

SITE PLANS FOR A PROPOSED SINGLE FAMILY HOME ON STILLWATER ROAD

AP 22 LOT 2C
SMITHFIELD, RHODE ISLAND

ZONING DISTRICT R-20

APPROVED BY:

- TOWN OF SMITHFIELD ZONING BOARD - VARIANCE REQUESTED FOR:
 - FRONT YARD SETBACK (REQUIRED 30', PROVIDED 12', RELIEF SOUGHT 18')
 - CONSTRUCTION ACTIVITIES WITHIN 100' OF WETLAND (REQUIRED 100', PROVIDED 31', RELIEF SOUGHT 69')

SUBMITTED TO:

- RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT- APPLICATION TO ALTER FRESHWATER WETLAND

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUL - 2 2008 FILE # 07-0431
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.
Matthew D. Wencel

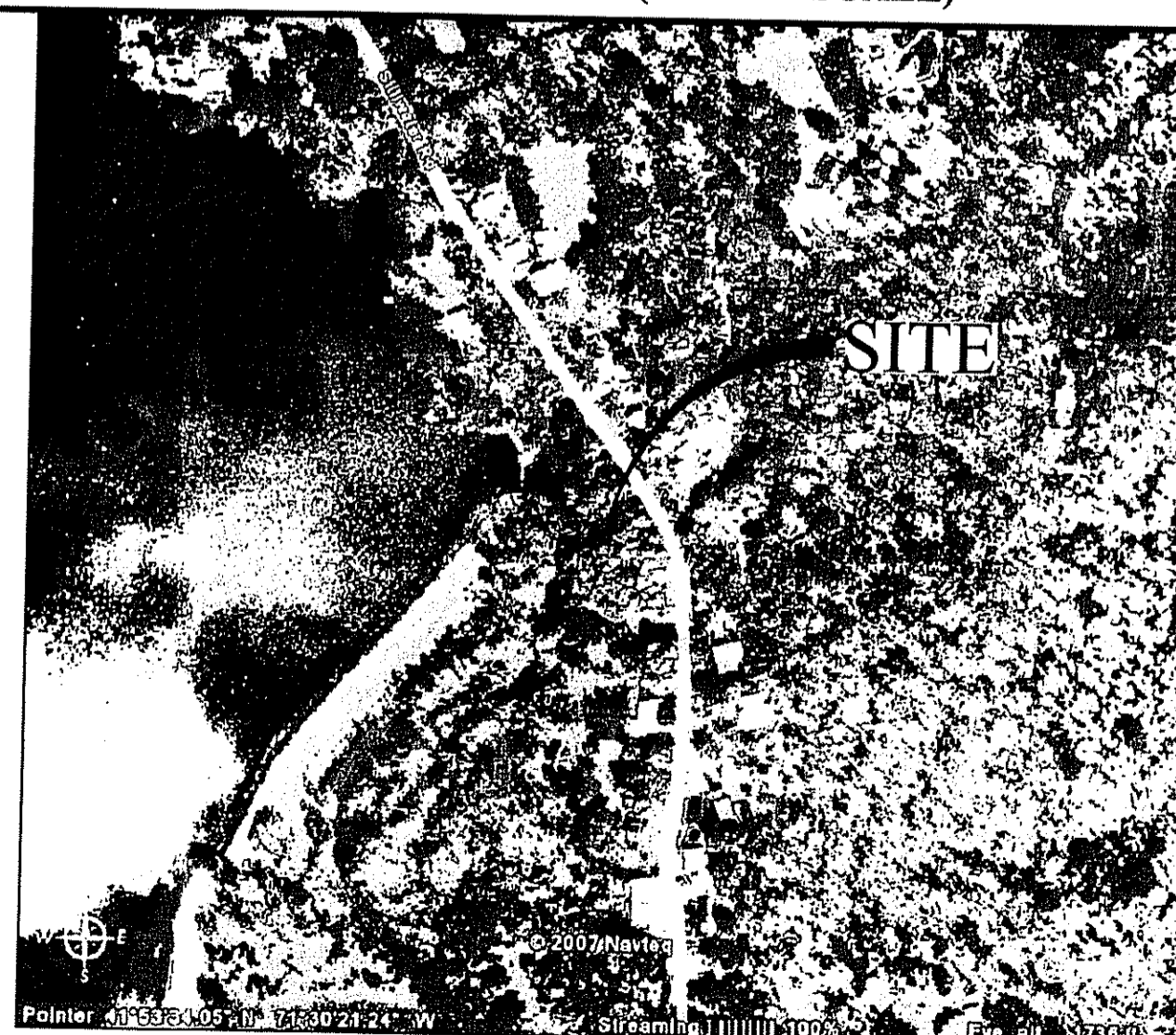
PROJECT TEAM

OWNER: ROBERT J ESPOSITO & KAREN J ESPOSITO-BUTLER
66 STILLWATER ROAD
SMITHFIELD, RI 02917

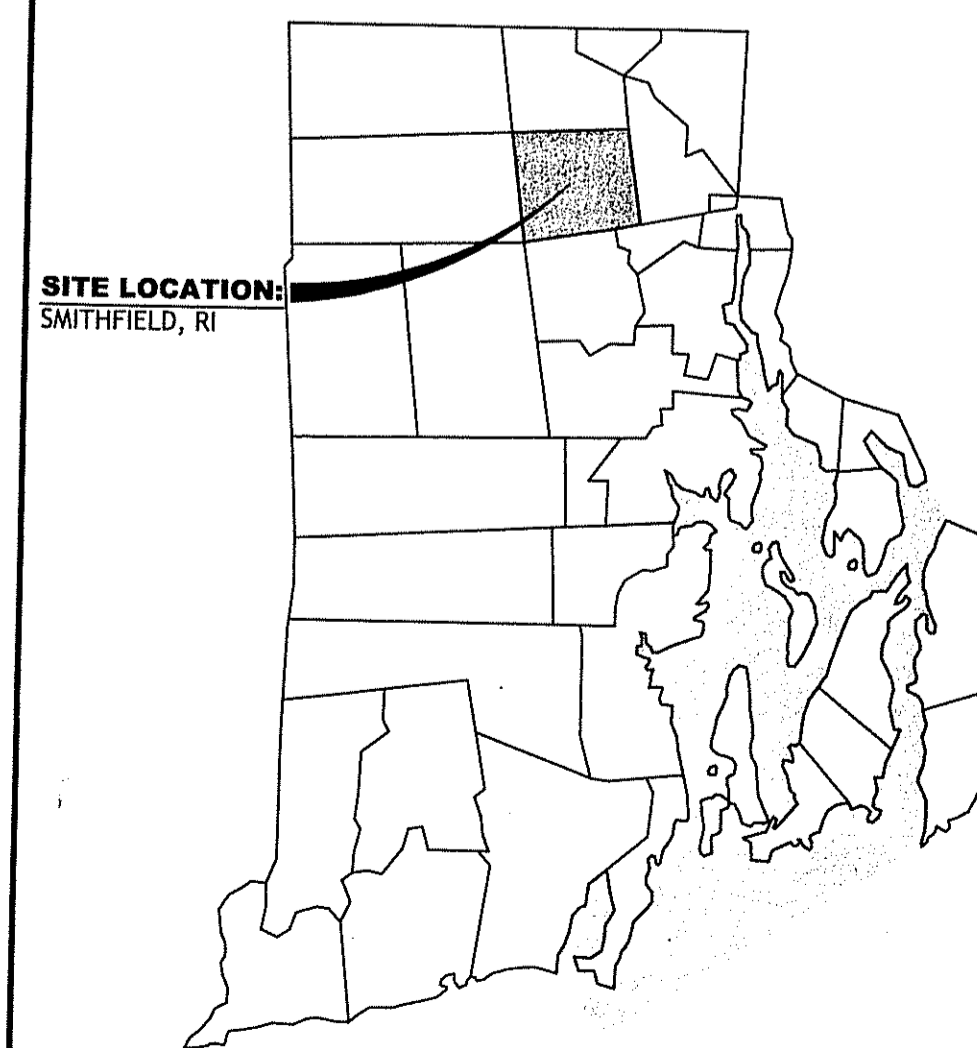
CIVIL: CASALI AND D'AMICO ENGINEERING, INC.
300 POST ROAD
WARWICK, RI 02888
PHONE: 401-944-1300
FAX: 401-944-1313

SURVEYOR: INTERNATIONAL MAPPING & SURVEYING CORP.
19 INDUSTRIAL DRIVE
SMITHFIELD, RI 02917
PHONE: 401-232-2620

LOCUS MAP (NOT TO SCALE)



STATE WIDE MAP

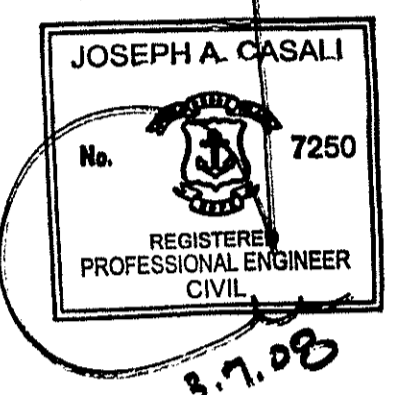


INDEX OF DRAWINGS

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2.	EXISTING CONDITIONS PLAN
3.	SITE PLAN
4.	DETAILS

MAR - 7 2008

PLAN FOR NOTICE



STILLWATER ROAD
SMITHFIELD, RHODE ISLAND
AP 22 LOT 2C

REVISIONS:

NO.	DATE	DESCRIPTION
1	10/30/07	ZONING BOARD SUBMISSION
2	11/21/07	REVISED PUBLIC ACCESS
3	12/17/07	REVISED LOD
4	2/15/08	RIDEM COMMENTS

DESIGNED BY: NCW
DRAWN BY: GAH/MRB
CHECKED BY: JAC
DATE: OCTOBER 07
PROJECT NO: 07-43

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 4

Q:\07-43 - Stillwater Road Smithfield\ACAD\PLANS\SET\STILLWATER RD (RIDEM PUBLIC NOTICE).dwg, Mar. 07, 2008, 12:23pm



GENERAL NOTES:

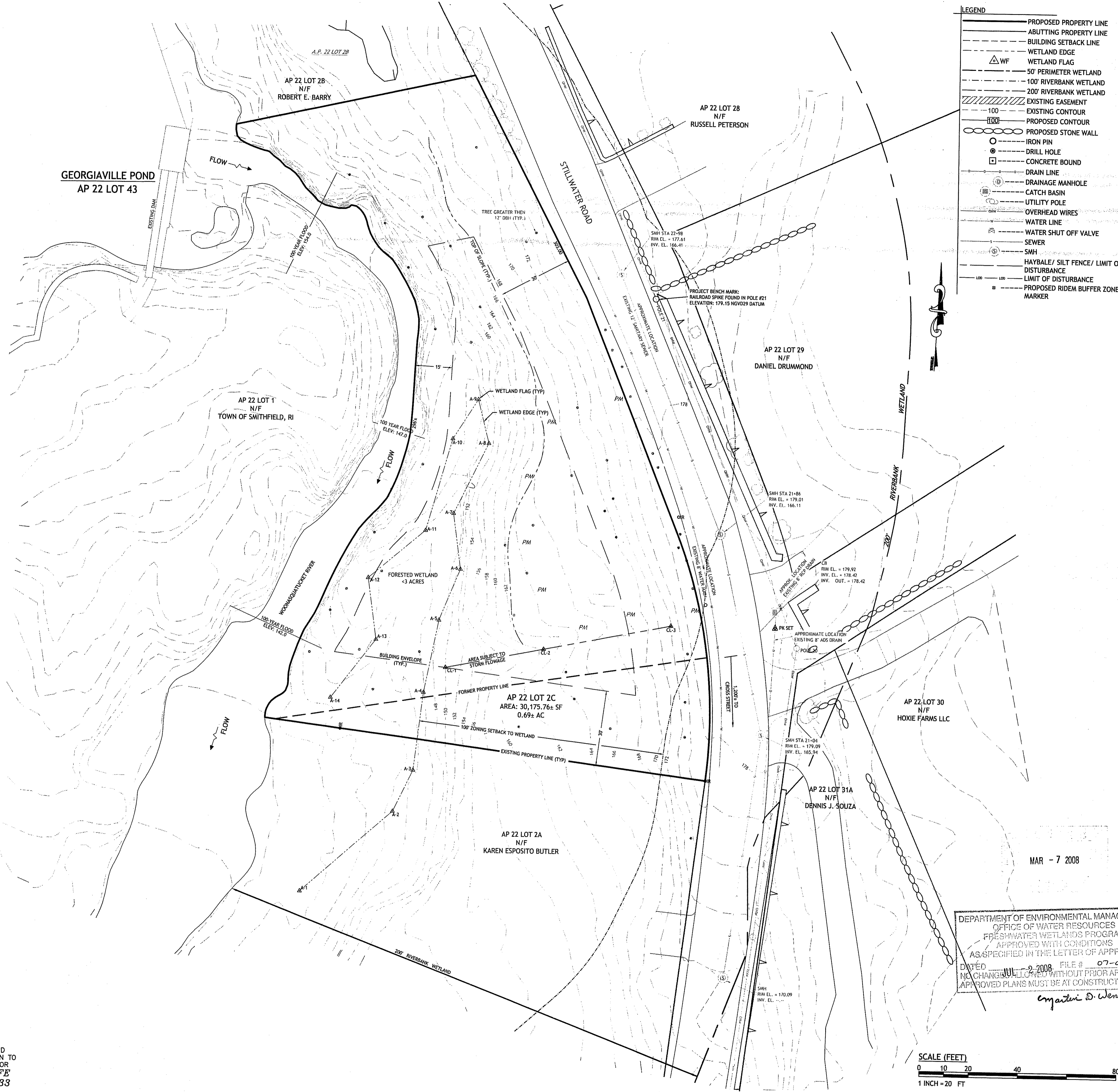
1. SURVEY INFORMATION FROM PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION" ESPOSITO PROPERTY FOR ROBERT ESPOSITO & KAREN ESPOSITO BUTLER ON STILLWATER ROAD IN SMITHFIELD RI, AP 22 LOT 2A & LOT 2C COMPLETED BY INTERNATIONAL MAPPING, DATED 6/21/07.
2. THE TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS COMPILED FROM AN AERIAL PHOTOGRAMMETRIC SURVEY, PROVIDED BY INTERNATIONAL MAPPING AND SURVEYING CORP. THE HORIZONTAL AND VERTICAL DATUMS ARE NAD83 AND NGVD88 RESPECTIVELY.
3. SITE IS LOCATED WITHIN ZONE AE (AREAS INUNDATED BY 100-YEAR FLOOD, BASE FLOOD ELEVATIONS DETERMINED). FLOOD ELEVATIONS ON THE SITE RANGE FROM 142 TO 154 (SEE PLAN). REFER TO F.I.R.M. COMMUNITY- PANEL NUMBER 440025 0005B REVISED: MARCH 4, 1991.
4. THE WETLANDS (FORESTED WETLAND, AREA SUBJECT TO STORM FLOWAGE) WERE DELINEATED BY NATURAL RESOURCE SERVICES, INC. IN OCTOBER, 2002 AND LOCATED IN THE FIELD BY SCITUATE SURVEYS, INC. IN FEBRUARY 2003. THE WOONASQUATUCKET RIVER (PERENNIAL RIVER GREATER THAN 10' IN OVERALL WIDTH) WAS DELINEATED BY AERIAL PHOTOGRAMMETRY. WETLAND FLAGS RE-ESTABLISHED AND SURVEYED BY CASALI AND D'AMICO ENGINEERING IN AUGUST 2007. THE ENTIRE SITE IS LOCATED WITHIN THE 200-FOOT RIVERBANK WETLAND ASSOCIATED WITH THE WOONASQUATUCKET RIVER.
5. EXCEPT WHERE INDICATED SITE IS ENTIRELY WOODED.
6. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.

ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	R-20	R-20
MINIMUM LOT AREA	20,000 Sq.Ft	30,175 SF
MINIMUM FRONT YARD SETBACK	125'	303'
MINIMUM SIDE YARD SETBACK	30'	N/A
MINIMUM REAR YARD SETBACK	15'	N/A
MAXIMUM BUILDING HEIGHT	39' / 3 STORY	N/A

*INDICATES A NONCONFORMING CONDITION

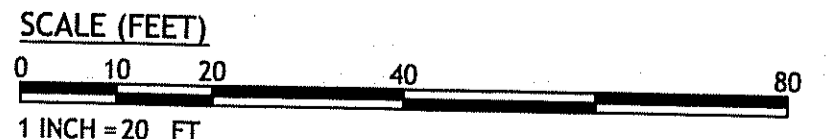


LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233



LEGEND

- PROPOSED PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- WETLAND EDGE
- WETLAND FLAG
- 50' PERIMETER WETLAND
- 100' RIVERBANK WETLAND
- 200' RIVERBANK WETLAND
- EXISTING EASEMENT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STONE WALL
- IRON PIN
- DRILL HOLE
- CONCRETE BOUND
- DRAIN LINE
- DRAINAGE MANHOLE
- CATCH BASIN
- UTILITY POLE
- OVERHEAD WIRES
- WATER LINE
- WATER SHUT OFF VALVE
- SEWER
- SMH
- HAYBALE / SILT FENCE / LIMIT OF DISTURBANCE
- LIMIT OF DISTURBANCE
- PROPOSED RIDEEM BUFFER ZONE MARKER



CDE
 CASALI & D'AMICO ENGINEERING, INC.
 CIVIL, SITE DEVELOPMENT, TRANSPORTATION
 DRAINAGE, V.I. SITE DEVELOPMENT, TRANSPORTATION
 300 POST ROAD, WARWICK, RI 02886
 (401) 944-1300 (401) 944-1313 fax www.casaliandamico.com

JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 3-7-08

**STILLWATER ROAD
 SMITHFIELD, RHODE ISLAND
 AP 22 LOT 2C**

MAR - 7 2008

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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 DATED 03-02-2008 FILE # 07-0431
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.
 Matthew D. Wencel

REVISIONS:

NO.	DATE	DESCRIPTION
1	10/30/07	ZONING BOARD SUBMISSION
2	11/21/07	REVISED PUBLIC ACCESS
3	12/17/07	REVISED LOD
4	2/15/08	RIDEEM COMMENTS

DESIGNED BY: NCW
 DRAWN BY: GAH/MRB
 CHECKED BY: JAC
 DATE: OCTOBER 07
 PROJECT NO: 07-43

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS PLAN

SHEET 2 OF 4

ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED	DONATED
ZONING DISTRICT	R-20	R-20	R-20	R-20
MINIMUM LOT AREA	20,000 Sq.Ft.	30,175 SF	27,079 SF	**3,096 SF
MINIMUM LOT FRONTAGE	125'	303'	268'	**35'
MINIMUM FRONT YARD SETBACK	30'	N/A	12'	N/A
MINIMUM SIDE YARD SETBACK	30'	N/A	57'	N/A
MINIMUM REAR YARD SETBACK	15'	N/A	64'	N/A
MAXIMUM BUILDING HEIGHT	39' / 3 STORY	N/A	<39'	N/A

NOTE:
 *DIMENSIONAL VARIANCE REQUIRED FOR FRONT YARD SETBACK
 **ADMINISTRATIVE SUBDIVISION REQUIRED

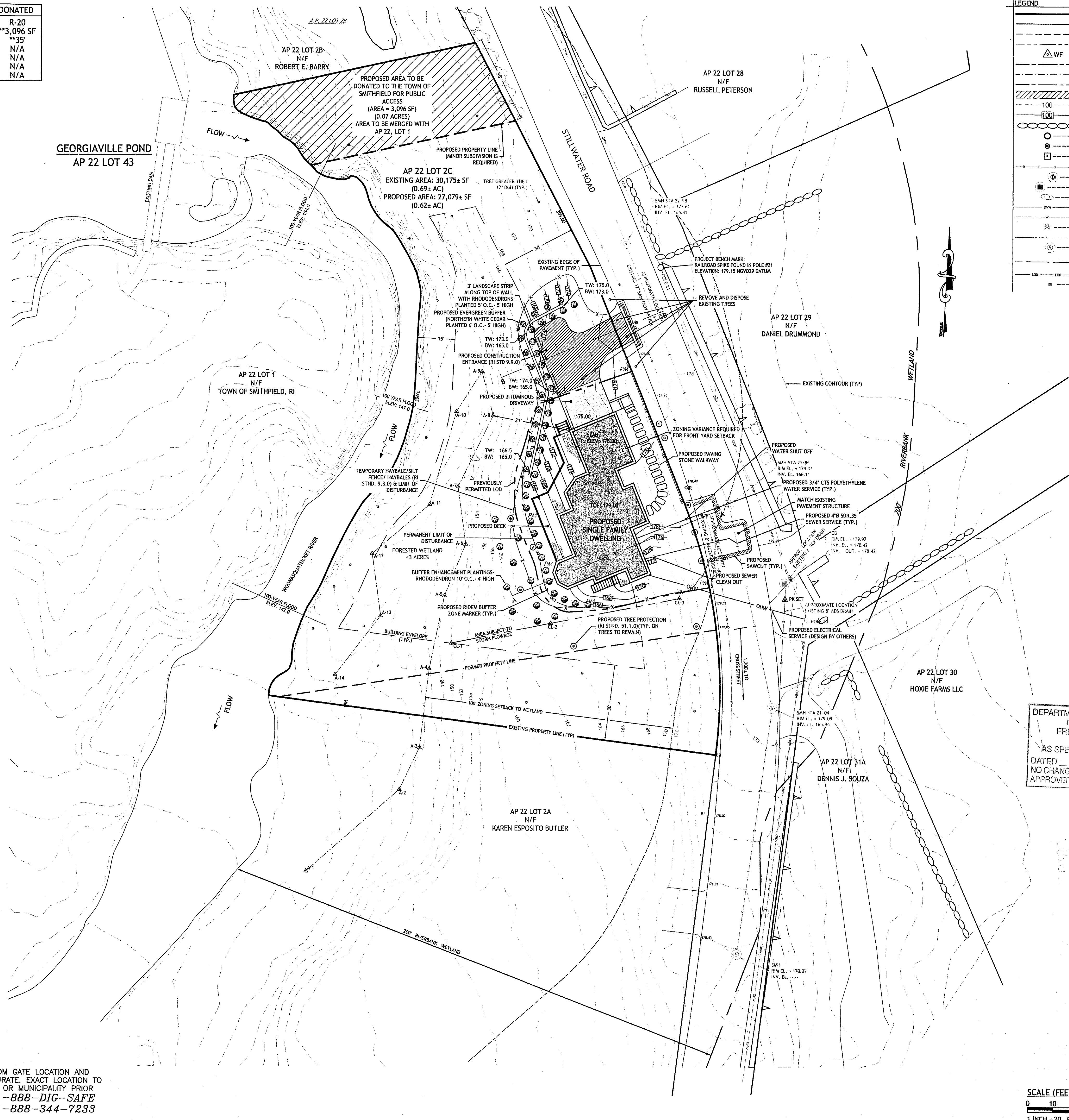
- NOTES:**
- NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN.
 - HAYBALE EROSION CHECK (R.I. STANDARD 9.1.0) AND SILT FENCE/ HAYBALE COMBINATION (R.I. STANDARD 9.3.0) SHALL BE INSTALLED AT THE LIMIT OF DISTURBANCE PRIOR TO EARTH DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOD, PROPOSED SLOPES SHALL BE 3:1 (MAXIMUM), EXCEPT AS NOTED.
 - ALL DISTURBED AREAS EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
 - THE SILT FENCE SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SILT FENCE/ HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE SILT FENCE/ HAYBALES BECOMES FILLED WITH SEDIMENTS.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE/ HAYBALES, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
 - ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.
 - ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF THE D.E.M. WETLANDS PERMIT AND IN COMPLIANCE WITH ALL TOWN REGULATIONS.
 - ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PLANTING SCHEDULE:

- THE PERMANENT LIMIT OF DISTURBANCE SHALL BE REPLANTED WITH ROSEBAY RHODODENDRON (RHODODENDRON MAXIMUM) 5' TALL PLANTED 5' ON CENTER, 30 REQUIRED.
- AN EVERGREEN BUFFER SHALL BE PLANTED AT THE BASE OF THE PROPOSED WALL CONSISTING OF NORTHERN WHITE CEDAR 5' TALL PLANTED 6' ON CENTER, 14 REQUIRED
- BUFFER ENHANCEMENT CONSISTING OF ROSEBAY RHODODENDRON (RHODODENDRON MAXIMUM) 3' TALL PLANTED 10' ON CENTER, 10 REQUIRED

NOTE: PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH RI STD. 50.3.2. CONTRACTOR TO TAKE SPECIAL CARE NOT TO DISTURB EARTH OUTSIDE THE LIMIT OF DISTURBANCE BEYOND WHAT IS NEEDED FOR PROPOSED BUFFER ENHANCEMENT PLANTINGS. ALL PLANTINGS TO BE MULCHED TO PREVENT EXPOSED SOILS.

GEORGIAVILLE POND
 AP 22 LOT 43



LEGEND

---	PROPOSED PROPERTY LINE
---	ABUTTING PROPERTY LINE
---	BUILDING SETBACK LINE
---	WETLAND EDGE
WF	WETLAND FLAG
---	50' PERIMETER WETLAND
---	100' RIVERBANK WETLAND
---	200' RIVERBANK WETLAND
---	EXISTING EASEMENT
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED STONE WALL
○	IRON PIN
○	DRILL HOLE
□	CONCRETE BOUND
---	DRAIN LINE
---	DRAINAGE MANHOLE
---	CATCH BASIN
---	UTILITY POLE
---	OVERHEAD WIRES
---	WATER LINE
---	WATER SHUT OFF VALVE
---	SEWER
---	SMH
---	HAYBALE/ SILT FENCE/ LIMIT OF DISTURBANCE
---	LIMIT OF DISTURBANCE
---	PROPOSED RIDEM BUFFER ZONE MARKER

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MAR - 7 2008

SCALE (FEET)
 0 10 20 40 80
 1 INCH = 20 FT

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DESIGNED BY: NCW
 DRAWN BY: GAH/ MRB
 CHECKED BY: JAC
 DATE: OCTOBER 07
 PROJECT NO: 07-43

PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN

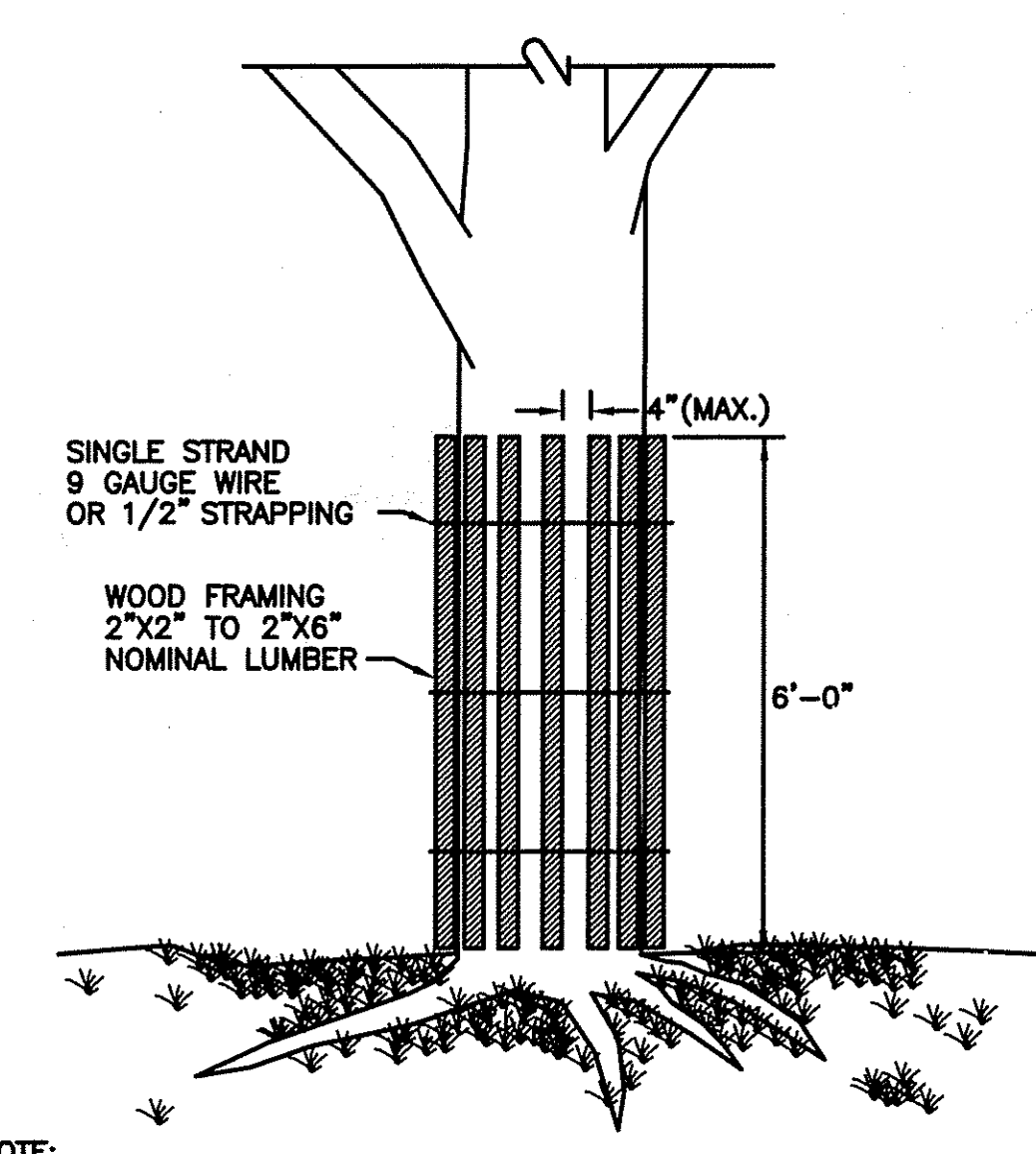
SHEET 3 OF 4

Q:\07-43 - Stillwater Road Smithfield\CAD\PI\ANSET\STILLWATER RD (RIDEA PUBLIC NOTICE).dwg Mod. 07.2008 12:23pm



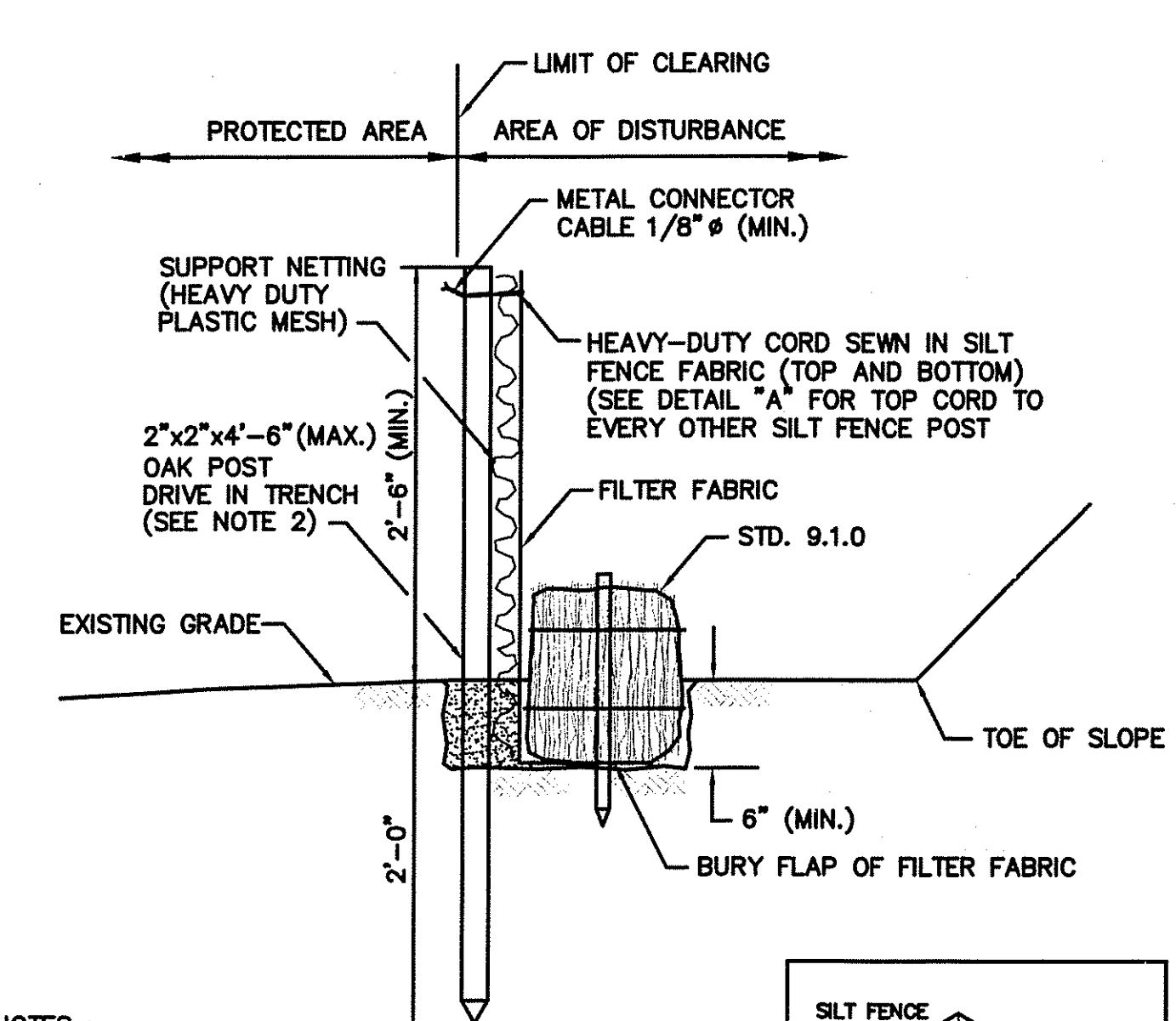
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1-888-DIG-SAFE
 PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE



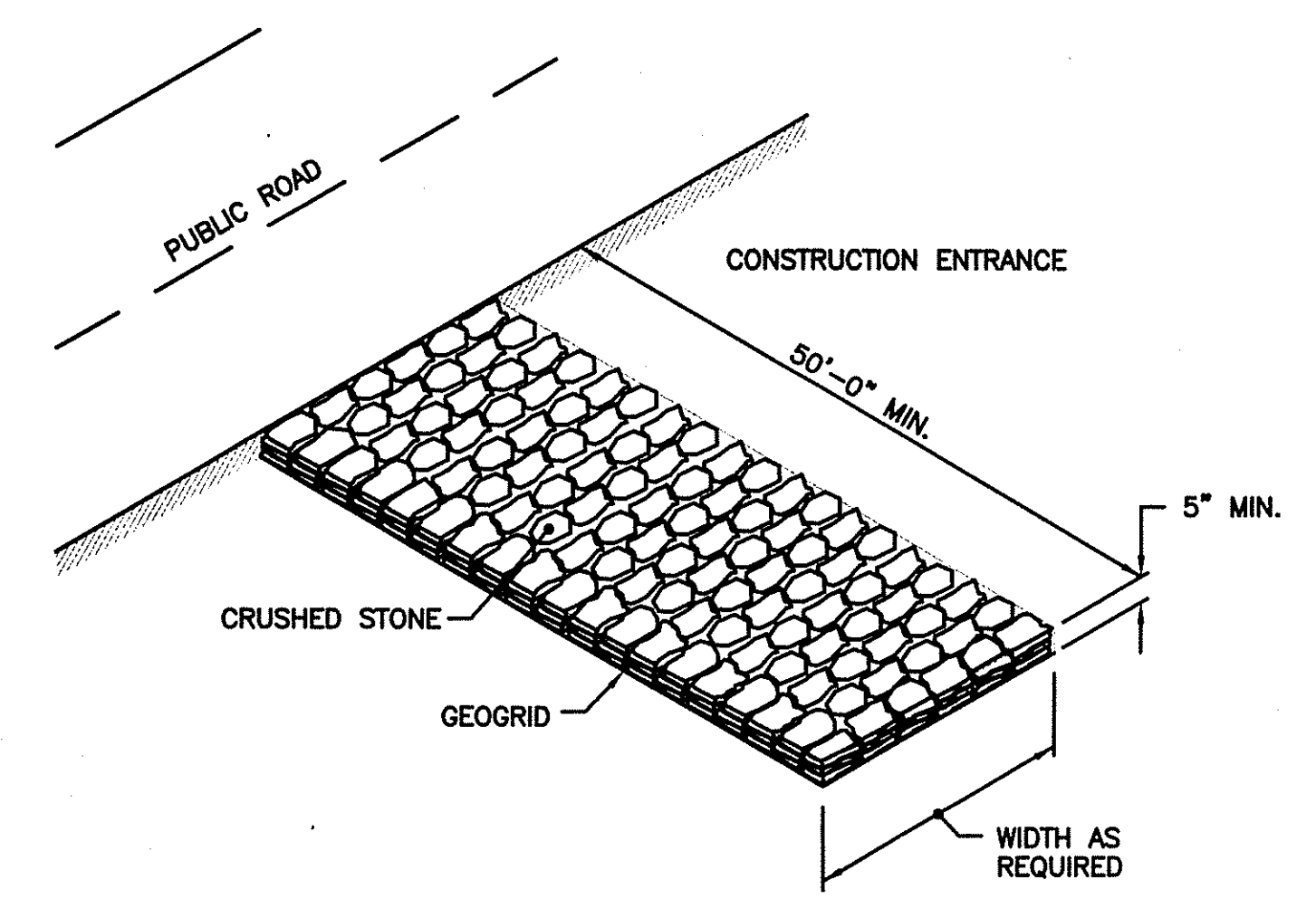
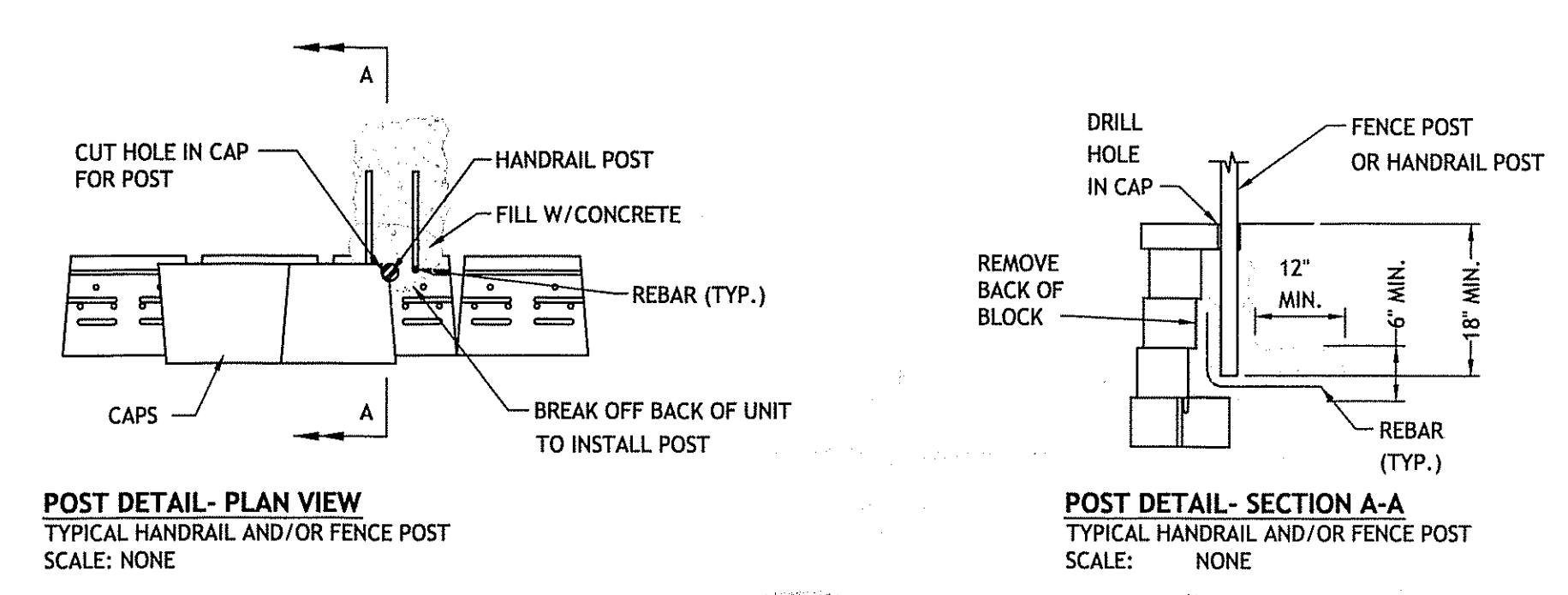
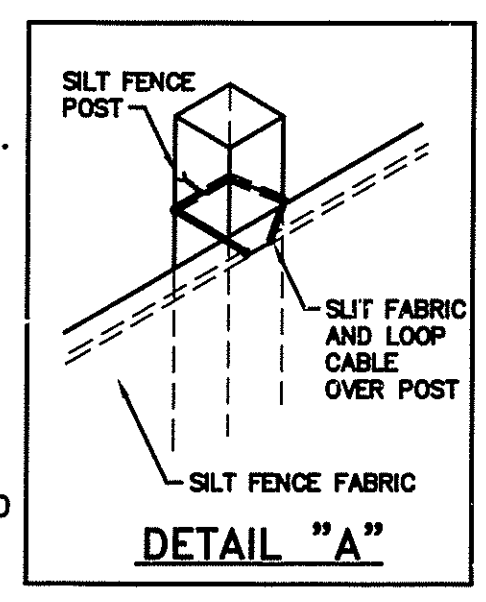
NOTE: SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE STANDARD SPECIFICATIONS.

TREE PROTECTION DEVICE
 R.I. STANDARD 51.1.0



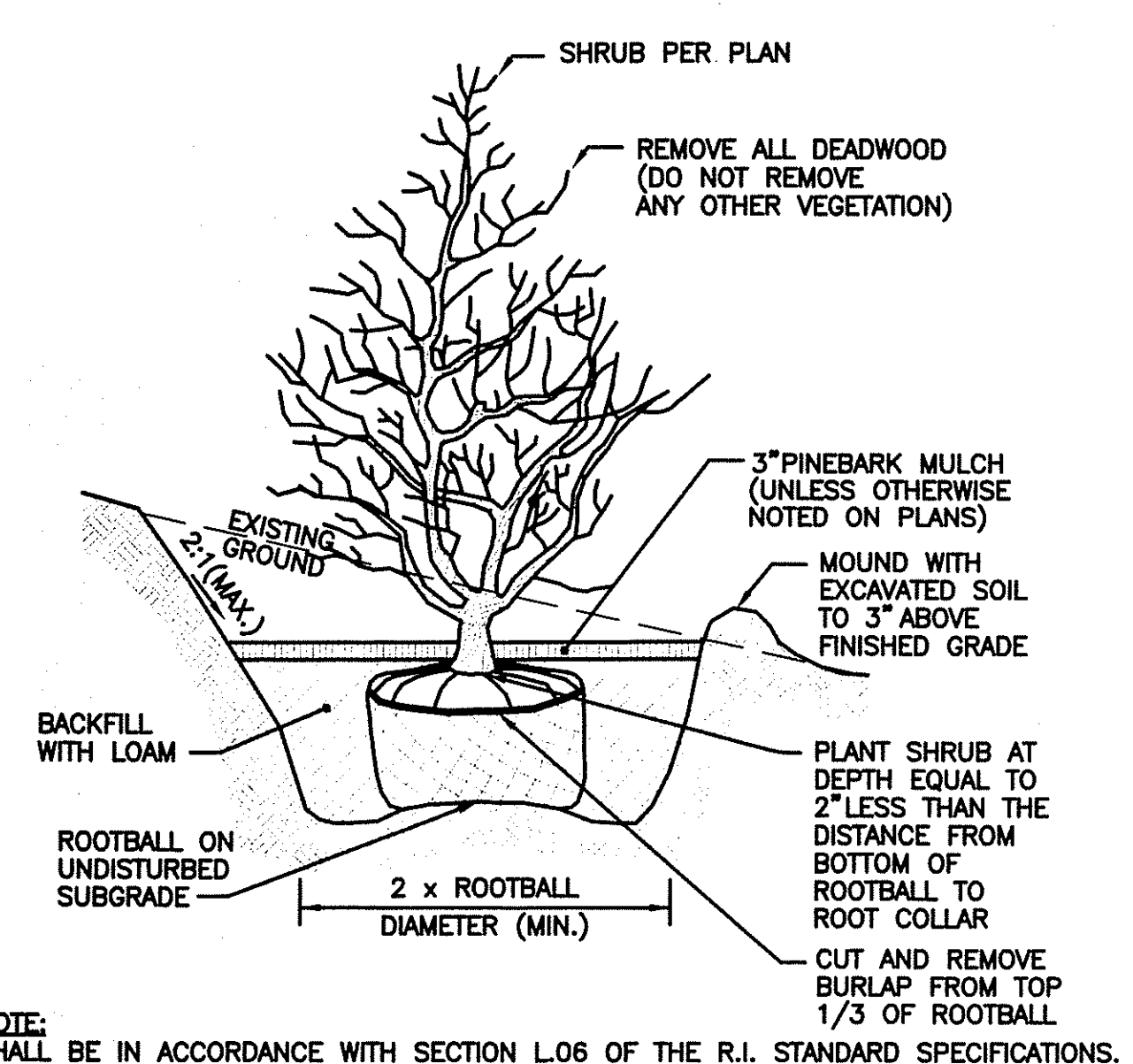
- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 - STD. 9.1.0 IS INSTALLED "TIGHT" AGAINST SILT FENCE. THOROUGHLY COMPACT EXCAVATED SOILS BACK INTO TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICE. SILT FENCE FABRIC SHALL NOT BE SLIT. STD. 9.1.0 POST SHALL BE DRIVEN THROUGH SILT FENCE FABRIC. 2"x2"x4'-6" (MAX.) OAK POST FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 - 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 - SILT FENCE AND BALED HAY SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

BALED HAY EROSION CHECK AND SILT FENCE COMBINED
 R.I. STANDARD 9.3.0



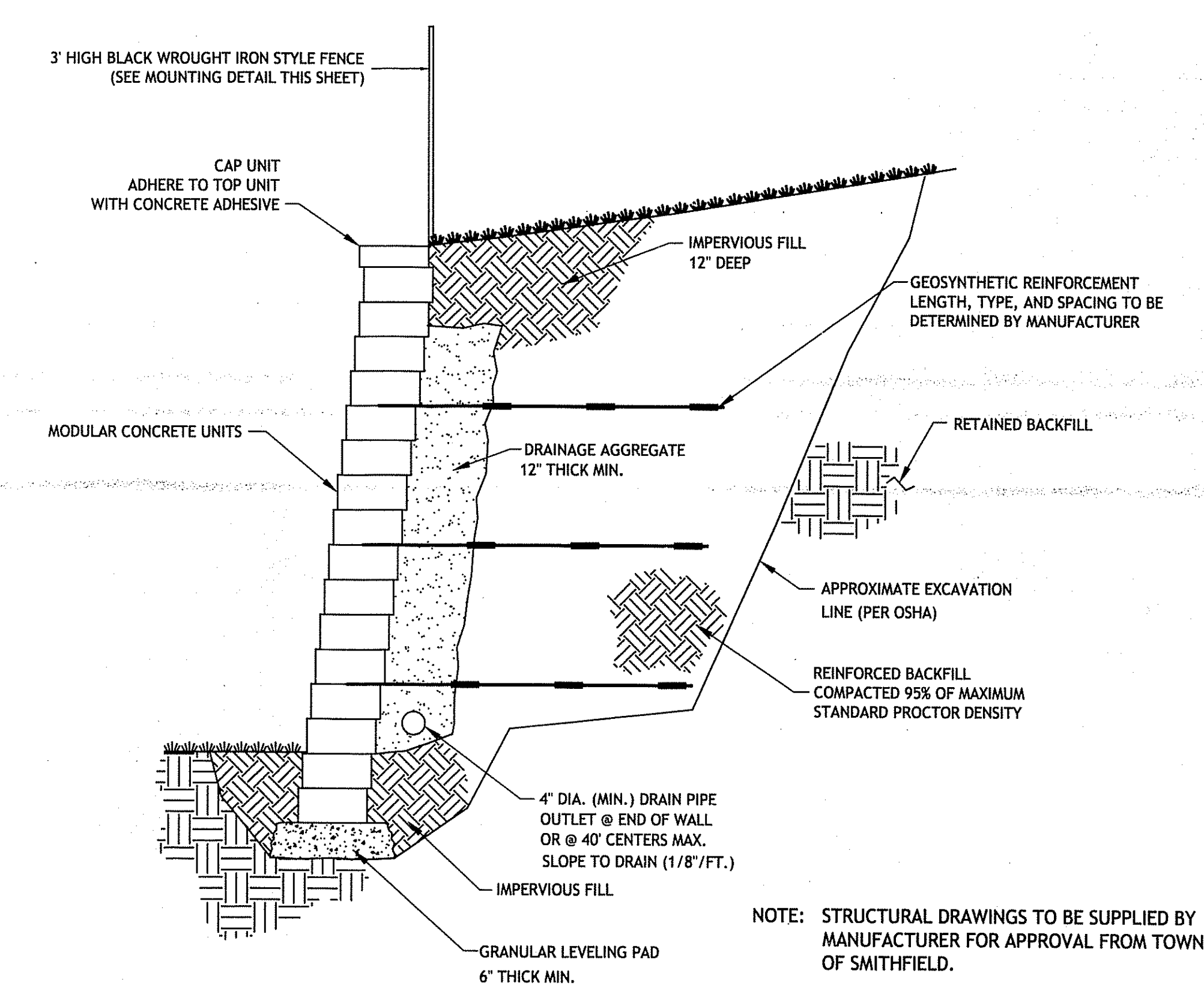
NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

CONSTRUCTION ACCESS
 R.I. STANDARD 9.9.0



NOTE: SHALL BE IN ACCORDANCE WITH SECTION L.06 OF THE R.I. STANDARD SPECIFICATIONS.

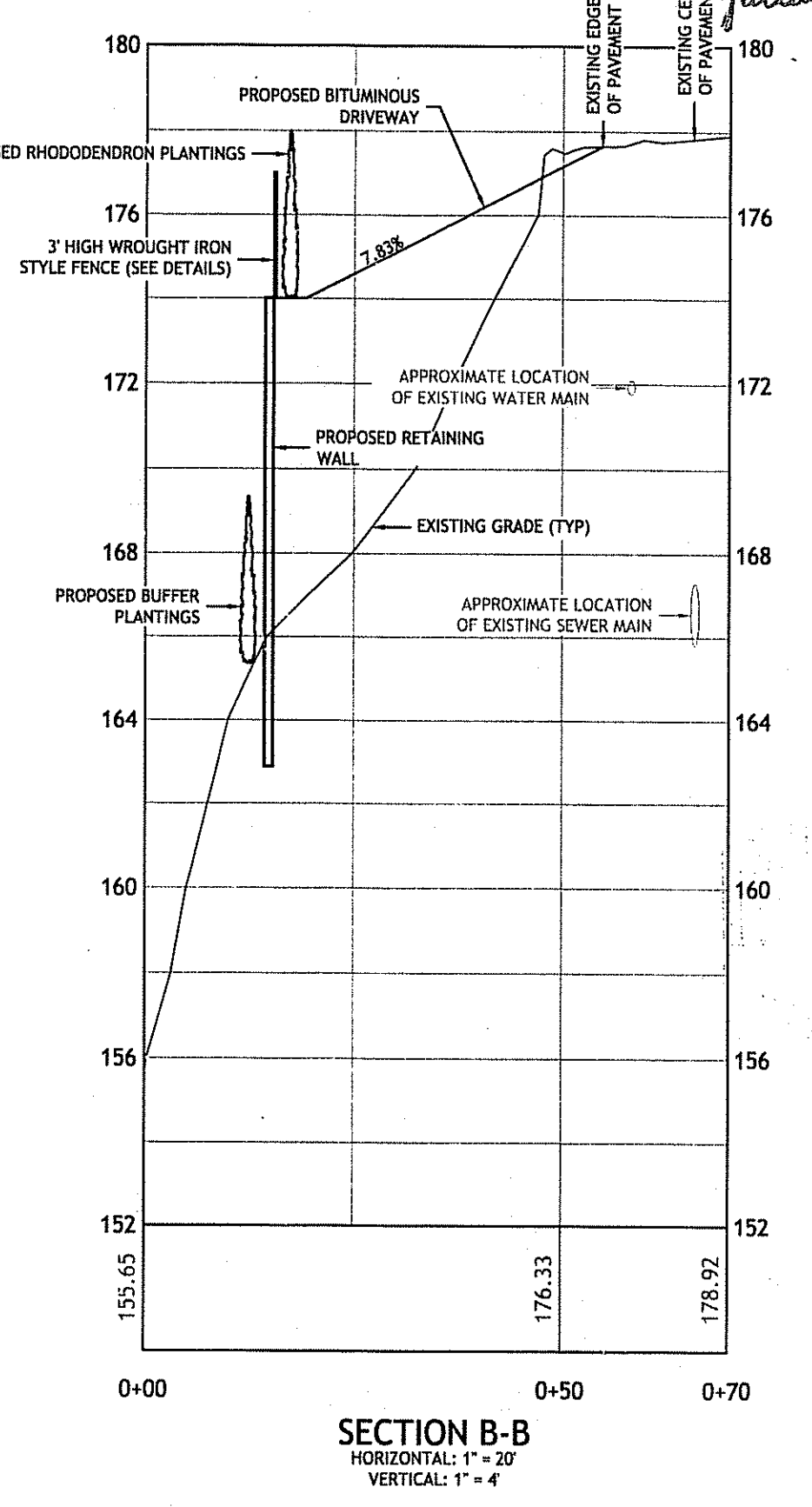
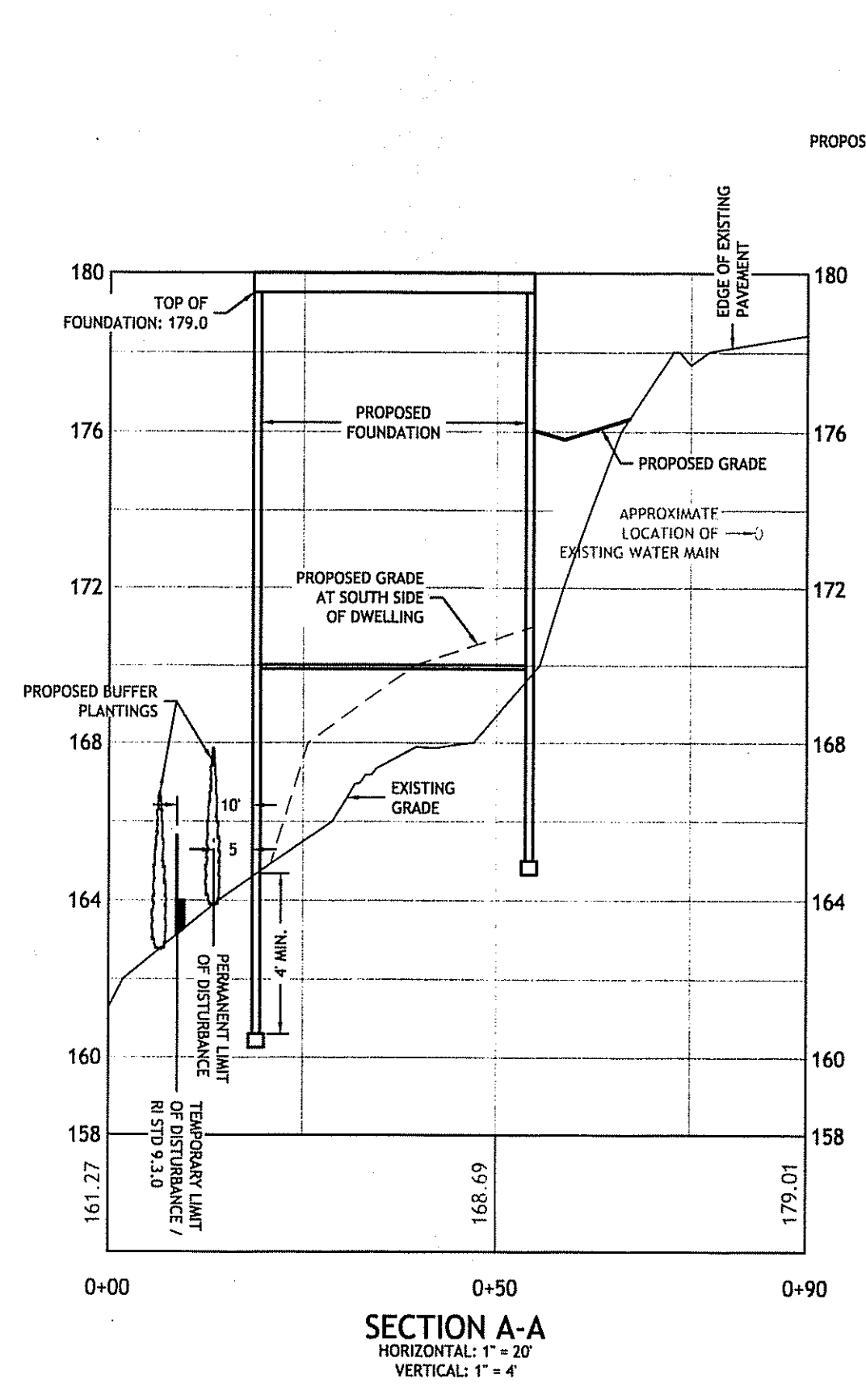
SHRUB PLANTING ON SLOPE
 R.I. STANDARD 50.3.2



NOTE: STRUCTURAL DRAWINGS TO BE SUPPLIED BY MANUFACTURER FOR APPROVAL FROM TOWN OF SMITHFIELD.

TYPICAL SECTION-REINFORCED RETAINING WALL (HEIGHT RANGING FROM 2' TO 9' AS SPECIFIED ON PLANS)
 MODULAR CONCRETE UNIT
 SCALE: NONE

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SHEET 4 OF 4