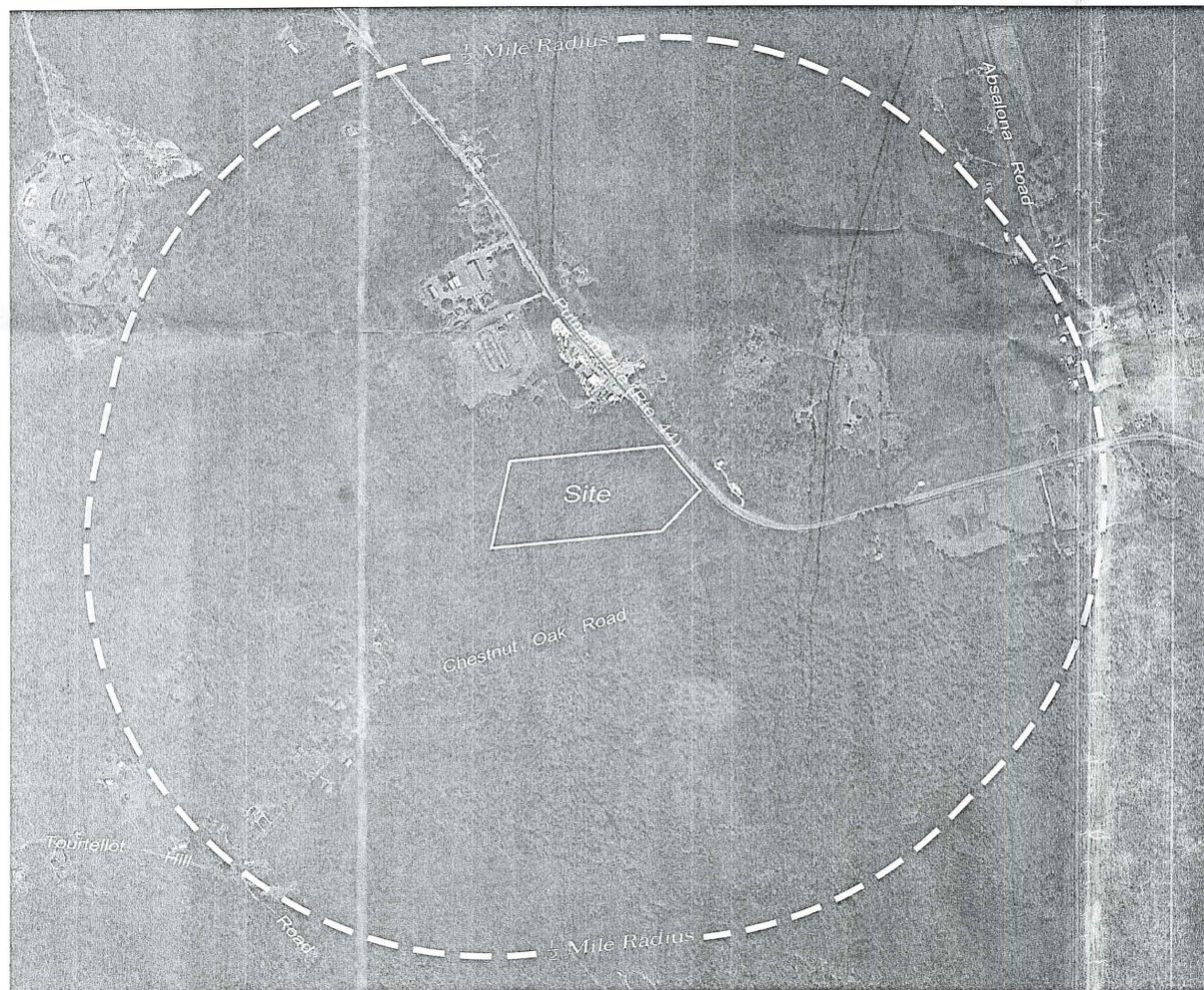
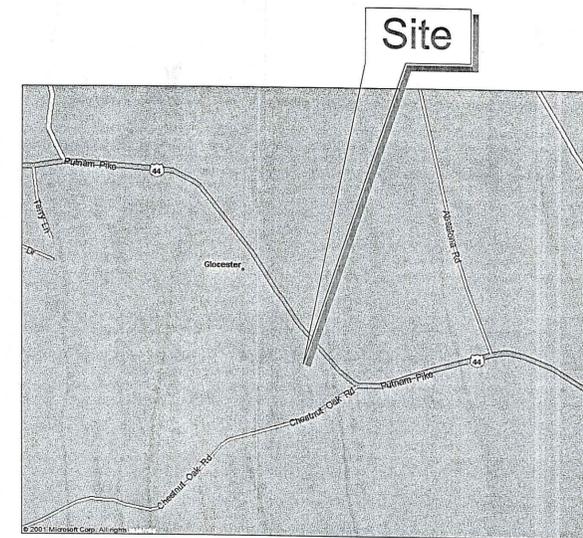


# Preliminary Design Plans Route 44 Self Storage

5 Unit Self Storage Project  
Assessor's Plat 17 Lot 213  
Putnam Pike (Rte. 44) Gloucester, RI



Aerial Map  
0' 550' 1100' 1650'  
Barscale 1"=550'



Locus Map N.T.S.

## Owner/Applicant:

Julian Forge  
401 Snake Hill Road  
North Scituate, RI 02857

## Sheet Index:

- Sheet 1 Cover Sheet
- Sheet 2 Existing Conditions Plan
- Sheet 3 Site Layout Plan
- Sheet 4 Grading Plan
- Sheet 5 Drainage & Utility Plan
- Sheet 6 Construction Details 1
- Sheet 7 Construction Details 2
- Sheet 8 Construction Details 3

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 3 2008 FILE # 07-0396  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Nancy L. Freeman*

MAY 13 2008

NO.	DATE	DESCRIPTION	SHT NO.	BY

NO.	DATE	DESCRIPTION
1	4/18/08	Address RIDOT Comments
2	5/13/08	Address RIDOT Comments



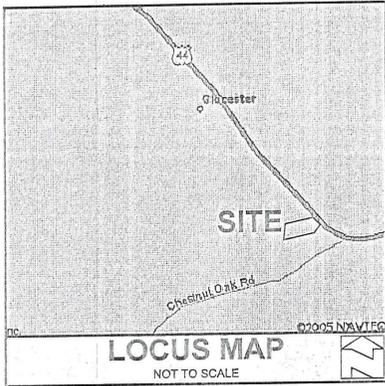
**Thalmann Engineering Co., Inc.**  
Civil Engineering • Landscape Architecture  
600 Putnam Pike, Suite #7  
Greenville, Rhode Island 02828  
(401) 349-3040 • (401) 349-3041 (fax)

Lot 213  
Route 44 Self Storage  
Putnam Pike (Rte. 44)  
Prepared for:  
Julian Forge  
401 Snake Hill Road North Scituate, RI 02857  
date: Mar-2008  
scale: As Noted

Design By: REB  
Checked By: NJP  
Sheet  
**1**  
of 8  
FILE NO.: 08.004

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RIDEM COPY



**ZONING CRITERIA**

ZONING DISTRICT	B-2 HIGHWAY COMMERCIAL
MINIMUM LOT AREA	5.0000 ACRES
MINIMUM LOT FRONTAGE	120'
MINIMUM FRONT YARD SETBACK	60'
MINIMUM SIDE YARD SETBACK	20'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	N/A

**LEGEND**

---	EXISTING BOUNDARY
- - - -	PROPOSED BOUNDARY
---	MAJOR CONTOUR
---	MINOR CONTOUR
○ ○ ○ ○	STONEWALL
---	WETLANDS EDGE
---	50' PERIMETER WETLAND
---	100' RIVERBANK WETLAND
---	200' ISDS HDROLOGIC LINE
---	BUILDING ENVELOPE
---	ZONE BOUNDARIES
○	SOIL EVALUATION HOLE
○	IRON PIN
○	CONCRETE BOUND
○	DRILL HOLE
○	WELL
○	UTILITY POLE

- GENERAL NOTES:**
1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
  2. THIS SITE LIES IN A ZONE X AREA OUTSIDE HAZARDOUS FLOOD PLAIN AS SHOWN ON THE FIRM MAP FOR THE TOWN OF GLOCESTER, RI COMMUNITY PANEL NO. 440034 0005C, MAP REVISED MARCH 3, 1992.
  3. R.I.D.E.M. WETLANDS APPLICATION # 07-0396
  4. WETLANDS SHOWN HEREIN WERE DELINEATED BY NATURAL RESOURCE SERVICE INC.P.O. BOX 311, HARRISVILLE R.I.
  5. THIS SITE DOES NOT LIE WITHIN ANY KNOWN AGRICULTURAL USE, SILVICULTURAL USE, NATURAL HERITAGE OR FARMLAND CONSERVATION AREAS.
  6. THERE ARE NO KNOWN EASEMENTS OR RIGHTS OF WAY WITHIN OR ADJACENT TO THIS PARCEL.
  7. THE CONTOURS SHOWN HEREIN ARE BASED UPON AN ASSUMED DATUM.
  8. THERE IS AN UNDERGROUND FIBER OPTIC CABLE LOCATED WITHIN RT.44 ALONG THIS PARCELS FRONTAGE.
  9. THERE ARE NO KNOWN HISTORIC CEMETERIES WITHIN OR IMMEDIATELY ADJACENT TO THIS PARCEL.

**REFERENCES**

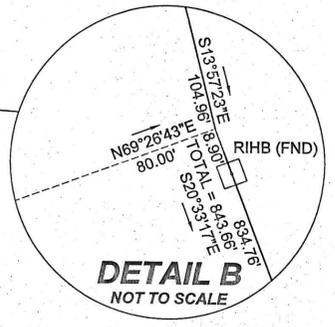
T.A. CERTAIN PLAN ENTITLED "MINOR SUBDIVISION FINAL LOT LAYOUT, FOR JAY FORGUE, LOCATED AT RT.44 AND CHESTNUT OAK ROAD, GLOCESTER R.I. BY NATIONAL LAND SURVEYORS, SCALE 1" = 80', DATED OCTOBER 2005" RECORDED IN GLOCESTER TOWN HALL ON H.F. 237 MAP 648

"I CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN OBTAINED BY AN ACTUAL SURVEY ON THE GROUND, THAT IT IS CORRECT AND THIS SURVEY AND PLAN CONFORM TO A CLASS 1 STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BY: *Norbert A. Therien*  
 NORBERT A. THERIEN P.L.S. 4-3-08

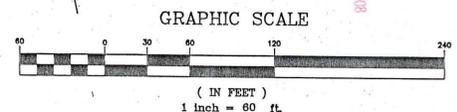


1.	4-3-08	REV. WETLAND APP.#	J.M.L.
NO.	DATE	DESCRIPTION	BY



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
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*Nancy L. Freeman*



JULIAN FORGUE  
 AP 17 LOT 213  
 ROUTE 44  
 GLOCESTER, RHODE ISLAND

**EXISTING SITE CONDITIONS**

MARCH 2008 JOB No. 2004-228 SHEET 1 OF 1

**Legend**

---	EXISTING PROPERTY LINE	☼	EXISTING LIGHT POLE
---	ADJUTER PROPERTY LINE	⊕	EXISTING VALVE
----	EXISTING WALL, STONE	⊕	EXISTING HYDRANT
----	EXISTING TREELINE	⊕	EXISTING CATCH-BASIN
----	EXISTING BRUSHLINE	⊕	EXISTING MANHOLE
----	EXISTING HEDGE	⊕	TEST PITS
----	EXISTING TREE ROW	⊕	PROPOSED ADA ACCESSIBLE PARKING
⊕	EXISTING SIGN POST	---	PROPOSED EDGE OF PAVEMENT
⊕	EXISTING POST	---	LIMIT OF DISTURBANCE
⊕	EXISTING FLAG POLE	---	SILT FENCE
⊕	EXISTING POLE, UTILITY	---	CUT AND MATCH PAVEMENT
⊕	EXISTING POLE, LIGHT	---	PROPOSED FENCE

**SITE PLAN NOTES:**

1. THE PROPOSED PROJECT INCLUDES THREE (3) PHASES. PHASE 1 INCLUDES 12,575 G.S.F. STORAGE BUILDING. PHASE 2 INCLUDES 10,800 SF OF STORAGE AND PHASE 3 INCLUDES 16,200 SF STORAGE. ADDITIONAL WORK SHALL INCLUDE PAVED SURFACES FOR PARKING FACILITIES AND PERTINENT UTILITY AND DRAINAGE STRUCTURES.
2. THIS SITE IS TO BE SERVICED BY A PRIVATE WELL AND AN ONSITE WASTEWATER TREATMENT SYSTEM.
3. BASE MAP INFORMATION WAS DEVELOPED FROM A PLAN BY NATIONAL LAND SURVEYORS - DEVELOPERS, INC. 42 HAMLET AVENUE WOONSOCKET, RI
4. THIS PARCEL IS LOCATED IN ZONE "Y", AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, AS SHOWN ON FEDERAL INSURANCE RATE MAPS (FIRM) COMMUNITY PANEL NUMBER 440034 0005 C.
5. ALL WORK AND MATERIALS SHALL COMPLY WITH THE TOWN OF GLOUCESTER REGULATIONS AND CODES, RHODE ISLAND DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE DESIGN, LATEST EDITION, AND O.S.H.A. STANDARDS.
6. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
7. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A STABLE STAND OF GRASS IS ESTABLISHED.
8. ALL DIMENSIONS AND RADI ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INFRASTRUCTURE RELOCATION, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS.

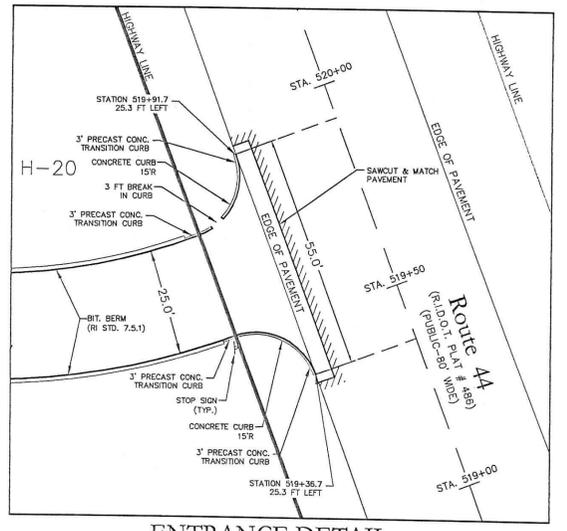
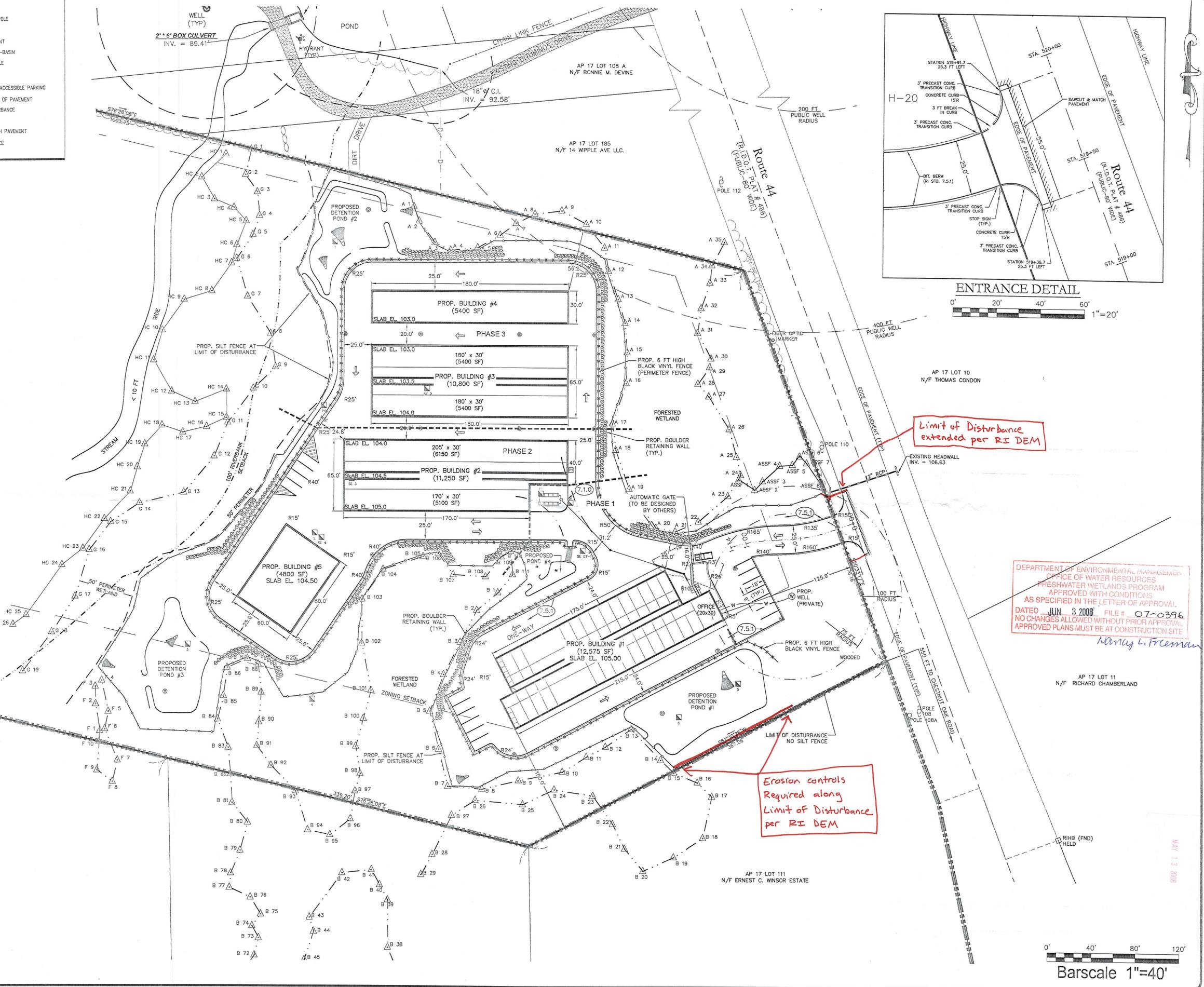
REFER TO DETAIL SHEETS FOR ADDITIONAL GENERAL NOTES.

**DIMENSIONAL TABULATION:**  
HIGHWAY COMMERCIAL (B-2) ZONING DISTRICT

	REQUIRED	PROVIDED
MINIMUM LOT AREA	0.5 ACRES	15.01 ACRES
MINIMUM LOT FRONTAGE AND WIDTH	120 FT.	376.16 FT.
MINIMUM SETBACKS:		
FRONT	60 FT.	125.9 FT.
SIDE	20 FT.	100 FT.(1)
REAR	40 FT.	696.5 FT.
MAXIMUM BUILDING HEIGHT	NA	XXX
MAXIMUM BUILDING COVERAGE	25 %	±9 %

**TABLE NOTES:**

1. REQUIRED SETBACK FROM A RESIDENTIAL ZONE TO A STRUCTURE IN A COMMERCIAL ZONE IS 100 FT.
2. TOTAL PROVIDED PARKING = 17 SPACES



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*Nancy L. Freeman*

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2	5/13/08	Address RIDEM Comments

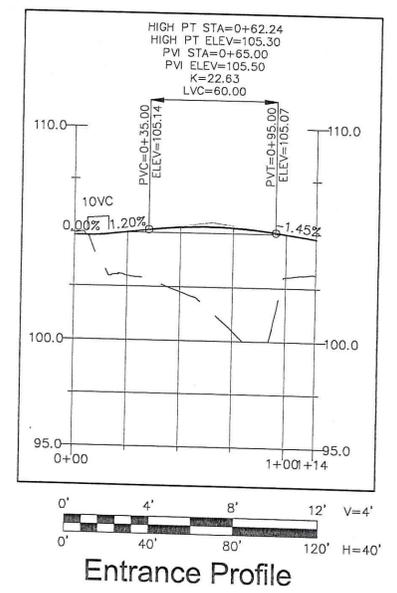
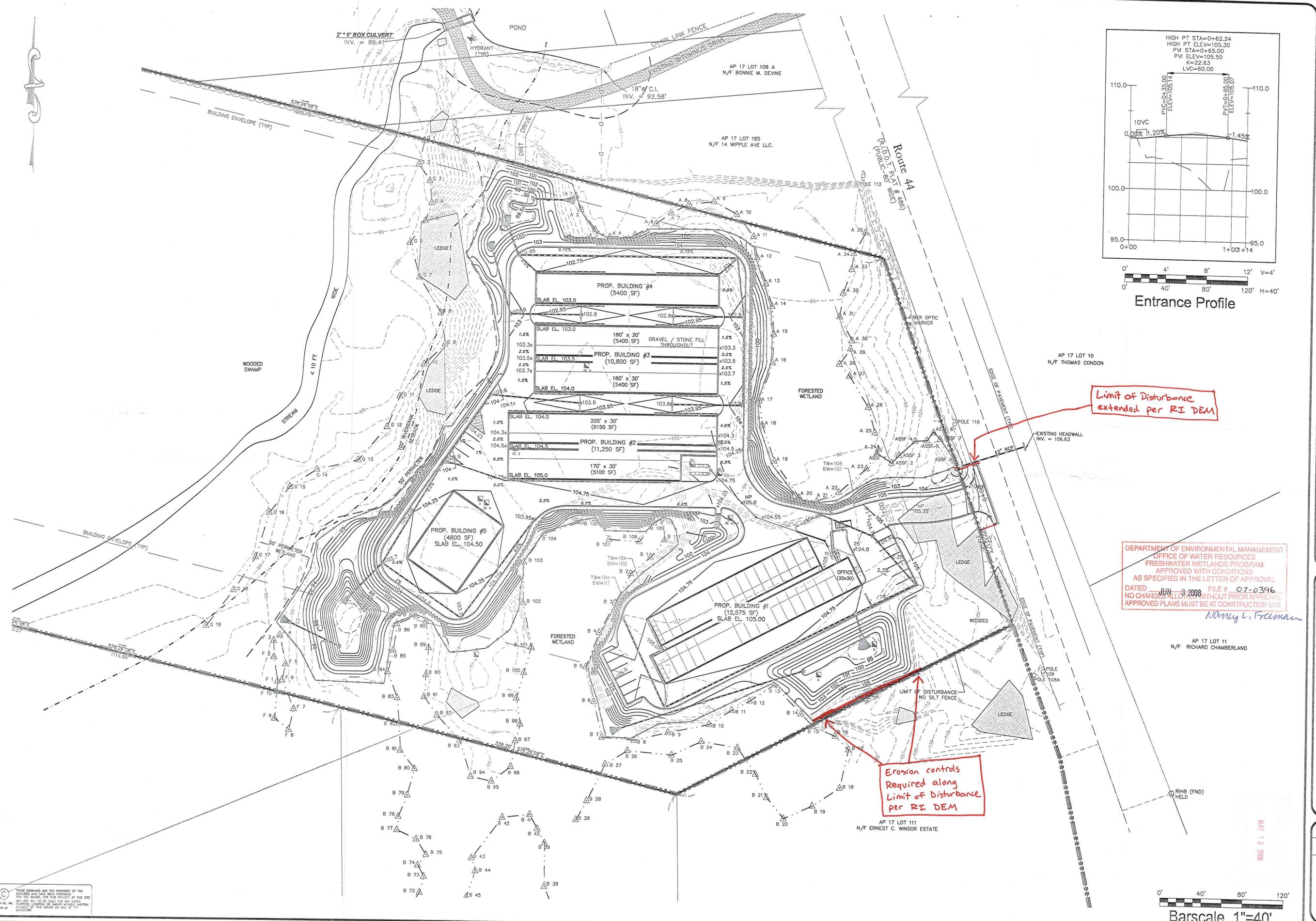


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Civil Engineering • Landscape Architecture  
600 Putnam Pike, Suite #7  
Greenville, Rhode Island 02828  
(401) 349-3040 • (401) 349-3041 (fax)

Site Layout Plan  
**Route 44 Self Storage**  
Putnam Pike (Rte. 44)  
Prepared for:  
**Jay Foige**  
401 Snake Hill Road North Scituate, RI 02857  
date: Feb-2008  
scale: As Noted

Design By: REB  
Checked By: NJP  
Sheet  
**3**  
of 8  
FILE NO.: 08.004

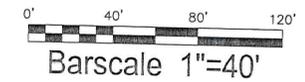
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Limit of Disturbance extended per RI DEM

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Erosion controls Required along Limit of Disturbance per RI DEM



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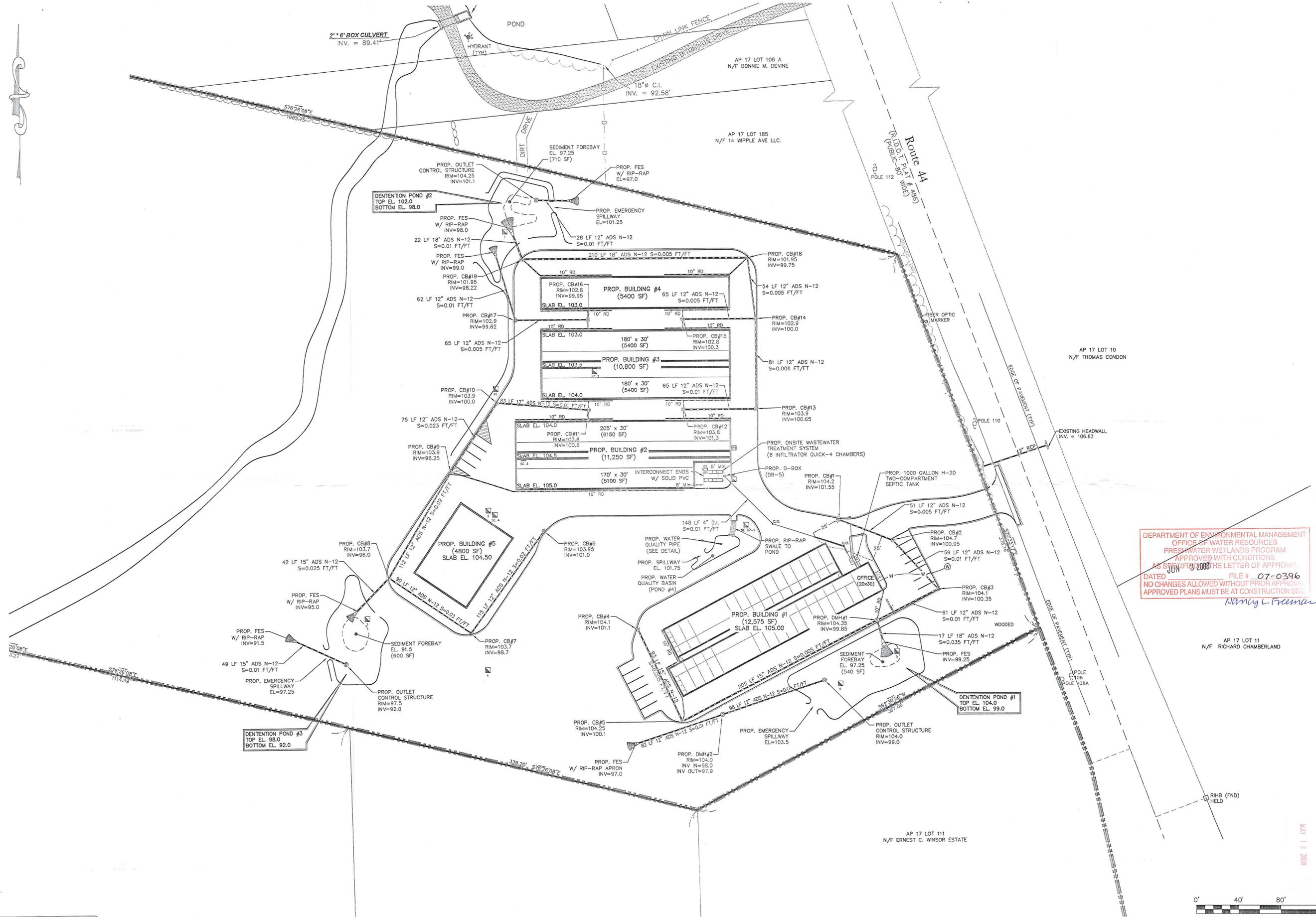


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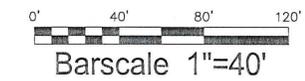
Grading Plan  
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Prepared for:  
**Jay Forge**  
401 Snake Hill Road North Scituate, RI 02857  
date: Feb-2008

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 Nancy L. Freeman



NO.	DATE	DESCRIPTION	BY
1	5/13/08	Address RIDEM Comments	REB

BRIAN P. THALMANN  
 No. 6596  
 REGISTERED PROFESSIONAL ENGINEER  
 (Civil)

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Drainage & Utility Plan  
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**STRUCTURAL MEASURES**

1. POND DETENTION SYSTEMS ARE USED TO CONTROL RUNOFF.
2. A PERMANENT COVER SHALL BE ESTABLISHED IN ACCORDANCE WITH THE VEGETATIVE COVER PROVISIONS. THE SEEDING SHALL EXTEND TO AT LEAST THE DESIGN TOP WIDTH AND INCLUDE ANY OTHER AREAS DISTURBED BY CONSTRUCTION ACTIVITIES. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS.
3. WOODOUS VEGETATION SHALL BE MAINTAINED BY APPLYING LIME AND FERTILIZER. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEDED BY THE CONTRACTOR.
4. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE DETENTION AREAS UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION. ~~THE TOWN OF SMITHFIELD IS RESPONSIBLE THEREAFTER.~~
5. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
6. REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY USDA SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

**NONSTRUCTURAL MEASURES**

1. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ACCESS ROADS, DRAINAGE EXEMPTIONS, AND AREAS TO BE GRADED. HEAVY CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED IN THE PROPOSED INFILTRATION AREAS PRIOR TO INSTALLATION.
2. A STONE STABILIZATION PAD IS LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY.
3. THE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY, MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
4. TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCK PILES SHALL BE SUBJECT TO APPROVAL BY THE TOWN ENGINEER. A SEDIMENT BARRIER SHOULD SURROUND ALL TOPSOIL STOCKPILES.
5. HAY BALES OR SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
6. HAY BALES/SILT FENCE SHALL BE MAINTAINED BY THE CONTRACTOR. INSPECTIONS SHALL BE MADE AFTER EACH STORM EVENT TO REPAIR OR REPLACE. CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE BALES/FENCE BECOMES FILLED WITH SEDIMENT.
7. THE HAY BALES OR SILT FENCE SHALL BE CHECKED WEEKLY FOR UNDERMINING OR DETRIORATION BY THE CONTRACTOR.
8. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
9. REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

**ESTABLISHMENT OF VEGETATIVE COVER**

1. SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDING OR PROTECTED.
3. PLANTABLE SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND'S STANDARD SPECIFICATIONS, AS AMENDED.
4. THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:  
TYPE LBS/AC.  
CREEPING RED FESCUE 75  
KENTUCKY BLUE GRASS 15  
COLONIAL BENT GRASS 5  
PERENNIAL RYE GRASS 5
5. EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. LIME AND FERTILIZER AS REQUIRED BY SOIL TESTING TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY. THE RECOMMENDED SEEDING DATES ARE APRIL 1ST THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 30.
6. TEMPORARY TREATMENTS SHALL CONSIST OF NORTH AMERICAN GREEN S150 OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
7. ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
8. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 202.
9. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAY. THEY SHALL HAVE SIDE SLOPES OF AT LEAST 2:1 AND SHALL BE TEMPORARILY SEEDING AND/OR STABILIZED.
10. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF SIX MONTHS AND SHALL DO SO AT THE CONTRACTOR'S EXPENSE.
11. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDING AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDING AREAS WILL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED AND RESEEDING AS NECESSARY.
12. REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE AS A GUIDE.
13. TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON WESH NETTING.
14. MAXIMUM GRADED SLOPE WITHIN THE SITE TO BE 3:1, UNLESS SPECIFIED OTHERWISE.

**WETLAND NOTES**

1. THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE VERY STRICT. IN NO CASE SHALL THE CONTRACTOR WORK BEYOND WITHOUT APPROVAL FROM RIDEA.
2. THE OWNER, IN WRITING, MUST NOTIFY THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT PRIOR TO THE START OF CONSTRUCTION.

**SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES**

1. SURVEY AND STAKE THE DRIVEWAY, DRAINAGE STRUCTURES, STORMWATER DETENTION AREAS, BUILDING CORNERS, AND THE LIMIT OF WORK AND SEDIMENTATION BARRIERS.
2. PLACE SEDIMENTATION BARRIERS (HAY BALES OR SILT FENCE) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
3. EXCAVATE, LOAM, AND SEED DETENTION BASINS AS SHOWN ON PLAN PER PHASE.
4. BEGIN DRIVEWAY, PARKING AREAS, AND DRAINAGE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). ANY TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS PER TOWN ENGINEER. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDING. NO RUNOFF IS TO BE DISCHARGED TO THE DETENTION AREAS UNTIL THE BINDER COURSE OF PAVEMENT IS INSTALLED AND DISTURBED AREAS ARE STABILIZED WITH VEGETATION.
6. INSTALL UTILITIES AS SHOWN FROM RESPECTIVE WORK PLANS.
7. BEGIN BUILDINGS AND LANDSCAPING WHILE UNDER CONSTRUCTION PER PHASE.
8. FINISH BUILDINGS AND SITE WORK PER PHASE.
9. FINISH LANDSCAPING, AND PERMANENT STABILIZATION. SWEEP THE PAVED AREAS TO REMOVE ALL SEDIMENTS.
10. REPAIR DRAINAGE AREAS AS REQUIRED.
11. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.
12. REPEAT STEPS 1 THROUGH 11 ABOVE FOR EACH PHASE OF THE PROJECT.

**MAINTENANCE: SHORT TERM/LONG TERM**

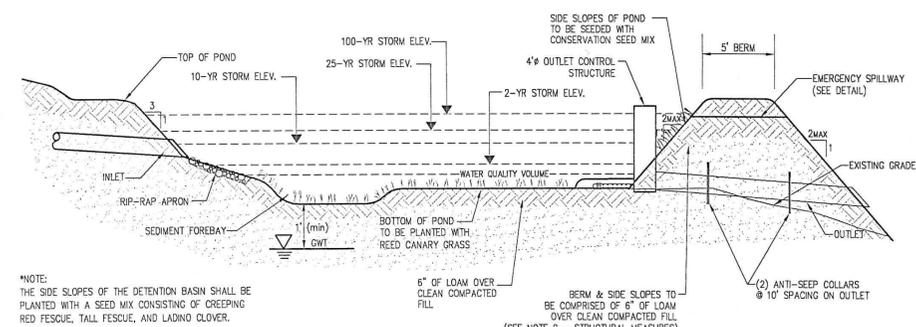
1. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDING, PROTECTED, AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK REGULARLY ALL SEEDING AREAS TO SEE THAT A GOOD STAND IS MAINTAINED.
2. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF SIX MONTHS AND SHALL DO SO AT THE CONTRACTOR'S EXPENSE.
3. ALL HAY BALES, TEMPORARY TREATMENTS (HAY, STRAW, ETC.) AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
4. THE CONTRACTOR SHALL MAINTAIN ALL TOP SOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIERS.
5. THE HAY BALES OR SILT FENCE SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETRIORATION. CONTRACTOR SHALL REPAIR OR REPLACE THE HAY BALES AS NECESSARY. CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENTS.
6. THE STONE STABILIZATION PAD AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE DETENTION PONDS DURING AND UP TO ONE (1) YEAR AFTER COMPLETION OF CONSTRUCTION. MAINTENANCE WILL INCLUDE RESEEDING ANY UNDEVELOPED AREAS AFTER A FULL GROWING SEASON AT NO ADDITIONAL EXPENSE, REMOVING ACCUMULATED SILT/SEDIMENT OVER 3" IN THE PONDS, AND MAINTAINING THE GRASS TO A GROWING HEIGHT OF 2"-10". EXCAVATION OF SILT/SEDIMENT WILL BE MANUAL WITH SHOVELS AND WHEELBARROWS ONLY. REMOVE ALL WOODY VEGETATION FROM POND EMBANKMENTS.
8. THE OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PONDS AND ALL DRAINAGE INFRASTRUCTURE. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:  
a) INSPECT STRUCTURAL INTEGRITY OF POND ON A YEARLY BASIS. INSPECT POND INLET AND REPAIR AS NECESSARY.  
b) THE MOWING OF GRASS IN AND AROUND THE BASIN SHALL BE ACCOMPLISHED AT LEAST ONCE PER GROWING SEASON, PREFERABLY AFTER AUGUST 15th. TRASH AND LITTER MUST BE REMOVED DURING MOWING OPERATIONS.  
c) RESEED ANY ERODED OR BARE SPOTS IN OR AROUND THE POND IMMEDIATELY FOLLOWING EXAMINATIONS.  
d) REMOVE ALL SEDIMENT FROM FOREBAY EVERY 10 YEARS USING SHOVELS & WHEELBARROWS. RESEED FOREBAY IMMEDIATELY FOLLOWING REMOVAL OF SEDIMENT.  
e) TILLING OF POND FLOOR SHALL BE PERFORMED IF STANDING WATER IS OBSERVED FOR MORE THAN 72 HOURS AFTER A RAINFALL EVENT. TILLING CAN BE ACCOMPLISHED WITH A ROTARY TILLER OR DISC HARROW. THE ADDITION OF ORGANIC MATTER AND SAND WILL AID IN RESTORING INFILTRATION CAPACITY. RESEED IMMEDIATELY AFTER TILLING.  
f) ALL CATCH BASINS AND DRAINAGE MANHOLES ARE TO BE MAINTAINED ON A YEARLY BASIS, OR AT A MAXIMUM OF 5 YEARS. ALL DEBRIS AND SEDIMENT IS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES.  
g) THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PROGRAM. THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
10. AFTER THE FIRST YEAR AND ACCEPTANCE BY THE OWNER, THE OWNER SHALL HAVE OVERALL RESPONSIBILITY FOR IMPLEMENTING THESE MAINTENANCE NOTES.

**SEDIMENT CONTROL PROGRAM**

1. DISTURBED AREAS WHICH ARE PARTICULARLY SENSITIVE TO EROSION SHALL RECEIVE A CRUSHED STONE OR SHARP ANGULAR RIP-RAP TREATMENT IF OTHER METHODS OF STABILIZATION ARE UNSUCCESSFUL.
2. BANKS OR SLOPES NOT RECEIVING RIP RAP SHALL BE SEEDING AND PROTECTED WITH FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR AND OR THE DEVELOPER SHALL BE RESPONSIBLE FOR UTILIZING BEST MANAGEMENT PRACTICES TO CONTROL ENVIRONMENTAL DAMAGE THAT COULD RESULT FROM UNCHECKED STORMWATER RUNOFF.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED REGULARLY. SPECIAL ATTENTION SHOULD BE GIVEN AFTER A HEAVY OR PROLONGED RAINFALL.
5. CARE SHALL BE SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORM WATER FLOWAGE.
6. ADDITIONAL HAY BALES, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. SEDIMENTATION TRAPS SHALL BE PROVIDED AND MAINTAINED AT ALL DRAINAGE STRUCTURES DURING CONSTRUCTION.
8. REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" (1989) PREPARED BY THE RI DEPT. OF ENVIRONMENTAL MANAGEMENT, RI STATE CONSERVATION COMMISSION AND THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE AS A PRACTICAL GUIDE.
9. SOIL EROSION APPLICATIONS SHALL BE FILED IN ACCORDANCE WITH ORDINANCE. EACH SUBDIVISION LOT SHALL RECEIVE SEPARATE APPROVALS.

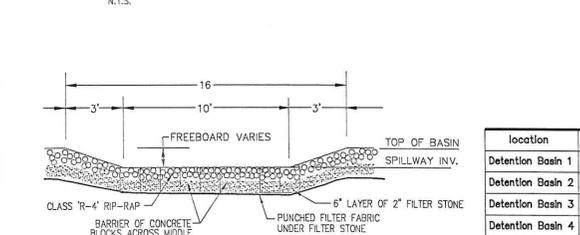
**GENERAL CONSTRUCTION NOTES**

1. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER.
2. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
3. BUILDING DIMENSIONS INDICATED ARE PRELIMINARY AND BASED ON GENERAL INFORMATION ONLY. FINAL BUILDING DIMENSIONS AND LAYOUT MAY VARY TO INCLUDE CHANGES TO DRIVEWAY LOCATIONS, GRADES AROUND HOUSES, ETC. HOWEVER, THE LIMIT OF DISTURBANCE SHALL REMAIN THE SAME AS SHOWN.
4. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE TOWN OF SMITHFIELD AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
5. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ALL EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
6. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER, AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, DRIVEWAYS, WALKS, WALLS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
8. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UTILITIES ON THE PLANS, HOWEVER, THIS INFORMATION SHOWN FOR THE CONTRACTOR'S CONVEENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO THE UTILITIES BY THE CONTRACTOR.



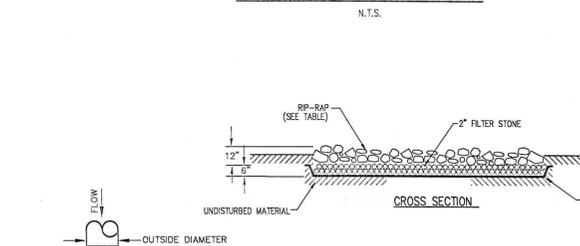
Description	Basin 1	Basin 2	Basin 3	Basin 4
Top of Basin Elevation	104.00	102.00	98.00	102.00
100 Year Storm Elevation	102.82	101.41	97.30	101.83
25 Year Storm Elevation	102.41	101.16	96.56	101.82
10 Year Storm Elevation	102.13	100.95	96.17	101.82
2 Year Storm Elevation	101.22	100.24	95.76	101.80
Water Quality Volume Elev.	100.16	99.38	93.06	101.70
Bottom of Basin	99.00	98.00	92.00	100.00
Sediment Forebay	97.25	97.50	91.50	99.50
GWT Elevation	96.25	94.00*	None	None

**DETENTION BASIN DETAIL**

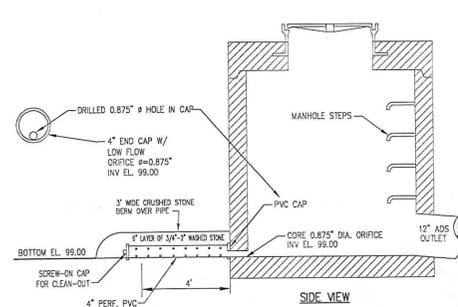


Location	top of pond elev.	spillway invert
Detention Basin 1	104.00	102.75
Detention Basin 2	102.00	101.25
Detention Basin 3	98.00	97.25
Detention Basin 4	102.00	101.75

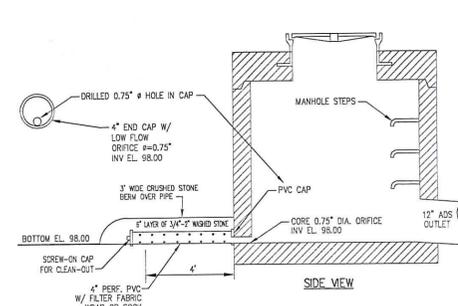
**EMERGENCY SPILLWAY DETAIL**



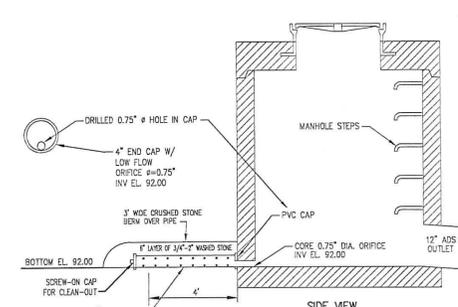
Location	L	W	SIZE
Pond #1 Inlet Rip-Rap Apron	19'	12'	R-4
Pond #1 Outlet Rip-Rap Apron	10'	7'	R-4
Pond #2 Inlet Rip-Rap Apron	18'	12'	R-4
Pond #2 Outlet Rip-Rap Apron	11'	7.5'	R-4
Pond #3 Inlet Rip-Rap Apron	17'	11'	R-4
Pond #3 Outlet Rip-Rap Apron	9'	12'	R-4



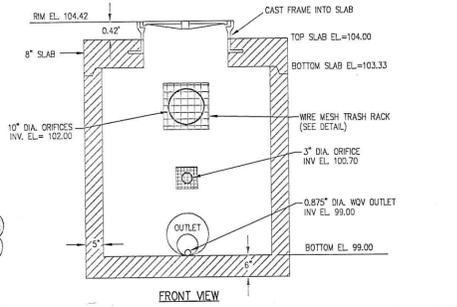
**OUTLET CONTROL STRUCTURE POND #1**  
1" = 2"



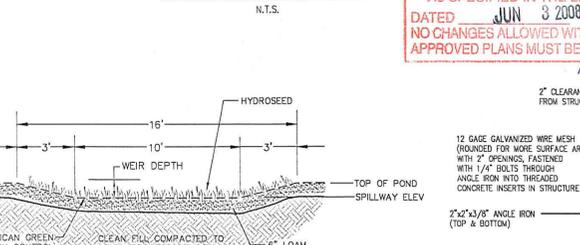
**OUTLET CONTROL STRUCTURE POND #2**  
1" = 2"



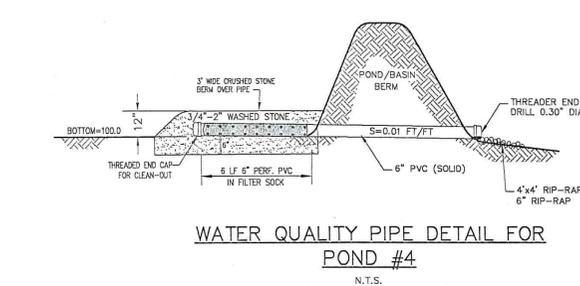
**OUTLET CONTROL STRUCTURE POND #3**  
1" = 2"



**EMERGENCY SPILLWAY DETAIL**



**EMERGENCY SPILLWAY DETAIL**  
N.T.S.



**WATER QUALITY PIPE DETAIL FOR POND #4**  
N.T.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 3 2008 FILE # 07-0396  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Harvey L. Friedman*

NO.	DATE	DESCRIPTION

BRIAN P. THALMANN  
06906  
REGISTERED PROFESSIONAL ENGINEER  
(CIVIL)

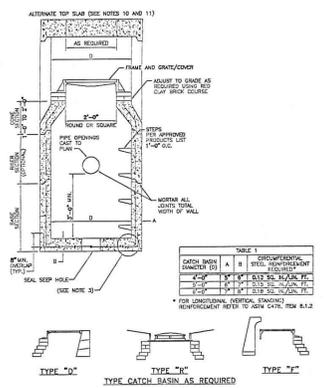
**Thalman Engineering Co., Inc.**  
Civil Engineering • Landscape Architecture  
600 Putnam Pike, Suite #7  
Greenville, Rhode Island 02828  
(401) 349-3040 • (401) 349-3041 (fax)

Construction Details 1  
**Route 44 Self Storage**  
Putnam Pike (Rte. 44)  
Prepared for:  
Jay Forge  
401 Snake Hill Road North-Schuette, RI 02857  
Date: Feb-2008  
Scale: 1"=40'

Design By: REB  
Checked By: NJP  
Sheet  
**6**  
of 8  
FILE NO.: 08.004

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ALTERNATE TOP SLAB (SEE NOTES 10 AND 11)  
AS REQUIRED

FRAME AND GRATE/COVER  
ADJUST TO GRADE AS REQUIRED USING REED CLAY BRICK COURSE

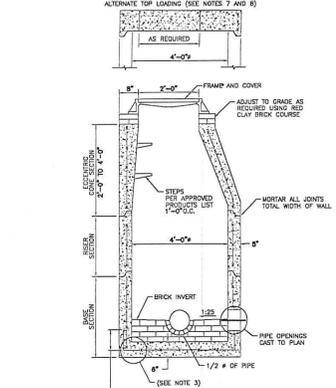
ROUND OR SQUARE  
STEP REINFORCED  
PIPE OPENING  
NOMINAL ALL LIGHT WEIGHT PORTLAND CEMENT MORTAR

TYPE "D" TYPE "C" TYPE "E"

TYPE CATCH BASIN AS REQUIRED

NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.  
2. STEEL REINFORCING SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.  
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20. STEEL REINFORCING SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.

R.I. STANDARD 4.4.0  
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN  
N.T.S.



ALTERNATE TOP LOADING (SEE NOTES 7 AND 8)  
AS REQUIRED

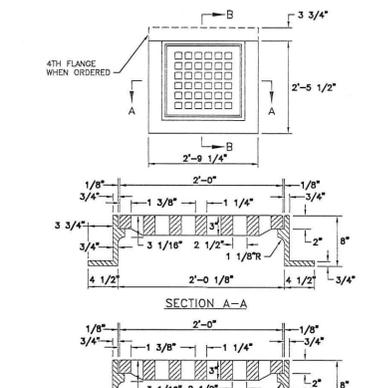
FRAME AND GRATE/COVER  
ADJUST TO GRADE AS REQUIRED USING REED CLAY BRICK COURSE

ROUND OR SQUARE  
STEP REINFORCED  
PIPE OPENING  
NOMINAL ALL LIGHT WEIGHT PORTLAND CEMENT MORTAR

TYPE "D" TYPE "C" TYPE "E"

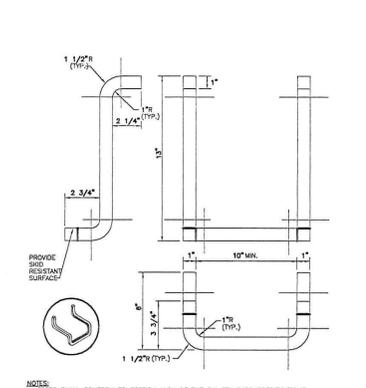
TYPE CATCH BASIN AS REQUIRED

R.I. STANDARD 4.2.0  
PRECAST 4'-0" ROUND MANHOLE  
N.T.S.



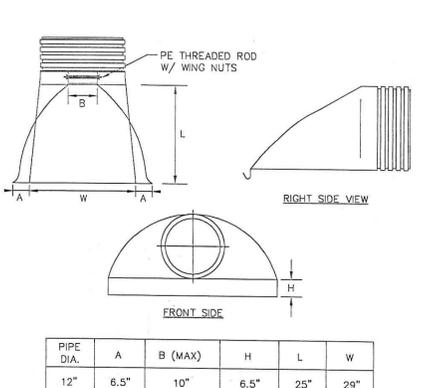
NOTE:  
FRAME AND GRATE SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.

R.I. STANDARD 6.3.0  
SQUARE FRAME AND GRATE  
N.T.S.



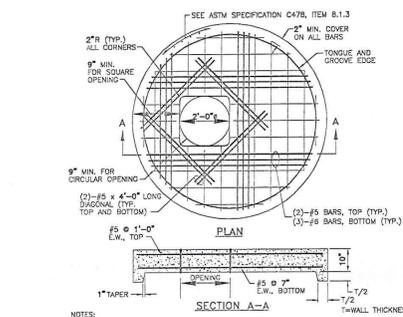
NOTES:  
1. STEPS SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.  
2. CROSS SECTION AREA MAY BE REDUCED UPON SUBMISSION OF CERTIFIED LOAD TESTS.  
3. STOCK SHOWN IS 1" SQUARE WHICH MAY BE REPLACED BY 1" DIAMETER.

R.I. STANDARD 6.3.0  
CATCH BASIN AND MANHOLE STEP  
N.T.S.



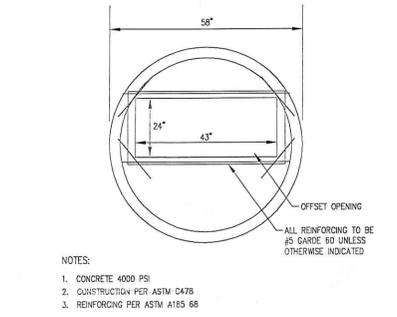
PIPE DIA.	A	B (MAX)	H	L	W
12"	6.5"	10"	6.5"	25"	29"
15"	6.5"	10"	6.5"	25"	29"
18"	7.5"	15"	6.5"	32"	35"

ADS - FLARED END SECTION  
N.T.S.



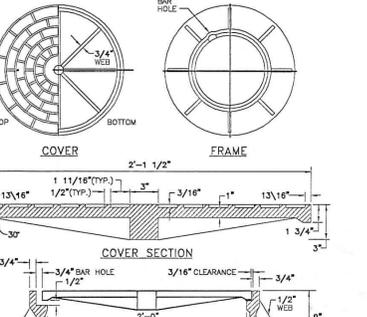
NOTES:  
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20. STEEL REINFORCING SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.

R.I. STANDARD 4.7.2  
ALTERNATE TOP COVER FOR ROUND PRECAST MANHOLES AND CATCH BASINS  
N.T.S.



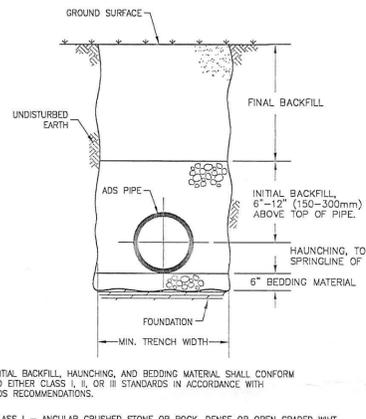
NOTES:  
1. CONCRETE 4000 PSI  
2. CONSTRUCTION PER ASTM C478  
3. REINFORCING PER ASTM A155 B8

R.I. STANDARD 6.2.1  
4' DIA. DOUBLE OPENING CONCRETE COVER  
N.T.S.



NOTES:  
1. FRAME AND GRATE SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.  
2. FRAME AND COVER SEATS MUST HAVE MACHINE FINISH.

R.I. STANDARD 6.2.1  
HEAVY-DUTY ROUND FRAME AND COVER  
N.T.S.



INITIAL BACKFILL, HAUNCHING, AND BEDDING MATERIAL SHALL CONFORM TO EITHER CLASS I, II, OR III STANDARDS IN ACCORDANCE WITH ADS RECOMMENDATIONS.

CLASS I - ANGULAR CRUSHED STONE OR ROCK, DENSE OR OPEN GRADED WHT LITTLE OR NO FINES (4" TO 1 1/2" SIZE)

CLASS II - CLEAN, COARSE GRAINED MATERIALS, SUCH AS GRAVEL, COARSE SANDS, AND GRAVEL/SANDS MIXTURES (1/2" SIZE) (ASHTO CLASSIFICATION A1 & A3)

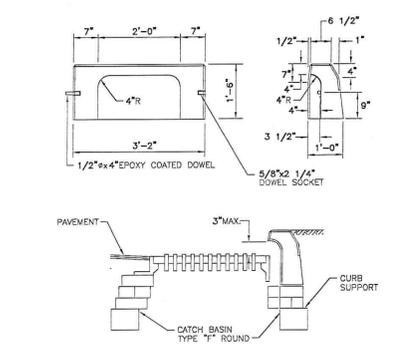
CLASS III - COARSE GRAINED MATERIALS WITH FINES INCLUDING SILTY OR CLAYEY GRAVELS OR SANDS. GRAVEL OR SAND MUST COMPOSE MORE THAN 50% OF CLASS III MATERIALS (1/2" SIZE) (ASHTO CLASSIFICATIONS A-2-4 & A-2-5)

R.I. STANDARD 6.2.1  
ADS DRAIN PIPE TRENCH INSTALLATION  
N.T.S.

ADS Pipe Installation Notes:

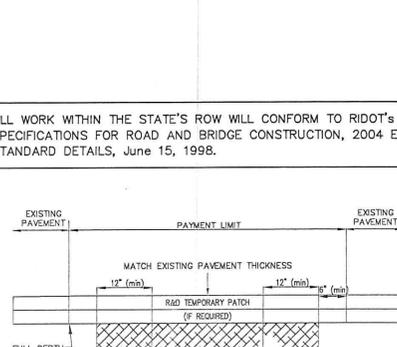
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A STABLE DEPTH AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.
- BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II, OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4" TO 24" DIA. & 6" FOR 30" TO 60" DIA.
- HAUNCHING AND INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II, OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

NOMINAL DIA. (IN)	MIN. TRENCH WIDTH (IN)
6"	23"
8"	25"
10"	28"
12"	31"
15"	34"
18"	39"



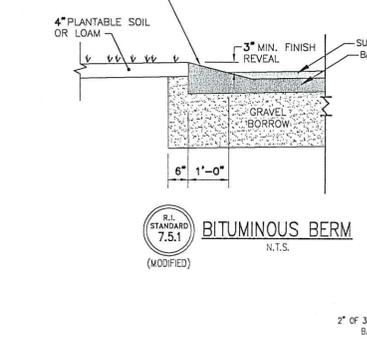
NOTES:  
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.  
2. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.  
3. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

R.I. STANDARD 7.1.8  
PRECAST CONCRETE APRON STONE  
(FOR ROUND CATCH BASIN)  
N.T.S.



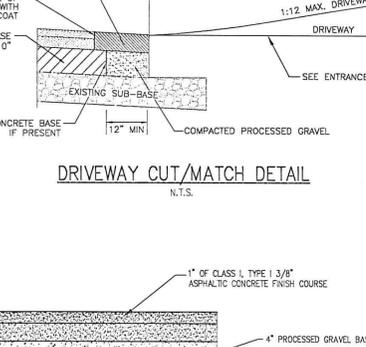
NOTES:  
1. REMOVE AND DEPOSE OF TOP 1" OF SELECTED BACKFILL AND RE-COMPACT TOP OF TRENCH PRIOR TO SPREADING THE BASE COURSE.  
2. EXISTING PAVEMENT SHALL BE SAW CUT BACK AN ADDITIONAL 6" TO PAVEMENT LIMIT LINE OR UNDISTURBED PAVEMENT, WHICHEVER IS GREATER.  
3. TEMPORARY BITUMINOUS PAVEMENT: SELECTED BACKFILL UNSUITABLE MATERIAL SHALL BE REMOVED PRIOR TO PLACEMENT OF THE PERMANENT PAVEMENT.  
4. ALL PREPARATION WORK SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF THE PERMANENT PAVEMENT.  
5. OR AS DIRECTED BY THE PUBLIC WORKS DIRECTOR.

R.I. STANDARD 7.5.1  
PAVEMENT RESTORATION DETAIL  
N.T.S.



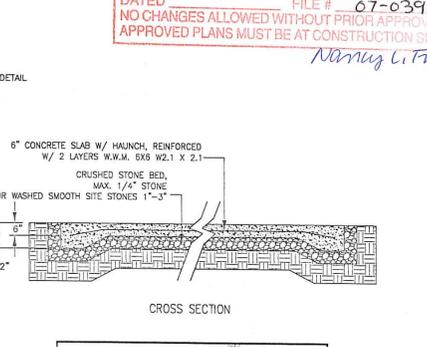
NOTES:  
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4. ALL PREPARATION WORK SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF THE PERMANENT PAVEMENT.  
5. OR AS DIRECTED BY THE PUBLIC WORKS DIRECTOR.

R.I. STANDARD 7.5.1  
BITUMINOUS BERM  
N.T.S.



NOTES:  
1. REMOVE AND DEPOSE OF TOP 1" OF SELECTED BACKFILL AND RE-COMPACT TOP OF TRENCH PRIOR TO SPREADING THE BASE COURSE.  
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3. TEMPORARY BITUMINOUS PAVEMENT: SELECTED BACKFILL UNSUITABLE MATERIAL SHALL BE REMOVED PRIOR TO PLACEMENT OF THE PERMANENT PAVEMENT.  
4. ALL PREPARATION WORK SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF THE PERMANENT PAVEMENT.  
5. OR AS DIRECTED BY THE PUBLIC WORKS DIRECTOR.

R.I. STANDARD 7.5.1  
DRIVEWAY CUT/MATCH DETAIL  
N.T.S.



NOTES:  
1. REMOVE AND DEPOSE OF TOP 1" OF SELECTED BACKFILL AND RE-COMPACT TOP OF TRENCH PRIOR TO SPREADING THE BASE COURSE.  
2. EXISTING PAVEMENT SHALL BE SAW CUT BACK AN ADDITIONAL 6" TO PAVEMENT LIMIT LINE OR UNDISTURBED PAVEMENT, WHICHEVER IS GREATER.  
3. TEMPORARY BITUMINOUS PAVEMENT: SELECTED BACKFILL UNSUITABLE MATERIAL SHALL BE REMOVED PRIOR TO PLACEMENT OF THE PERMANENT PAVEMENT.  
4. ALL PREPARATION WORK SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF THE PERMANENT PAVEMENT.  
5. OR AS DIRECTED BY THE PUBLIC WORKS DIRECTOR.

R.I. STANDARD 7.5.1  
CONCRETE DUMPSTER PAD  
N.T.S.

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NO.	DATE	DESCRIPTION	BY
1	4/18/08	Address RIDOT Comments	REB

BRIAN P. THALMANN  
6698  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 00000000

Thalman Engineering Co., Inc.  
Civil Engineering • Landscape Architecture  
600 Putnam Pike, Suite #7  
Greenville, Rhode Island 02828  
(401) 349-3040 • (401) 349-3041 (fax)

Construction Details 3  
Route 44 Self Storage  
Putnam Pike (Rte. 44)  
Prepared for:  
Jay Forge  
401 Snake Hill Road North Scituate, RI 02857  
date: Feb-2008  
scale: 1"=40'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN LETTER OF APPROVAL  
DATED JUN 9 2008 FILE # 07-0396  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
Murray L. Friedman

Design By: REB  
Checked By: NJP  
Sheet  
8  
of 8  
FILE NO.: 08.004