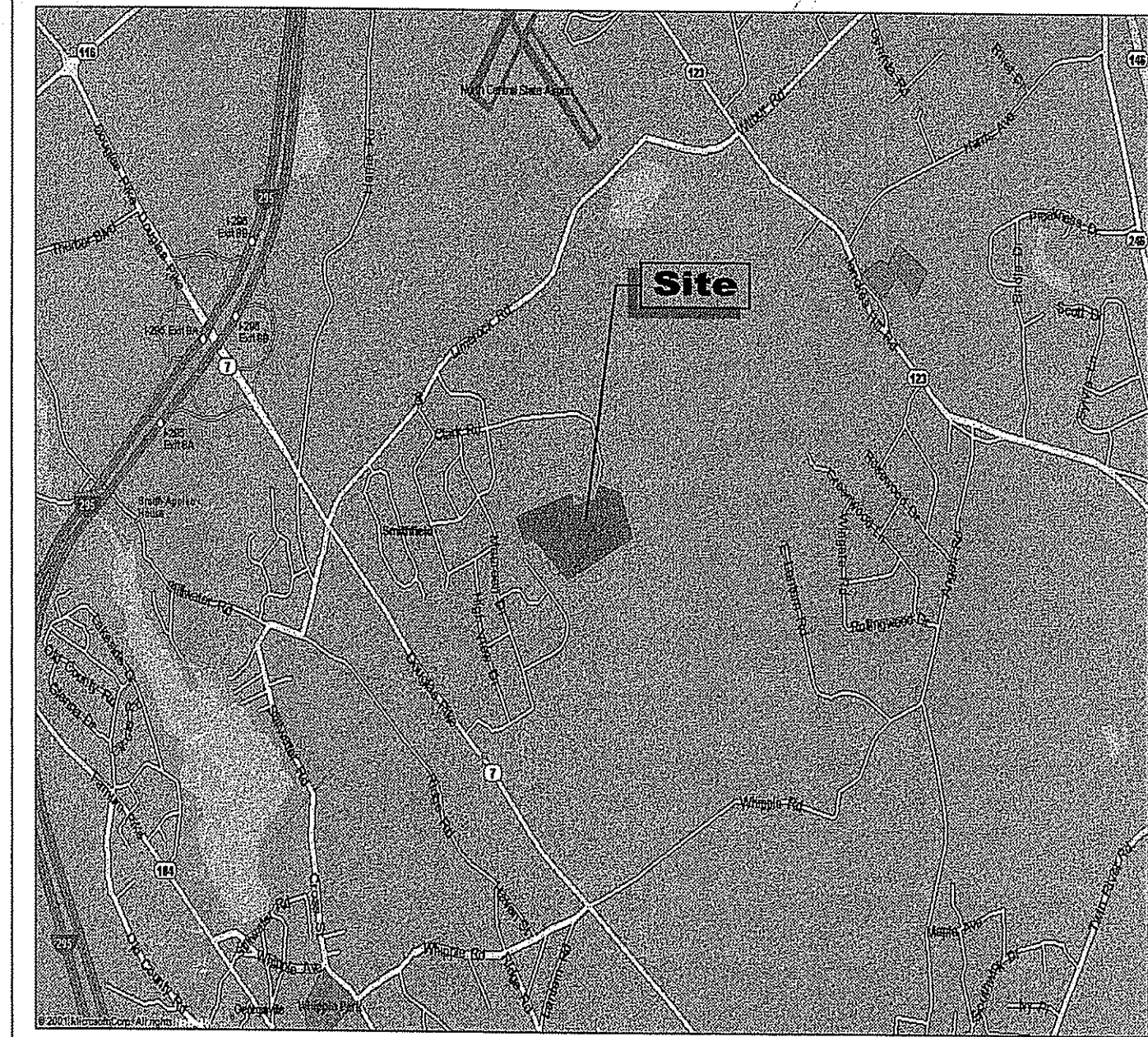
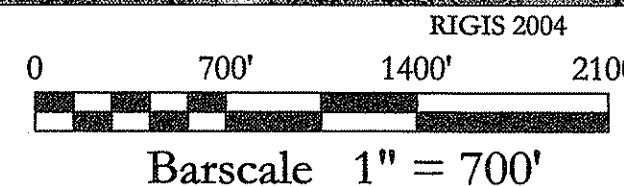


# Preliminary Plans Canton Court

8-Lot Residential Subdivision  
Assessor's Plat 45 Lots 76 & 116  
Clark Road Smithfield, RI



Locus Map N.T.S.

### Owner/Applicant:

Michael A. Grieco, Sr.  
181 Putnam Pike  
Johnston, RI 02919

### Sheet Index:

Sheet	Ref.	Name
1	C-1	Cover Sheet
2	C-2	Existing Conditions Plan
3	C-3	Overall Subdivision Plan
4	C-4	Grading & ISDS Plan
5	C-5	Drainage Plan & Profile
6	C-6	Details
7	C-7	Details

DEM Copy  
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 10 2007 FILE # 07-011  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Charles A. Hurdle*

OCT 19 2007

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION



**Thalman Engineering Co., Inc.**  
Civil Engineering • Landscape Architecture  
600 Putnam Pike, Suite #7  
Greenville, Rhode Island 02828  
(401) 349-3040 • (401) 349-3041 (fax)

COVER SHEET  
A.P. 45  
Canton Court  
Clark Road  
Smithfield  
Prepared for:  
Michael Grieco, Sr.  
181 Putnam Pike Johnston, RI 02919  
date: Oct-07

Design By: CSR/NJP  
Checked By: BPT  
Sheet  
**C-1**  
1 of 7  
FILE NO.: 07.033

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**LEGEND**

- - - - - EXISTING CONTOUR
- ▲- DELINEATED WETLAND EDGE
- STONELINE
- - - - - TREELINE
- - - - - TRAIL
- EX. WELL
- EX. UTILITY POLE
- - - - - 50 FT. PERIMETER WETLAND



**R-80 ZONE**

AREA 80,000 S.F.  
 FRONTAGE 200 FT.  
 (140 FT. CUL-DE-SAC)  
 SETBACKS:  
 FRONT 40 FT.  
 SIDE 25 FT.  
 REAR 75 FT.

**GENERAL NOTES**

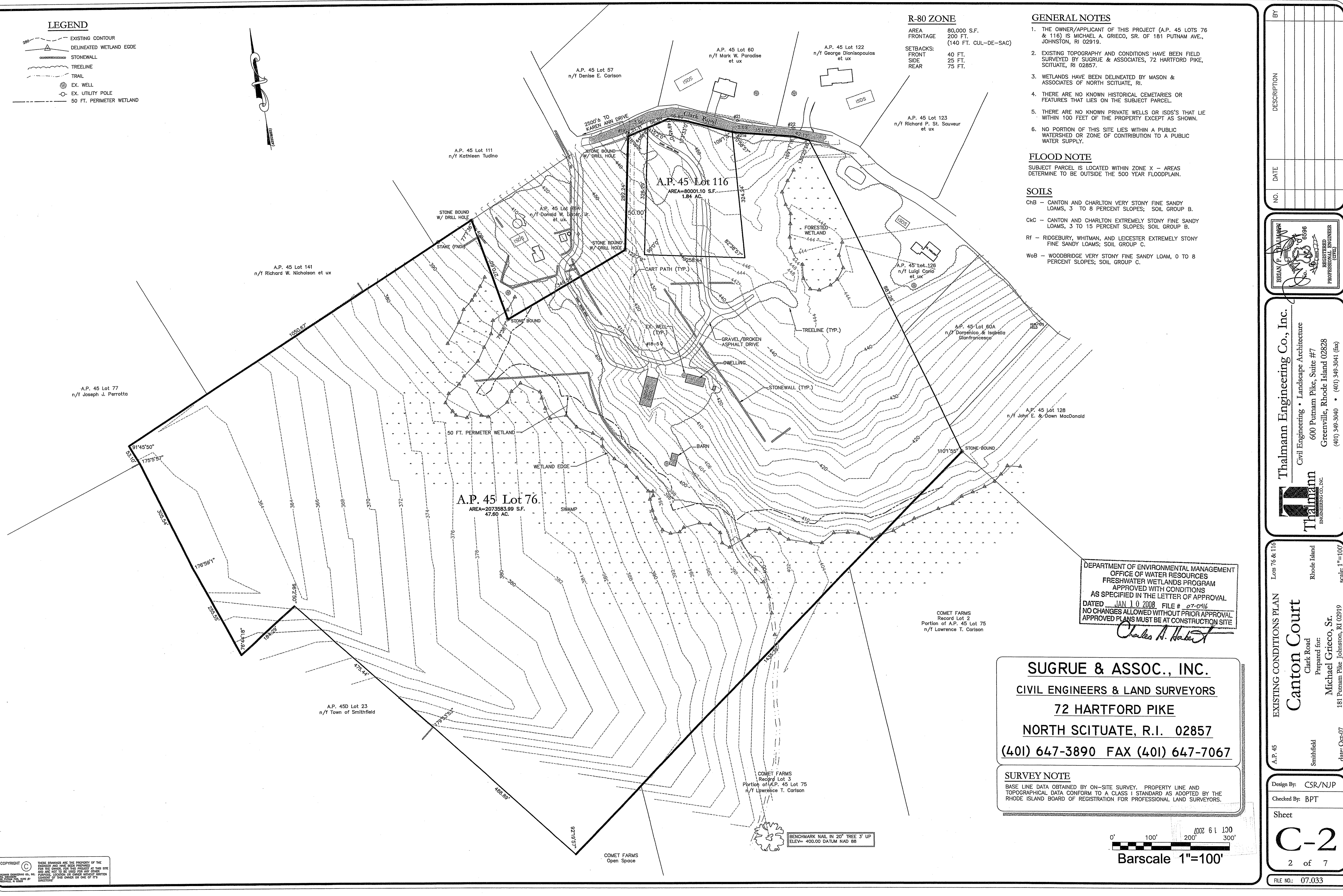
1. THE OWNER/APPLICANT OF THIS PROJECT (A.P. 45 LOTS 76 & 116) IS MICHAEL A. GRIECO, SR. OF 181 PUTNAM AVE., JOHNSTON, RI 02919.
2. EXISTING TOPOGRAPHY AND CONDITIONS HAVE BEEN FIELD SURVEYED BY SUGRUE & ASSOCIATES, 72 HARTFORD PIKE, SCITUATE, RI 02857.
3. WETLANDS HAVE BEEN DELINEATED BY MASON & ASSOCIATES OF NORTH SCITUATE, RI.
4. THERE ARE NO KNOWN HISTORICAL CEMETARIES OR FEATURES THAT LIES ON THE SUBJECT PARCEL.
5. THERE ARE NO KNOWN PRIVATE WELLS OR ISDS'S THAT LIE WITHIN 100 FEET OF THE PROPERTY EXCEPT AS SHOWN.
6. NO PORTION OF THIS SITE LIES WITHIN A PUBLIC WATERSHED OR ZONE OF CONTRIBUTION TO A PUBLIC WATER SUPPLY.

**FLOOD NOTE**

SUBJECT PARCEL IS LOCATED WITHIN ZONE X - AREAS DETERMINE TO BE OUTSIDE THE 500 YEAR FLOODPLAIN.

**SOILS**

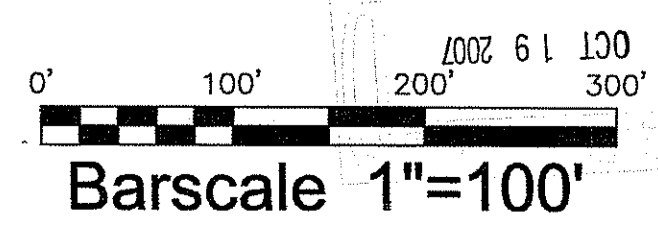
- ChB - CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES; SOIL GROUP B.
- CkC - CANTON AND CHARLTON EXTREMELY STONY FINE SANDY LOAMS, 3 TO 15 PERCENT SLOPES; SOIL GROUP B.
- Rf - RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS; SOIL GROUP C.
- WoB - WOODBRIDGE VERY STONY FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES; SOIL GROUP C.



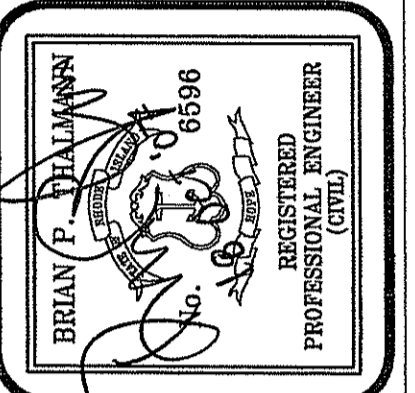
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 10 2008 FILE # 07-0416  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
*Charles A. Harte*

**SUGRUE & ASSOC., INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 72 HARTFORD PIKE  
 NORTH SCITUATE, R.I. 02857  
 (401) 647-3890 FAX (401) 647-7067

**SURVEY NOTE**  
 BASE LINE DATA OBTAINED BY ON-SITE SURVEY. PROPERTY LINE AND TOPOGRAPHICAL DATA CONFORM TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.



NO.	DATE	DESCRIPTION



**Thalmann Engineering Co., Inc.**  
 Civil Engineering • Landscape Architecture  
 600 Putnam Pike, Suite #7  
 Greenville, Rhode Island 02828  
 (401) 349-3040 • (401) 349-3041 (fax)

EXISTING CONDITIONS PLAN  
 A.P. 45  
 Smithfield  
 date: Oct-07  
 scale: 1"=100'

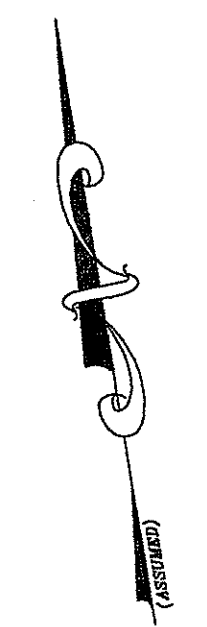
**Canton Court**  
 Clark Road  
 Prepared for:  
 Michael Grieco, Sr.  
 181 Putnam Pike Johnston, RI 02919

Design By: CSR/NJP  
 Checked By: BPT  
 Sheet  
**C-2**  
 2 of 7  
 FILE NO.: 07.033

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**LEGEND**

- EXISTING CONTOUR
- DELINEATED WETLAND EDGE
- STONEWALL
- TREELINE
- TRAIL
- EX. WELL
- EX. UTILITY POLE
- 50 FT. PERIMETER WETLAND
- 100 FT. TOWN WETLAND SETBACK
- 400'
- 377x90
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- SOIL/LEDGE TEST WITNESSED BY RIDEM
- PROPOSED WELL
- PROPOSED TREELINE
- EROSION CONTROL (SILT FENCE OR HAYBALES)
- PROPOSED LIMIT OF DISTURBANCE (NO EROSION CONTROL)
- PROPOSED DRAIN PIPE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED RIP-RAP/EROSION CONTROL MAT
- ZONE SETBACKS
- (H.C.) HIGH CAPACITY FRAME & GRATE

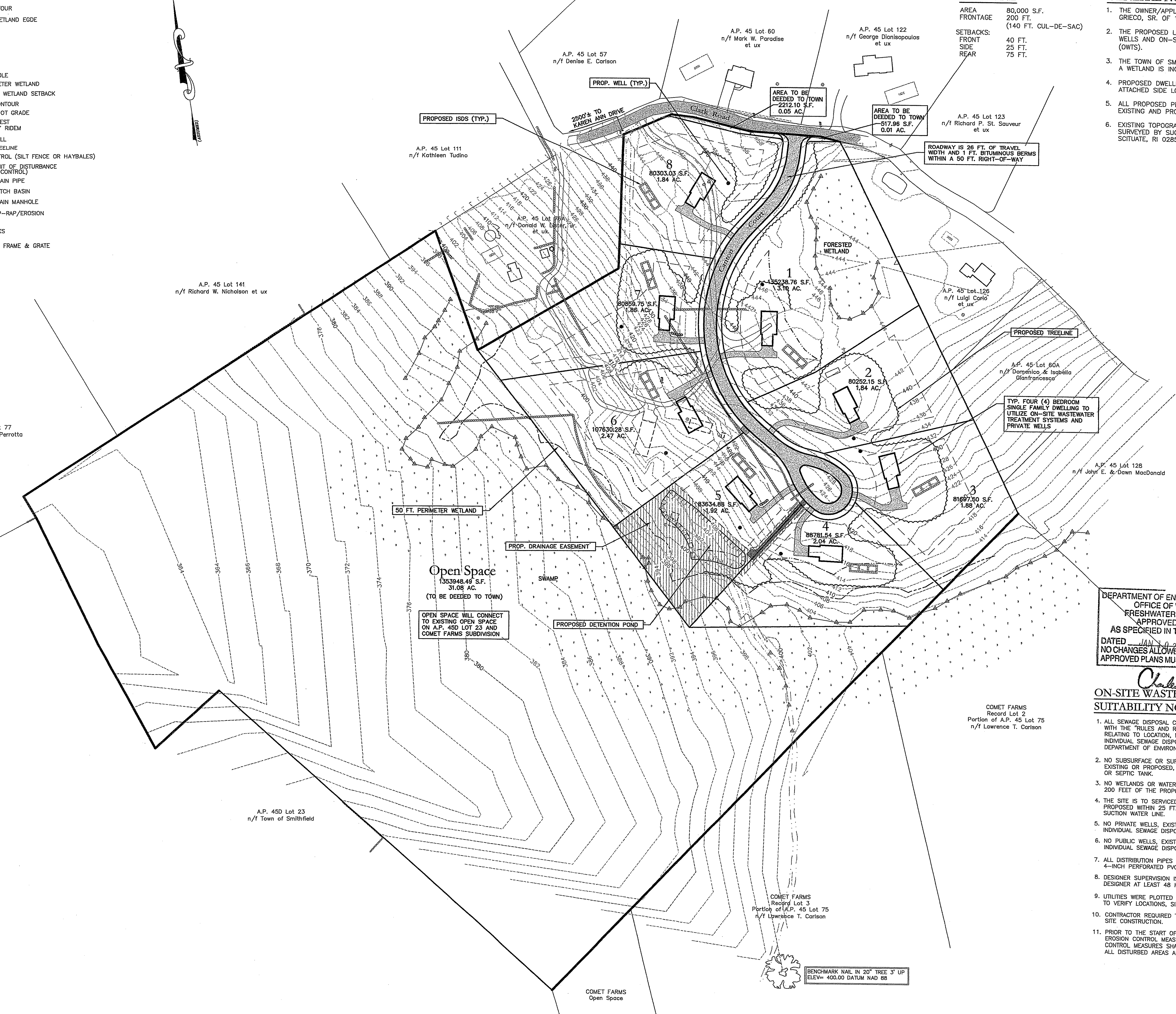


**R-80 ZONE**

AREA 80,000 S.F.  
 FRONTAGE 200 FT.  
 (140 FT. CUL-DE-SAC)  
 SETBACKS:  
 FRONT 40 FT.  
 SIDE 25 FT.  
 REAR 75 FT.

**GENERAL NOTES**

1. THE OWNER/APPLICANT OF THIS PROJECT IS MICHAEL A. GRIECO, SR. OF 181 PUTNAM PIKE, JOHNSTON, RI 02919.
2. THE PROPOSED LOTS ARE TO BE SERVICED BY PRIVATE WELLS AND ON-SITE WASTEWATER TREATMENT SYSTEMS (OWTS).
3. THE TOWN OF SMITHFIELD 100 FT. STRUCTURE SETBACK TO A WETLAND IS INCLUDED WITHIN THE BUILDING ENVELOPES.
4. PROPOSED DWELLINGS ARE FOUR (4) BEDROOMS WITH ATTACHED SIDE LOADED GARAGES.
5. ALL PROPOSED PRIVATE WELLS ARE LOCATED 100 FT. FROM EXISTING AND PROPOSED LEACHFIELDS.
6. EXISTING TOPOGRAPHY AND CONDITIONS HAVE BEEN FIELD SURVEYED BY SUGRUE & ASSOCIATES, 72 HARTFORD PIKE, SCITUATE, RI 02857.



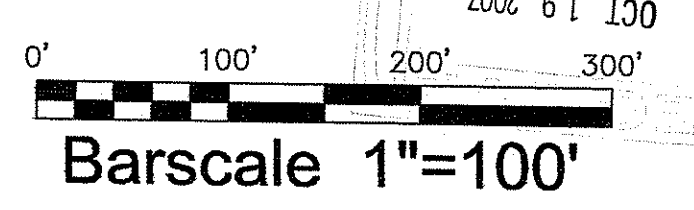
**Development Data**

AREA OF PARCEL 49.44 ACRES  
 AREA OF RIGHT-OF-WAY 1.34 ACRES  
 OPEN SPACE AREA 31.08 ACRES  
 FORESTED WETLAND 0.06 ACRES  
 FRESHWATER WETLANDS PROGRAM APPROVED WITH PROVISIONS AS SPECIFIED IN THE LETTER OF APPROVAL 16.96 ACRES

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH PROVISIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 30 2008 FILE # 07-016  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

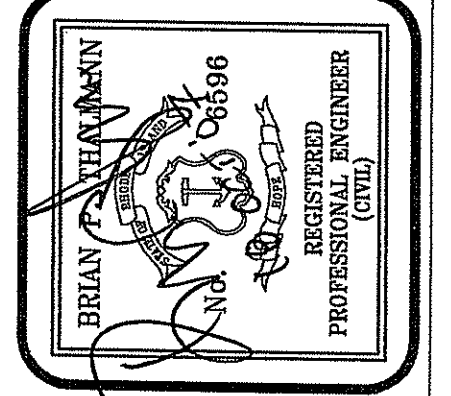
*Charles A. Harte*  
**ON-SITE WASTEWATER SUBDIVISION**  
**SUITABILITY NOTES**

1. ALL SEWAGE DISPOSAL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF INDIVIDUAL SEWAGE DISPOSAL SYSTEM, PREPARED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, AS AMENDED.
2. NO SUBSURFACE OR SURFACE DRAINS, INCLUDING FOUNDATION DRAINS, EXISTING OR PROPOSED, WITHIN 25 FEET OF THE DISPOSAL TRENCHES OR SEPTIC TANK.
3. NO WETLANDS OR WATER COURSES, EXISTING OR PROPOSED, ARE WITHIN 200 FEET OF THE PROPOSED DISPOSAL SYSTEM, EXCEPT AS SHOWN.
4. THE SITE IS TO BE SERVICED BY TOWN WATER. NO LEACHFIELDS SHALL BE PROPOSED WITHIN 25 FT. OF A PRESSURE WATER LINE NOR 40 FT. OF A SUCTION WATER LINE.
5. NO PRIVATE WELLS, EXISTING OR PROPOSED, ARE WITHIN 100 FEET OF ANY PROPOSED INDIVIDUAL SEWAGE DISPOSAL SYSTEM.
6. NO PUBLIC WELLS, EXISTING OR PROPOSED, ARE WITHIN 500 FEET OF ANY PROPOSED INDIVIDUAL SEWAGE DISPOSAL SYSTEM.
7. ALL DISTRIBUTION PIPES SHALL BE 4-INCH SOLID WALL PVC, SDR-35 AND 4-INCH PERFORATED PVC, SDR-35.
8. DESIGNER SUPERVISION IS REQUIRED FOR SYSTEM INSTALLATION. CONTACT LICENSED DESIGNER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
9. UTILITIES WERE PLOTTED FROM BEST AVAILABLE INFORMATION. CONTRACTOR TO VERIFY LOCATIONS, SIZES AND MATERIALS PRIOR TO COMMENCING ANY CONSTRUCTION.
10. CONTRACTOR REQUIRED TO NOTIFY DIG-SAFE BEFORE COMMENCING ANY SITE CONSTRUCTION.
11. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS DEPICTED ON THE PLAN. EROSION CONTROL MEASURES SHALL REMAIN IN PLACES AND BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED.



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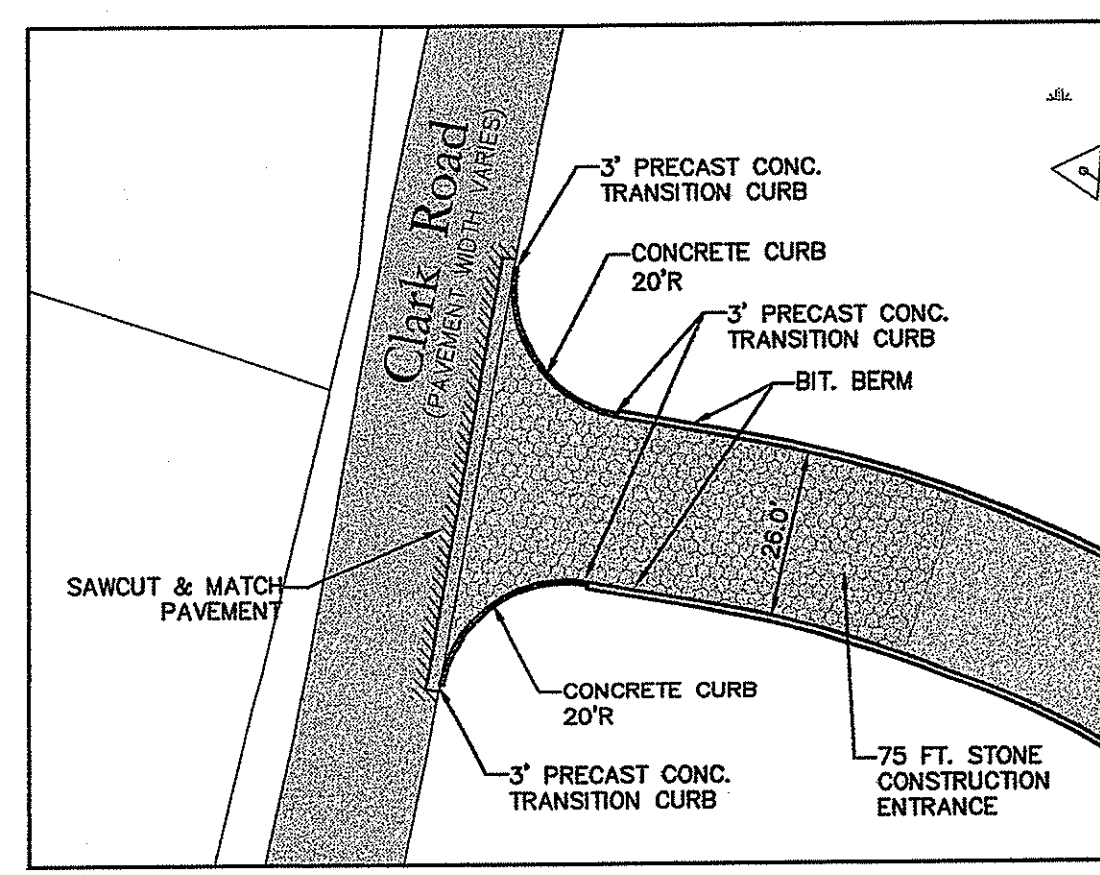
NO.	DATE	DESCRIPTION	BY



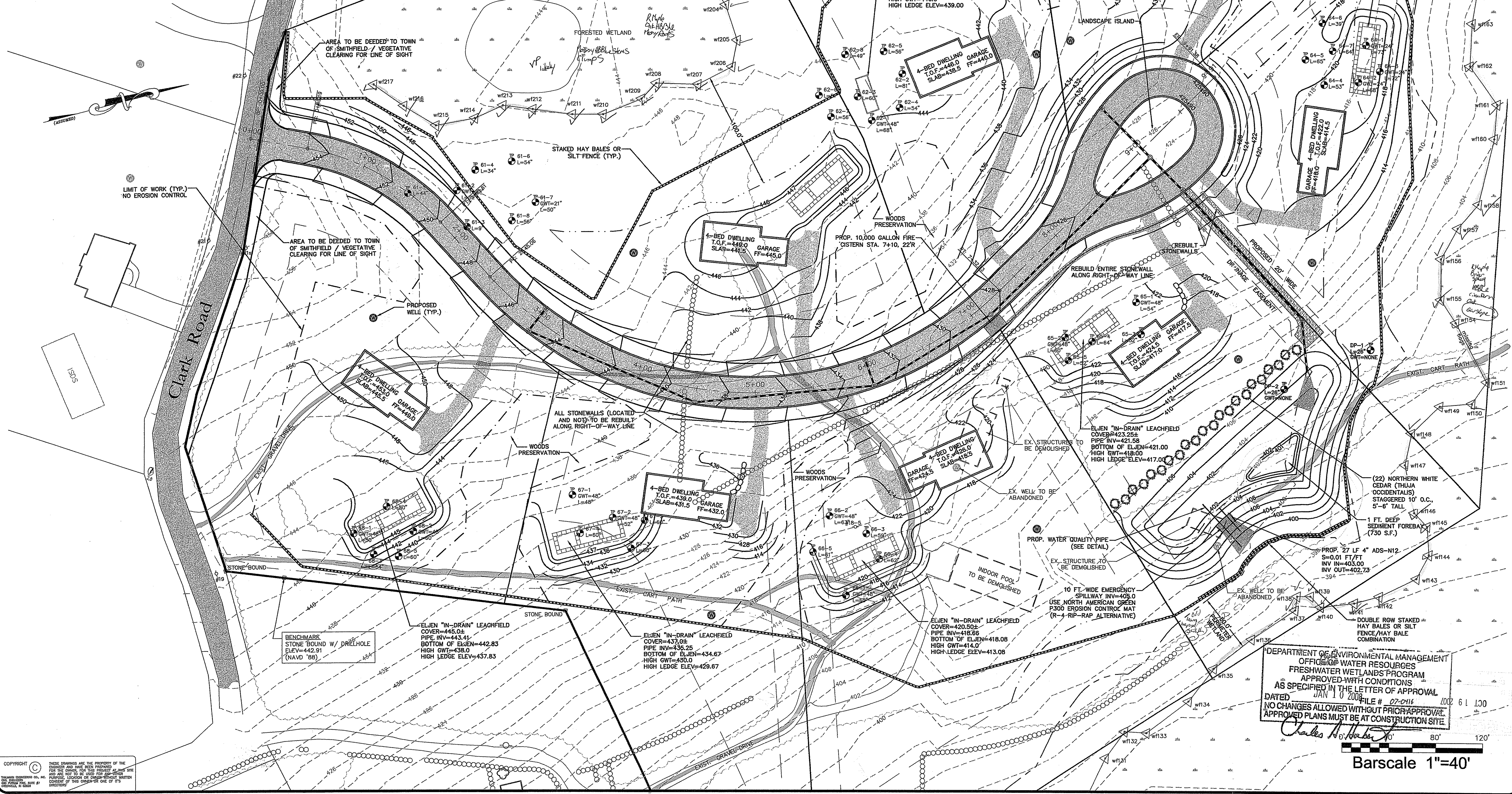
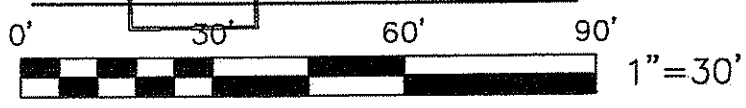
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 Greenville, Rhode Island 02828  
 (401) 349-3040 • (401) 349-3041 (fax)

OVERALL SUBDIVISION PLAN  
**Canton Court**  
 Clark Road  
 Prepared for:  
**Michael Grieco, Sr.**  
 181 Putnam Pike, Johnston, RI 02919  
 date: Oct-07  
 A.P. 45  
 Smithfield  
 Rhode Island  
 scale: 1"=100'

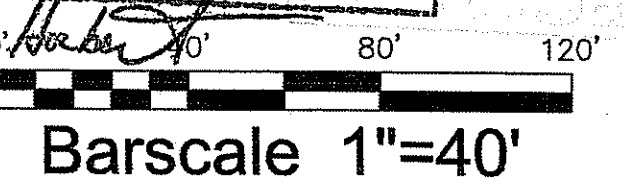
Design By: CSR/NJP  
 Checked By: BPT  
 Sheet  
**C-3**  
 3 of 7  
 FILE NO.: 07.033



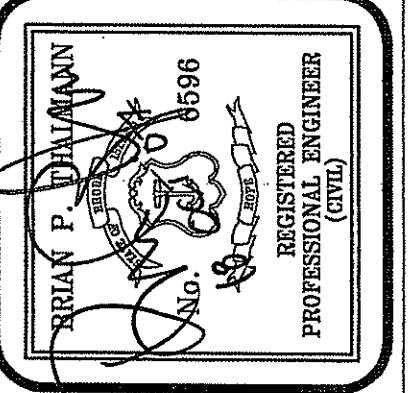
**ENTRANCE DETAIL**



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 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 10 2008 FILE # 02-016  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



NO.	DATE	DESCRIPTION

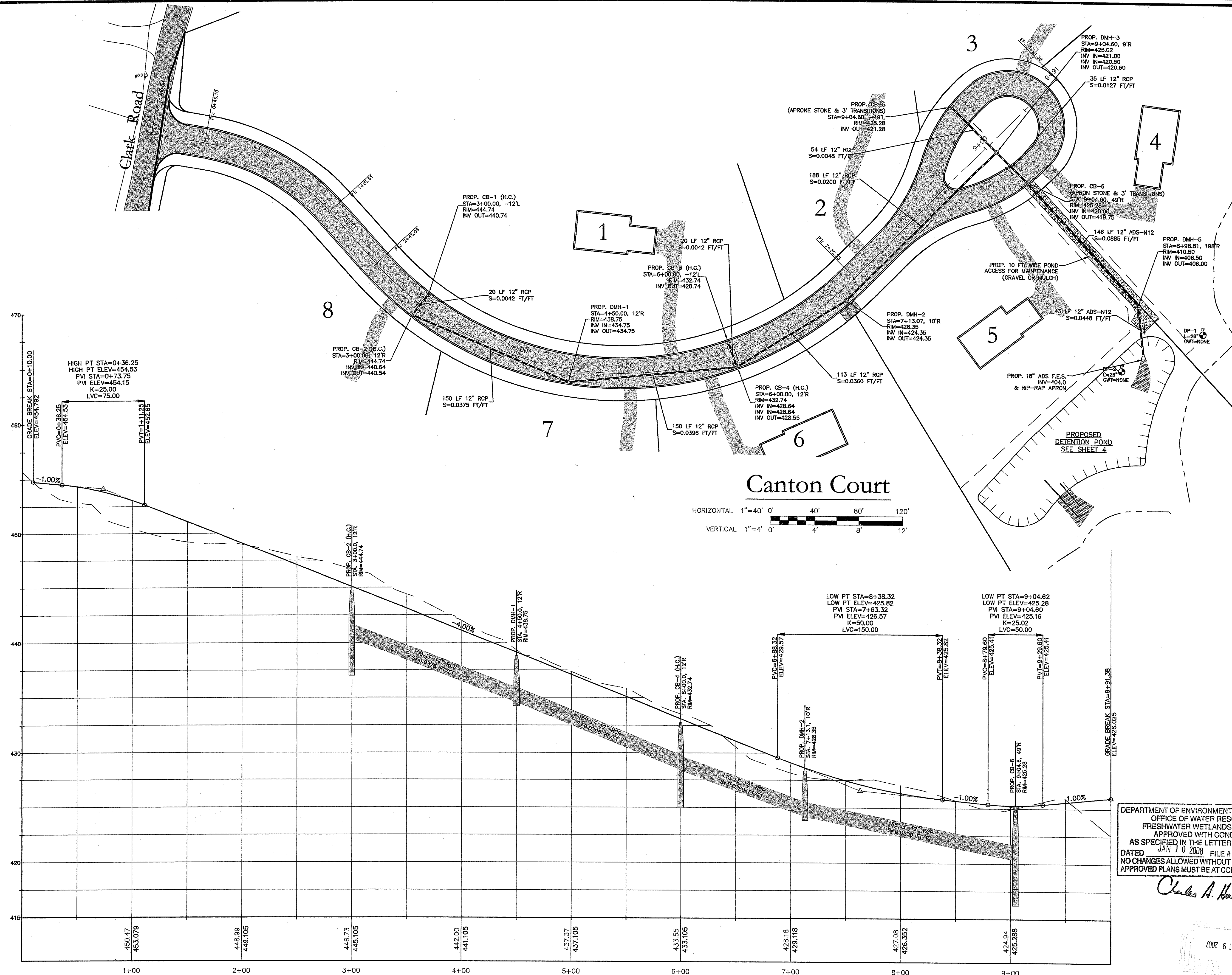


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 Civil Engineering • Landscape Architecture  
 600 Putnam Pike, Suite #7  
 Greenville, Rhode Island 02828  
 (401) 949-3040 • (401) 349-3041 (fax)

**Canton Court**  
 Clark Road  
 Prepared for:  
 Michael Grieco, Sr.  
 181 Putnam Pike Johnston, RI 02919  
 date: Oct-07

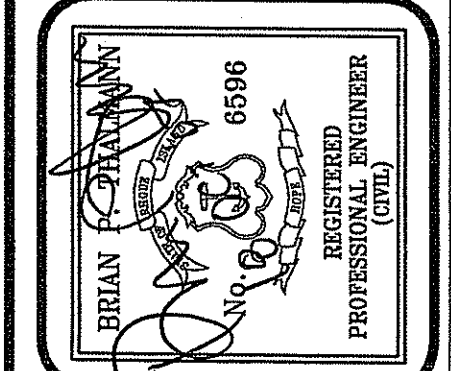
Design By: CSR/NJP  
 Checked By: BPT  
 Sheet  
**C-4**  
 4 of 7  
 FILE NO.: 07.033

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NO.	DATE	DESCRIPTION	BY



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Civil Engineering • Landscape Architecture  
600 Putnam Pike, Suite #7  
Greenville, Rhode Island 02828  
(401) 349-3040 • (401) 349-3041 (fax)

**Thalman**  
ENGINEERING CO., INC.

**DRAINAGE PLAN & PROFILE**  
**Canton Court**  
Clark Road  
Prepared for:  
Michael Grieco, Sr.  
181 Putnam Pike Johnston, RI 02919

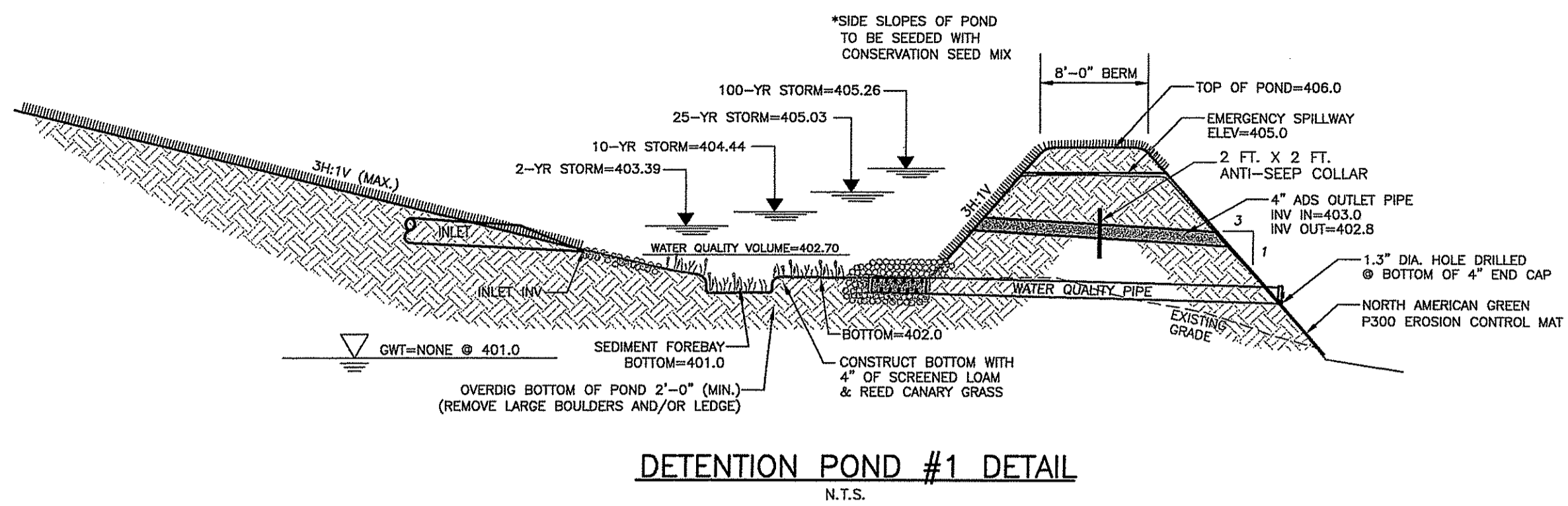
Smithfield  
Rhode Island  
scale: 1"=40'

A.P. 45  
date: Oct-07

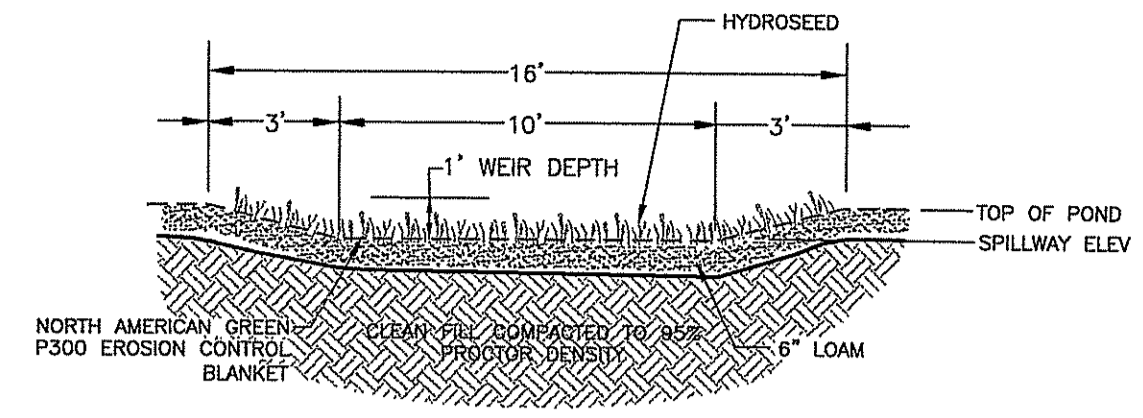
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Checked By: BPT

Sheet  
**C-5**  
5 of 7

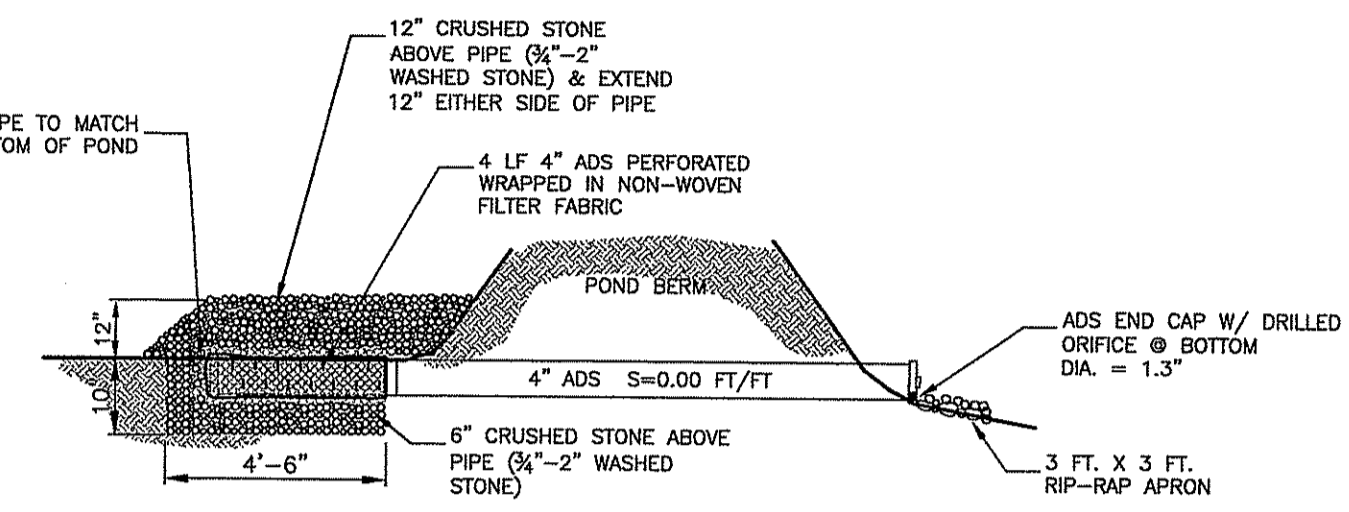
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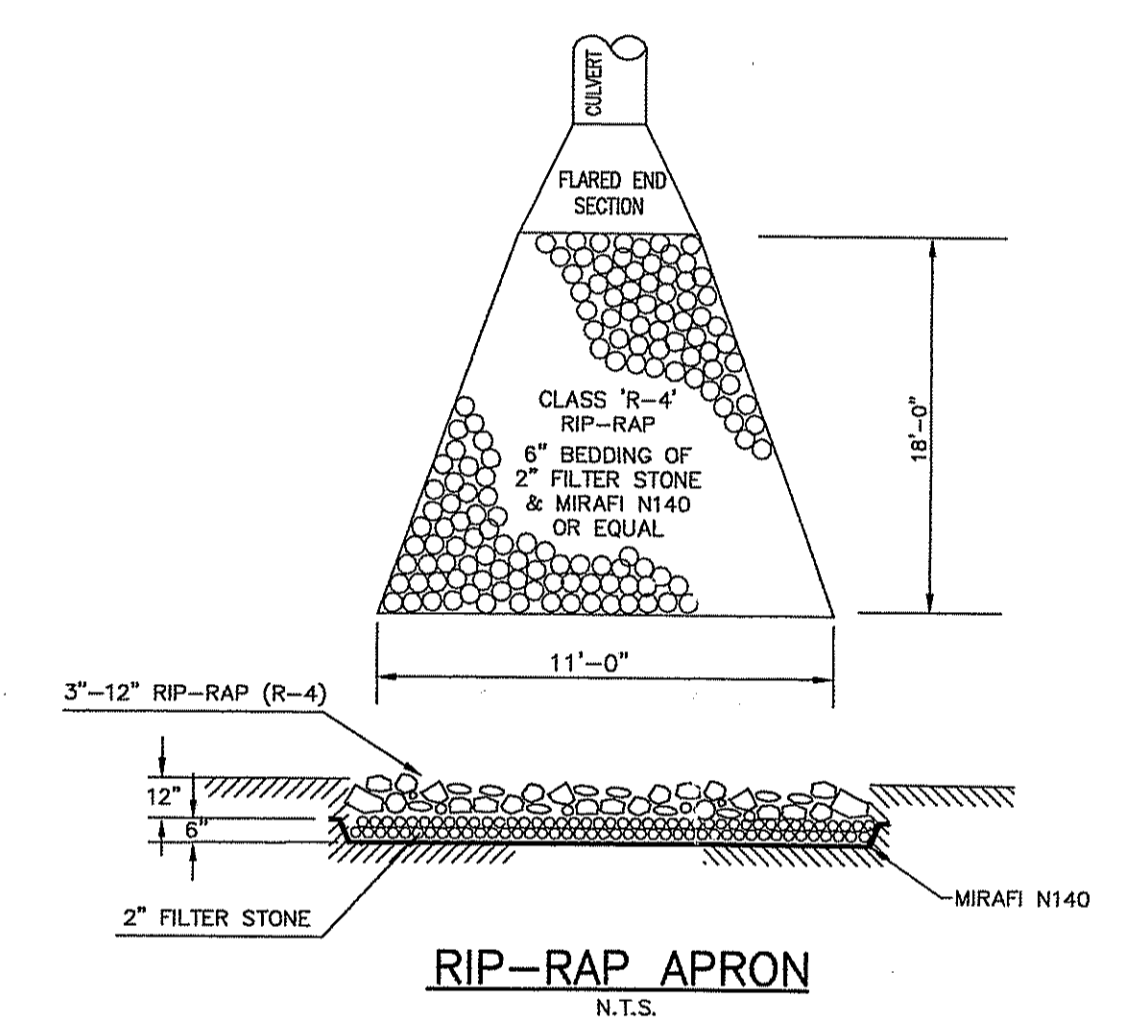
DETENTION POND #1 DETAIL  
N.T.S.



EMERGENCY SPILLWAY DETAIL  
N.T.S.

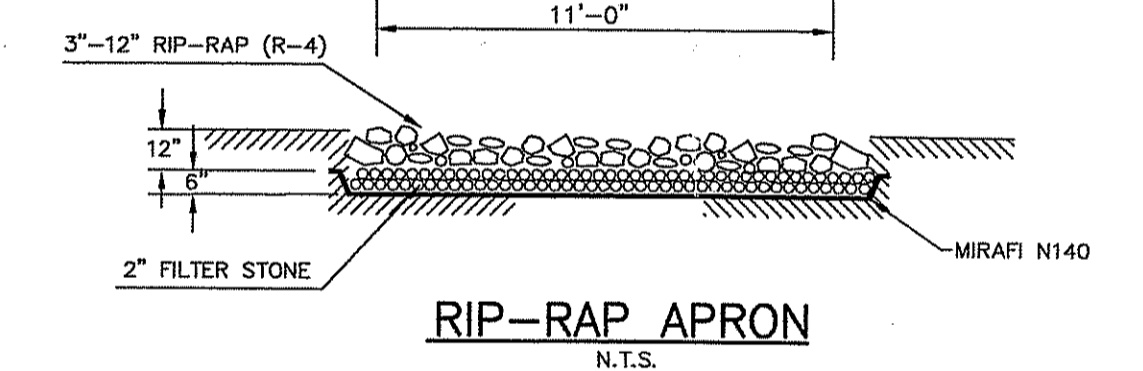


WATER QUALITY PIPE DETAIL  
N.T.S.

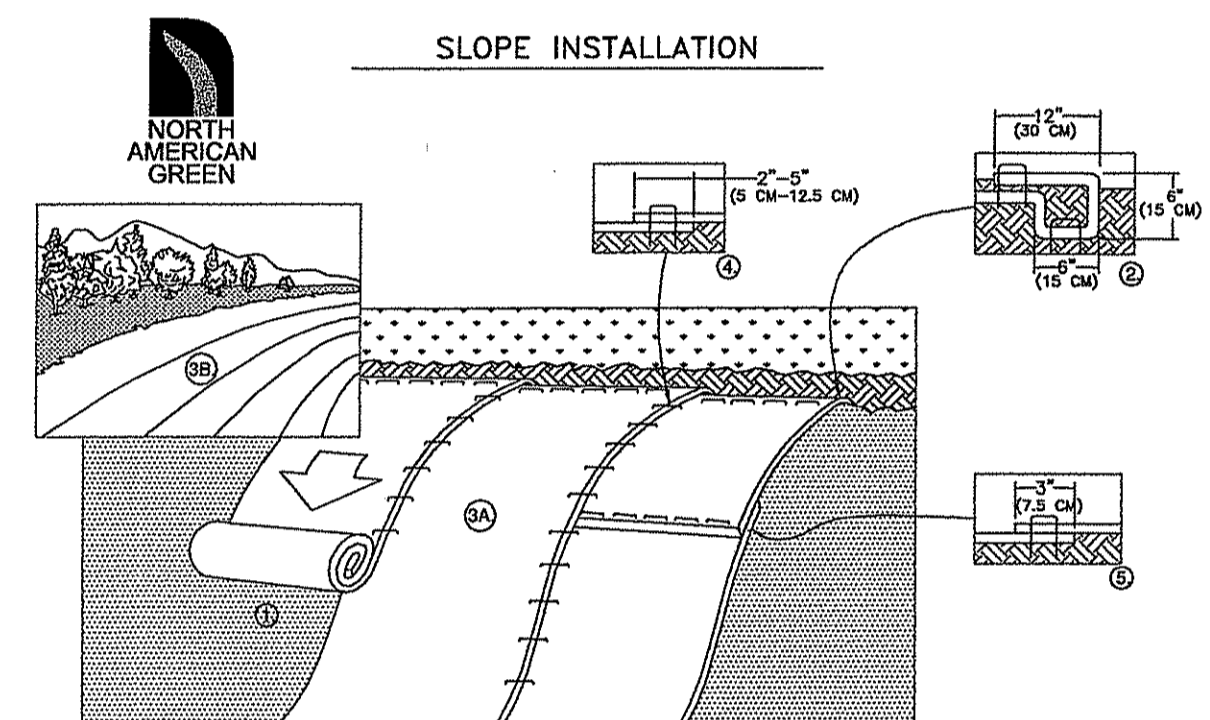


PIPE DIA.	A	B (MAX)	H	L	W
12"	6.5"	10"	6.5"	25"	29"
15"	6.5"	10"	6.5"	25"	29"
18"	7.5"	15"	6.5"	32"	35"

ADS - FLARED END SECTION  
N.T.S.



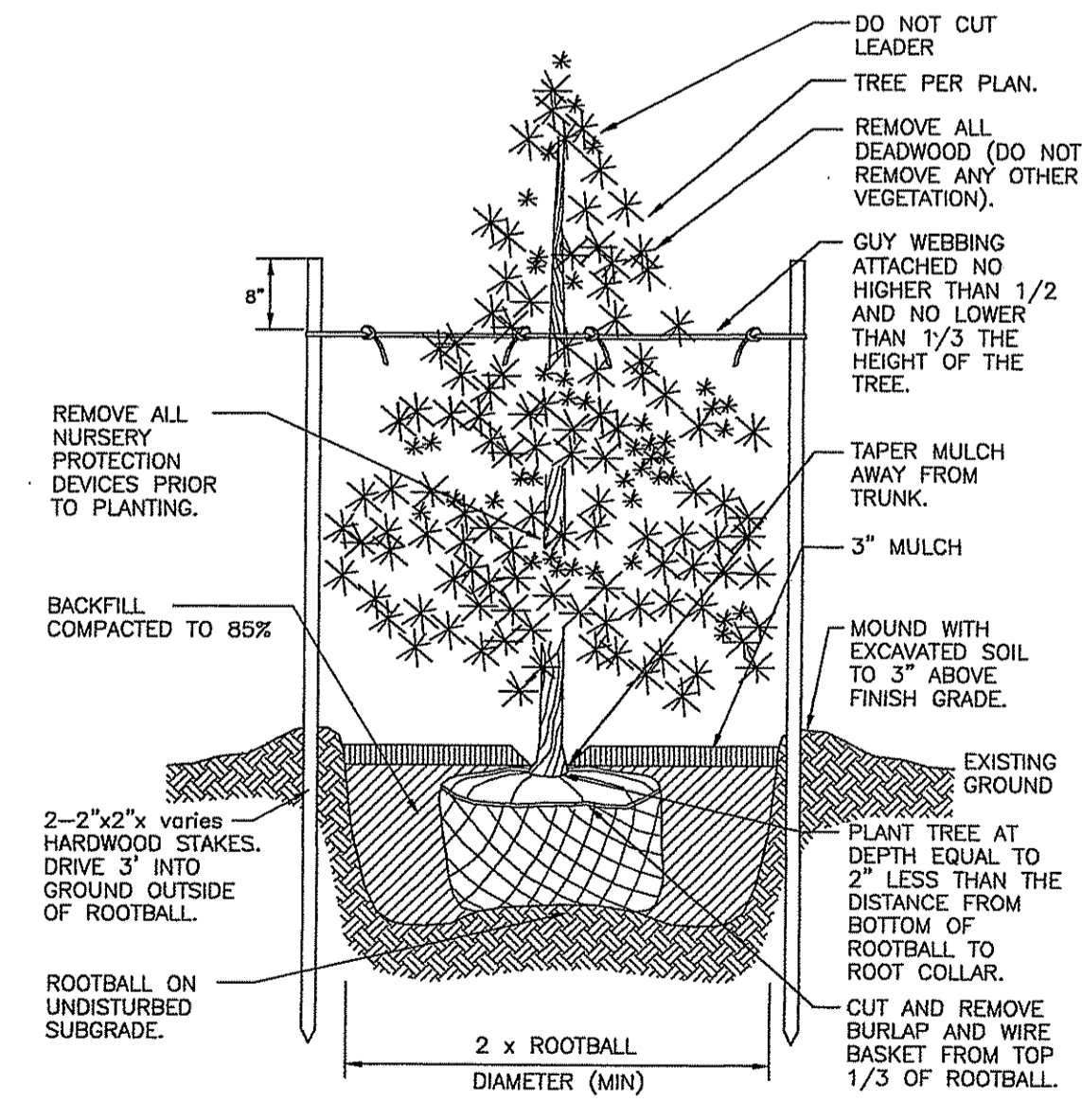
RIP-RAP APRON  
N.T.S.



SLOPE INSTALLATION  
N.T.S.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTES: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE ANGLE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON BLANKET TYPE.
- CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 5" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE BLANKET WIDTH.
- \*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

NORTH AMERICAN GREEN DETAIL  
N.T.S.



EVERGREEN TREE PLANTING DETAIL  
N.T.S.

GENERAL CONSTRUCTION NOTES

- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
- BUILDING DIMENSIONS INDICATED ARE PRELIMINARY AND BASED ON GENERAL INFORMATION ONLY. FINAL BUILDING DIMENSIONS AND LAYOUT MAY VARY TO INCLUDE CHANGES TO DRIVEWAY LOCATIONS, GRADES AROUND HOUSES, ETC. HOWEVER, THE LIMIT OF DISTURBANCE SHALL REMAIN THE SAME AS SHOWN.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE TOWN OF SMITHFIELD AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ALL EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
- CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER, AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, DRIVEWAYS, WALKS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER."
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO THE UTILITIES BY THE CONTRACTOR.

STRUCTURAL MEASURES

- A POND DETENTION SYSTEM IS USED TO CONTROL RUNOFF.
- A PERMANENT COVER SHALL BE ESTABLISHED IN ACCORDANCE WITH THE VEGETATIVE COVER PROVISIONS. THE SEEDING SHALL EXTEND TO AT LEAST THE DESIGN TOP WIDTH AND INCLUDE ANY OTHER AREAS DISTURBED BY CONSTRUCTION ACTIVITIES. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS.
- VIGOROUS VEGETATION SHALL BE MAINTAINED BY APPLYING LIME AND FERTILIZER. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEED BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE DETENTION AREAS UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION. THE TOWN OF SMITHFIELD IS RESPONSIBLE THEREAFTER.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY USDA SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

NONSTRUCTURAL MEASURES

- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ACCESS ROADS, DRAINAGE EASEMENTS, AND AREAS TO BE GRADED. HEAVY CONSTRUCTION EQUIPMENT SHALL NOT BE OPERATED IN THE PROPOSED INFILTRATION AREAS PRIOR TO INSTALLATION.
- A STONE STABILIZATION PAD IS LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY.
- THE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY, MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCK PILE LOCATION SHALL BE SUBJECT TO APPROVAL BY THE TOWN ENGINEER. A SEDIMENT BARRIER SHOULD SURROUND ALL TOPSOIL STOCKPILES.
- HAY BALES OR SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
- HAY BALES/SILT FENCE SHALL BE MAINTAINED BY THE CONTRACTOR. INSPECTIONS SHALL BE MADE AFTER EACH STORM EVENT TO REPAIR OR REPLACE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE BALES/FENCE BECOMES FILLED WITH SEDIMENT.
- THE HAY BALES OR SILT FENCE SHALL BE CHECKED WEEKLY FOR UNDERMINING OR DETERIORATION BY THE CONTRACTOR.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

ESTABLISHMENT OF VEGETATIVE COVER

- SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEED OR PROTECTED.
- PLANTABLE SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH, OR OTHER DEBRIS. SOIL SHALL CONFORM WITH RHODE ISLAND'S STANDARD SPECIFICATIONS, AS AMENDED.
- THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:
 

TYPE	LBS./AC.
CREeping RED FESCUE	75
KENTUCKY BLUE GRASS	15
COLONIAL BENT GRASS	5
PERENNIAL RUE GRASS	5
- EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. LIME AND FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY. THE RECOMMENDED SEEDING DATES ARE APRIL 1ST THROUGH JUNE 15 AND AUGUST 15 THROUGH SEPTEMBER 30.
- TEMPORARY TREATMENTS SHALL CONSIST OF NORTH AMERICAN GREEN S100 OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
- ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 202.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAY. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEED OR STABILIZED.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF SIX MONTHS AND SHALL DO SO AT THE CONTRACTOR'S EXPENSE.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING REMOVAL OF SEDIMENT. PERMANENTLY SEED AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEED AREAS WILL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED AND RESEED AS NECESSARY.
- REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE AS A GUIDE.
- TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING.
- MAXIMUM GRADED SLOPE WITHIN THE SITE TO BE 3:1, UNLESS SPECIFIED OTHERWISE.

WETLAND NOTES

- THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE VERY STRICT. IN NO CASE SHALL THE CONTRACTOR WORK BEYOND WITHOUT APPROVAL FROM RIEM.
- WETLAND PLANTINGS MUST BE INSTALLED AS SHOWN ON THESE PLANS.
- THE OWNER, IN WRITING, MUST NOTIFY THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT PRIOR TO THE START OF CONSTRUCTION.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES

- SURVEY AND STAKE THE PROPOSED ROAD CENTERLINE, STORMWATER PONDS, STRUCTURES, AND LIMIT OF DISTURBANCE.
- PLACE SEDIMENTATION BARRIERS (HAY BALES OR SILT FENCE) AS SHOWN ON THE PLANS AND AS STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
- EXCAVATE, LOAM, AND SEED STORMWATER PONDS IN AREAS ON PLAN.
- BEGIN ROAD WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOPSOIL IS TO STRIPPED AND STOCKPILED WITHIN DISTURBANCE LIMITS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS. STOCKPILES TO BE COVERED OR TEMPORARILY SEED. DIVERT ALL THE RUNOFF FROM DISTURBED AREAS TO THE PROPOSED PONDS.
- INSTALL UTILITIES AND DRAINAGE INCLUDING DRAINAGE PIPE. IMMEDIATELY PLACE THE RIP-RAP AT THE DISCHARGE POINTS. SEED ALL DISTURBED AREAS.
- BEGIN ROAD CONSTRUCTION.
- BEGIN LAYOUT OF HOUSES AND PROPOSED GRADING. LANDSCAPE WHILE HOMES ARE UNDER CONSTRUCTION.
- FINISH HOMES AND ROAD CONSTRUCTION.
- FINISH LANDSCAPING AND PERMANENT STABILIZATION.
- INSPECT AND REPAIR ALL DRAINAGE STRUCTURES INCLUDING POND AND DISCHARGE POINTS. REMOVE ANY DEBRIS (LEAVES, BRIDGES, BouldERS, ETC.) FROM THE PONDS. FLUSH ALL SEDIMENTS FROM DRAINAGE PIPES AND SUMPS. APPLY TOPSOIL TO PONDS.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE VEGETATION HAS BEEN ESTABLISHED TO ALL DISTURBED AREAS.

MAINTENANCE: SHORT TERM/LONG TERM

- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL CHECK REGULARLY ALL SEED AREAS TO SEE THAT A GOOD STAND IS MAINTAINED.
- THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF SIX MONTHS AND SHALL DO SO AT THE CONTRACTOR'S EXPENSE.
- ALL HAY BALES, TEMPORARY TREATMENTS (HAY, STRAW, ETC.) AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL MAINTAIN ALL TOP SOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIERS.
- THE HAY BALES OR SILT FENCE SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. CONTRACTOR SHALL REPAIR OR REPLACE THE HAY BALES AS NECESSARY. CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENTS.
- THE STONE STABILIZATION PAD AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE DETENTION PONDS DURING AND UP TO ONE (1) YEAR AFTER COMPLETION OF CONSTRUCTION. MAINTENANCE WILL INCLUDE RESEEDING ANY UNDEVELOPED AREAS AFTER A FULL GROWING SEASON AT AN ADDITIONAL EXPENSE. REMOVING ACCUMULATED SILT/SEDIMENT OVER 3" IN THE PONDS, AND MAINTAINING THE GRASS TO A GROWING HEIGHT OF 2"-10". EXCAVATION OF SILT/SEDIMENT WILL BE MANUAL WITH SHOVELS WHEELBARROWS ONLY. REMOVE ALL WOOD VEGETATION FROM POND EMBANKMENTS.
- THE TOWN IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE RETENTION POND AND ALL DRAINAGE INFRASTRUCTURE. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
  - INSPECT STRUCTURAL INTEGRITY OF POND ON A YEARLY BASIS. INSPECT POND INLET AND REPAIR AS NECESSARY.
  - THE MOVING OF GRASS IN AND AROUND THE BASIN SHALL BE ACCOMPLISHED AT LEAST ONCE PER GROWING SEASON, PREFERABLY AFTER AUGUST 15th. TRASH AND LITTER MUST BE REMOVED DURING MOWING OPERATIONS.
  - RESEED ANY ERODED OR BARE SPOTS IN OR AROUND THE POND IMMEDIATELY FOLLOWING EXAMINATIONS.
  - REMOVE ALL SEDIMENT FROM FOREBAY EVERY 5 YEARS USING SHOVELS & WHEELBARROWS. RESEED FOREBAY IMMEDIATELY FOLLOWING REMOVAL OF SEDIMENT.
  - TILLING OF POND FLOOR SHALL BE PERFORMED IF STANDING WATER IS OBSERVED FOR MORE THAN 72 HOURS AFTER A RAINFALL EVENT. TILLING CAN BE ACCOMPLISHED WITH A ROTARY TILLER OR DISC HARROW. THE ADDITION OF ORGANIC MATTER AND SAND WILL AID IN RESTORING INFILTRATION CAPACITY. RESEED IMMEDIATELY AFTER TILLING.
  - ALL CATCH BASINS AND DRAINAGE MANHOLES ARE TO BE MAINTAINED ON A YEARLY BASIS, OR AT A MAXIMUM OF 5 YEARS. ALL DEBRIS AND SEDIMENT IS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES.
  - THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PROGRAM. DURING THE CONSTRUCTION PHASE, THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
  - AFTER THE FIRST YEAR AND ACCEPTANCE BY THE TOWN, THE TOWN OF SMITHFIELD SHALL HAVE OVERALL RESPONSIBILITY FOR IMPLEMENTING THESE MAINTENANCE NOTES.

SEDIMENT CONTROL PROGRAM

- DISTURBED AREAS WHICH ARE PARTICULARLY SENSITIVE TO EROSION SHALL RECEIVE A CRUSHED STONE OR SHARP ANGULAR RIP-RAP TREATMENT IF OTHER METHODS OF STABILIZATION ARE UNSUCCESSFUL.
- BANKS OR SLOPES NOT RECEIVING RIP RAP SHALL BE SEED OR PROTECTED WITH FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND THE DEVELOPER SHALL BE RESPONSIBLE FOR UTILIZING BEST MANAGEMENT PRACTICES TO CONTROL ENVIRONMENTAL DAMAGE THAT COULD RESULT FROM UNCHECKED STORMWATER RUNOFF.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED REGULARLY. SPECIAL ATTENTION SHOULD BE GIVEN AFTER A HEAVY OR PROLONGED RAINFALL.
- CARE SHALL BE SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORM WATER FLOWAGE.
- ADDITIONAL HAY BALES, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- SEDIMENTATION TRAPS SHALL BE PROVIDED AND MAINTAINED AT ALL DRAINAGE STRUCTURES DURING CONSTRUCTION.
- REFERENCE THE "RHODE ISLAND EROSION AND SEDIMENT CONTROL HANDBOOK" (1989) PREPARED BY THE DEPT. OF ENVIRONMENTAL MANAGEMENT, RI STATE CONSERVATION COMMISSION AND THE U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE AS A PRACTICAL GUIDE.
- SOIL EROSION PREVENTION PROGRAMS SHALL BE INSTALLED AND SEPARATELY WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
SOIL EROSION PREVENTION PROGRAM  
SEPARATELY WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
JAN 10 2008 FILE # 07-016  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

DETAILS  
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