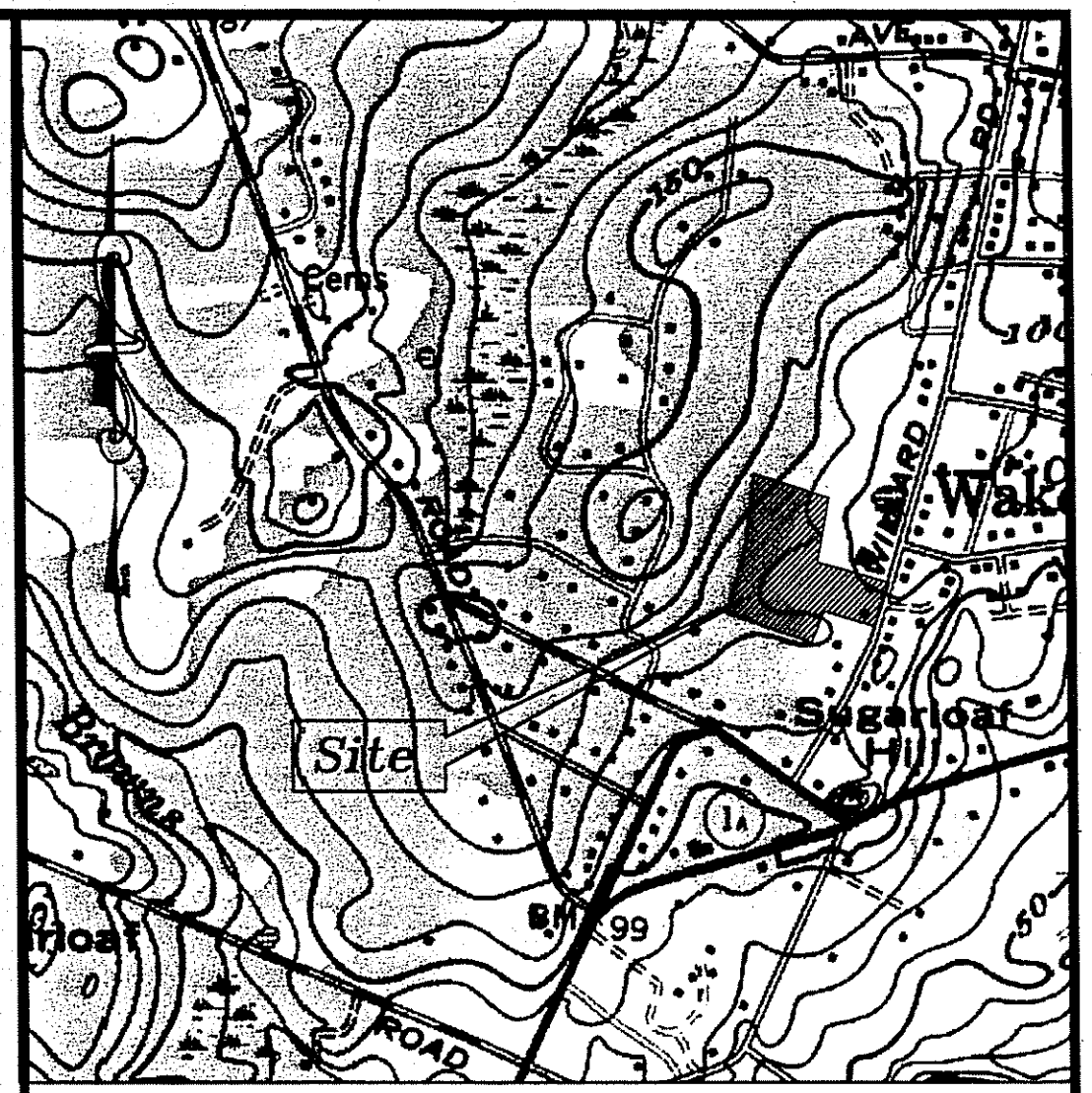
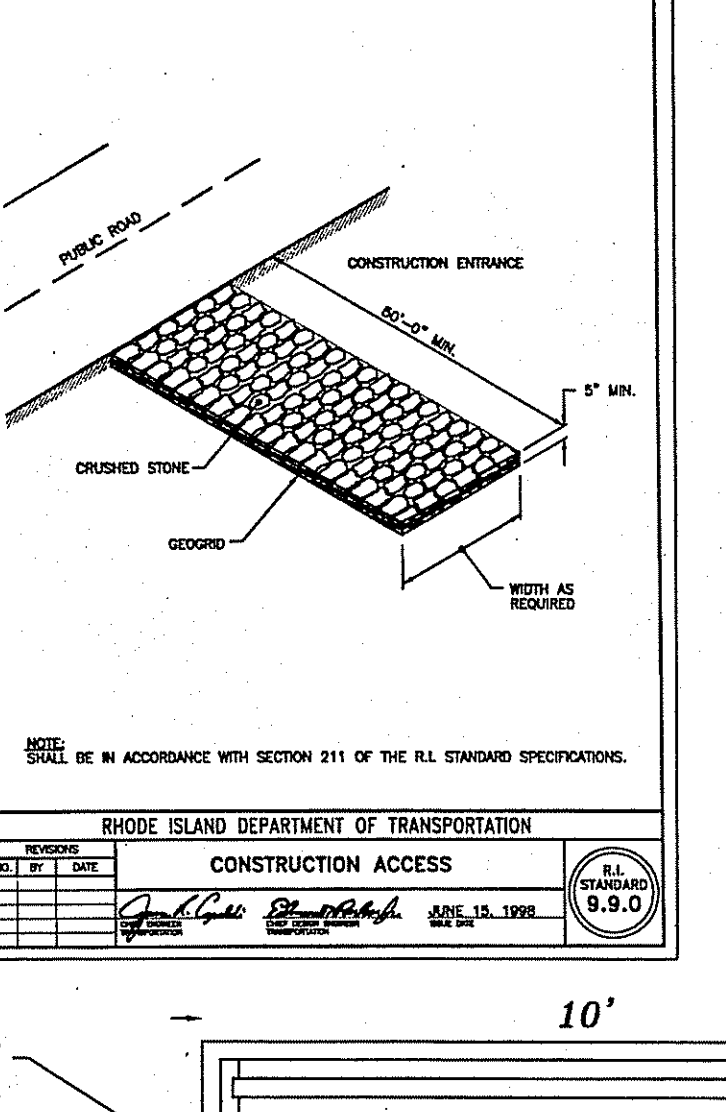
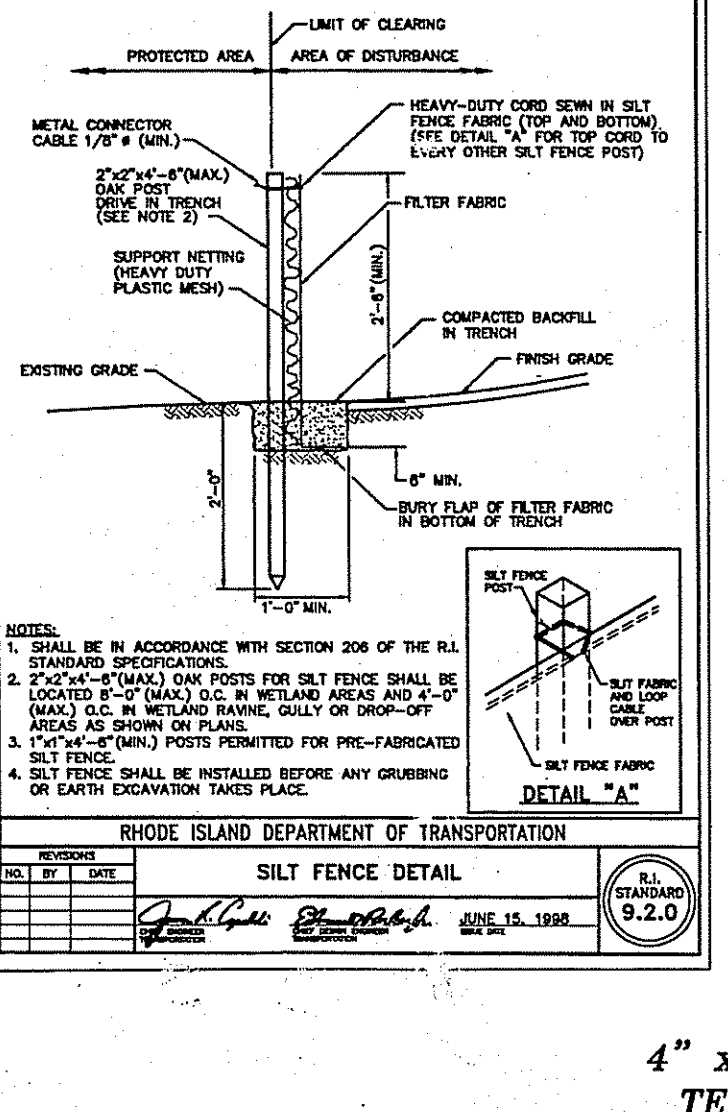
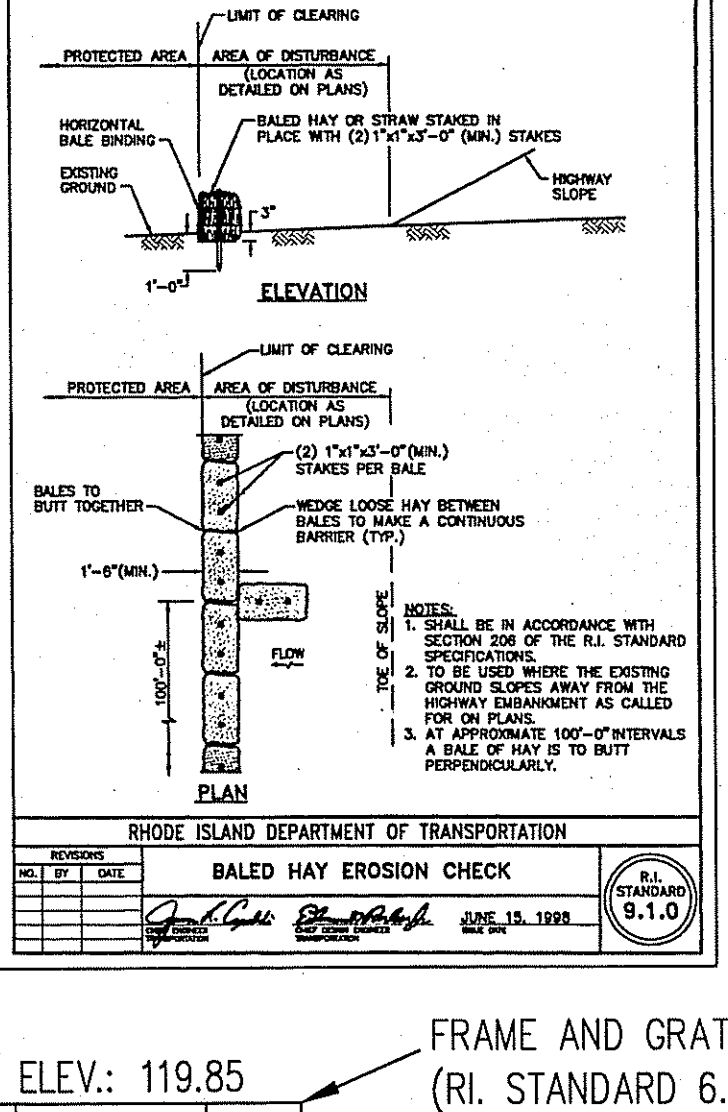
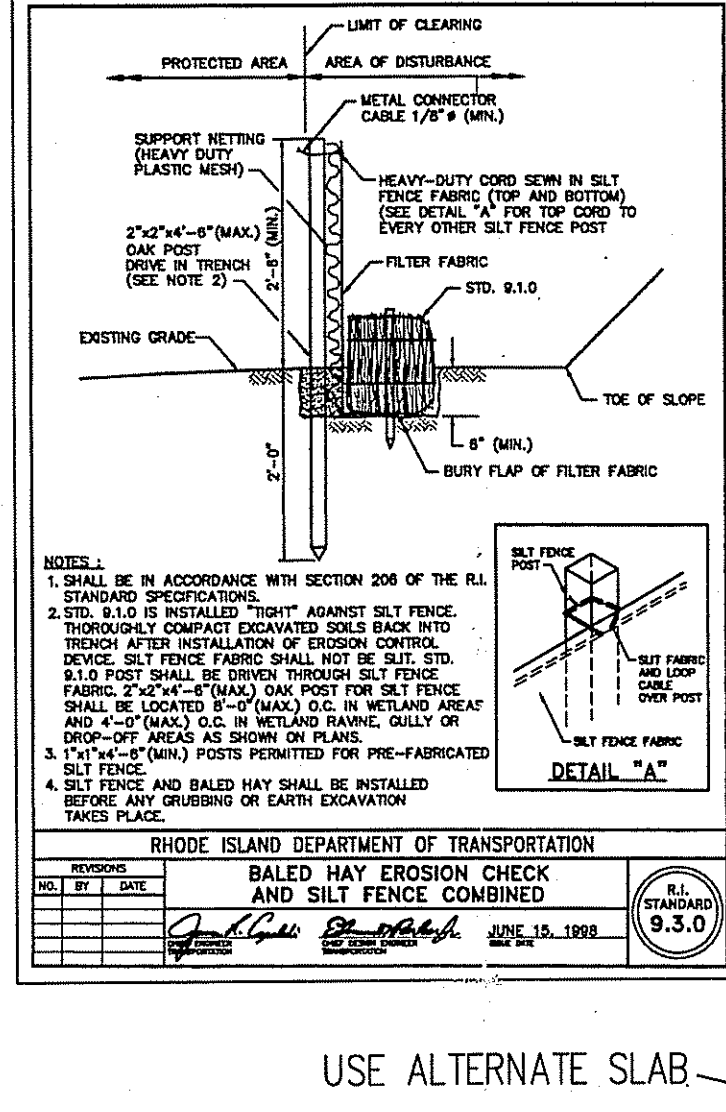
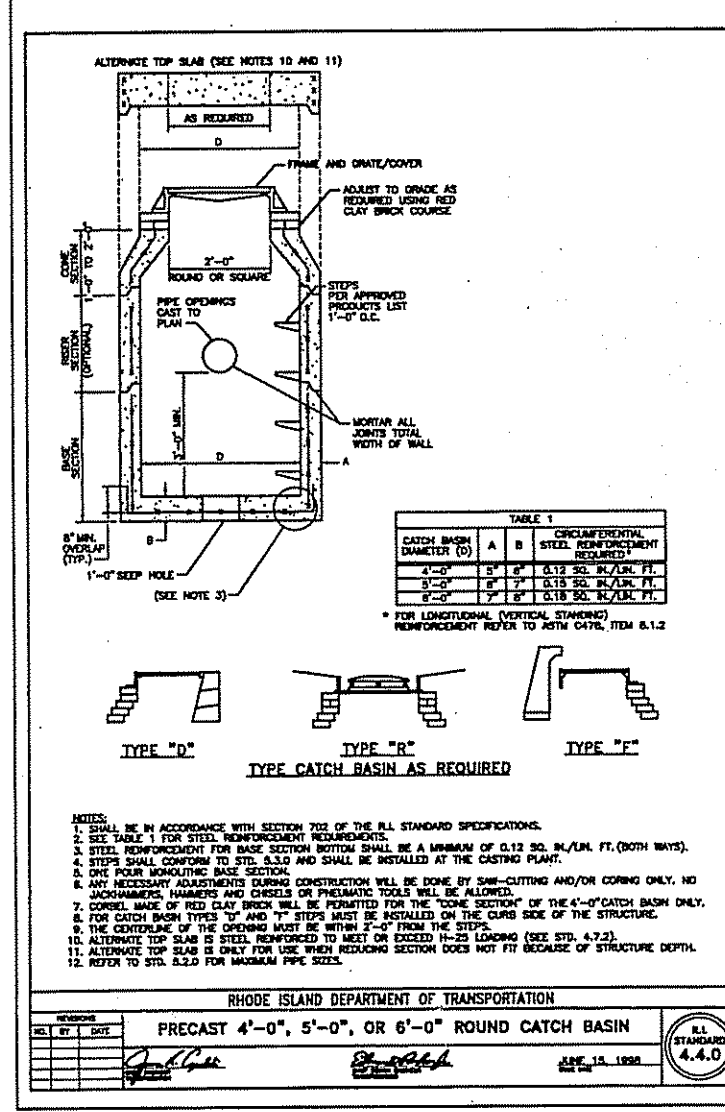
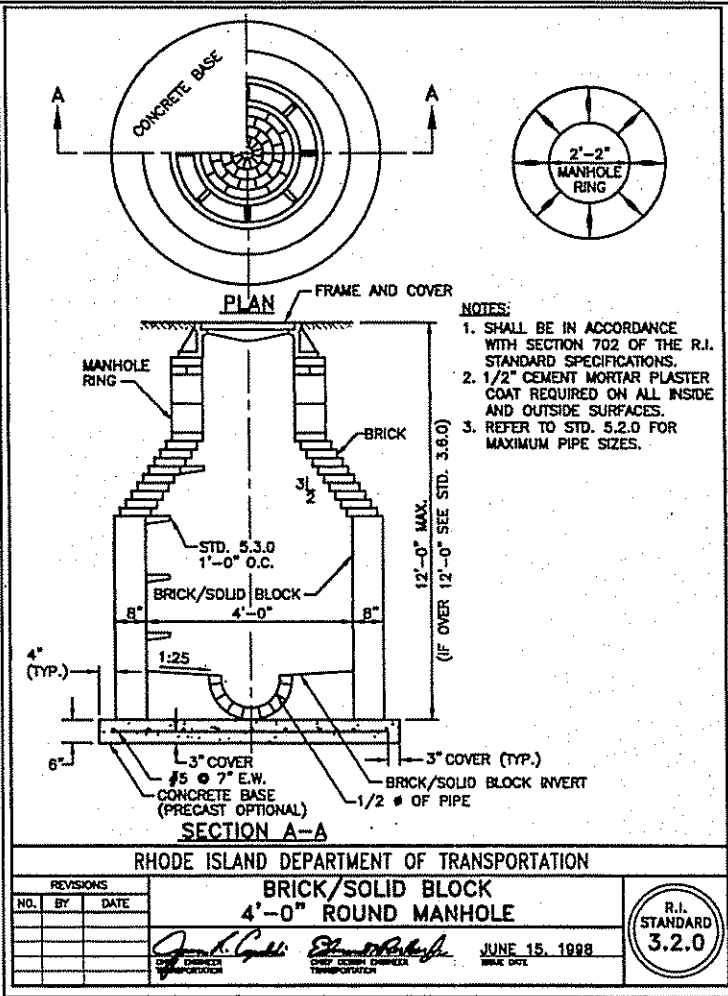
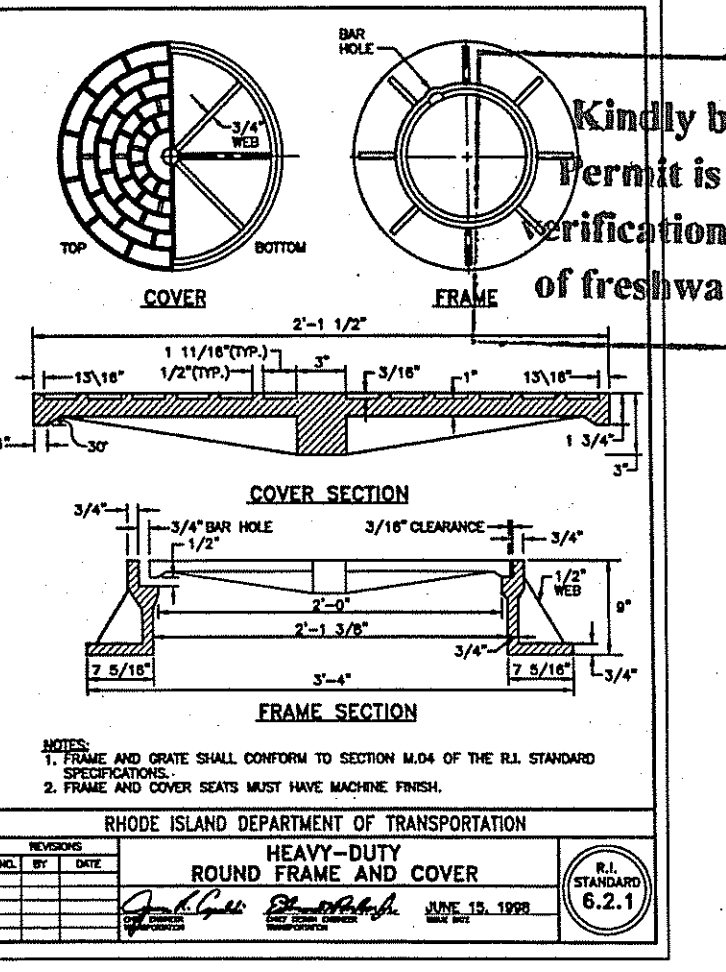
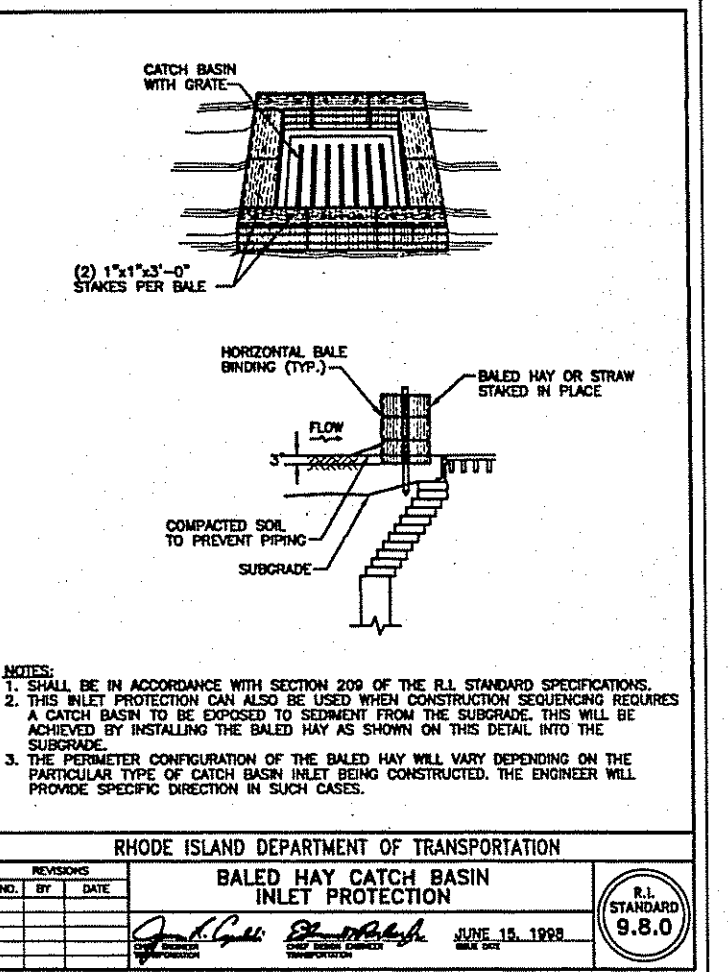
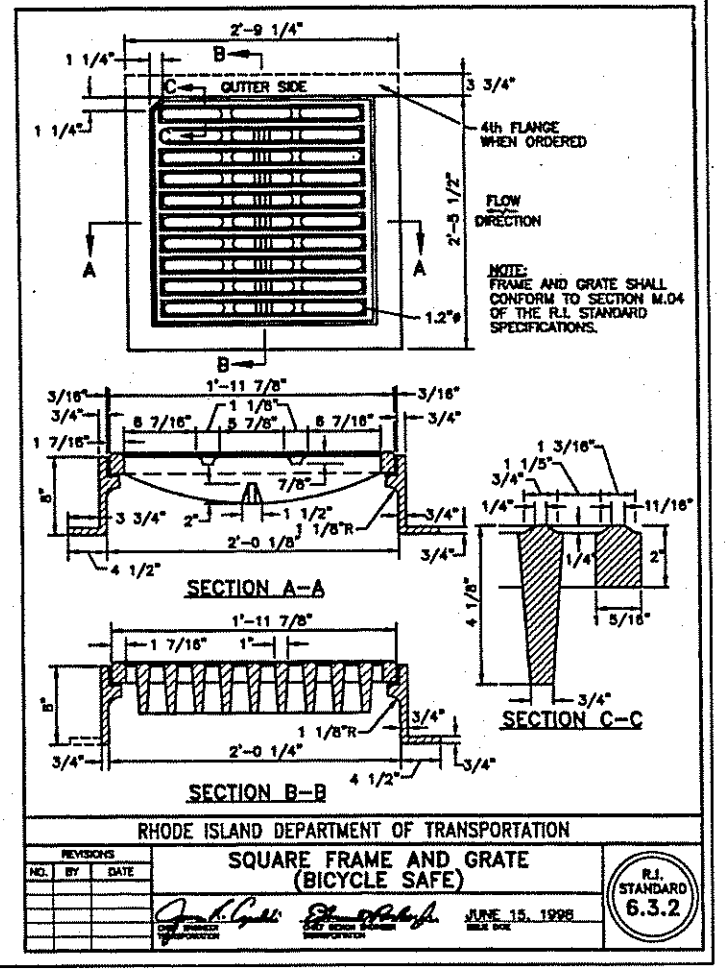
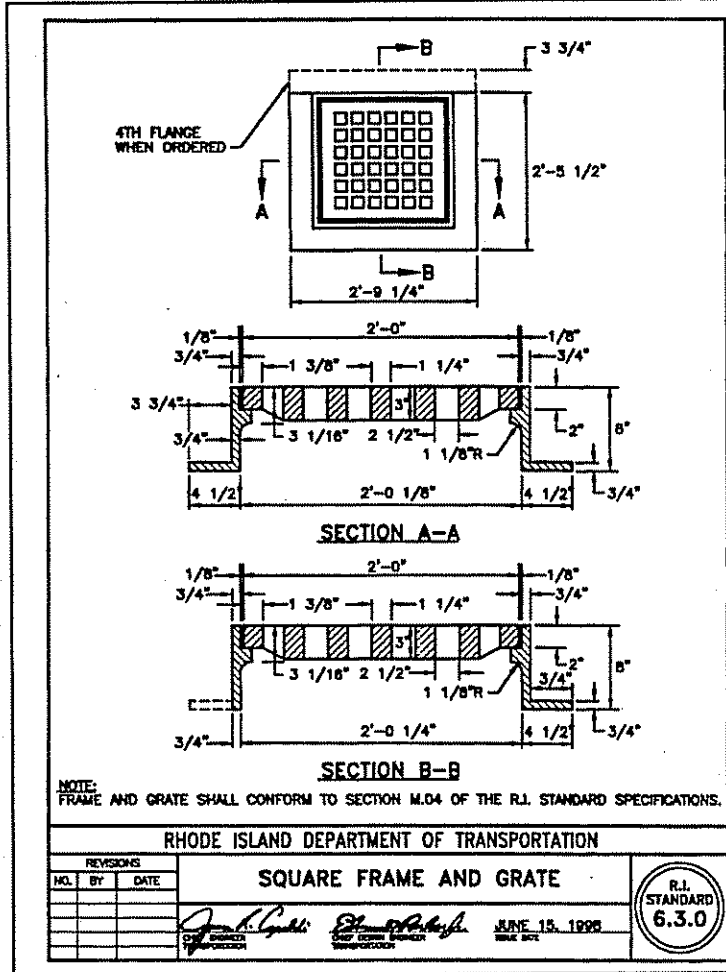
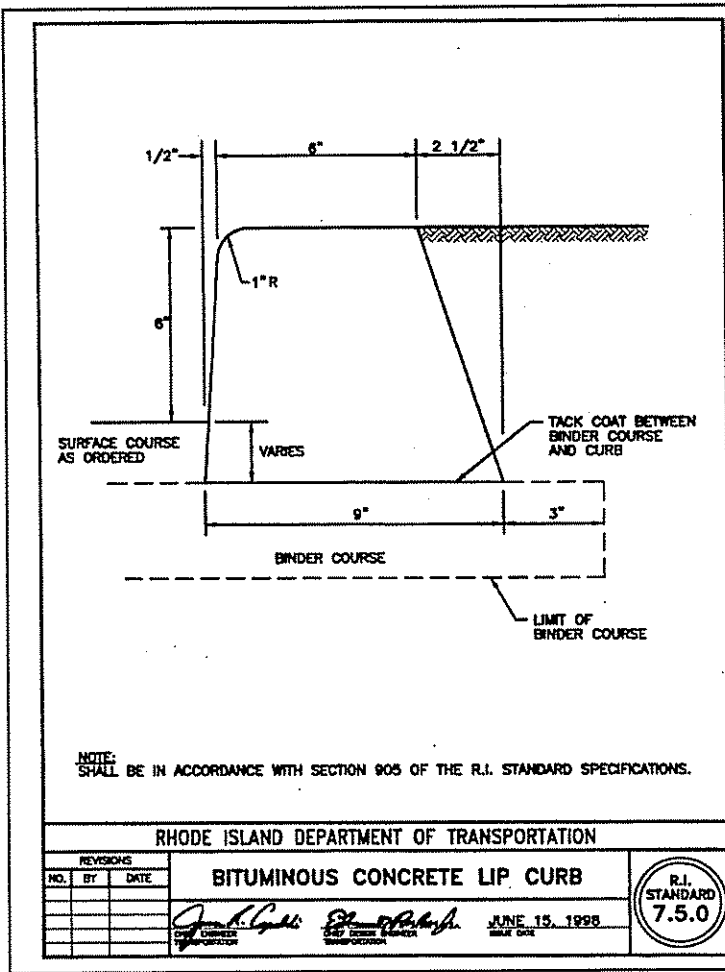


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JUL -7 2008





Location Map  
(Not To Scale)

RI STANDARD  
DETAILS

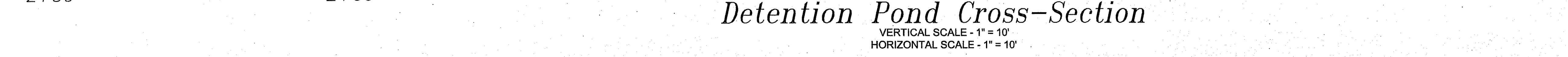
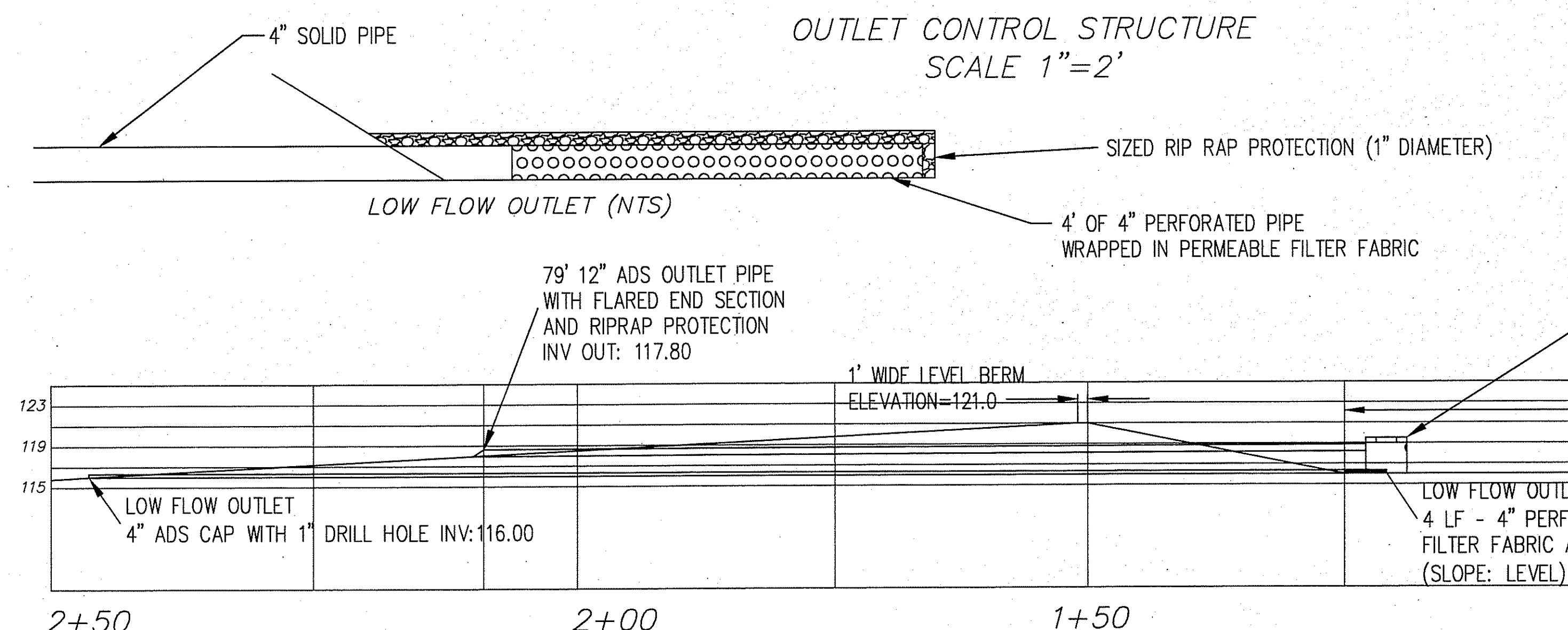
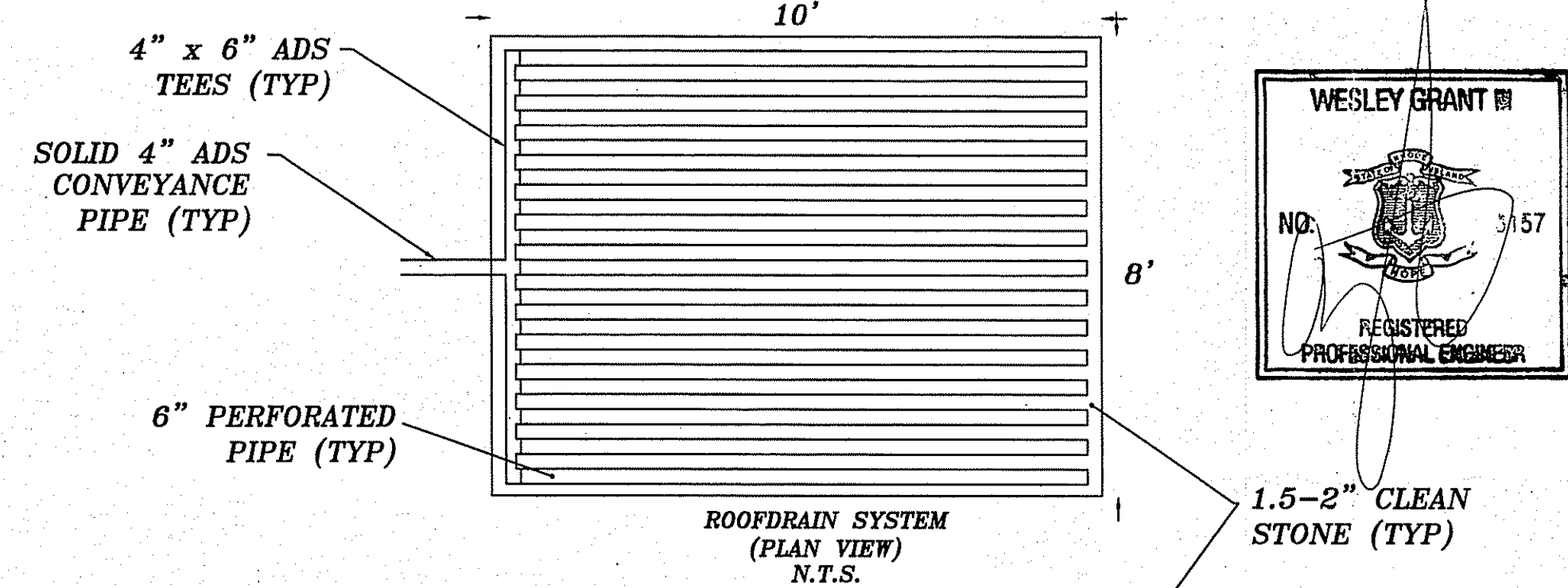
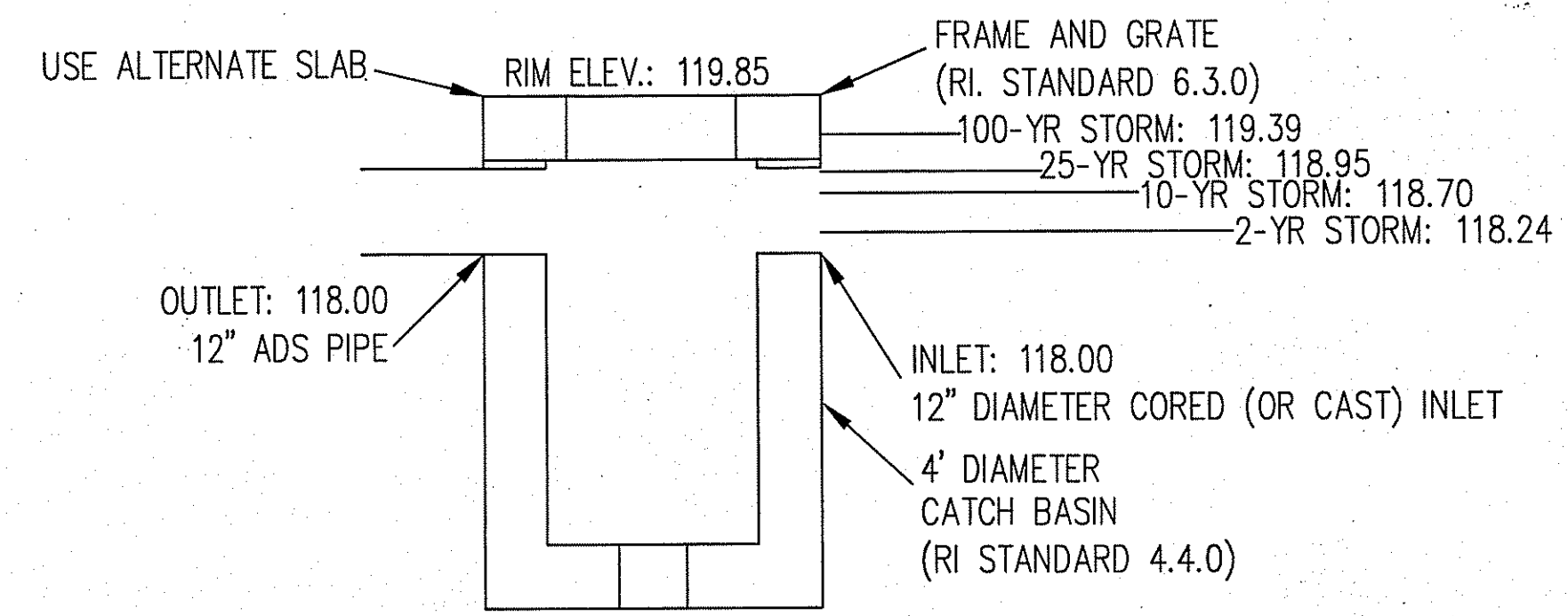
PRELIMINARY PLAN  
"Whittier Estates"  
MAJOR SUBDIVISION

Prepared For:  
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Owner of Record:  
Linda M. Sisson  
52 Willard Avenue  
Wakefield, Rhode Island 02879

In The Town of:  
South Kingstown, Rhode Island  
Map 56-4, Lots 38 & 40  
R10 Zoning District

4' - 4.4.0 TO BE MODIFIED AS FOLLOWS:  
1. SUMP SHALL BE 4' IN DEPTH  
2. CATCH BASINS WITH OIL/WATER SEPARATORS SHALL HAVE A MINIMUM SUMP OF 2' BELOW BOTTOM OF SEPARATOR

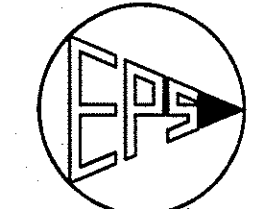


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED AUG 27 2008 FILE # 0-287  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

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DRAWN BY:	L.J.H.	DATE:	09/07
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JOB NO.:	5931007	SHEET	9 OF 9



Environmental Planning & Surveying, Inc.  
Civil Engineering  
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