

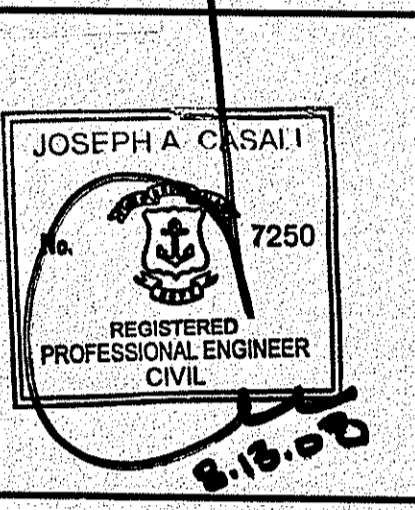
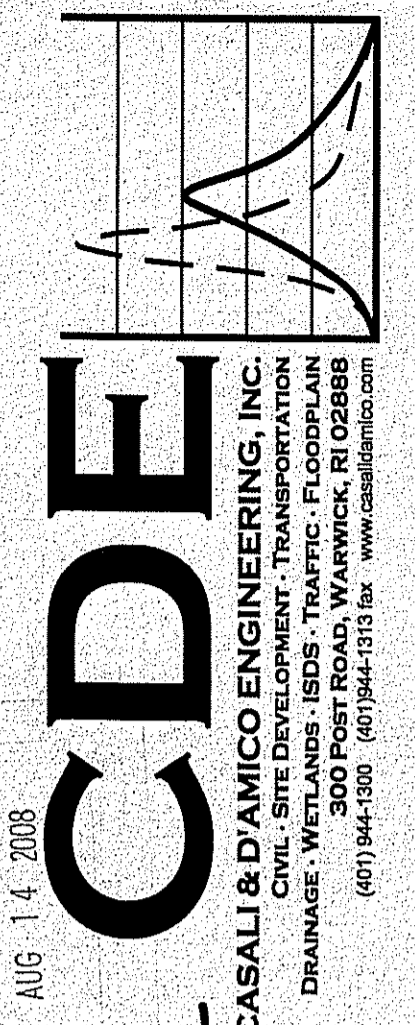
FINAL SITE PLANS FOR
PROPOSED

BRIARCLIFFE GARDENS

AP 43/1 LOTS 224, 229, 236 AND 343
JOHNSTON, RHODE ISLAND

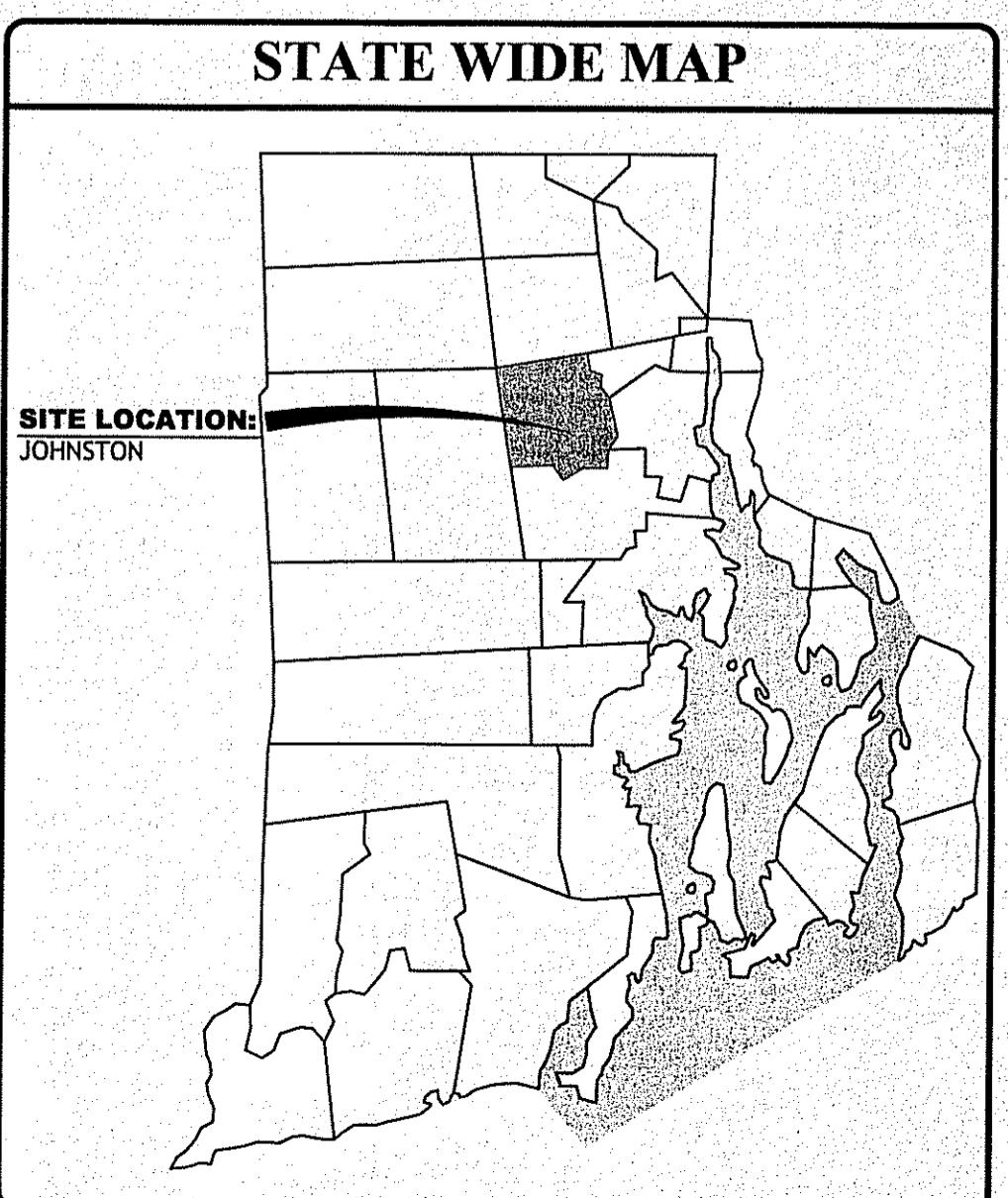
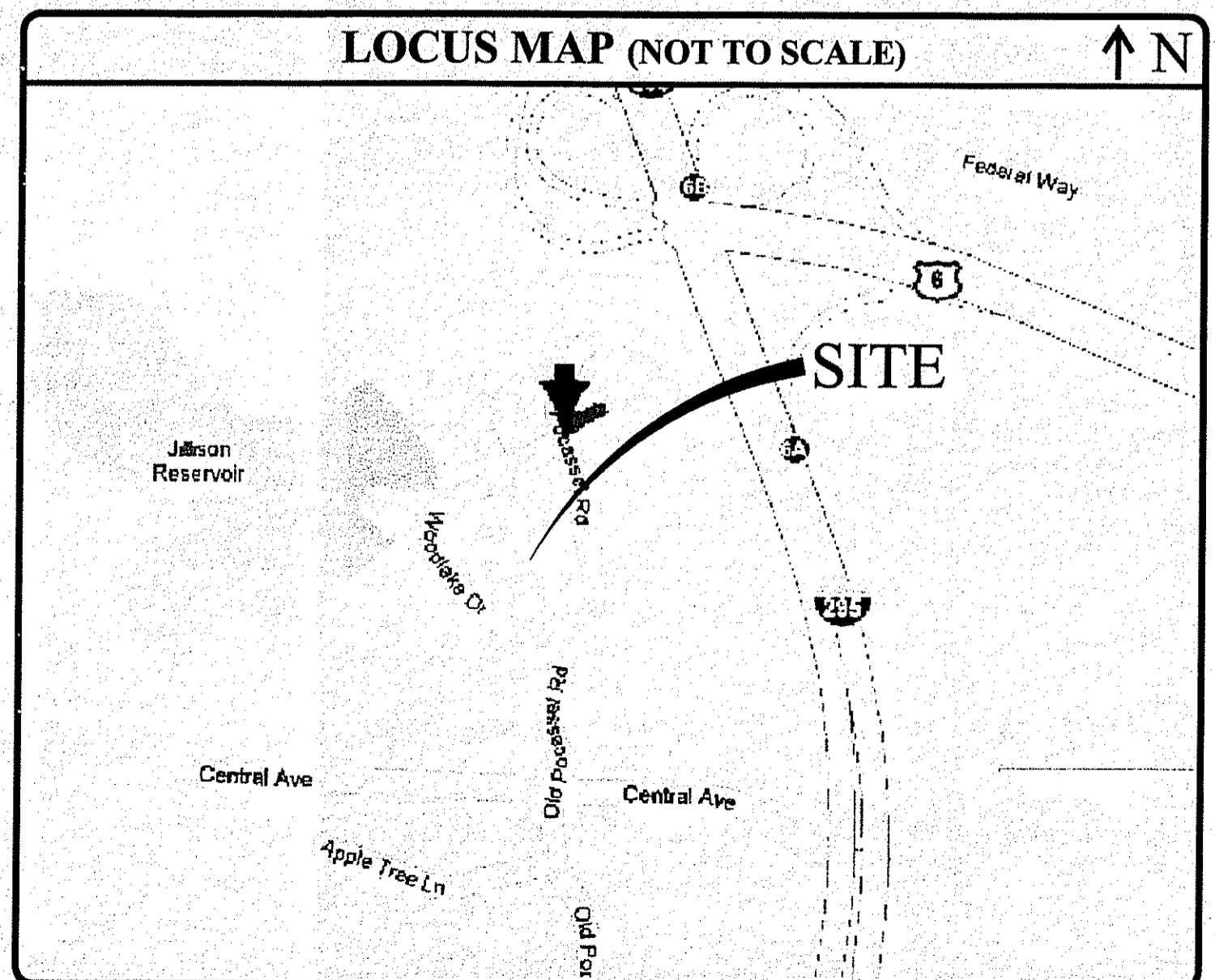
ZONING DISTRICT: R-40

SUBMITTED: TO TOWN OF JOHNSTON FOR
ZONE CHANGE: FROM "ZONE R-40" TO "PLANNED DISTRICT"



BRIARCLIFFE GARDENS
49 OLD POCASSETT ROAD
JOHNSTON, RHODE ISLAND
AP 43/1 LOTS 224, 229, 236 AND 343

PROJECT TEAM	
OWNER:	THE PASTURES REALTY, LLC. 49 OLD POCASSETT ROAD JOHNSTON, RI
CIVIL:	CASALI & D'AMICO ENGINEERING, INC. 300 POST ROAD WARWICK, RHODE ISLAND 02888 PHONE: (401) 944-1300 FAX: (401) 944-1313
SURVEYOR:	GAROFALO & ASSOCIATES, INC. 85 CORLISS STREET PROVIDENCE, RI 02940 PHONE: (401) 273-6000
ARCHITECT:	VISION 3 ARCHITECTS 225 CHAPMAN STREET PROVIDENCE, RI 02905 PHONE: (401) 461-7771



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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 2 2008 FILE # 08-015
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles N. Horvath

REVISIONS:		
NO.	DATE	DESCRIPTION
1	3-14-08	REVISIONS
2	6-18-08	TOWN COMMENTS
3	7-24-08	RIDEM RESUBMISSION & REVISIONS
4	7-25-08	TOWN COMMENTS

DESIGNED BY: JDC / PJB
DRAWN BY: DCZ
CHECKED BY: DMD
DATE: FEB 5, 2008
PROJECT NO: 07-59

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 13

GENERAL NOTES:

- CLASS I PROPERTY LINE AND CLASS III TOPOGRAPHIC SURVEY COMPLETED BY GAROFALO & ASSOCIATES 85 CORLISS STREET, PROVIDENCE, RI 02940.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THE AREA OF THE PROPOSED CONSTRUCTION LIES IN ZONE X (AREAS OF MINIMUM FLOODING), AS SHOWN ON FEMA MAP FOR THE TOWN OF JOHNSTON, RI COMMUNITY PANEL NO. 4400180220 C, DATED NOVEMBER 17, 1993.
- ACCORDING TO THE SOIL SURVEY OF RHODE ISLAND, PREPARED BY THE US DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, SOILS ON THE SITE CONSIST OF CANTON AND CHARLTON, TYPE "B" HYDROLOGIC SOILS.
- THIS SITE FALLS UNDER THE JURISDICTION OF RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.
- THIS SITE DOES NOT CONTAIN ANY EASEMENTS.
- THERE ARE NO EXTRAORDINARY OR UNUSUAL NATURAL FEATURES ON THIS SITE.
- THERE ARE NO HISTORIC BUILDINGS ON THIS SITE.
- THERE ARE NO WATERCOURSES, PONDS OR DRAINAGE AREAS ON THIS SITE.
- NO POTENTIAL IMPACTS TO THE EXISTING COMMUNITY ARE PROPOSED FOR THIS SITE.
- SOIL EVALUATION WERE COMPLETED BY: STEVEN HENRY, LICENSE NO. D4026.
- LEDGE PROBE TESTS WERE COMPLETED BY: STEVEN HENRY, LICENSE NO. D4026.
- WETLAND RESOURCES DELINEATED BY: CASALI & DAMICO ENGINEERING, INC.
- THE CONTRACTOR SHALL COMPLETE TEN (10) TEST PITS IN THE OPEN AREA SOUTH OF THE PROPOSED BUILDING AND RESTORE THE AREA BACK TO ITS ORIGINAL CONDITION AFTER TEST PITS ARE COMPLETE.

SITE NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR. "AS-BUILT" DRAWINGS TO INCLUDE ALL GRADING, INVERTS, STRUCTURE INFORMATION, UTILITY LOCATIONS INCLUDING BUT NOT LIMITED TO WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, DRAINAGE, ETC., HORIZONTAL AND VERTICAL CONTROL AND A BENCHMARK.
- ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
- WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE TOWN, STATE AND OR OWNER AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR TOWN.
- THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
- THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IN NOT PERMITTED.
- THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO BITUMINOUS PAVEMENT, STONE, GRAVEL, DRAINAGE STRUCTURES, UTILITY CONNECTIONS, PAVEMENT, SAW CUTTING, CURBING, LANDSCAPING, SIGNAGE, PAVEMENT MARKINGS, AND SOIL EROSION AND SEDIMENTATION CONTROLS SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION WITH LATEST ADDENDA.
- INSTALLATION FOR THE WATER FACILITIES SHALL BE IN ACCORDANCE WITH THE TOWN OF JOHNSTON WATER STANDARDS.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION. THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNLESS AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC, INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

**PROPOSED PAVEMENT STRUCTURE:
ON-SITE (PAVEMENT PARKING LOT / ENTRANCE DRIVE)**

- 1 1/2" BITUMINOUS CONCRETE SURFACE COURSE CLASS I-1
- 1 1/2" BITUMINOUS CONCRETE BINDER COURSE
- 12" GRAVEL BORROW SUBBASE

ASPHALT EMULSION TACK COAT TO BE PLACED PRIOR TO SURFACE COURSE PAVING IF BINDER COURSE IS OPENED TO VEHICLE USE OR IF BINDER COURSE IS GREATER THAN 30 DAYS OLD.

DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

UPON PROJECT COMPLETION, THE SITE OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE RECOMMENDATIONS:

- CATCH BASINS, MANHOLES AND DRAIN LINES: AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONAL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - * DAMAGE TO GRATES AND/OR COVER
 - * EVIDENCE OF STANDING WATER
 - * DEBRIS REMOVAL
 - * STRUCTURAL ALIGNMENT/ INTEGRITY

ANY DEFICIENCY NOTED DURING THE INSPECTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE GENERAL CONTRACTOR.

- SEDIMENT REMOVAL: ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS

DRAINAGE SYSTEM NOTES:

- THE PROPOSED DRAINAGE LINES SHALL BE ADS N-12 (HDP) OR AN APPROVED EQUAL AS INDICATED ON THESE PLANS.
- ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.
- THE DESIGN ENGINEER MUST SUBMIT AN AS-BUILT PLAN AND A CERTIFICATION TO THE TOWN ENGINEER THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE DESIGN PLANS FOR ALL ELEMENTS OF THE STORM OR DRAINAGE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THE PROPOSED ROOF DRAIN SYSTEM IS MADE UP OF 4 INCH AND 8 INCH ADS N-12 PIPING AND SHALL BE INSTALLED AS SHOWN ON THE PLANS. THE ROOF DRAIN SYSTEM WAS DESIGNED FOR THE 100-YR STORM EVENT.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- THE HAYBALE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
- THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
- ALL HAYBALES, SILT FENCE, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR OTHER GROUND COVER IS ESTABLISHED AT THAT TIME IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REMOVE AND DISPOSE OF ALL HAYBALES AND SILT FENCE.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETRIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.

EXTENDED DETENTION POND NOTES:

- GRASSES MUST BE PLANTED AROUND AND WITHIN THE POND IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE THE SLOPES AND PREVENT EROSION. TREES AND SHRUBS SHALL NOT BE ON THE IMPOUNDING EMBANKMENTS TO PREVENT POSSIBLE FAILURE OF THE STRUCTURE. IT IS SUGGESTED THE DEVELOPER USE STORM WATER BASIN PLANTS AND LANDSCAPING GUIDE: A SIMPLE GUIDE FOR DESIGNERS AND COMMUNITIES (LIPD, 1991) TO ASSIST THE SELECTION OF APPROPRIATE VEGETATION.
- SIDE-SLOPES, EMBANKMENTS AND THE UPPER STAGE OF THE POND SHOULD BE MOWED AT LEAST ONCE DURING THE GROWING SEASON PREFERABLE AFTER AUGUST 15TH, TO PREVENT UNWANTED WOODY GROWTH. MOWINGS CAN BE MORE FREQUENT IN RESIDENTIAL AREAS IF A MORE GROOMED APPEARANCE IS DESIRED HOWEVER GROOMED AREAS (SHORT GRASS) WILL ATTRACT CANADIAN GEESSE. LONGER MORE NATURAL GRASS WILL BENEFIT OTHER SPECIES OF WILDLIFE. ALL TRASH AND LITTER SHALL BE REMOVED FROM THE POND DURING MOWING OPERATIONS.

- SEDIMENTS SHALL BE REMOVED FROM THE POND DURING THE FIRST YEAR OF OPERATION AND EVERY 10 YEARS THEREAFTER. MORE FREQUENT REMOVALS MAY BE NECESSARY IF THE SEDIMENT STORAGE CAPACITY OF THE FOREBAY OR POND IS EXCEEDED.
- THE DETENTION POND(S) OUTLET AND OUTFLOW CHANNEL SHALL BE INSPECTED AT LEAST TWICE PER YEAR. INSPECTIONS SHALL BE ACCOMPLISHED SEVERAL TIMES DURING THE FIRST SIX MONTHS OF OPERATIONS, ESPECIALLY AFTER RAINFALL EVENTS, TO CHECK FOR LOGGING OR TOO RAPID RELEASE RESULTING IN EROSION.
- IF STANDING WATER IS FOUND IN EITHER POND MORE THAN (3) DAYS AFTER A RAINFALL EVENT, THE POND(S) SHALL BE DETERMINED TO HAVE FAILED AND THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE THE POND(S) CHECKED BY A PROFESSIONAL REGISTERED ENGINEER AND REPAIRED OR REPLACED IMMEDIATELY WITHIN THE FIRST YEAR FOLLOWING SUBSTANTIAL COMPLETION.
- THE GRASSED AREAS SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION PROBLEMS. PROBLEM AREAS SHALL BE RE-SEEDED IMMEDIATELY TO STABILIZE EXPOSED SOIL, THEREBY PREVENTING EROSION AND POTENTIAL CLOGGING OF OUTFLOW DEVICES.
- AN AREA SHALL BE SET ASIDE IN THE DEVELOPMENT SITE IN AN UPLAND LOCATION OUTSIDE OF JURISDICTIONAL WETLANDS FOR THE PURPOSE OF SEDIMENT DISPOSAL, IF AN OFF SITE DISPOSAL AREA IS NOT FEASIBLE.
- MOWING SHALL OCCUR WHEN VEGETATION REACHES A HEIGHT BETWEEN 18 AND 24 INCHES. MOWING SHALL UTILIZE A ROTARY MOWER SET AT A HEIGHT OF 8 INCHES.

LONG TERM MAINTENANCE RESPONSIBILITY:

WHEN ALL CONSTRUCTION IS COMPLETE, THE SITE HAS BEEN STABILIZED TO PREVENT EROSION AND SEDIMENTATION BY A WELL ESTABLISHED VEGETATIVE COVER AND THE DRAINAGE IMPROVEMENTS HAVE BEEN INSPECTED AND APPROVED BY THE TOWN OF JOHNSTON, THE PARTY RESPONSIBLE FOR LONG TERM MAINTENANCE, INSPECTION AND REPAIRS TO ALL DRAINAGE FACILITIES SHOWN ON THESE PLANS, SHALL BE THE OWNER OR THE OWNER'S REPRESENTATIVE.

DETENTION BASIN CONSTRUCTION NOTES:

- DETENTION BASIN BERM AREAS ARE TO BE CONSTRUCTED WITH COMMON BORROW COMPACTED TO 95% AND THEN LOAMED AND SEEDED.
- TREES AND SHRUBS SHALL NOT BE PLANTED ON ANY IMPOUNDING EMBANKMENT.
- DISTURBED AREAS ARE TO BE LOAMED A MINIMUM OF 6" AND SEEDED WITH A CONSERVATION TYPE MIXTURE.
- ALL CONTROL PRACTICES MUST BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK".

DETENTION BASIN PLANT MIX

	LBS/ ACRE	LBS/ 1000 FT.
CREeping RED FESCUE	20	.45
TALL FESCUE or REED CANARYGRASS	20	.45 *USE

* REED CANARYGRASS WHERE MOWING IS NOT REQUIRED.
(Source: USDA, Soil Conservation Service)

BMP MAINTENANCE SCHEDULE:

- ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
 - MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO THE INFILTRATION SYSTEMS, ALL PIPES, SWALES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.
 - INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.
 - UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.
- AFTER THE COMPLETION OF THE ENTIRE PROJECT TO THE SATISFACTION OF THE ENGINEER, ALL MAINTENANCE OF THE DRAINAGE SYSTEM SHALL THEN BE THE RESPONSIBILITY OF THE OWNER OR THEIR APPOINTED AGENTS.
 - ANY REQUIRED REPAIR AND REPLACEMENT OF DRAINAGE STRUCTURES OR FACILITIES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE SYSTEM.
 - CATCH BASINS AND MANHOLES SHALL BE INSPECTED AT LEAST ONCE PER YEAR AND ANY SEDIMENT OR DEBRIS WITHIN THE SUMPS SHALL BE REMOVED.
 - ALL DESIGN, CLEANING, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL FOLLOW AT LEAST THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION MINIMUM STANDARDS, SECTION 206.2000 AND SECTION 701.9040. WHERE APPROPRIATE, PROCEDURES REGARDING THE DRAINAGE DESIGN, AND THE INSPECTION AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL BE FOLLOWED AS OUTLINED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" (RIDEW/RICRMC, SEPT. 1, 1993).
 - ANY TRASH, DEBRIS, ECT SHOULD BE REMOVED FROM AN WETLAND AREAS, SWALES AND PIPE OUTLETS.
 - SWALES SHALL BE MOWED AT LEAST ONCE DURING THE GROWING SEASON TO PREVENT UNWANTED WOODY GROWTH.
 - SWALES AND DETENTION AREAS; SHALL BE INSPECTED AFTER MAJOR STORM EVENTS OR AN ANNUAL BASIS. REPAIRS SHALL BE PERFORMED IMMEDIATELY AS CONDITIONS WARRANT. BARE SPOTS AND ERODED ARE AS SHALL BE RESEEDED IMMEDIATELY FOLLOWING OBSERVATION. ALL LITTER AND TRASH SHALL BE REMOVED DURING INSPECTIONS.

MISCELLANEOUS UTILITY NOTES:

- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
- THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.

- OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED AND OR INSTALLED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THEIR OPERATIONS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR TOWN.
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.
- ALL SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF JOHNSTON SEWER AUTHORITY STANDARD SPECIFICATIONS AND DETAILS FOR THE INSTALLATION OF SEWER AND APPURTENANCES BY PRIVATE DEVELOPERS.*
- APPLICANT SHALL PROVIDE TWO SETS OF FINAL AS-BUILT PLANS TO SEWER AUTHORITY AND ENGINEERING DEPARTMENT UPON COMPLETION OF CONSTRUCTION. AS-BUILT PLANS SHALL INCLUDE FIELD MEASUREMENTS OF ALL INSTALLED PIPE AND APPURTENANCES, INCLUDING LENGTH, SLOPE, MANHOLE RIM AND INVERTS, AS WELL AS SWING TIES/ MEASUREMENTS TO ALL MANHOLES, SEWER STUBS, AND LATERAL SERVICE CONNECTIONS.
- INSPECTION OF ALL SEWER SERVICES ON PRIVATE PROPERTY MUST BE COORDINATED DIRECTLY WITH THE JOHNSTON SEWER AUTHORITY OR ITS CONSULTANT.
- INSPECTION OF ALL SEWER CONSTRUCTION WITHIN EXISTING AND PROPOSED ROADS AND EASEMENTS SHALL BE PERFORMED BY TOWN OF JOHNSTON SEWER CONSULTANT. APPLICATION SHALL PROVIDED SCHEDULE FOR CONSTRUCTION AS SOON AS POSSIBLE TO ALLOW FOR DEVELOPMENT OF INSPECTION FEE, TO BE PAID BY APPLICANT DIRECTLY TO TOWN OF JOHNSTON, ENGINEERING DEPARTMENT. UPON PAYMENT OF FEE, COMMENCEMENT OF CONSTRUCTION INSPECTION REQUIRES MINIMUM NOTIFICATION OF 48 HOURS.

- APPLICANT IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS FROM LOCAL, STATE, AND/OR FEDERAL AGENCIES WITH REGULATORY JURISDICTION OVER THE PROPOSED WORK. ALL SEWER CONSTRUCTION SHALL BE PERFORMED BY A DRAIN LAYER LICENSED IN THE STATE OF RHODE ISLAND AND THE TOWN OF JOHNSTON.
- SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTAL FROM ANY EXISTING OR PROPOSED WATER MAIN. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10 FOOT HORIZONTAL SEPARATION IS MAINTAINED. IF THE 10 FOOT HORIZONTAL SEPARATION CANT BE MAINTAINED; THE SEWER AND WATER MAIN ARE TO BE LAID IN SEPARATE TRENCHES, OR THE SEWER OR WATER MAIN MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER MAIN PLACED ON A BENCH OF UNDISTURBED EARTH, AND IN EITHER CASE, THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN
- IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL OR VERTICAL SEPARATION; THE SEWER MAIN SHALL BE ENCASED IN A MIN. 6" THICK CONCRETE FOR AT LEAST 10 FEET EITHER SIDE OF THE AREA NOT COMPLYING WITH THE HORIZONTAL AND VERTICAL SEPARATION.
- THE WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF JOHNSTON WATER STANDARDS.
- PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE STANDARDS AND RECEIVE THE WRITTEN APPROVAL, BASED ON MANUFACTURERS DRAWINGS AND OTHER DATA, OF THE SEWER AUTHORITY OR ITS REPRESENTATIVE.
- INSTALLATION OF THE SEWERAGE FACILITIES SHALL BE IN ACCORDANCE WITH THE TOWN OF JOHNSTON SEWER AUTHORITY'S STANDARD SPECIFICATIONS AND DETAILS FOR THE INSTALLATION OF SEWERS AND APPURTENANCES BY PRIVATE DEVELOPERS.
- ALL SEWERAGE FACILITIES SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO ACCEPTANCE. GRAVITY SEWER PIPE SHALL BE REQUIRED TO PASS BOTH LOW PRESSURE AIR AND DEFLECTION TESTING. MANHOLES SHALL BE REQUIRED TO PASS A VACUUM TEST. PRESSURE PIPES SHALL BE SUBJECT TO HYDROSTATIC TESTING.
- TWO SETS OF AS-BUILT DRAWINGS STAMPED BY A CURRENTLY RHODE ISLAND REGISTERED PROFESSIONAL ENGINEER SHALL BE FURNISHED TO THE OWNER.
- NO FLOW WILL BE ACCEPTED UNTIL ALL ABOVE STEPS ARE COMPLETED AND THE CERTIFICATE IS ISSUED.
- THE CONTRACTOR IS TO COORDINATE WITH THE PLUMBER AS TO THE LOCATION OF THE NEW BUILDING SEWER.
- TOWN MUST BE GIVEN A MINIMUM OF 48 HOURS NOTICE PRIOR TO THE START OF CONSTRUCTION SO THAT INSPECTIONS CAN BE SCHEDULED.

SUB DRAIN INSTALLATION AND MAINTENANCE NOTES:

- THE TRENCH SHALL BE CONSTRUCTED ON A CONTINUOUS GRADE WITH NO REVERSE GRADES OR LOW SPOTS.
- SOFT OR YIELDING SOILS UNDER THE DRAIN SHALL BE STABILIZED WITH GRAVEL OR OTHER SUITABLE MATERIAL.
- DEFORMED, WARPED, OR OTHERWISE UNSUITABLE PIPE SHALL NOT BE USED.
- BACK FILLING SHALL BE DONE IMMEDIATELY AFTER PLACEMENT OF THE PIPE. NO SECTION OF PIPE SHALL REMAIN UNCOVERED OVERNIGHT OR DURING A RAIN EVENT. BACK FILL MATERIAL SHALL BE PLACED IN THE TRENCH IN SUCH A MANNER THAT THE DRAIN PIPE IS NOT DAMAGED OR DISPLACED.
- SPECIAL CARE SHALL BE TAKEN NOT TO DAMAGE THE PIPE DURING GRADING OPERATIONS.
- THE SUBDRAIN SYSTEM SHALL BE INSPECTED DURING RAINFALL EVENTS TO ENSURE OUTFLOW IS OCCURRING.
- AN AS-BUILT OF THE SUB DRAIN SYSTEM SHALL BE PROVIDED TO THE ENGINEER.
- SUBSURFACE DRAINS SHALL BE CHECKED ANNUALLY TO ENSURE THAT THEY ARE FREE FLOWING AND NOT CLOGGED WITH SEDIMENT.
- THE OUTLET SHALL BE KEPT CLEAN AND FREE OF DEBRIS.
- SURFACE INLETS SHALL BE KEPT OPEN AND FREE OF SEDIMENT AND OTHER DEBRIS.
- HEAVY EQUIPMENT SHALL NOT BE DRIVEN OVER THE BASIN BOTTOM TO AVOID DAMAGE TO THE SUB DRAIN SYSTEM.
- SEDIMENT REMOVAL FROM THE BASIN(S) BOTTOM SHALL BE PERFORMED BY HAND.
- IF STANDING WATER IS OBSERVED IN THE PONDS FOR MORE THAN 72 HOURS, THEN THE SUB DRAIN SYSTEM WILL BE CONSIDERED TO HAVE FAILED AND IMMEDIATELY CLEANED OUT. IF THE CLEANING DOES NOT ELIMINATE THE STANDING WATER, THEN THE SUB DRAIN SYSTEM SHALL BE REMOVED AND REPLACED.

LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	ABUTTING PROPERTY LINE
---	BUILDING SETBACK LINE
---	WETLAND EDGE
△ A-3	WETLAND FLAG
---	50' PERIMETER WETLAND
---	EXISTING EASEMENT
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING STONE WALL
○	IRON PIN
○	DRILL HOLE
□	CONCRETE BOUND
---	EXISTING CURB
---	GUARD RAIL
---	DRAIN LINE
---	DRAINAGE MANHOLE
---	CATCH BASIN
---	UTILITY POLE
---	OVERHEAD WIRES
---	UNDERGROUND ELECTRIC
---	VERIZON LINE
---	WATER LINE
---	ELECTRIC LINE
---	WATER SHUT OFF VALVE
---	WELL
RD	ROOF DRAIN (4" & 8")
---	SEWER
---	SMH
N/F	NOW OR FORMERLY
---	EXISTING LIMIT OF WOODLAND (APPROXIMATE)
---	HAY BALES / SILT FENCE
TP #5	SOIL EVALUATION
---	TEST PITS
C/U	CONNECTION UNKNOWN

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Charles A. Haas

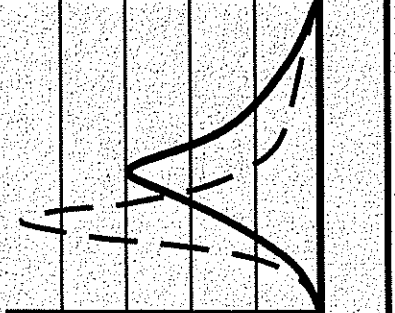
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3	7-24-08	RIDEM
		RESUBMISSION & REVISIONS
4	7-25-08	TOWN COMMENTS

DESIGNED BY: JDC / PJB
DRAWN BY: DCZ
CHECKED BY: DMD
DATE: FEB 5, 2008
PROJECT NO: 07-59

PRELIMINARY, NOT FOR CONSTRUCTION

GENERAL NOTES & LEGEND

SHEET 2 OF 13



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JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL

BRIARCLIFFE GARDENS
49 OLD POCASSET ROAD
JOHNSTON, RHODE ISLAND
AP 43/1 LOTS 224, 229, 236 AND 343

NOTE:
 1. EXISTING CONDITIONS WERE TAKE FROM A PLAN DONE BY GAROFALO & ASSOCIATES & STRUCTURAL ENGINEERS SURVEYORS LAND PLANNERS \ ENVIRONMENTAL SCIENTISTS LOCATED AT 85 CORLISS STREET, P.O. BOX 6145 PROVIDENCE, R.I. 02940

2. PLAN TITLED: "EXISTING CONDITIONS FOR A.P. 44 LOT 306 & A.P. 43 LOTS 224, 229 - 231, 234, 236, 343 SITUATED ON 49 OLD POCASSETT ROAD IN JOHNSTON, R.I. PREPARED FOR BRIARCLIFFE NURSING HOME." JOB NUMBER 6220-00 DWG. NO. 6220-ECP SCALE 1" = 80' DRAWN BY S.L.C. CHECKED BY S.A.W. APPROVED BY S.A.W. DATED APRIL 13, 2006 SHEET 1 OF 1

EXISTING AREA CALCULATIONS

LOT 224 = 1.15 +/- AC.
 LOT 229 = 0.92 +/- AC.
 LOT 236 = 0.84 +/- AC.
 LOT 343 = 3.03 +/- AC.
 TOTAL = 5.94 +/- AC.

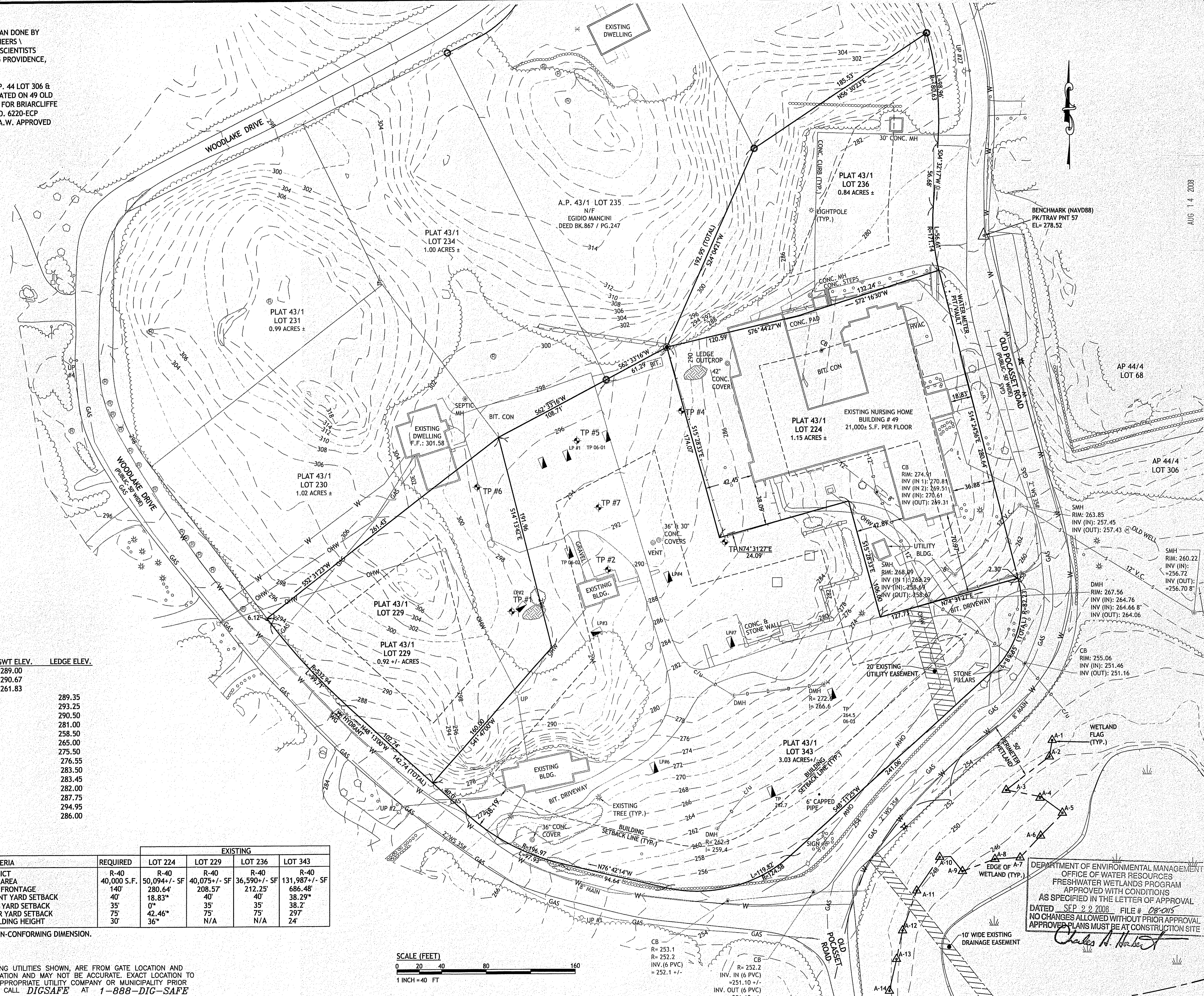
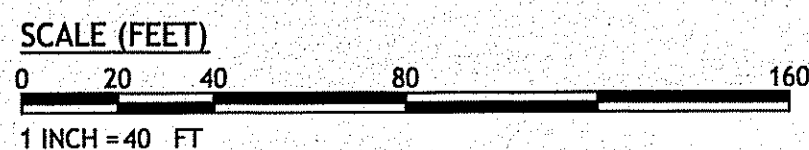
TEST PIT DATA

TP #	EXISTING ELEV.	SHGWT ELEV.	LEDGE ELEV.
06-01	292.00	289.00	
06-02	293.00	290.67	
06-03	264.00	261.83	
LP-1	294.35		289.35
LP-2	298.75		293.25
LP-3	292.00		290.50
LP-4	288.50		281.00
LP-5	264.00		258.50
LP-6	273.00		265.00
LP-7	282.50		275.50
TP 1	282.55		276.55
TP 2	291.50		283.50
TP 3	286.95		283.45
TP 4	291.00		282.00
TP 5	295.75		287.75
TP 6	297.70		294.95
TP 7	293.00		286.00

ZONING CRITERIA	REQUIRED	EXISTING			
		LOT 224	LOT 229	LOT 236	LOT 343
ZONING DISTRICT	R-40	R-40	R-40	R-40	R-40
MINIMUM LOT AREA	40,000 S.F.	50,094 +/- SF	40,075 +/- SF	36,590 +/- SF	131,987 +/- SF
MINIMUM LOT FRONTAGE	140'	280.64'	208.57'	212.25'	686.48'
MINIMUM FRONT YARD SETBACK	40'	18.83**	40'	40'	38.29**
MINIMUM SIDE YARD SETBACK	35'	0*	35'	35'	38.2'
MINIMUM REAR YARD SETBACK	75'	42.46**	75'	75'	297'
MAXIMUM BUILDING HEIGHT	30'	36*	N/A	N/A	24'

* EXISTING NON-CONFORMING DIMENSION.

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Charles A. Casali

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JOSEPH A. CASALI
 250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

BRIARCLIFFE GARDENS
 49 OLD POCASSETT ROAD
 JOHNSTON, RHODE ISLAND
 AP 43/1 LOTS 224, 229, 236 AND 343

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3	7-24-08	RIDEM RESUBMISSION & REVISIONS
4	7-25-08	TOWN COMMENTS

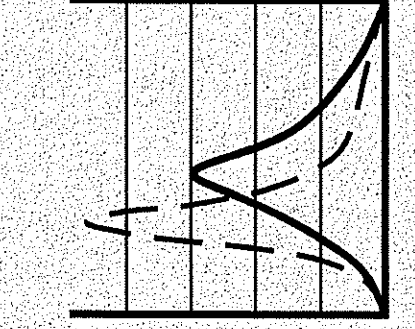
DESIGNED BY: JDC / PJB
 DRAWN BY: DCZ
 CHECKED BY: DMD
 DATE: FEB 5, 2008
 PROJECT NO: 07-59

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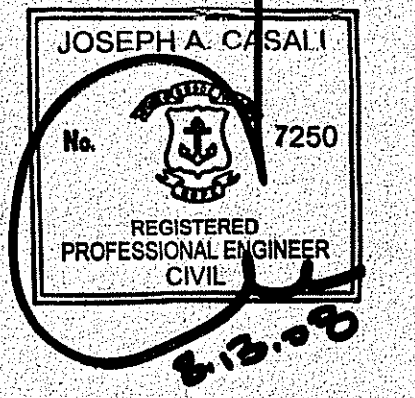
EXISTING CONDITIONS PLAN

SHEET 3 OF 13

AUG 14 2008

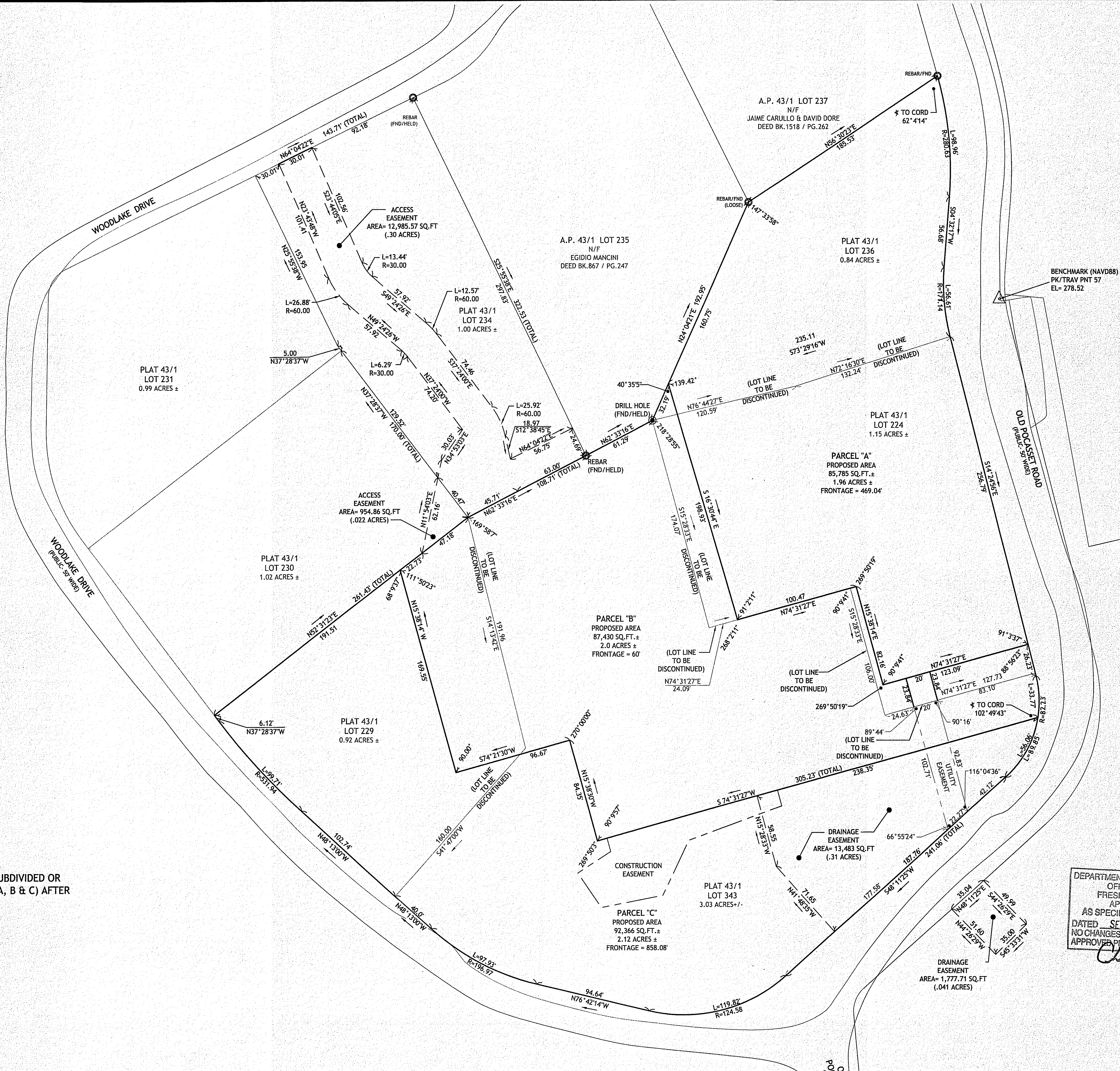


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BRIARCLIFFE GARDENS
 49 OLD POCASSET ROAD
 JOHNSTON, RHODE ISLAND
 AP 43/1 LOTS 224, 229, 236 AND 343

AUG 14, 2008



NOTES:
 LOTS 224, 229 236 & 343 WILL BE SUBDIVIDED OR
 MERGED INTO THREE (3) PARCELS (A, B & C) AFTER
 ZONE CHANGE.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Charles A. Barber

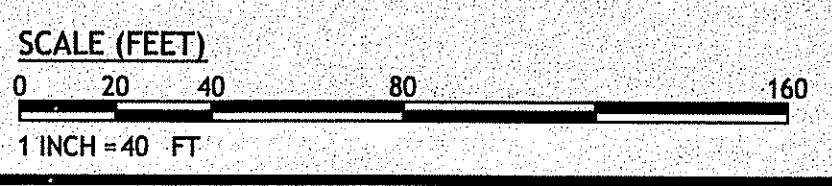
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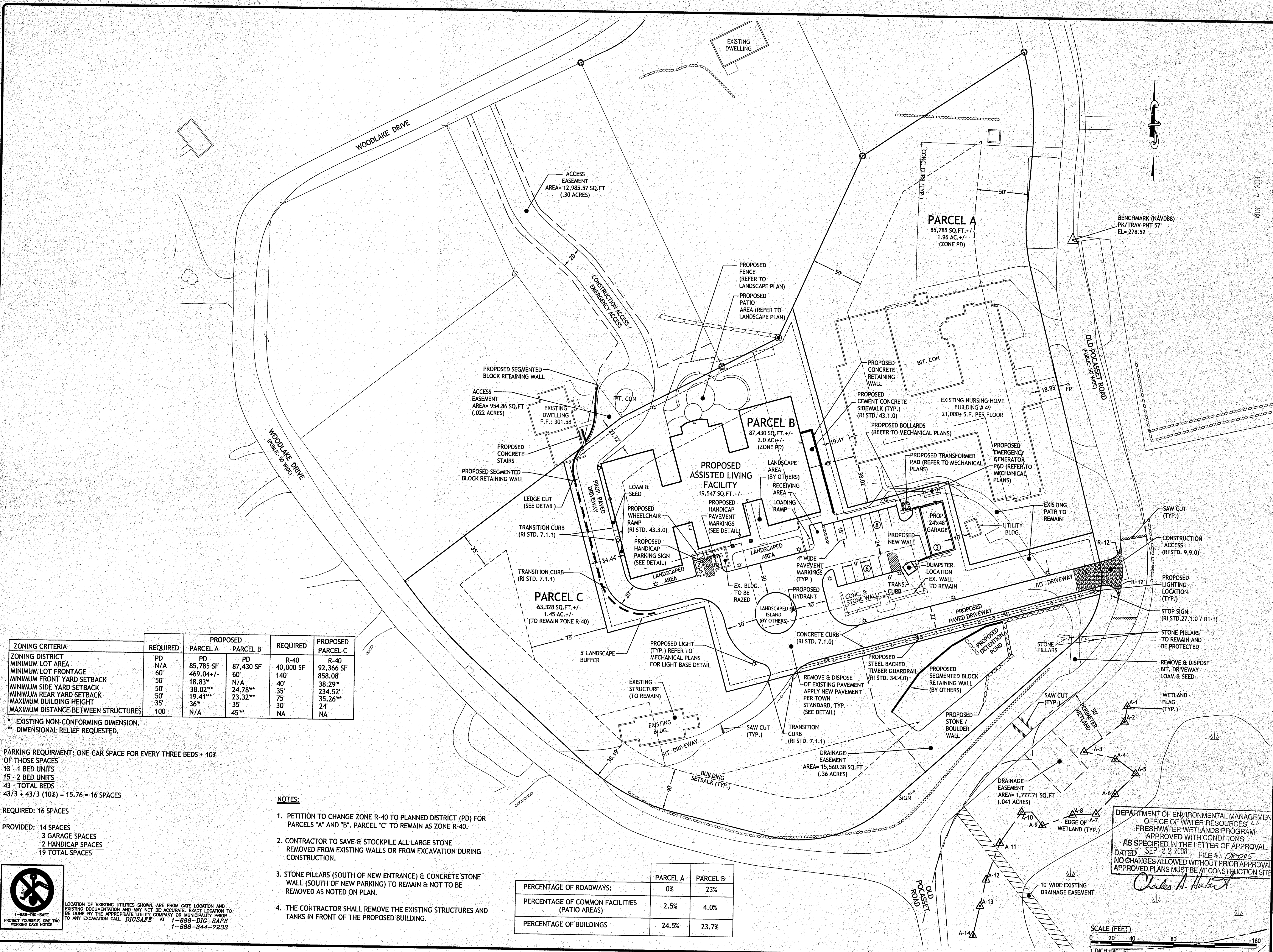
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PLAT PLAN

SHEET 4 OF 13



BRIARCLIFFE GARDENS
 49 OLD POCASSET ROAD
 JOHNSTON, RHODE ISLAND
 AP 43/1 LOTS 224, 229, 236 AND 343



ZONING CRITERIA	REQUIRED	PROPOSED PARCEL A	PROPOSED PARCEL B	REQUIRED	PROPOSED PARCEL C
ZONING DISTRICT	PD	PD	PD	R-40	R-40
MINIMUM LOT AREA	N/A	85,785 SF	87,430 SF	40,000 SF	92,366 SF
MINIMUM LOT FRONTAGE	60'	469.04 +/-	60'	140'	858.08'
MINIMUM FRONT YARD SETBACK	50'	18.83**	N/A	40'	38.29*
MINIMUM SIDE YARD SETBACK	50'	38.02**	24.78**	35'	234.52'
MINIMUM REAR YARD SETBACK	50'	19.41**	23.32**	75'	35.26**
MAXIMUM BUILDING HEIGHT	35'	36'	35'	30'	24'
MAXIMUM DISTANCE BETWEEN STRUCTURES	100'	N/A	45**	NA	NA

* EXISTING NON-CONFORMING DIMENSION.
 ** DIMENSIONAL RELIEF REQUESTED.

PARKING REQUIREMENT: ONE CAR SPACE FOR EVERY THREE BEDS + 10% OF THOSE SPACES
 13 - 1 BED UNITS
 15 - 2 BED UNITS
 43 - TOTAL BEDS
 43/3 + 43/3 (10%) = 15.76 = 16 SPACES

REQUIRED: 16 SPACES
PROVIDED: 14 SPACES
 3 GARAGE SPACES
 2 HANDICAP SPACES
 19 TOTAL SPACES

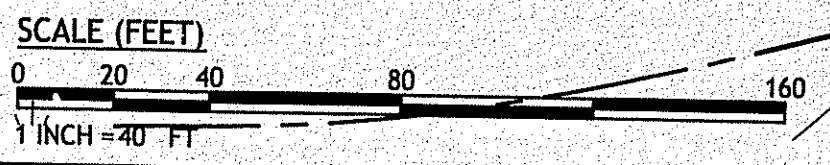
NOTES:

- PETITION TO CHANGE ZONE R-40 TO PLANNED DISTRICT (PD) FOR PARCELS "A" AND "B". PARCEL "C" TO REMAIN AS ZONE R-40.
- CONTRACTOR TO SAVE & STOCKPILE ALL LARGE STONE REMOVED FROM EXISTING WALLS OR FROM EXCAVATION DURING CONSTRUCTION.
- STONE PILLARS (SOUTH OF NEW ENTRANCE) & CONCRETE STONE WALL (SOUTH OF NEW PARKING) TO REMAIN & NOT TO BE REMOVED AS NOTED ON PLAN.
- THE CONTRACTOR SHALL REMOVE THE EXISTING STRUCTURES AND TANKS IN FRONT OF THE PROPOSED BUILDING.

	PARCEL A	PARCEL B
PERCENTAGE OF ROADWAYS:	0%	23%
PERCENTAGE OF COMMON FACILITIES (PATIO AREAS)	2.5%	4.0%
PERCENTAGE OF BUILDINGS	24.5%	23.7%

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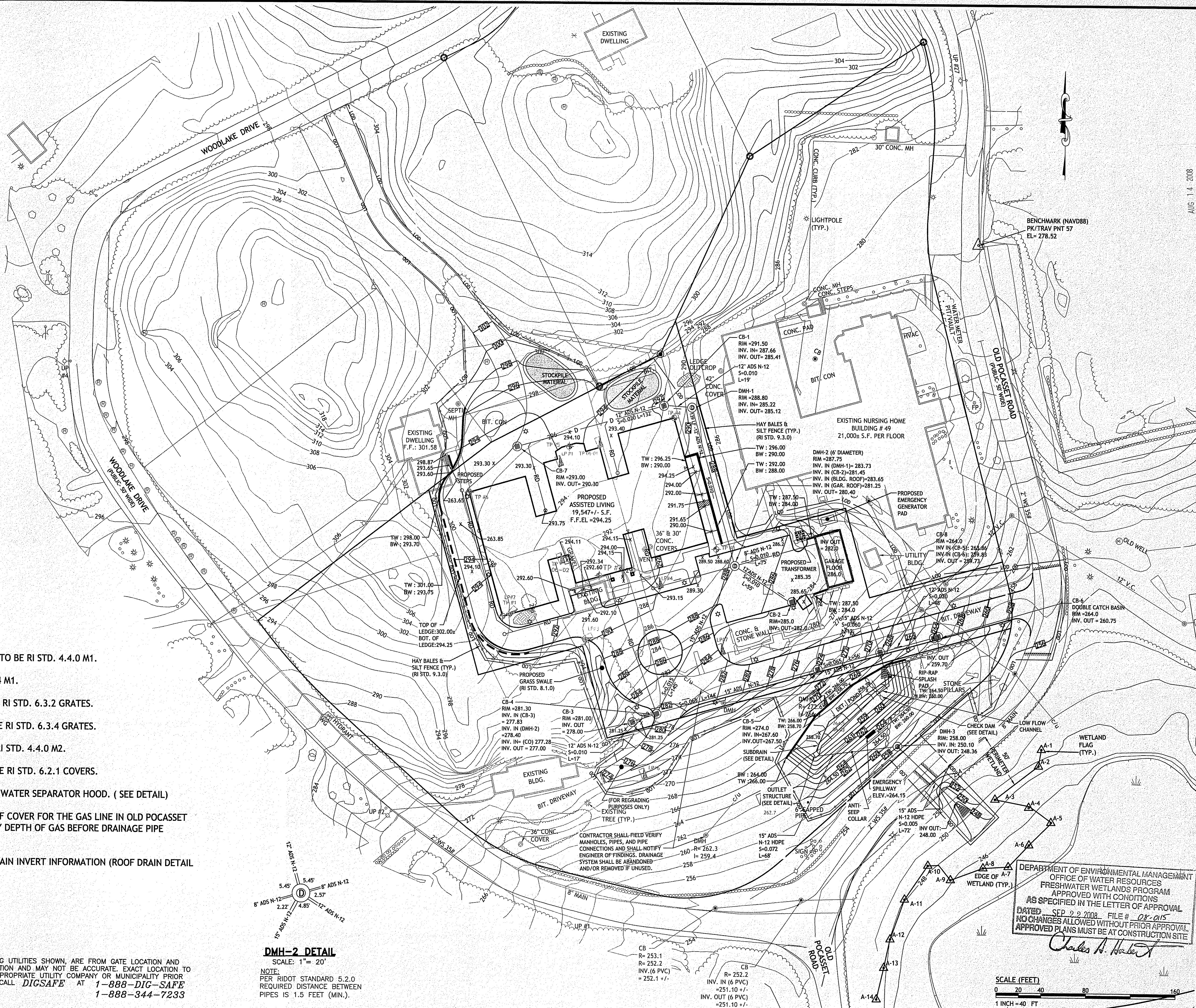
Charles A. Barber

DESIGNED BY: JDC/PJB
 DRAWN BY: DCZ
 CHECKED BY: DMD
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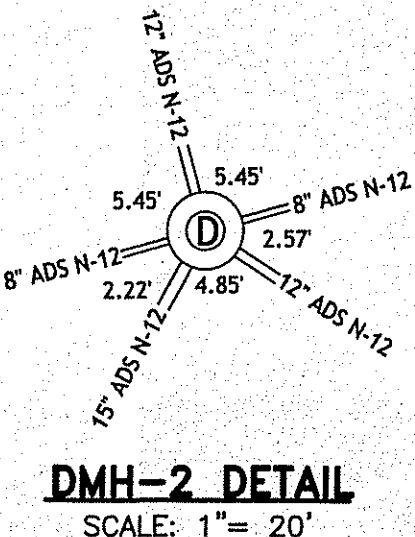
SITE PLAN

SHEET 5 OF 13



DRAINAGE NOTES:

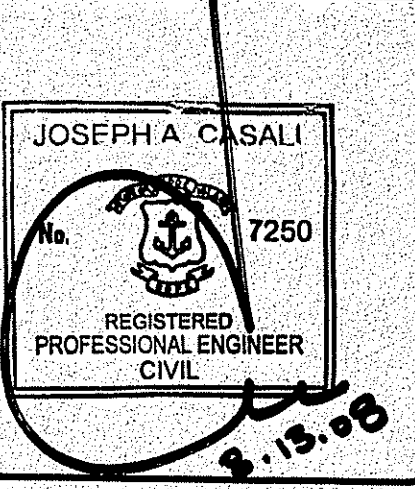
1. CATCH BASINS 1, 2, 3, 4, 5, 7 & 8 TO BE RI STD. 4.4.0 M1.
2. CATCH BASIN 6 TO BE RI STD. 3.3.4 M1.
3. CATCH BASINS 1, 2, 3 & 7 TO HAVE RI STD. 6.3.2 GRATES.
4. CATCH BASINS 4, 5, 6 & 8 TO HAVE RI STD. 6.3.4 GRATES.
5. DRAIN MANHOLES 1, 2 & 3 TO BE RI STD. 4.4.0 M2.
6. DRAIN MANHOLES 1, 2 & 3 TO HAVE RI STD. 6.2.1 COVERS.
7. CATCH BASINS 5 & 6 TO HAVE OIL/WATER SEPARATOR HOOD. (SEE DETAIL)
8. ENGINEER ASSUMED THREE FEET OF COVER FOR THE GAS LINE IN OLD POCASSET ROAD. CONTRACTOR TO FIELD VERIFY DEPTH OF GAS BEFORE DRAINAGE PIPE INSTALLATION.
9. SEE SHEET 12 OF 13 FOR ROOF DRAIN INVERT INFORMATION (ROOF DRAIN DETAIL PLAN).



DMH-2 DETAIL
SCALE: 1" = 20'
NOTE: PER RIDOT STANDARD 5.2.0 REQUIRED DISTANCE BETWEEN PIPES IS 1.5 FEET (MIN.).



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BRIARCLIFFE GARDENS
49 OLD POCASSET ROAD
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AP 43/1 LOTS 224, 229, 236 AND 343

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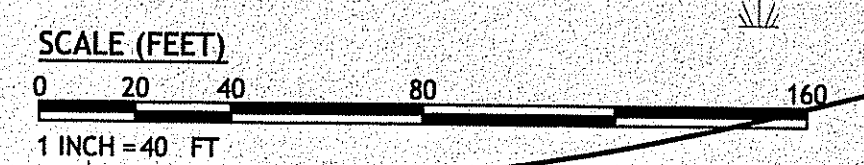
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GRADING & DRAINAGE PLAN

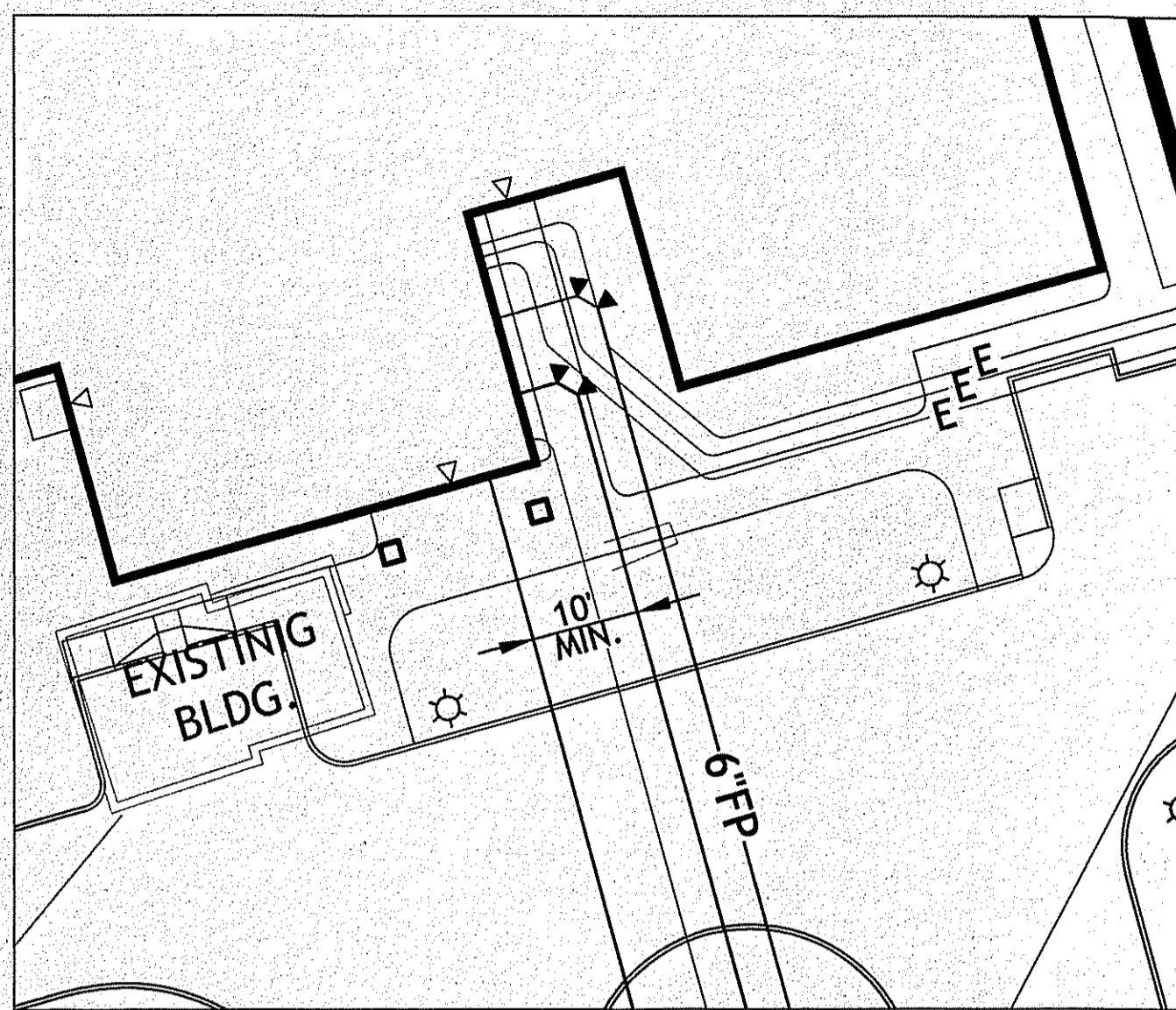
SHEET 6 OF 13

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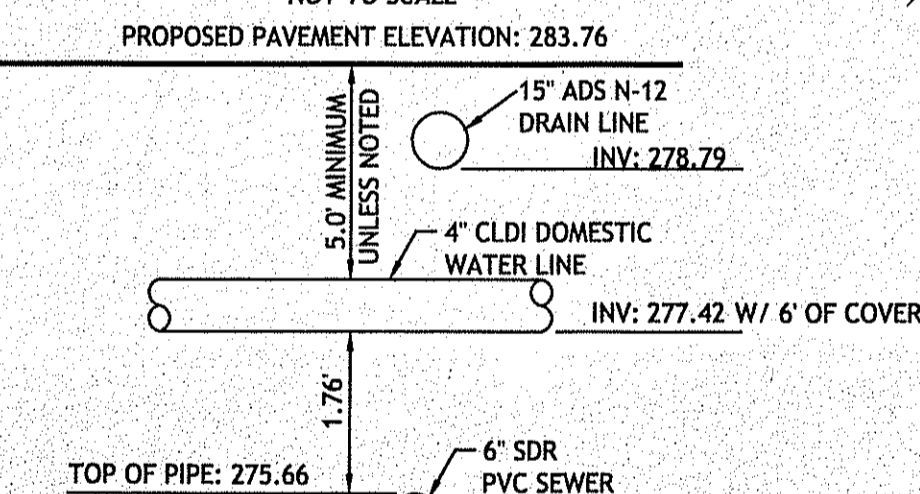
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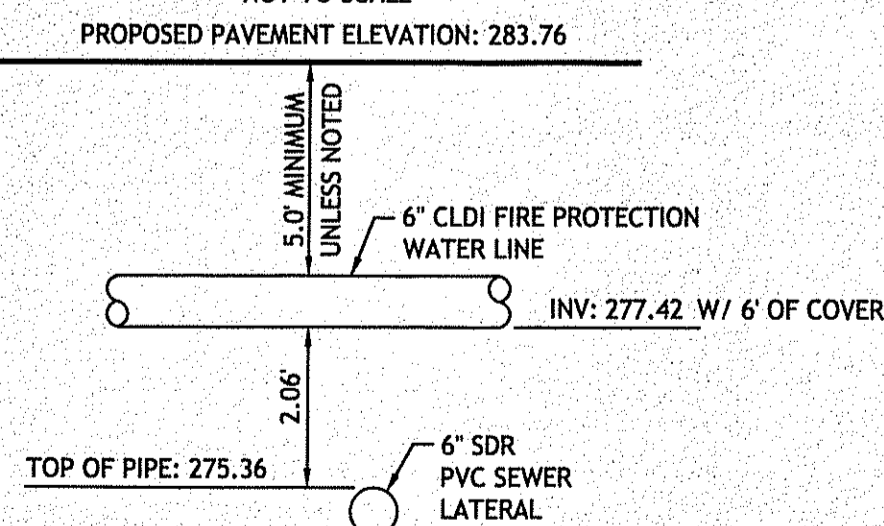


MECHANICAL ROOM / UTILITY DETAIL
SCALE: 1"=20'

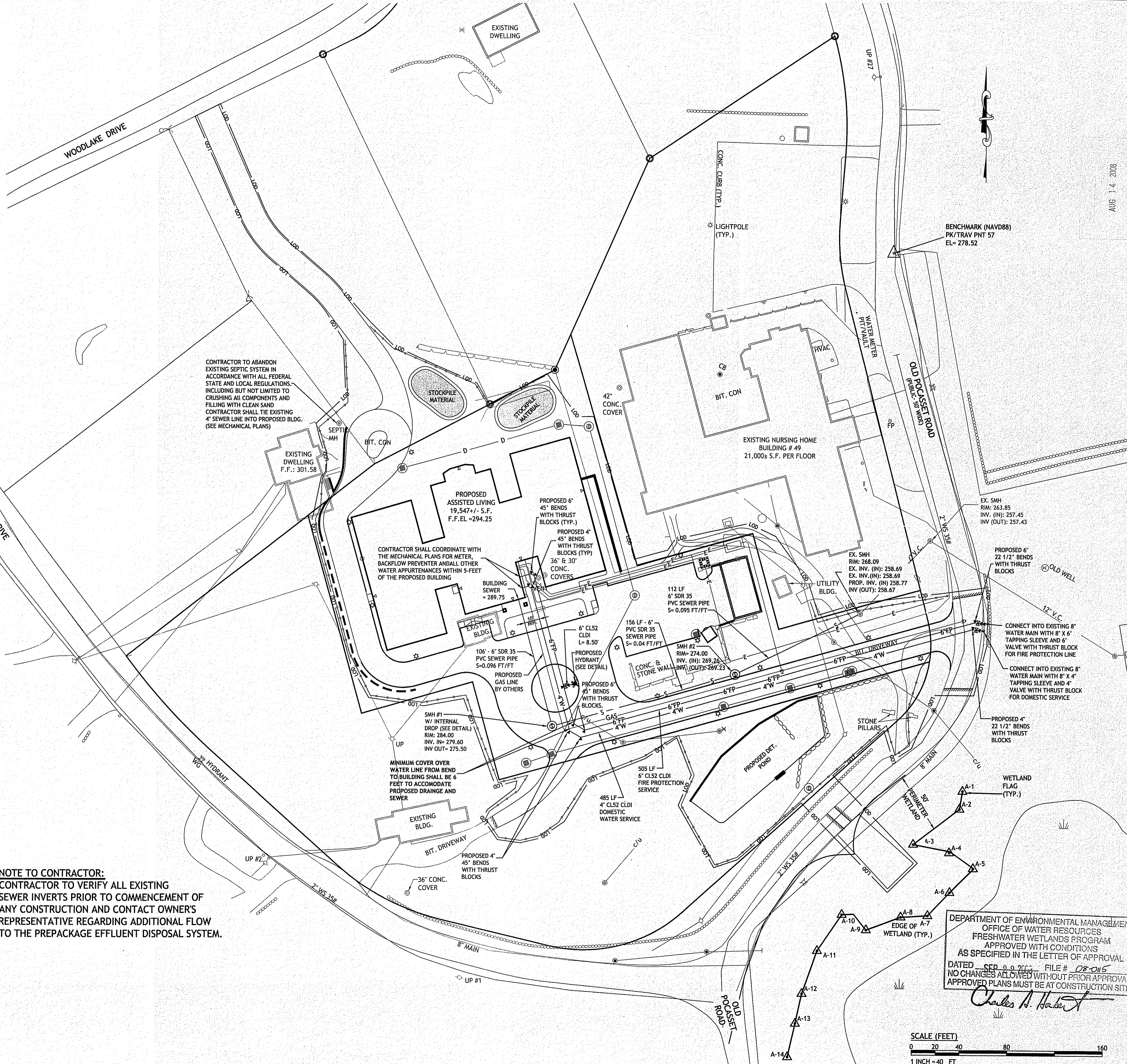
SEWER / DOMESTIC WATER CROSSING DETAIL:
NOT TO SCALE



SEWER / FIRE SERVICE CROSSING DETAIL:
NOT TO SCALE



NOTE TO CONTRACTOR:
CONTRACTOR TO VERIFY ALL EXISTING SEWER INVERTS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AND CONTACT OWNER'S REPRESENTATIVE REGARDING ADDITIONAL FLOW TO THE PREPACKAGE EFFLUENT DISPOSAL SYSTEM.



AUG 14 2008

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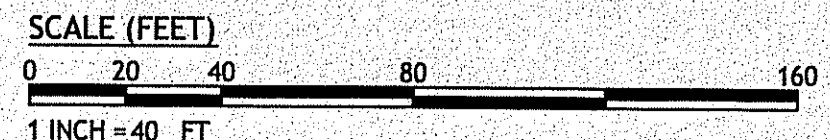
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UTILITY PLAN

SHEET 7 OF 13

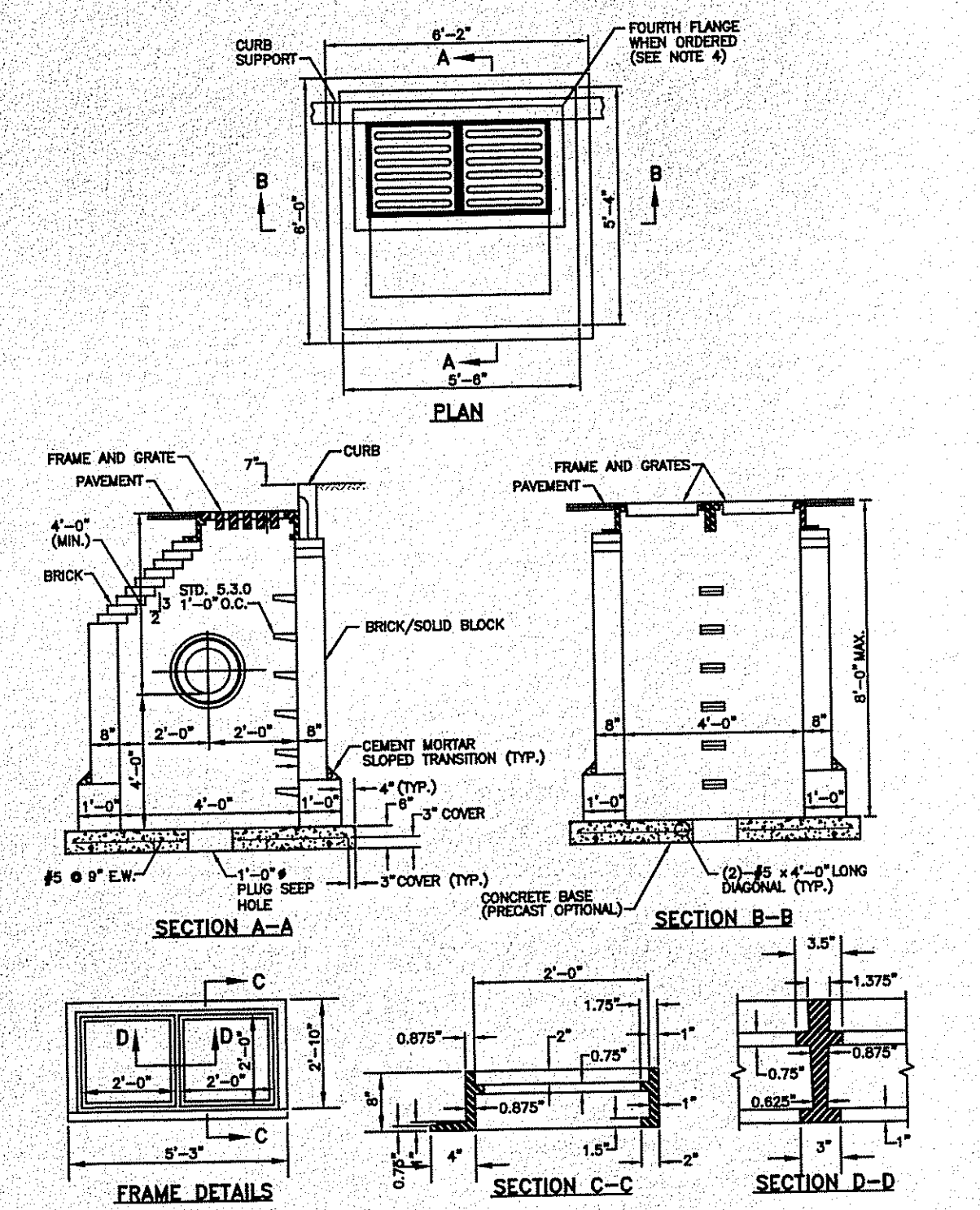
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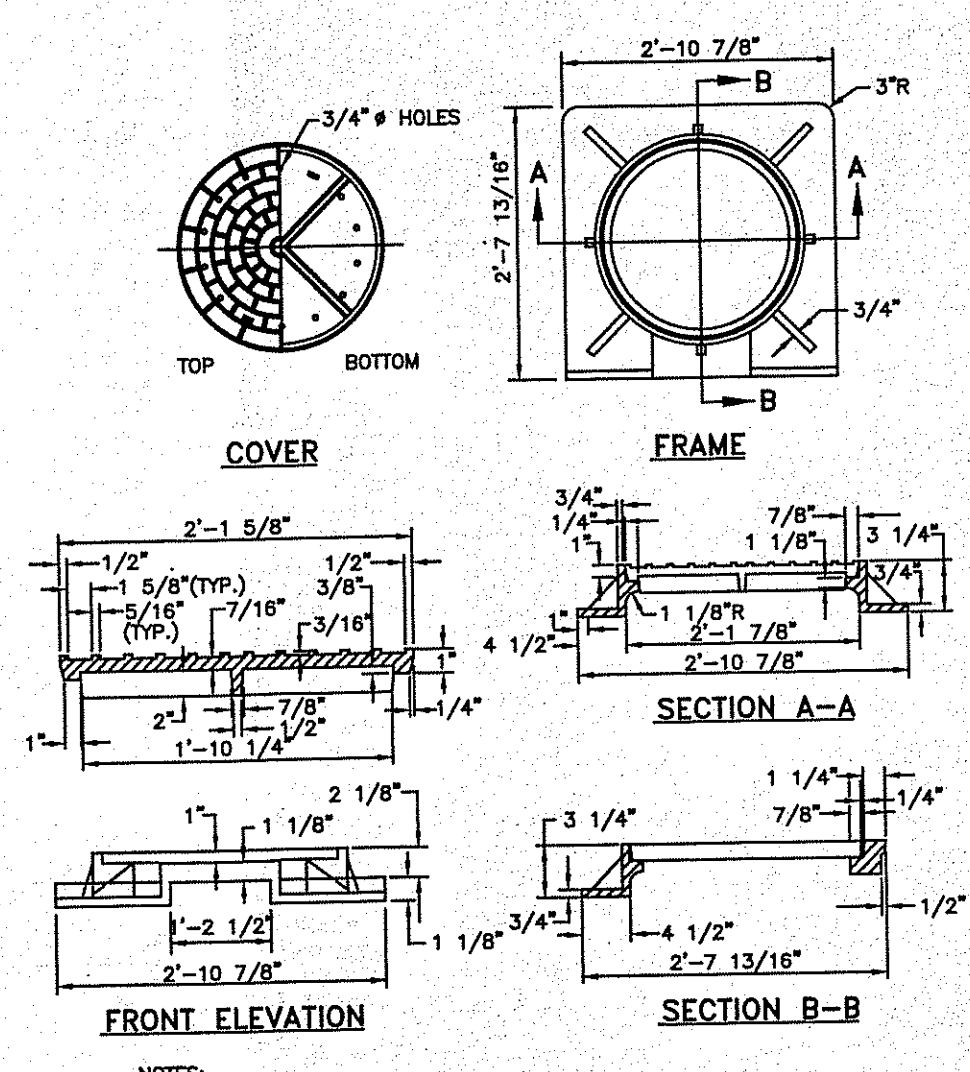
Charles A. Horvath

Q:\07-59 Briarcliffe Memorial CAD PLAN SET\01 sub BRCLIFFE CLIFF 09-13-08 100%GRADING - DETAILS.dwg, Aug. 13, 2008 12:31 pm



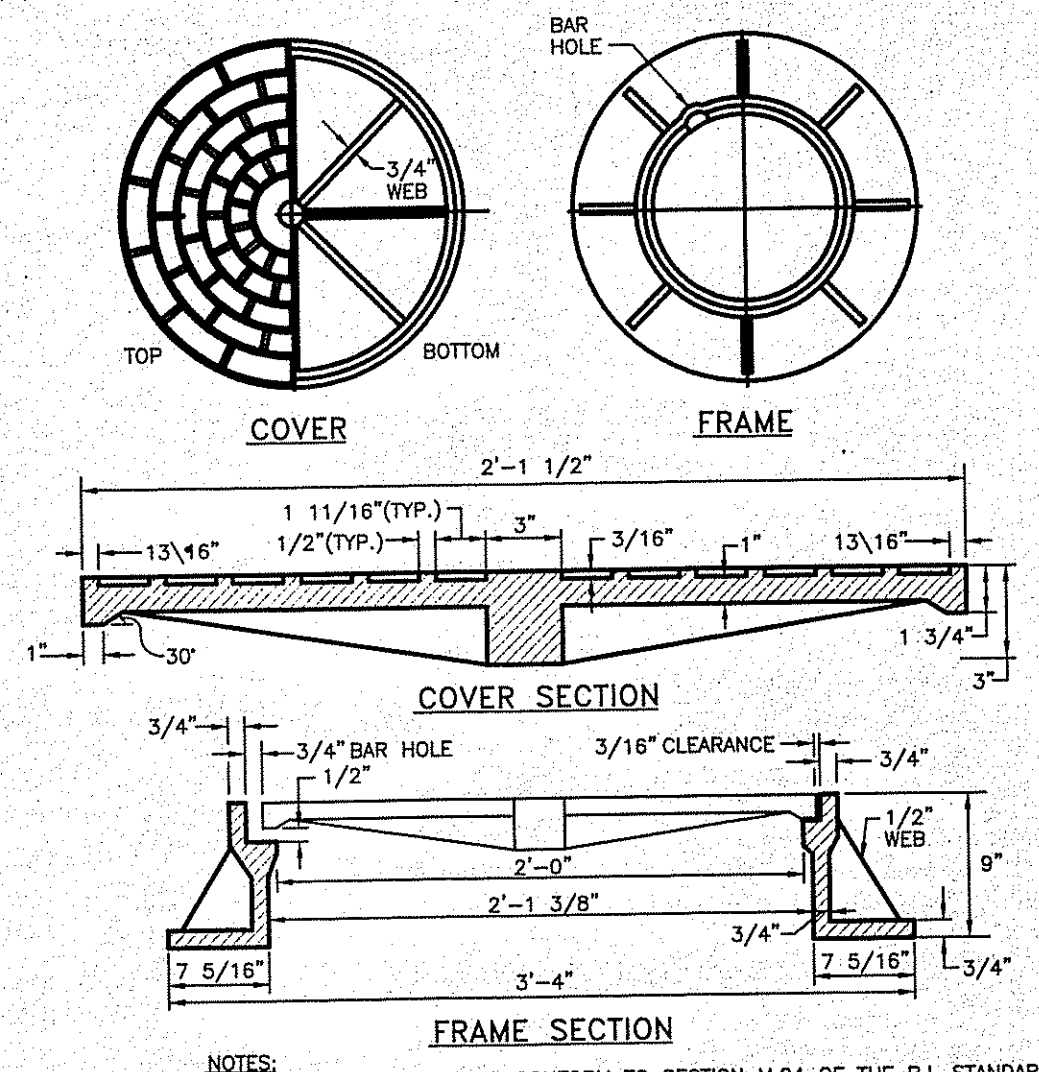
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 1/2" CEMENT MORTAR PLASTER COAT ON ALL INSIDE AND OUTSIDE SURFACES.
 3. USE 8" WALLS UP TO 6'-0" DEPTH, AND 12" WALLS UP TO 8'-0" DEPTH.
 4. TWO SINGLE FRAMES WITH THREE GRATES AND THIN GRATES MAY BE SUBSTITUTED FOR THE DOUBLE FRAME WITH THIN GRATES.

BRICK/SOLID BLOCK DOUBLE GRATE CATCH BASIN
 GRATE PARALLEL TO EDGE OF PAVEMENT
 R.I. STANDARD 3.3.4 M1



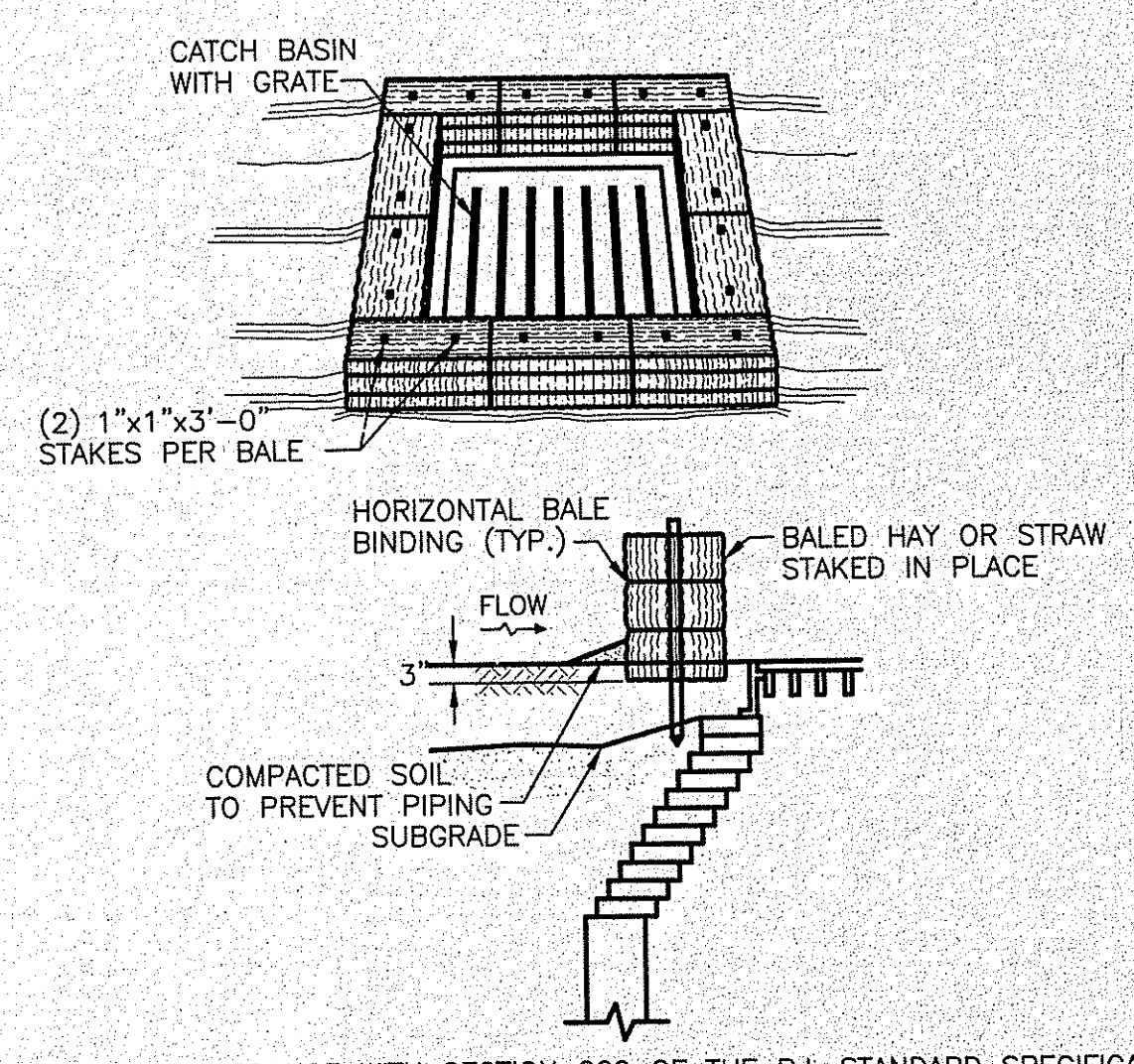
NOTES:
 1. FRAME AND COVER SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FRAME AND COVER SEATS TO BE MACHINE FINISH.

LIGHT-DUTY SQUARE FRAME AND ROUND COVER
 R.I. STANDARD 6.1.0



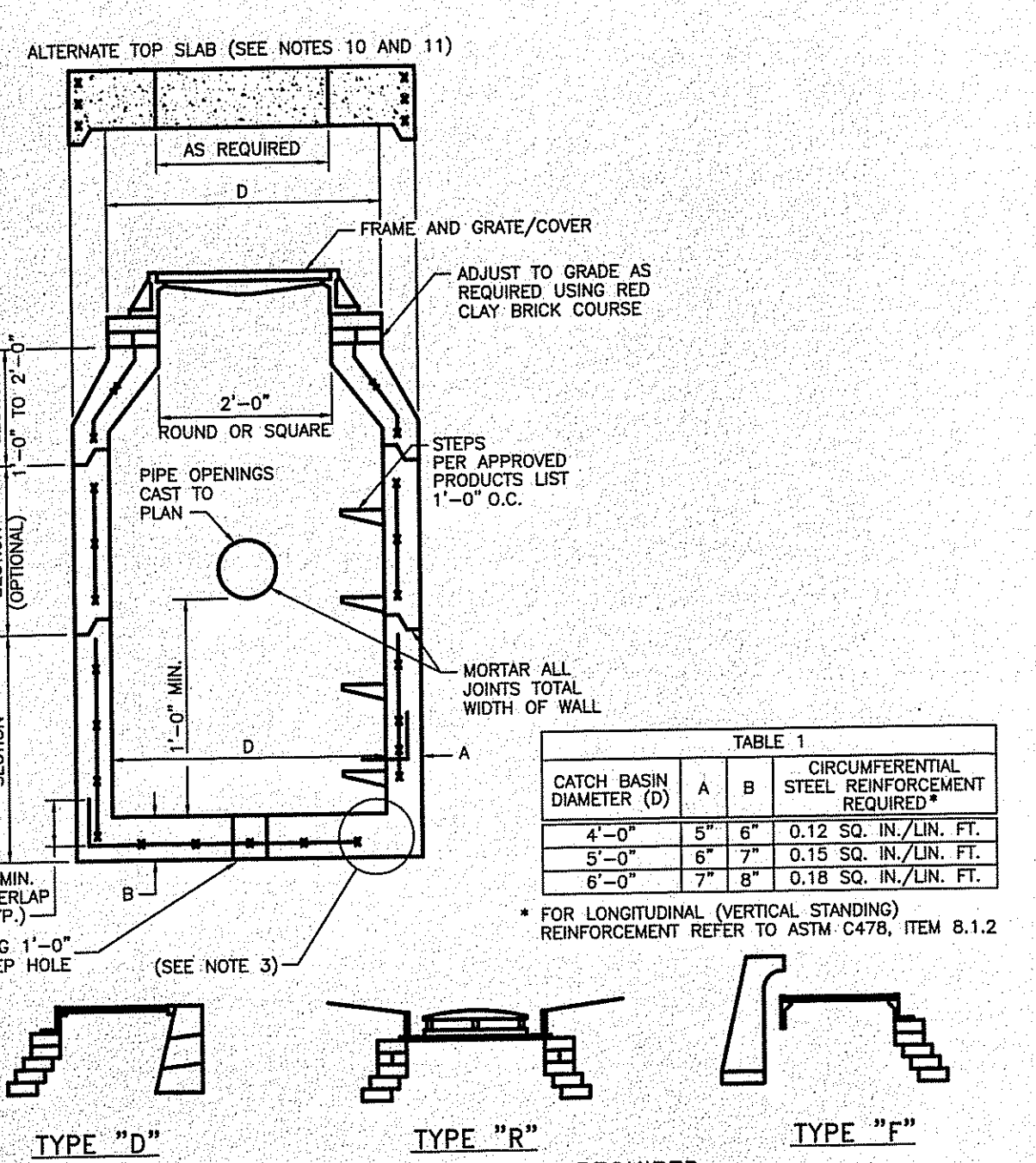
NOTES:
 1. FRAME AND GRATE SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FRAME AND COVER SEATS MUST HAVE MACHINE FINISH.

HEAVY-DUTY ROUND FRAME AND COVER
 R.I. STANDARD 6.2.1



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 209 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THIS INLET PROTECTION CAN ALSO BE USED WHEN CONSTRUCTION SEQUENCING REQUIRES A CATCH BASIN TO BE EXPOSED TO SEDIMENT FROM THE SUBGRADE. THIS WILL BE ACHIEVED BY INSTALLING THE BALED HAY AS SHOWN ON THIS DETAIL INTO THE SUBGRADE.
 3. THE PERIMETER CONFIGURATION OF THE BALED HAY WILL VARY DEPENDING ON THE PARTICULAR TYPE OF CATCH BASIN INLET BEING CONSTRUCTED. THE ENGINEER WILL PROVIDE SPECIFIC DIRECTION IN SUCH CASES.

BALED HAY CATCH BASIN INLET PROTECTION
 R.I. STANDARD 9.8.0

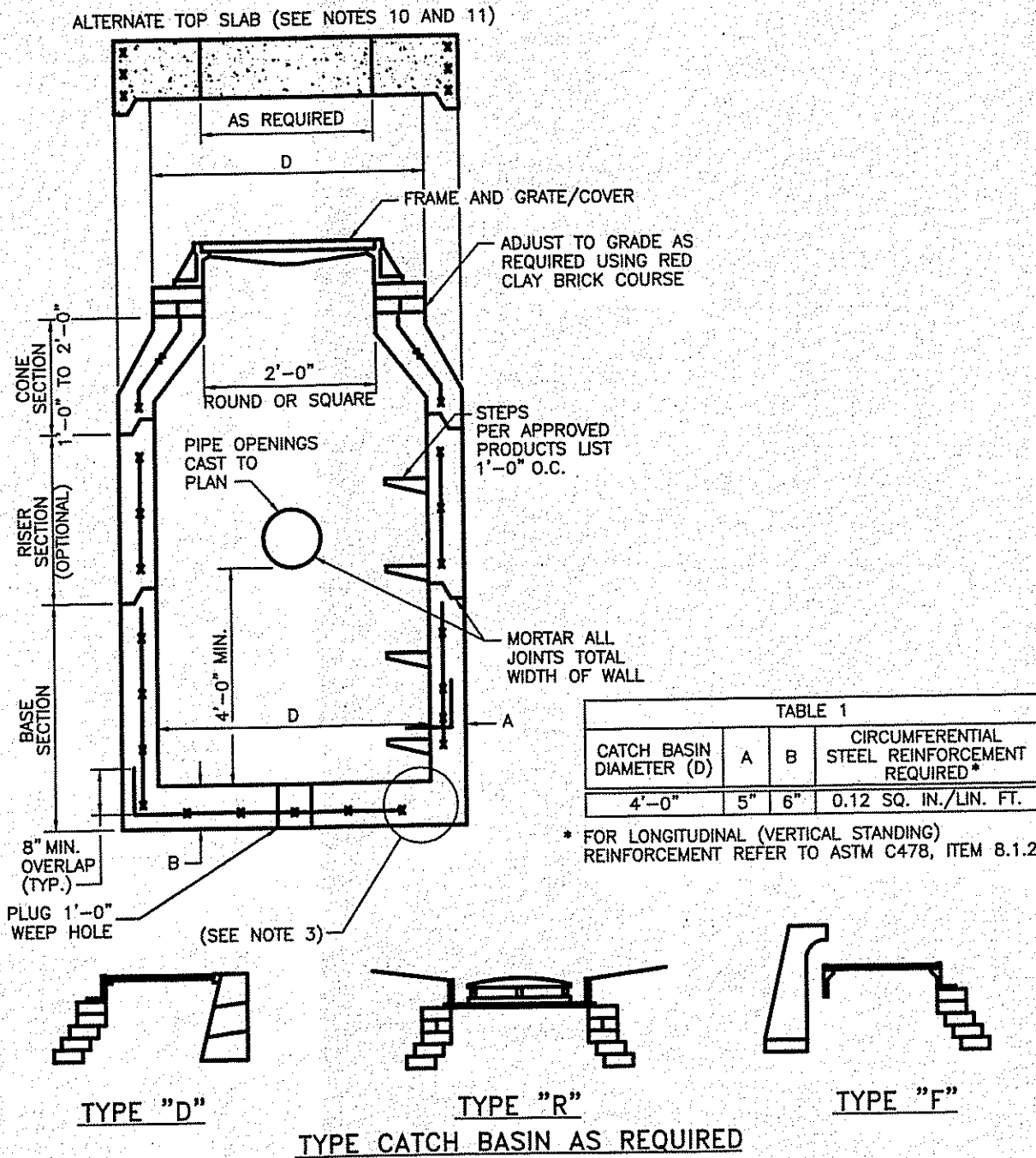


CATCH BASIN DIAMETER (D)	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*	
	A	B
4'-0"	5" 6"	0.12 SQ. IN./LIN. FT.
5'-0"	6" 7"	0.15 SQ. IN./LIN. FT.
6'-0"	7" 8"	0.18 SQ. IN./LIN. FT.

* FOR LONGITUDINAL (VERTICAL) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 5. ONE POUR MONOLITHIC BASE SECTION.
 6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS OR CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 7. CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 8. FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 9. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 10. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 11. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 12. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST 4'-0" ROUND CATCH BASIN
 R.I. STANDARD 4.4.0 M2

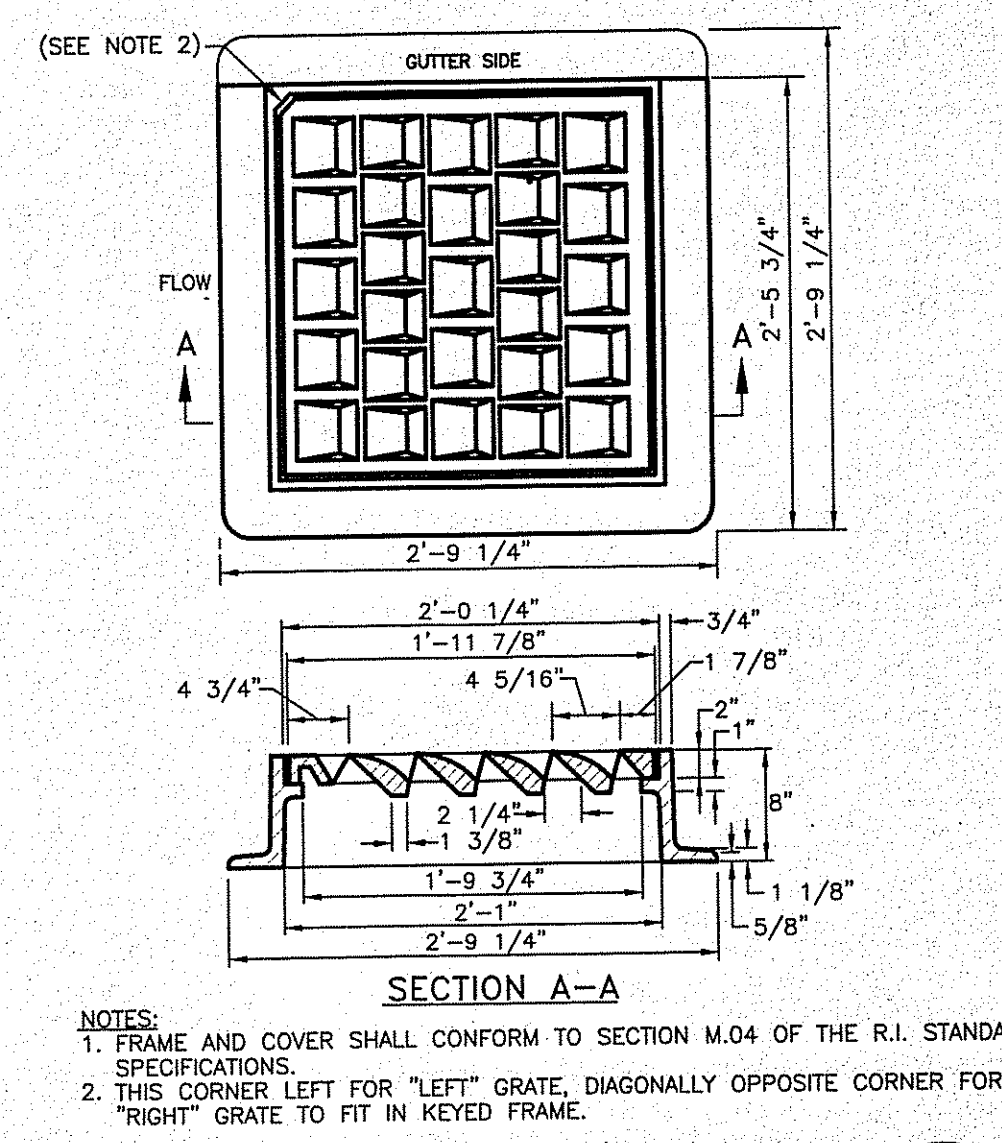


CATCH BASIN DIAMETER (D)	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*	
	A	B
4'-0"	5" 6"	0.12 SQ. IN./LIN. FT.
5'-0"	6" 7"	0.15 SQ. IN./LIN. FT.
6'-0"	7" 8"	0.18 SQ. IN./LIN. FT.

* FOR LONGITUDINAL (VERTICAL) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

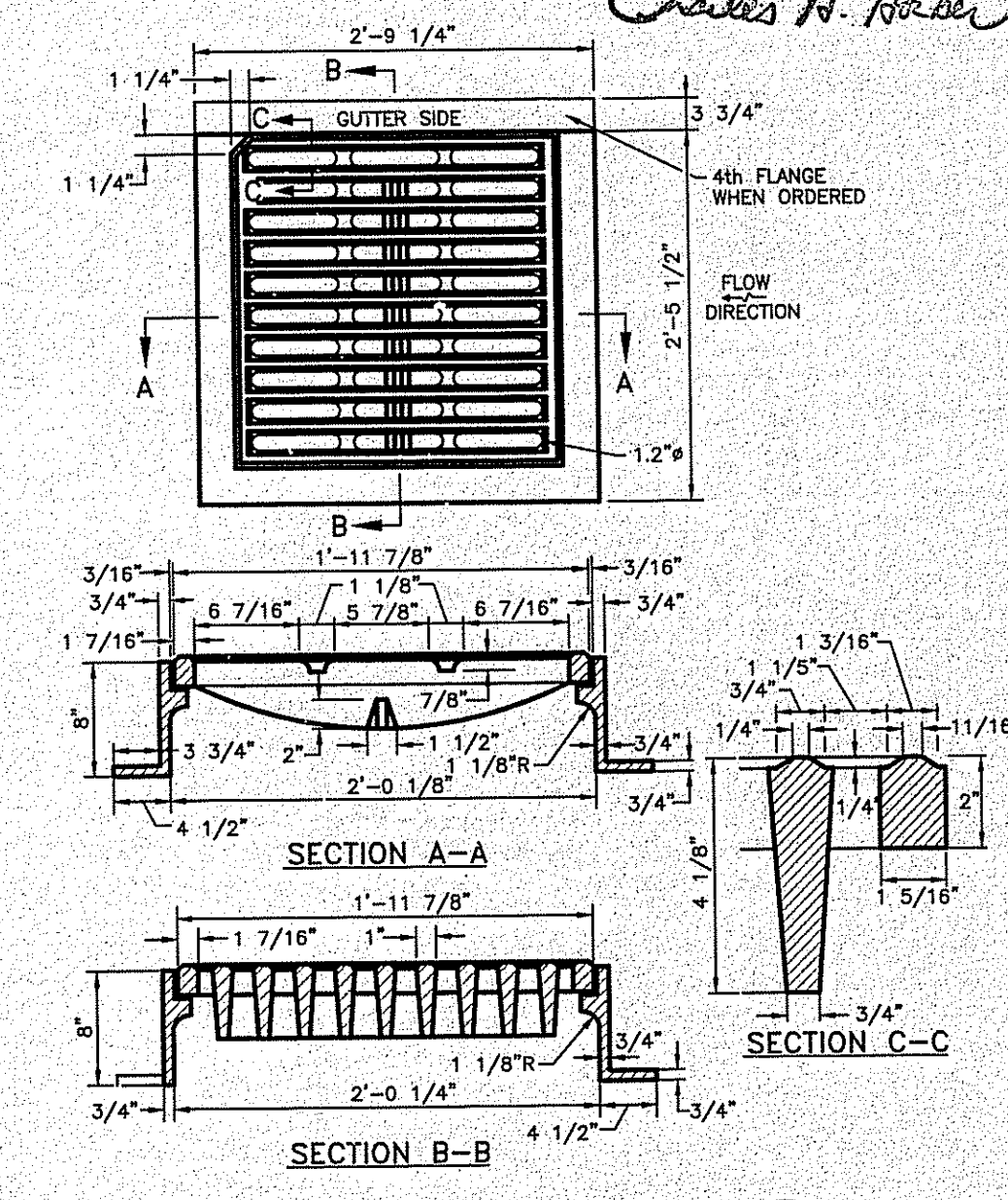
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 5. ONE POUR MONOLITHIC BASE SECTION.
 6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS OR CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 7. CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 8. FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 9. THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 10. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 11. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 12. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST 4'-0" ROUND CATCH BASIN
 R.I. STANDARD 4.4.0 M1



NOTES:
 1. FRAME AND COVER SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THIS CORNER LEFT FOR "LEFT" GRATE, DIAGONALLY OPPOSITE CORNER FOR "RIGHT" GRATE TO FIT IN KEYS IN FRAME.

HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE)
 R.I. STANDARD 6.3.4



SQUARE FRAME AND GRATE (BICYCLE SAFE)
 R.I. STANDARD 6.3.2

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED SEP 22 2008 FILE # 08-0115
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Herbert

REVISIONS:

NO.	DATE	DESCRIPTION
1.	3-14-08	REVISIONS
2.	6-18-08	TOWN COMMENTS
3.	7-24-08	RIDEM
RESUBMISSION & REVISIONS		
4.	7-25-08	TOWN COMMENTS

DESIGNED BY: JDC/PJB
 DRAWN BY: DCZ
 CHECKED BY: DMD
 DATE: FEB 5, 2008
 PROJECT NO: 07-59

PRELIMINARY, NOT FOR CONSTRUCTION

DETAILS I

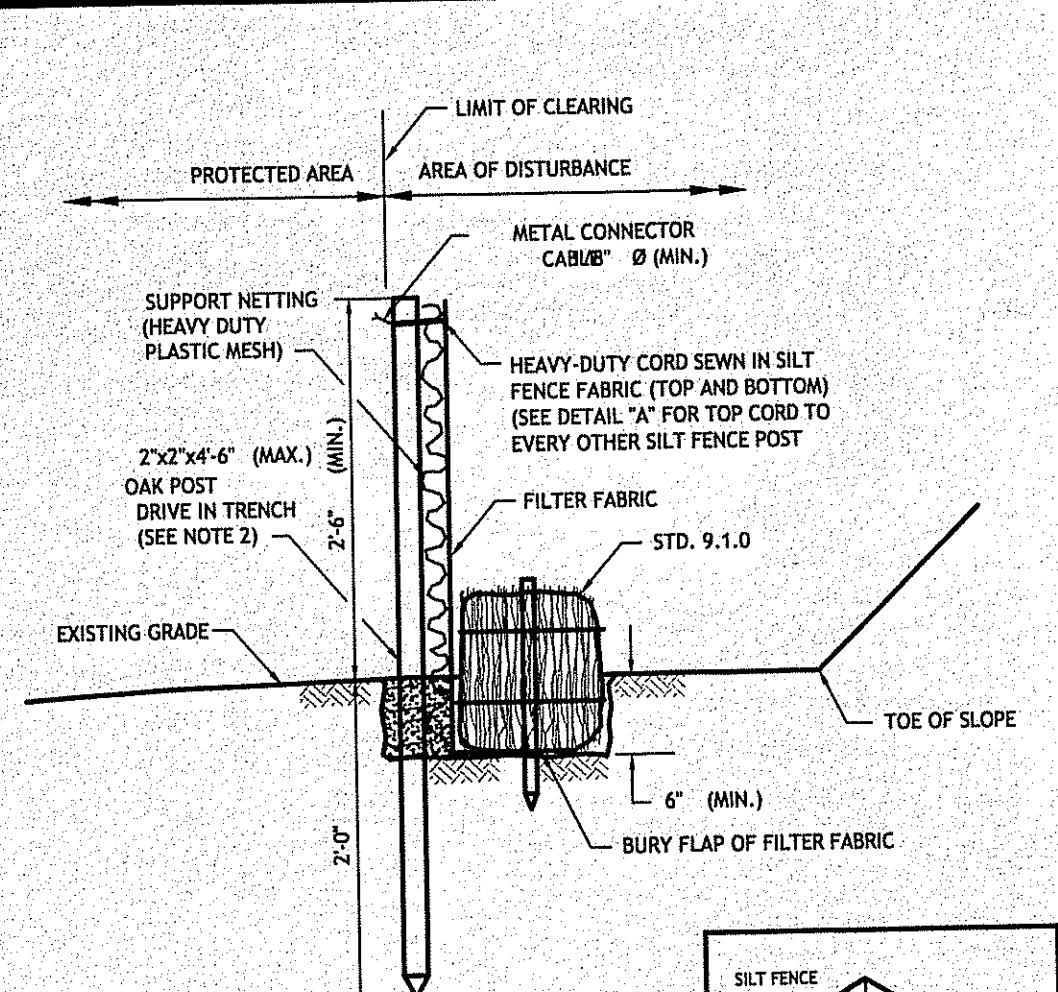
SHEET 8 OF 13

CDE
 CASALI & DAMICO ENGINEERING, INC.
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION
 DRAINAGE - I&DS - TRAFFIC - FLOODPLAIN
 300 POST ROAD, WARWICK, RI 02886
 (401) 848-1000 (FAX) 401-848-1000

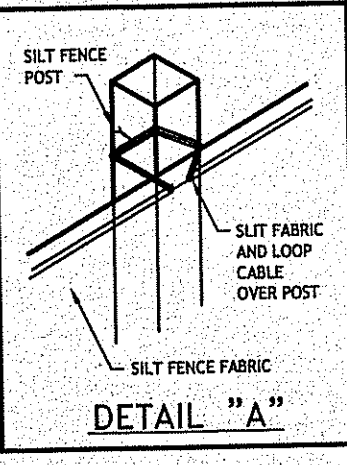
JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 8.15.08

BRIARCLIFFE GARDENS
 49 OLD POCASSET ROAD
 JOHNSTON, RHODE ISLAND
 AP 43/1 LOTS 224, 229, 236 AND 343

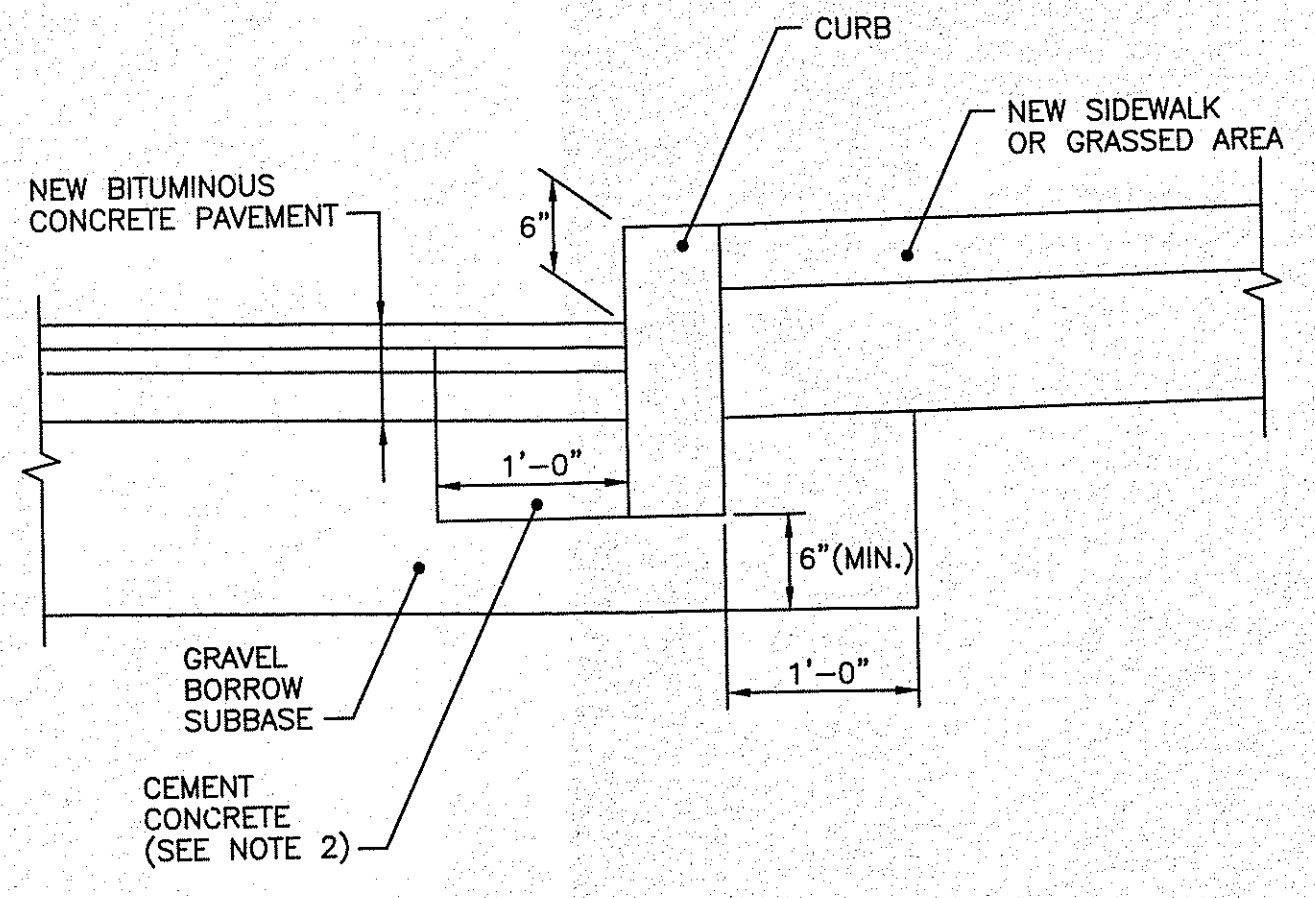
AUG 14 2008



- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. STD. 9.1.0 IS INSTALLED "TIGHT" AGAINST SILT FENCE. THOROUGHLY COMPACT EXCAVATED SOILS BACK INTO TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICE. SILT FENCE FABRIC SHALL NOT BE SLIT. STD. 9.1.0 POST SHALL BE DRIVEN THROUGH SILT FENCE FABRIC. 2"x2"x4'-6" (MAX.) OAK POST FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE AND BALED HAY SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

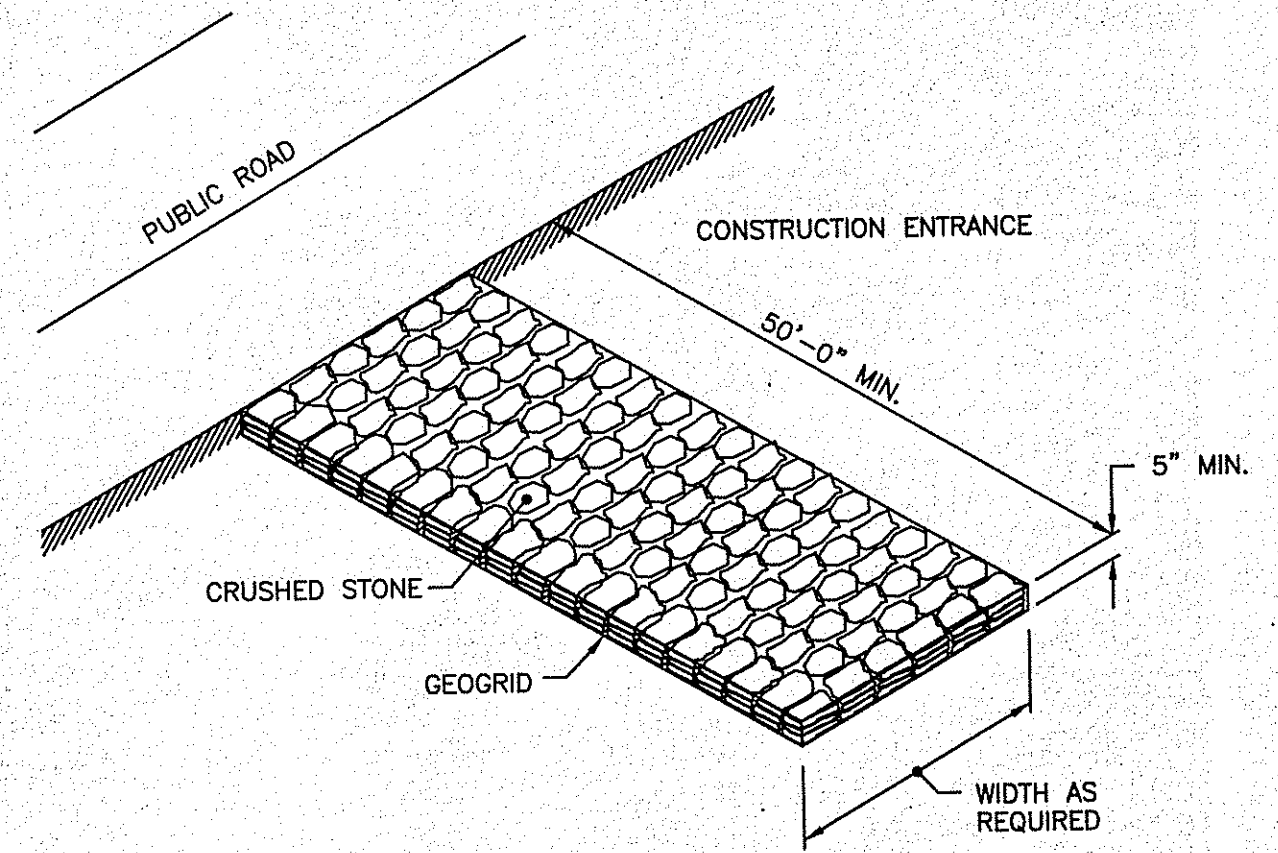


BALED HAY EROSION CHECK AND SILT FENCE COMBINED
R.I. STANDARD 9.3.0



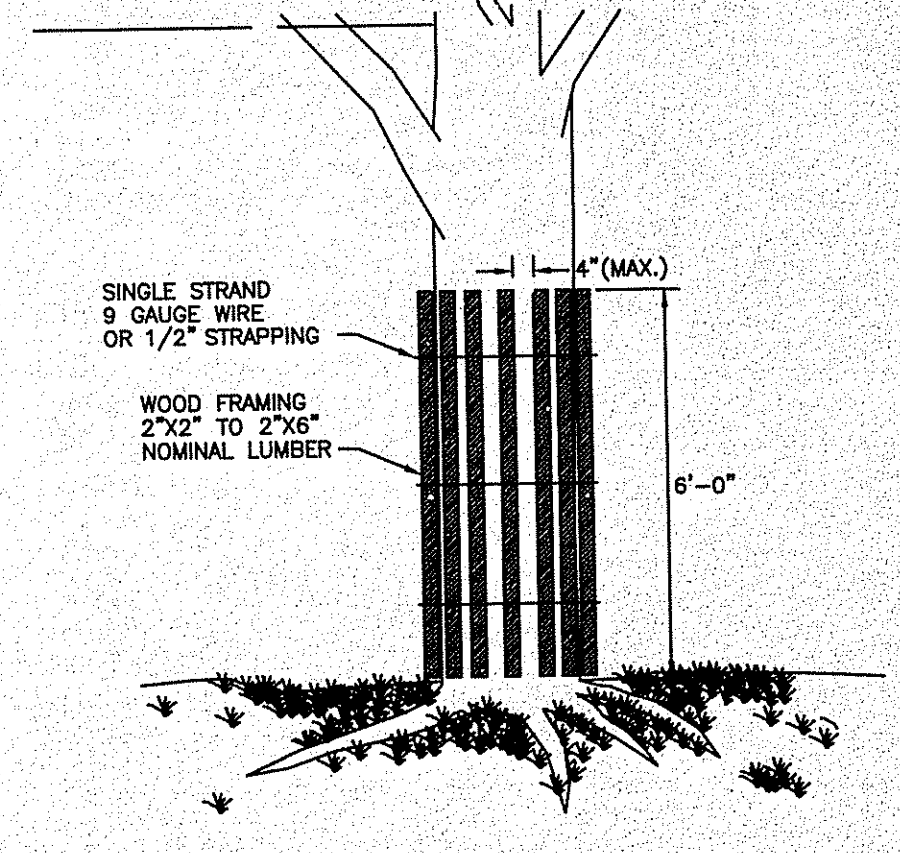
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

CURB SETTING DETAIL
R.I. STANDARD 7.6.0



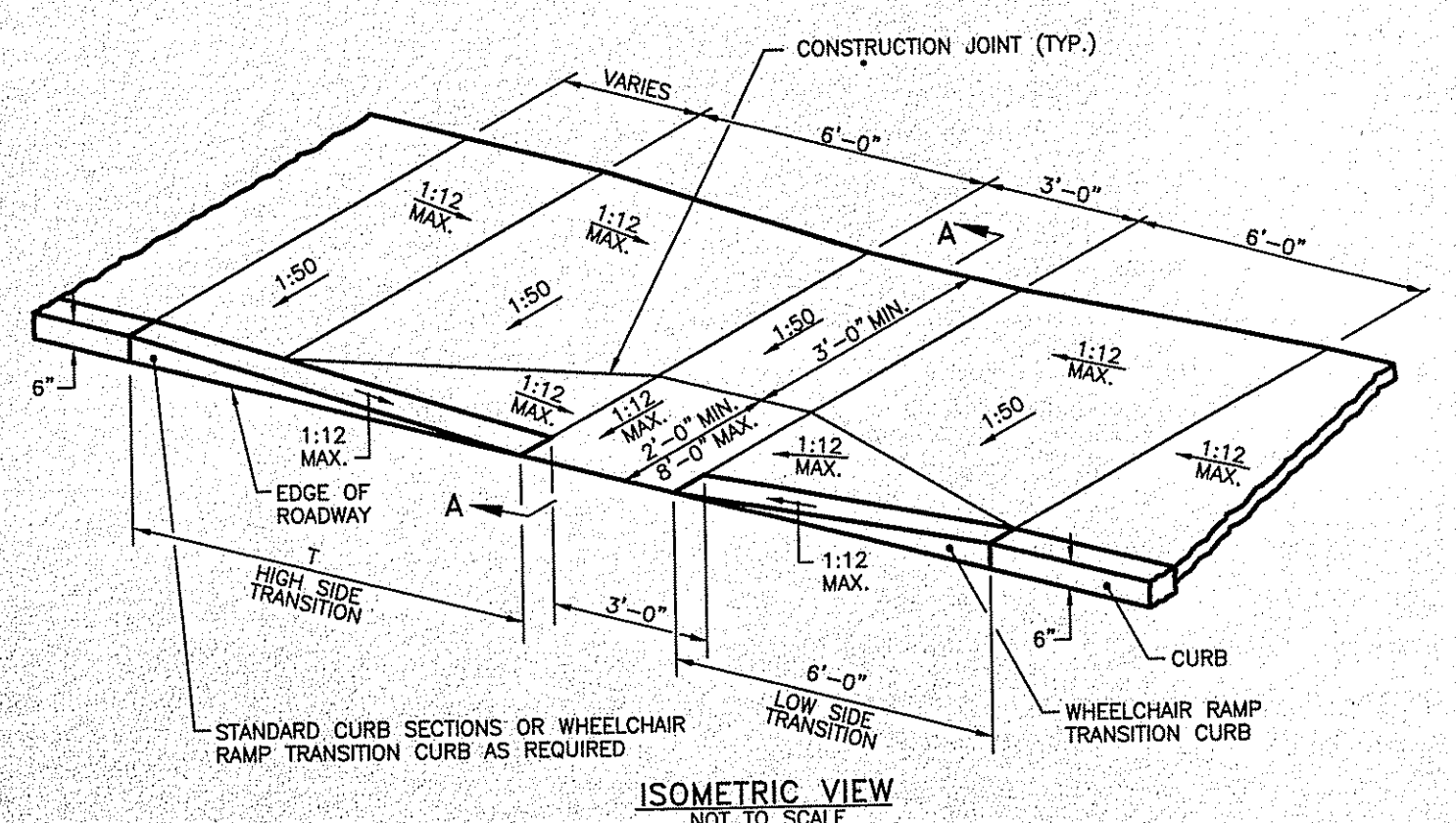
- NOTE:** SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

CONSTRUCTION ACCESS
R.I. STANDARD 9.9.0

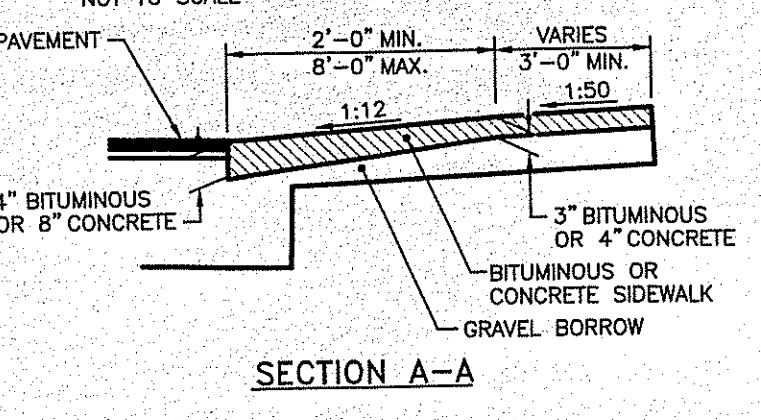


- NOTE:** SHALL BE IN ACCORDANCE WITH SECTION L11 OF THE STANDARD SPECIFICATIONS.

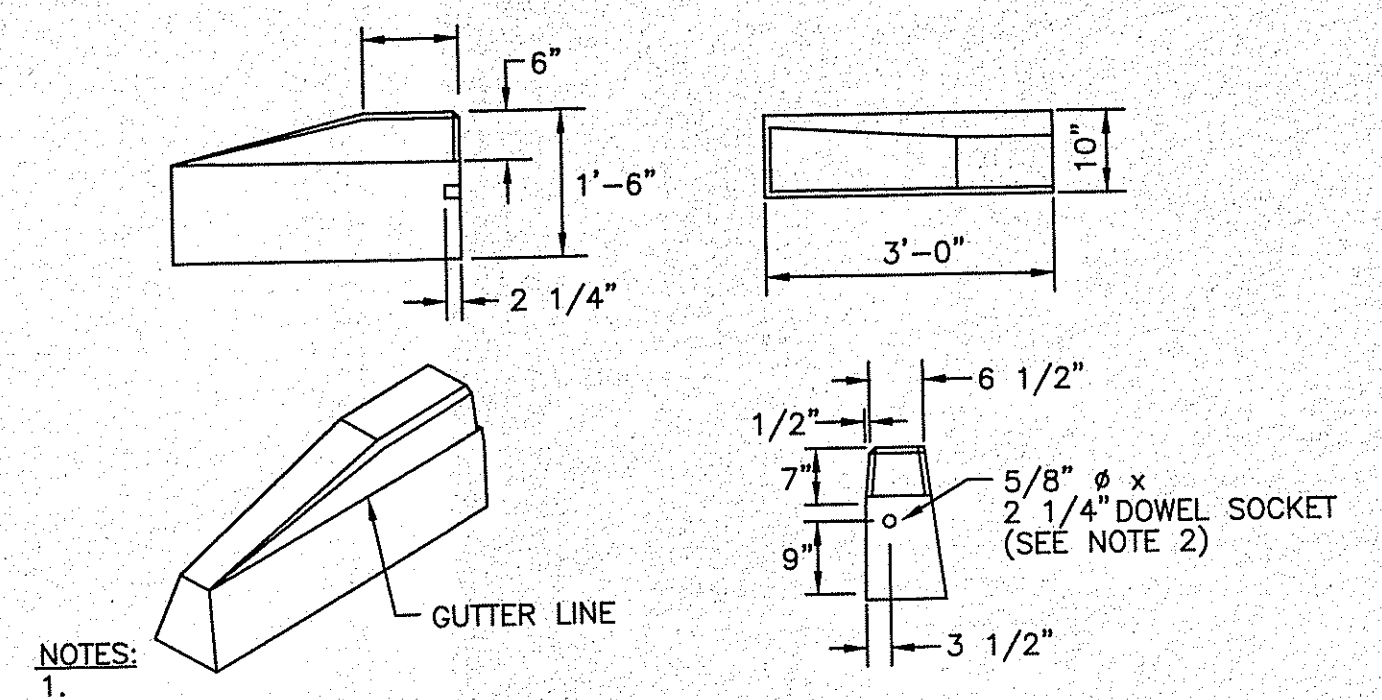
TREE PROTECTION DEVICE
R.I. STANDARD 51.1.0



ROADWAY PROFILE GRADE	T (FT.)
0.00	6.0
0.01	7.0
0.02	8.0
0.03	9.5
0.04	11.5
0.05	15.0

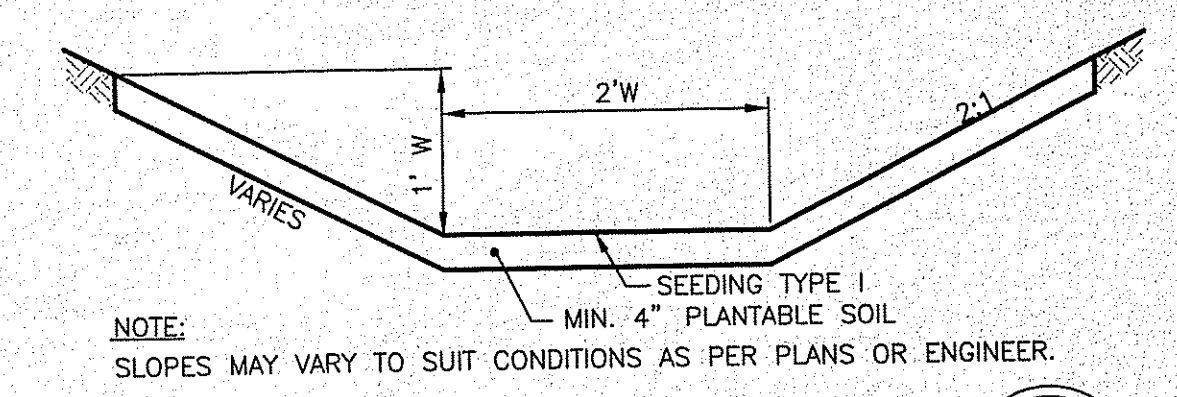


SECTION A-A



- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

3'-0" PRECAST CONCRETE TRANSITION CURB
R.I. STANDARD 7.1.1



- NOTE:** SLOPES MAY VARY TO SUIT CONDITIONS AS PER PLANS OR ENGINEER.

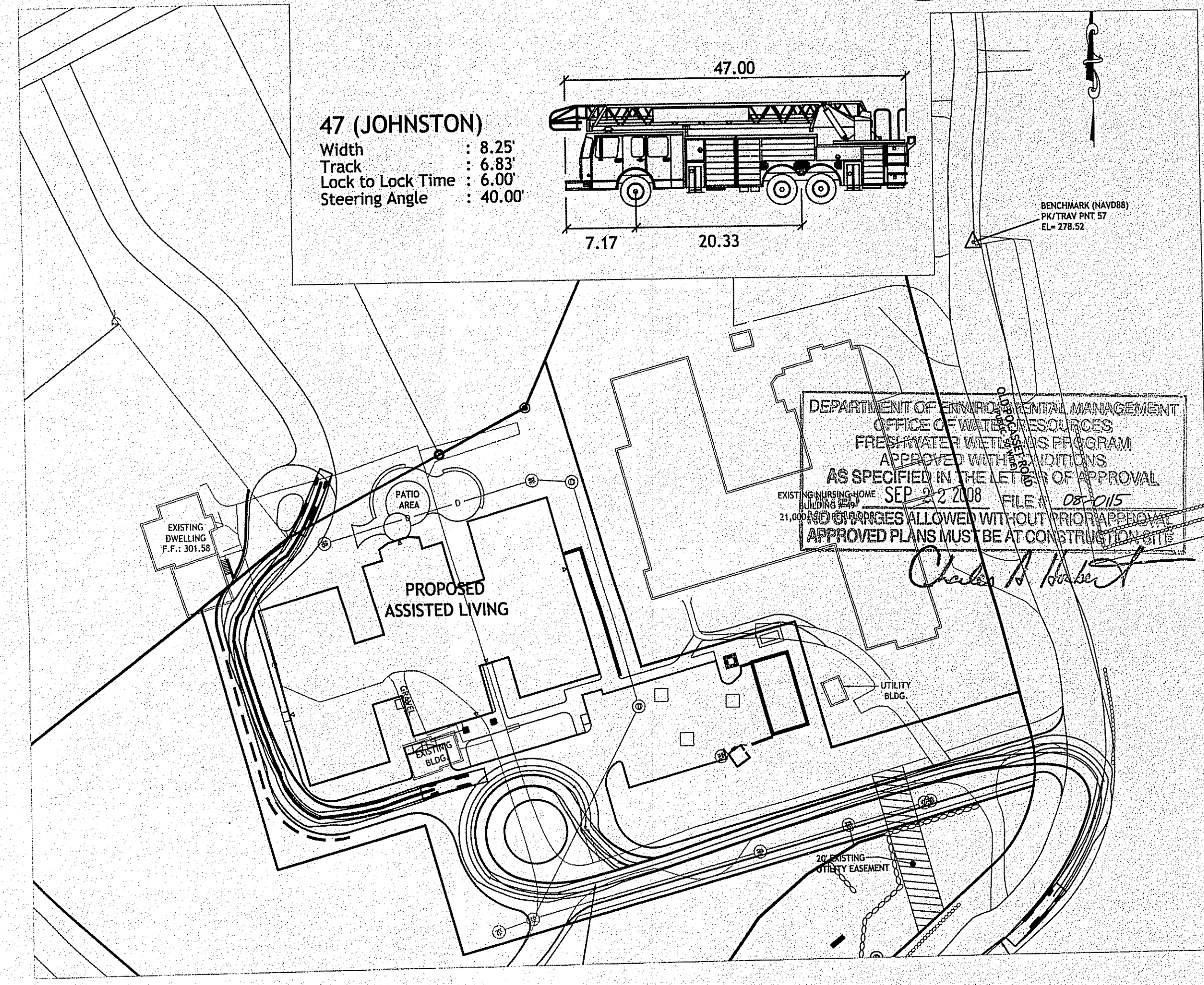
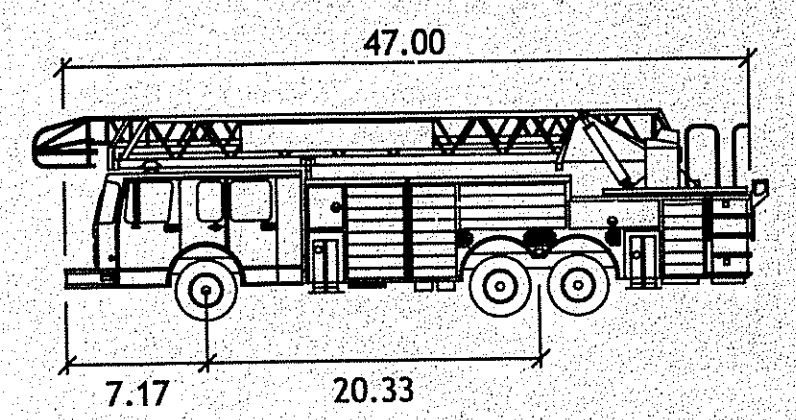
SEEDING DITCH
R.I. STANDARD 8.1.0

SIGN NUMBER		R1-1	
LEGEND		STOP	
COLOR	BACKGROUND	RED	
	COPY	WHITE	
SIGN WIDTH	24" 30" 36" 48"		
SIGN HEIGHT	24" 30" 36" 48"		

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 1.15 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DENOTES TYPE III GRADE SHEETING.
 3. REGULATORY SIGNS SHALL BE MOUNTED IN ACCORDANCE WITH STD. 24.1.0, 24.2.0 OR 24.6.0.
 4. THICKNESS OF ALUMINUM SIGN PLATES: LESS THAN 10 SQ. FT. - 0.081 IN. 10 SQ. FT. TO 36 SQ. FT. - 0.102 IN. GREATER THAN 36 SQ. FT. - 0.125 IN.
 5. FOR ADDITIONAL SIGNS SEE THE MUTCD.

REGULATORY SIGNS
R.I. STANDARD 27.1.0

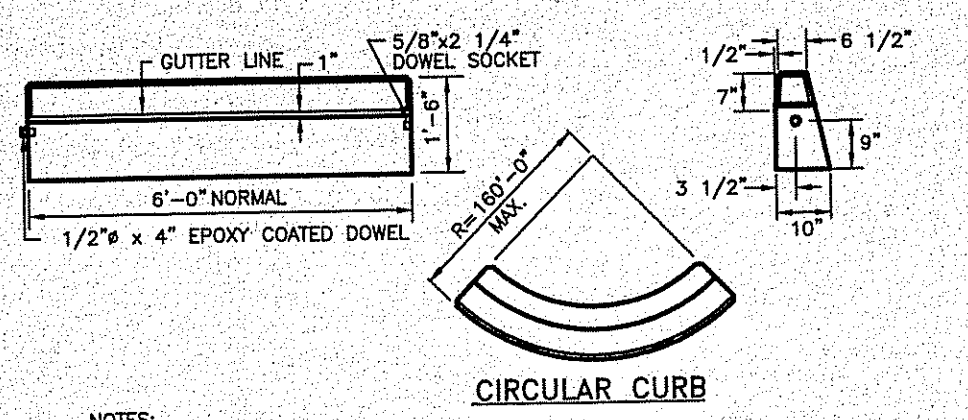
47 (JOHNSTON)
Width : 8.25'
Track : 6.83'
Lock to Lock Time : 6.00'
Steering Angle : 40.00'



JOHNSTON FIRE TRUCK ACCESS/EGRESS
COMPUTATIONS COMPLETED BY AUTOTRN
SCALE 1"=60'

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
 3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
 7. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3'-0" SHALL BE MAINTAINED.
 8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS) MUST NOT EXCEED 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
 9. WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
 10. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
 11. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 12. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
 13. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 14. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.

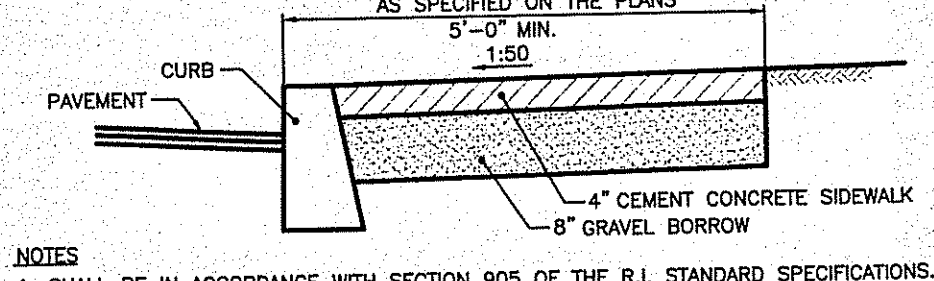
WHEELCHAIR RAMP
R.I. STANDARD 43.3.0



CIRCULAR CURB

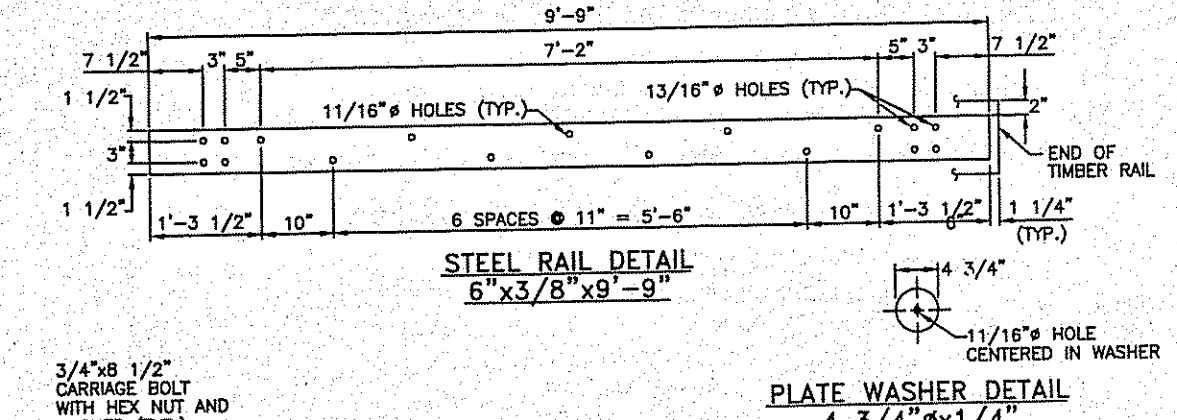
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

PRECAST CONCRETE CURB
R.I. STANDARD 7.1.0

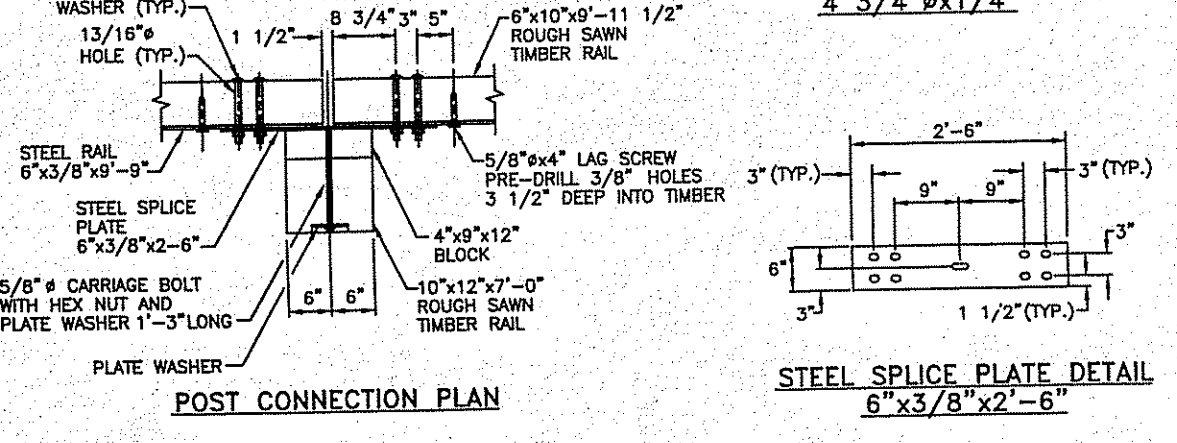


- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL, REFERENCE STD. 7.6.0.

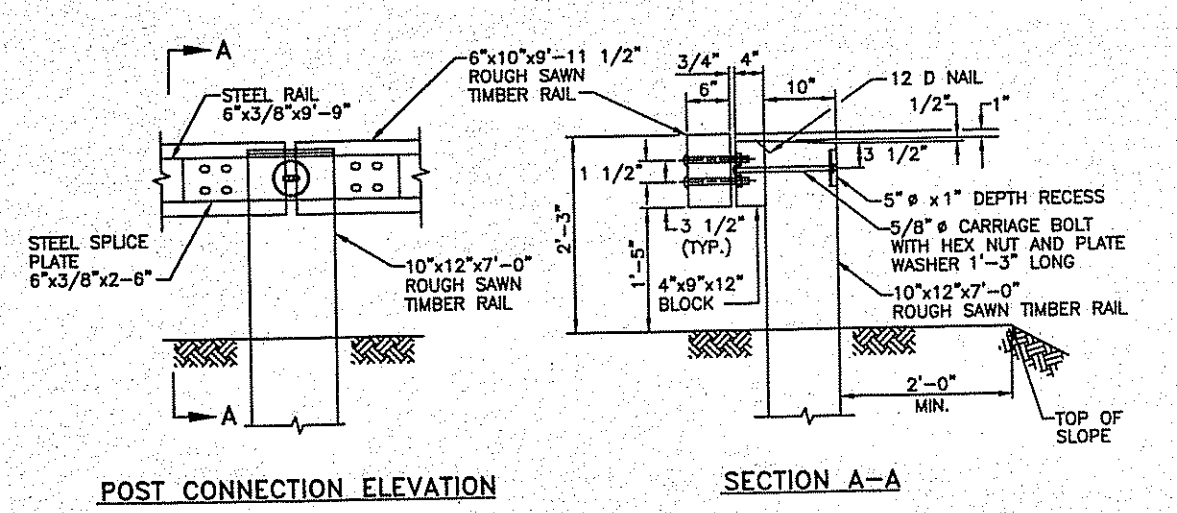
CEMENT CONCRETE SIDEWALK
R.I. STANDARD 43.1.0



STEEL RAIL DETAIL
6" x 3/8" x 9"



POST CONNECTION PLAN



POST CONNECTION ELEVATION

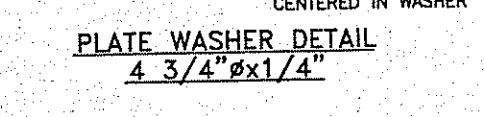
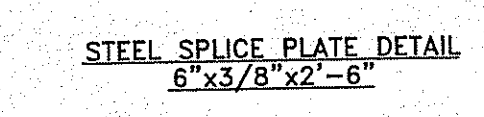


PLATE WASHER DETAIL
4 3/4" x 8 1/4"



STEEL SPLICE PLATE DETAIL
6" x 3/8" x 2'-6"

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 900 OF THE R.I. STANDARD SPECIFICATIONS.
 2. ALL STRUCTURAL STEEL AND FASTENER HARDWARE SHALL BE WEATHERING STEEL AS SPECIFIED.

STEEL BACKED TIMBER GUARDRAIL
R.I. STANDARD 34.4.0

CDE
CASALI & D'AMICO ENGINEERING, INC.
CORPORATE OFFICE: 300 POST ROAD, WARWICK, RI 02888
DRIVEWAY: WETLANDS: 1825 S. TRAFFIC, F. COOPER LANE
(401) 944-1300 (401) 944-1310 Fax www.casalieng.com

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL
R.I. 0000

BRIARCLIFFE GARDENS
49 OLD POCASSET ROAD
JOHNSTON, RHODE ISLAND
AP 43/1 LOTS 224, 229, 236 AND 343

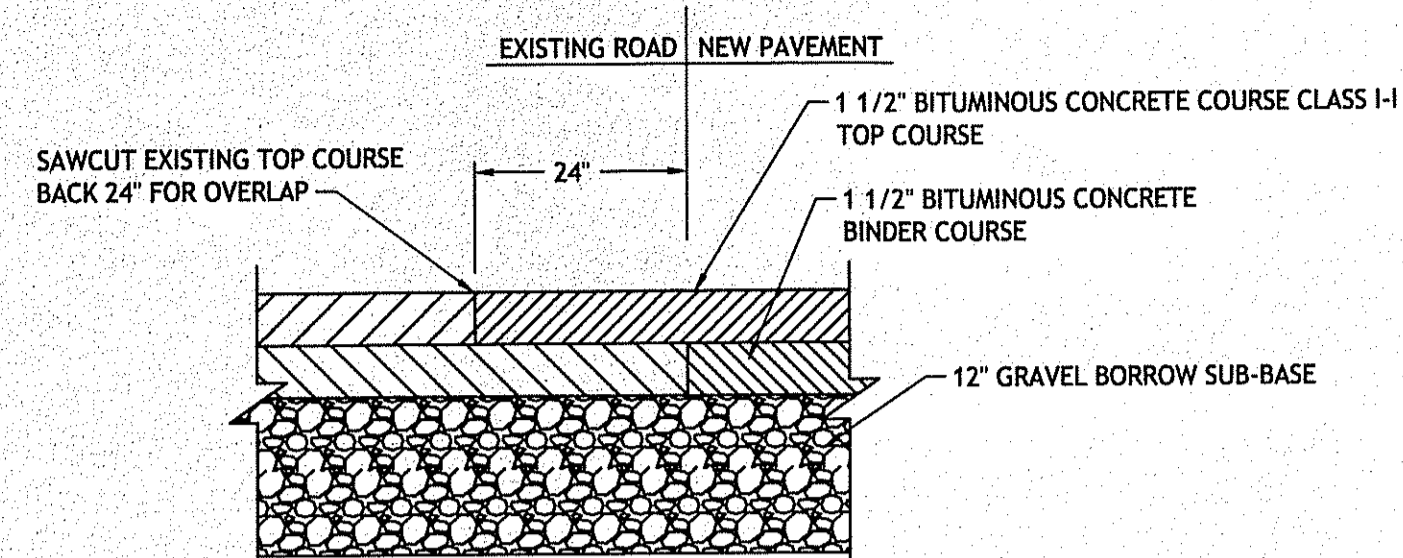
REVISIONS:

NO.	DATE	DESCRIPTION
1	3-14-08	REVISIONS
2	6-18-08	TOWN COMMENTS
3	7-24-08	RIDEM
RESUBMISSION & REVISIONS		
4	7-25-08	TOWN COMMENTS

DESIGNED BY: JDC / PJB
DRAWN BY: DCZ
CHECKED BY: DMD
DATE: FEB 5, 2008
PROJECT NO: 07-59

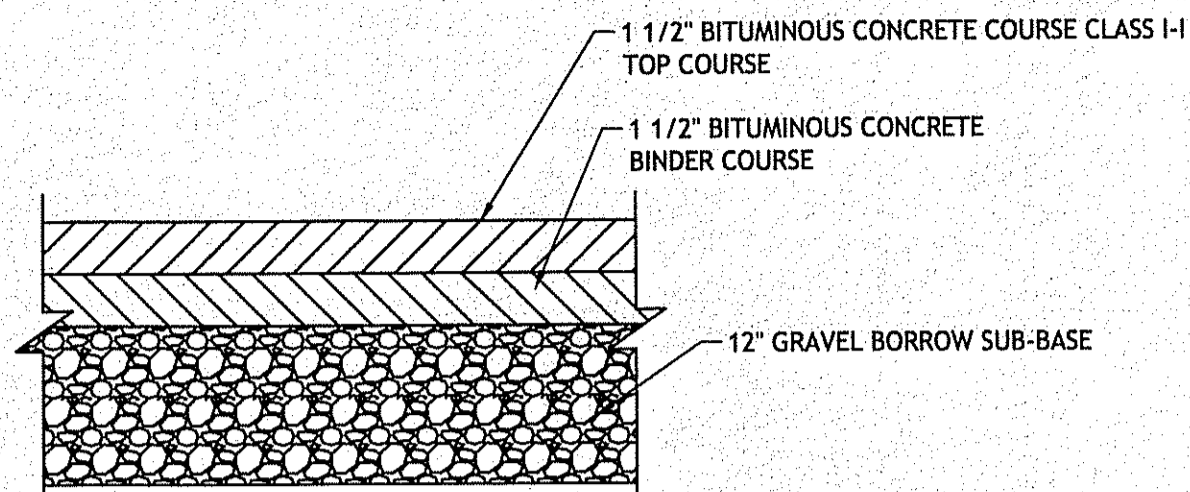
PRELIMINARY, NOT FOR CONSTRUCTION

DETAILS II
SHEET 9 OF 13



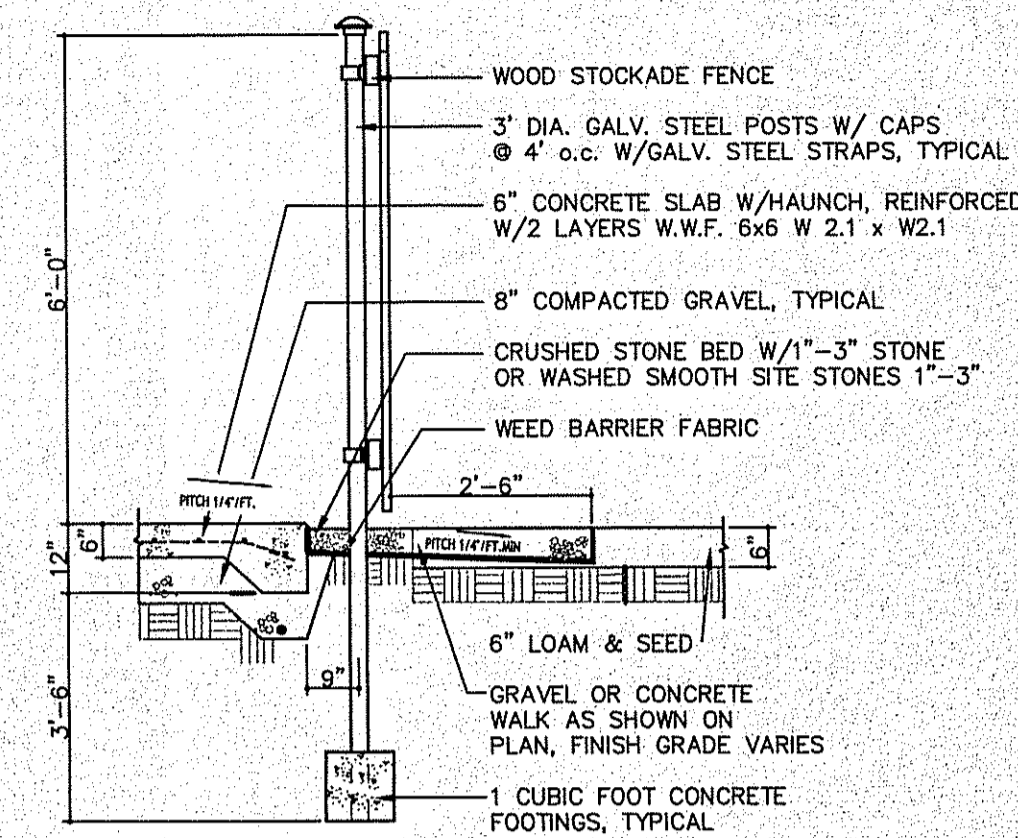
NOTE:
PROVIDE BITUMINOUS TACK COAT AT ALL SAWCUTS.

PAVEMENT CUT & MATCH
NOT TO SCALE

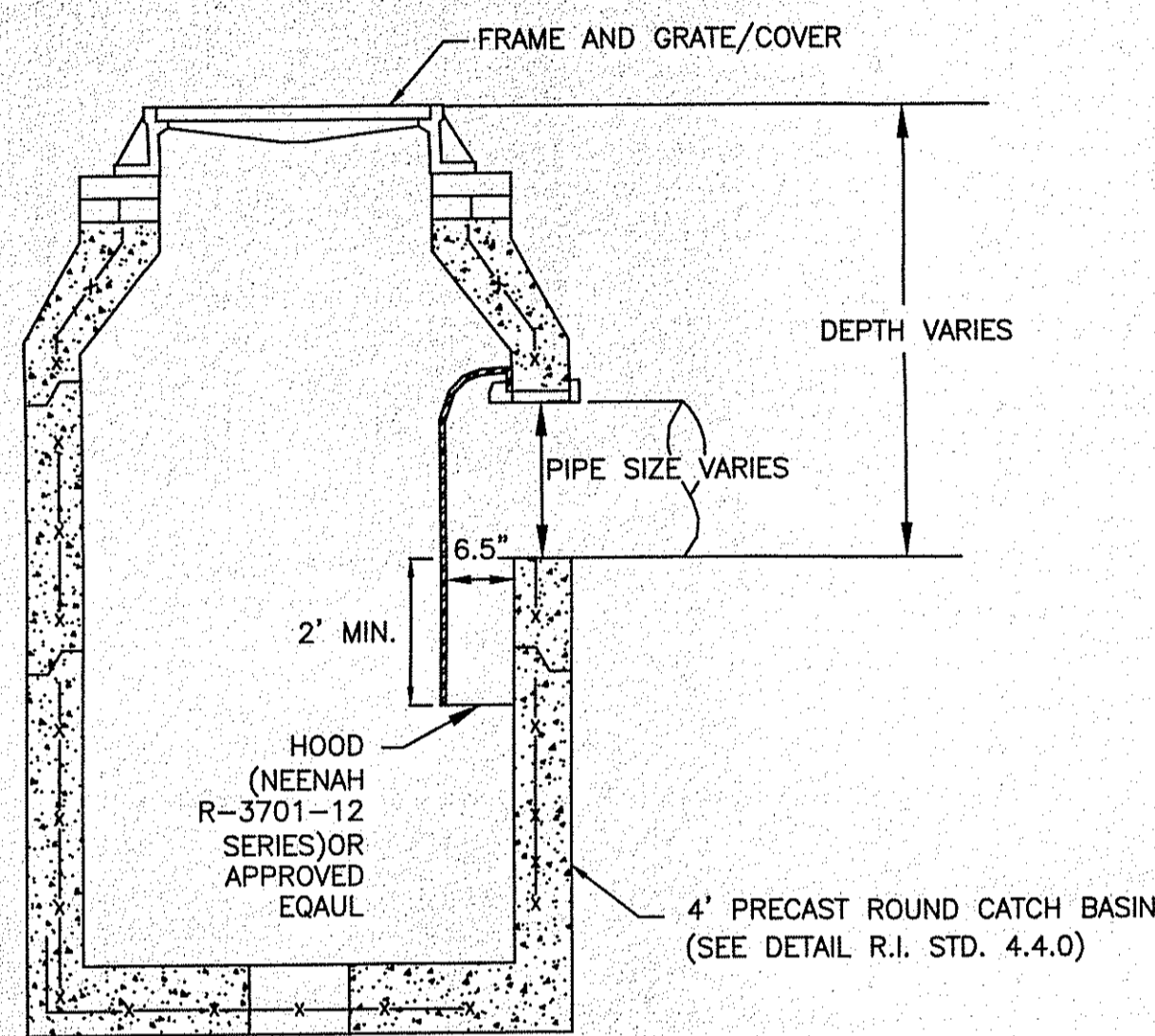


NOTE:
PROVIDE BITUMINOUS TACK COAT AT ALL SAWCUTS.

PARKING AND DRIVEWAY PAVEMENT DETAIL
NOT TO SCALE

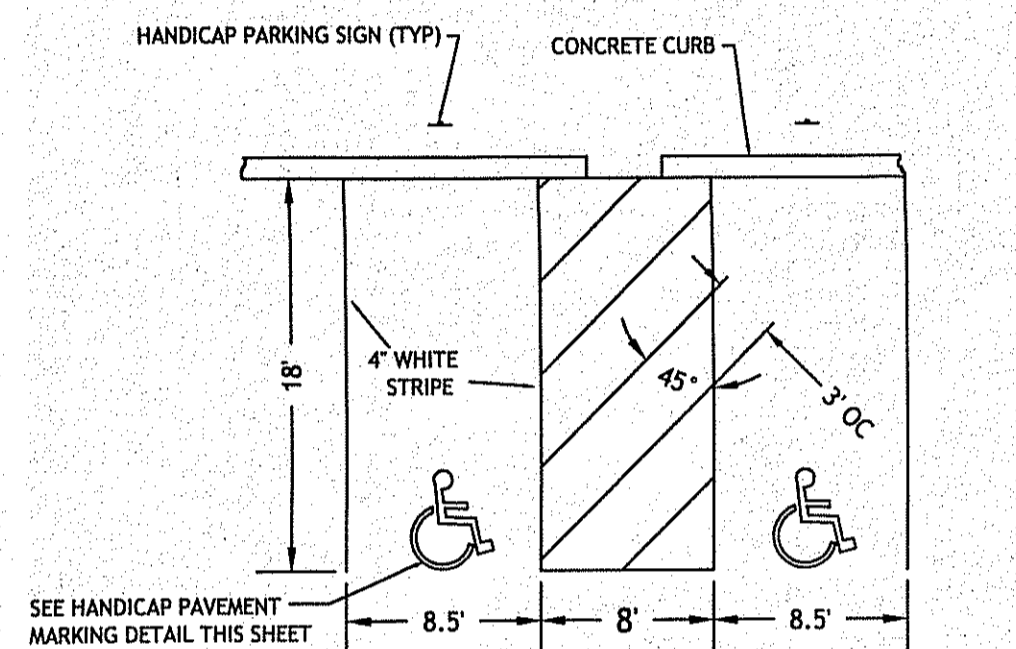


DUMPSTER PAD/FENCE DETAIL
SCALE: 1/2" = 1'-0"

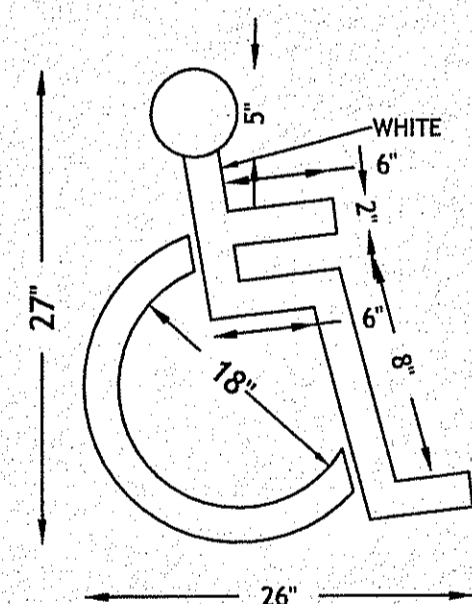


NOTE:
HOODS TO BE INSTALLED ON NEW CATCH BASIN OUTLET PIPES

OIL/WATER SEPARATOR HOOD DETAIL
NOT TO SCALE

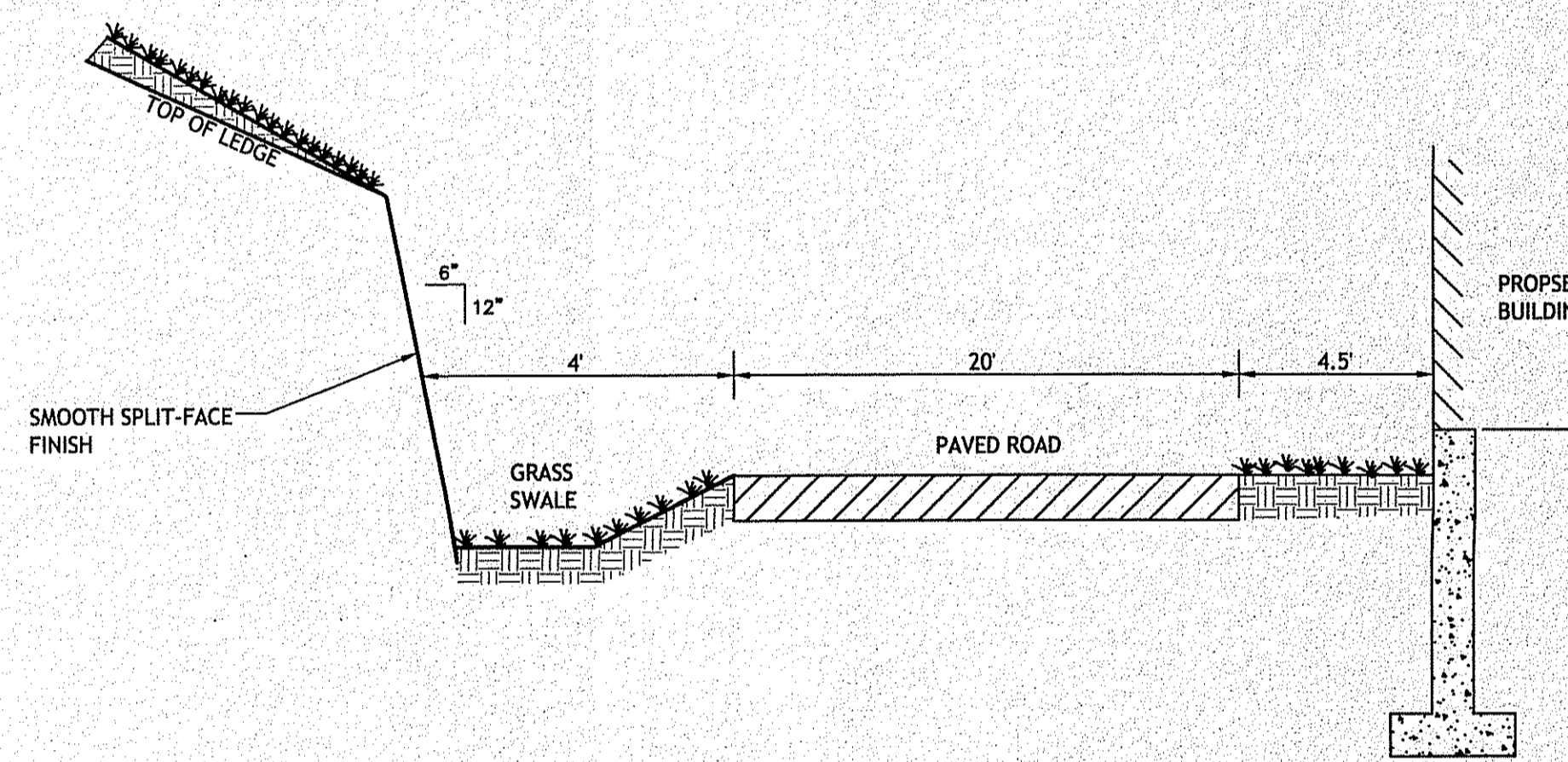


HANDICAP PARKING SIGNS
NOT TO SCALE

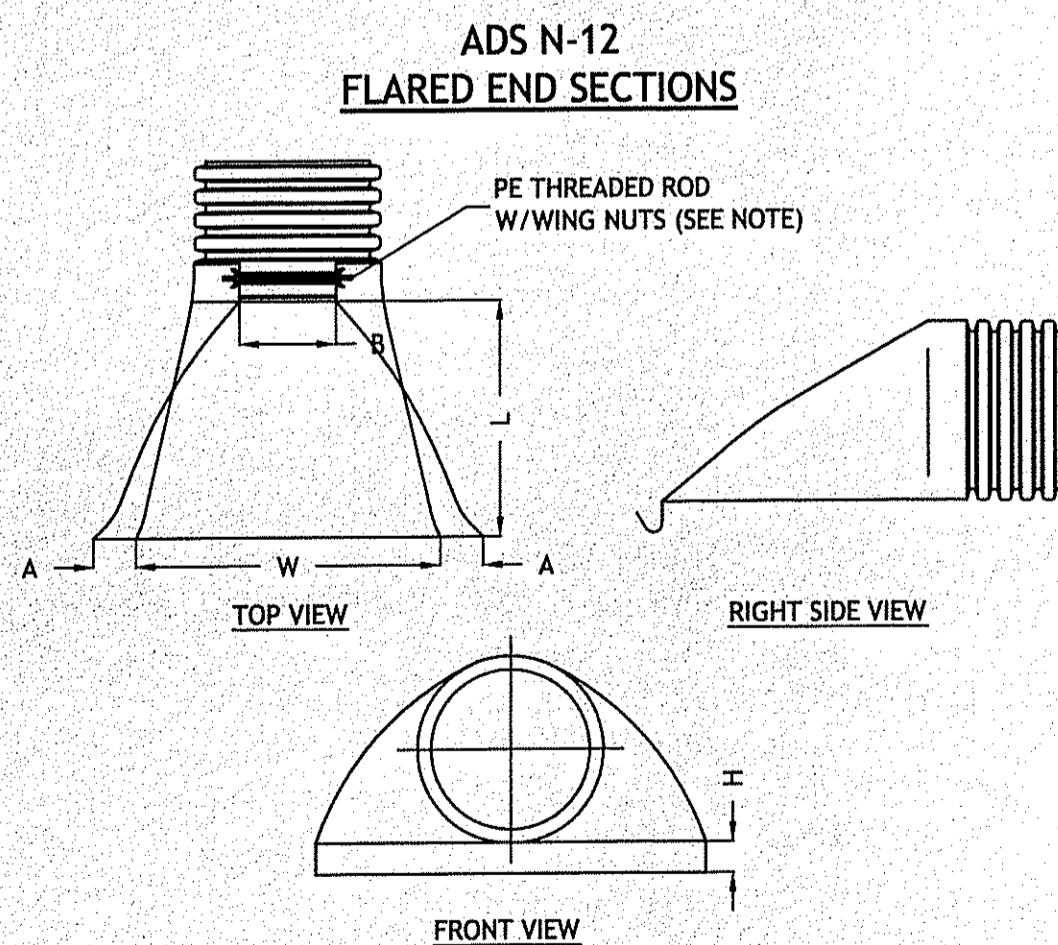


NOTE:
1. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STAT BUILDING CODE.

HANDICAP PAVEMENT MARKING
NOT TO SCALE



LEDGE CUT DETAIL
NOT TO SCALE



PART N	PIPE SIZE	A	B (MAX)	H	L	W
1210-NP	12"	6.5"	10"	6.5"	25"	29"
	300 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1210-NP	15"	6.5"	10"	6.5"	25"	29"
	375 mm	165 mm	254 mm	165 mm	635 mm	735 mm
1810-NP	18"	7.5"	15"	6.5"	32"	35"
	450 mm	190 mm	380 mm	165 mm	812 mm	890 mm
2410-NP	24"	7.5"	18"	6.5"	36"	45"
	600 mm	190 mm	450 mm	165 mm	900 mm	1140 mm
3012-NP	30"	10.5"	N/A	7.0"	53"	68"
	750 mm	266 mm		178 mm	1345 mm	1725 mm
3612-NP	36"	10.5"	N/A	7.0"	53"	68"
	900 mm	266 mm		178 mm	1345 mm	1725 mm

NOTE: PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24". 30" & 36" END SECTIONS TO BE WELDED TO PIPE PER MANUFACTURER'S RECOMMENDATIONS.

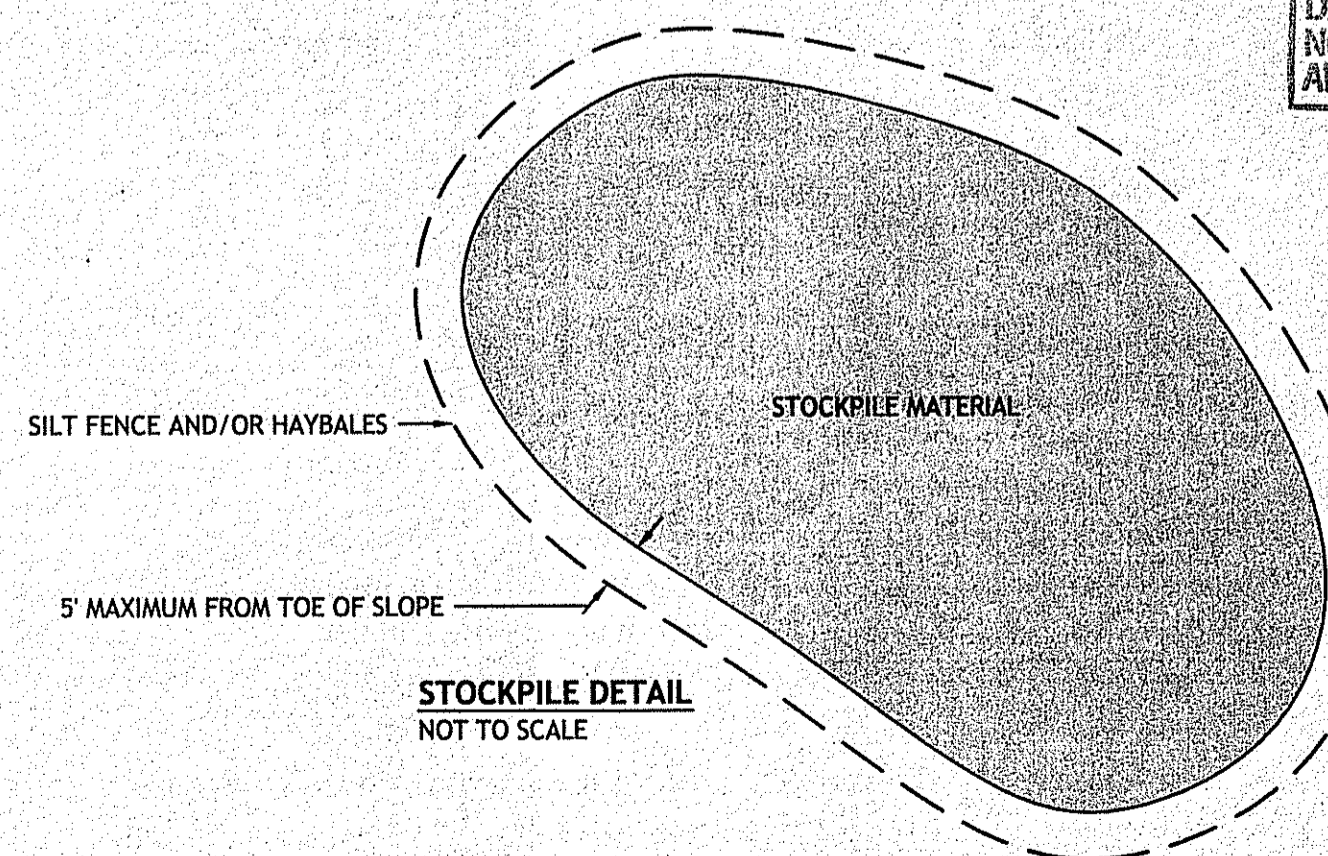


NOTE:
SIGNS ARE TO CONFORM WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

*VAN ACCESSIBLE SIGNS FOR SPACES ADJACENT TO THE B STRIPED ISLE.

PROPOSED HANDICAPPED PARKING SIGNS
NOT TO SCALE

SIGN NOTES:
1. SIGN POSTS SHALL BE GALVANIZED STEEL U-CHANNEL (3 1/2" WIDE-MIN) AND INSTALLED IN CONFORMANCE TO M.U.T.C.D. AND RHODE ISLAND STANDARD SPECIFICATIONS.
2. POSTS SHALL BE DRIVEN TO A DEPTH OF 4 FEET (MIN.)
3. THE EDGE OF THE SIGN SHALL BE 18" FROM THE FACE OF THE CURB.
4. WITHIN SIDEWALK LOCATIONS THE SIGN POST WILL BE INSTALLED WITHIN A 8'X8' SQUARE BOX FORM.



STOCKPILE DETAIL
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 22 2008 FILE # 08-015
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Herbert

REVISIONS:

NO.	DATE	DESCRIPTION
1	3-14-08	REVISIONS
2	6-18-08	TOWN COMMENTS
3	7-24-08	RIDEM RESUBMISSION & REVISIONS
4	7-25-08	TOWN COMMENTS

DESIGNED BY: JDC / PIB
DRAWN BY: DCM
CHECKED BY: DMD
DATE: FEB 5, 2008
PROJECT NO: 07-59

PRELIMINARY, NOT FOR CONSTRUCTION

DETAILS III

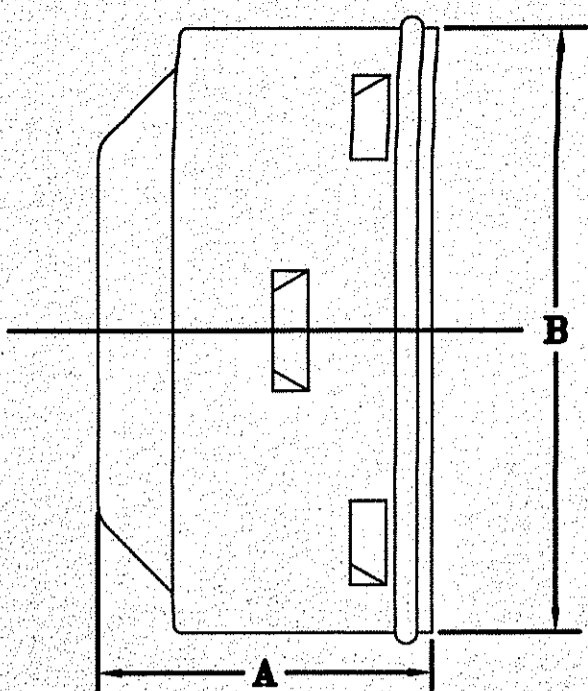
SHEET 10 OF 13

CDE
CASALI & D'AMICO ENGINEERING, INC.
CIVIL, SITE DEVELOPMENT, TRANSPORTATION
DRAINAGE, WETLANDS, I&DS - TRAFFIC FLOORPLAN
(601) 944-3300 (601) 944-1310 fax www.casali-cde.com

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL
8.15.08

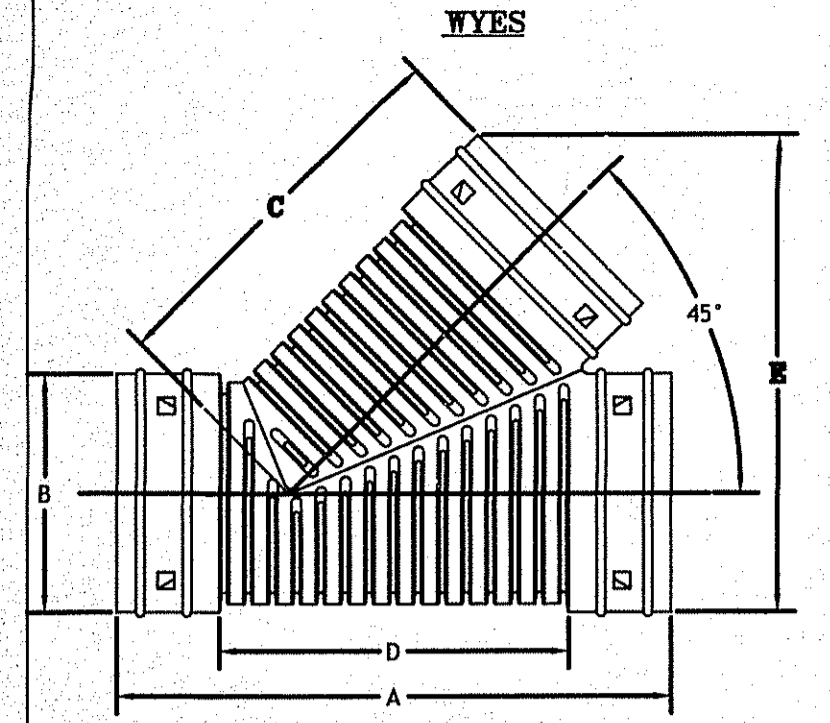
BRIARCLIFFE GARDENS
49 OLD POCASSET ROAD
JOHNSTON, RHODE ISLAND
AP 43/1 LOTS 224, 229, 236 AND 343

SNAP END CAP



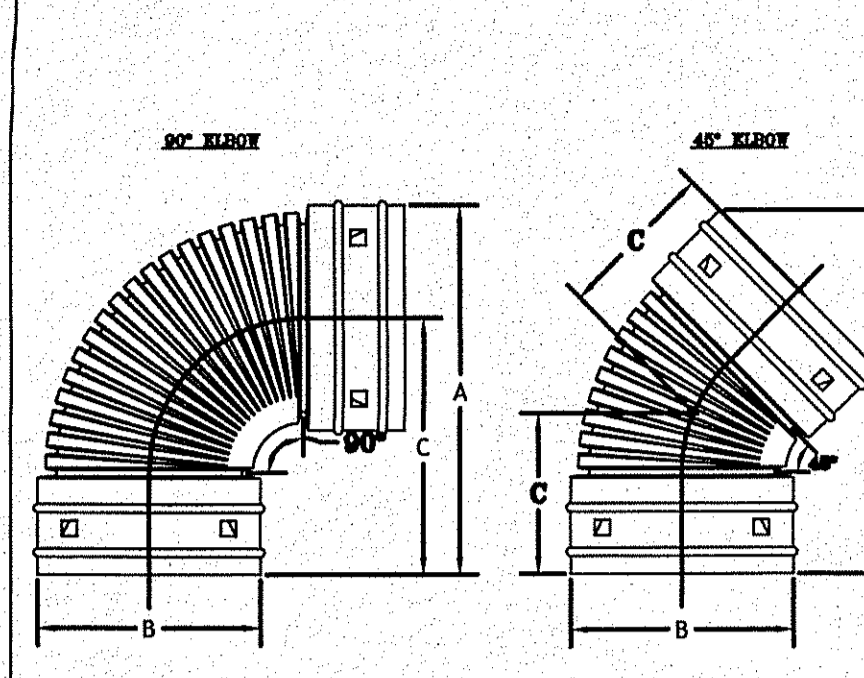
PART NO	PIPE SIZE	A	D
0852-AA	4"	1.875"	4"
0452-AA	4"	2.70"	0.180"
0852-AA	6"	4.25"	9.875"
1052-AA	8"	10.25"	18.5"

WYES



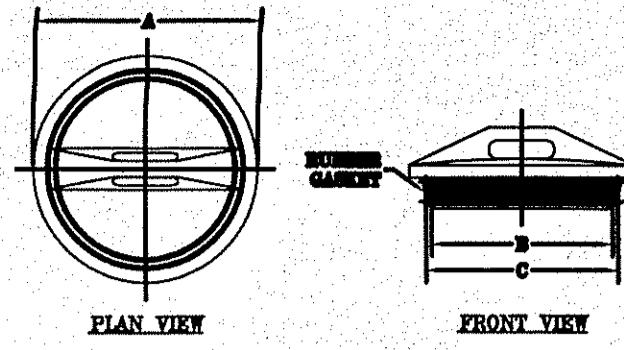
PART NO	PIPE SIZE	A	B	C	D	E
0852-AA	4"	10.6"	4"	6.375"	8.375"	8.375"
0452-AA	4"	11.800"	5.100"	7.600"	7.200"	8.700"
0852-AA	6"	13.625"	6.25"	8.75"	11.875"	11.875"
1052-AA	8"	15.25"	7.75"	11.125"	14.125"	14.125"

SINGLE WALL SNAP ELBOWS

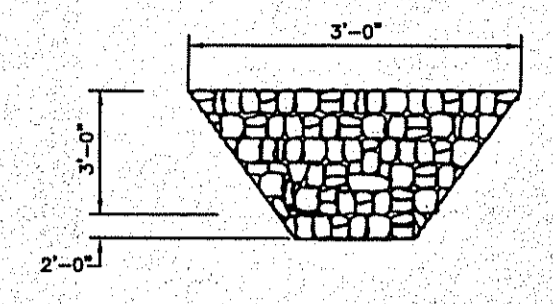


PART NO	PIPE SIZE	A	B	C
0900-AA	4"	7.875"	4"	5.975"
0490-AA	4"	7.875"	6.125"	5.25"
0445-AA	4"	7.6"	5.125"	3.75"

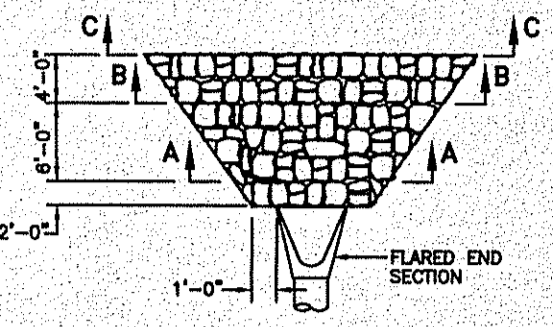
4"-48" END PLUGS



PART NO	PIPE SIZE	A	B	C
0439-AA	4"	0.76"	3.00"	3.25"
0833-AA	8"	7.75"	5.00"	5.31"
1033-AA	10"	11.75"	9.00"	9.75"
1233-AA	12"	13.75"	11.50"	11.75"
1433-AA	14"	15.75"	13.50"	14.125"
1633-AA	16"	17.75"	15.50"	15.875"
1833-AA	18"	19.75"	17.50"	17.625"
2033-AA	20"	21.75"	19.50"	19.375"
2233-AA	22"	23.75"	21.50"	21.125"
2433-AA	24"	25.75"	23.50"	22.875"
2633-AA	26"	27.75"	25.50"	24.625"
2833-AA	28"	29.75"	27.50"	26.375"
3033-AA	30"	31.75"	29.50"	28.125"
3233-AA	32"	33.75"	31.50"	29.875"
3433-AA	34"	35.75"	33.50"	31.625"
3633-AA	36"	37.75"	35.50"	33.375"
3833-AA	38"	39.75"	37.50"	35.125"
4033-AA	40"	41.75"	39.50"	36.875"
4233-AA	42"	43.75"	41.50"	38.625"
4433-AA	44"	45.75"	43.50"	40.375"
4633-AA	46"	47.75"	45.50"	42.125"
4833-AA	48"	49.75"	47.50"	43.875"

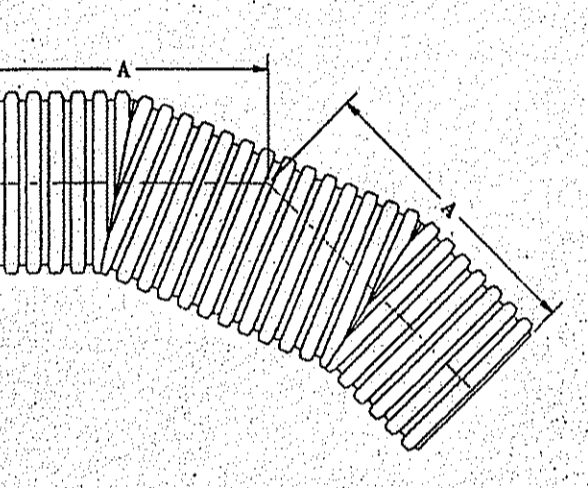


SPLASH PAD DETAIL
NOT TO SCALE

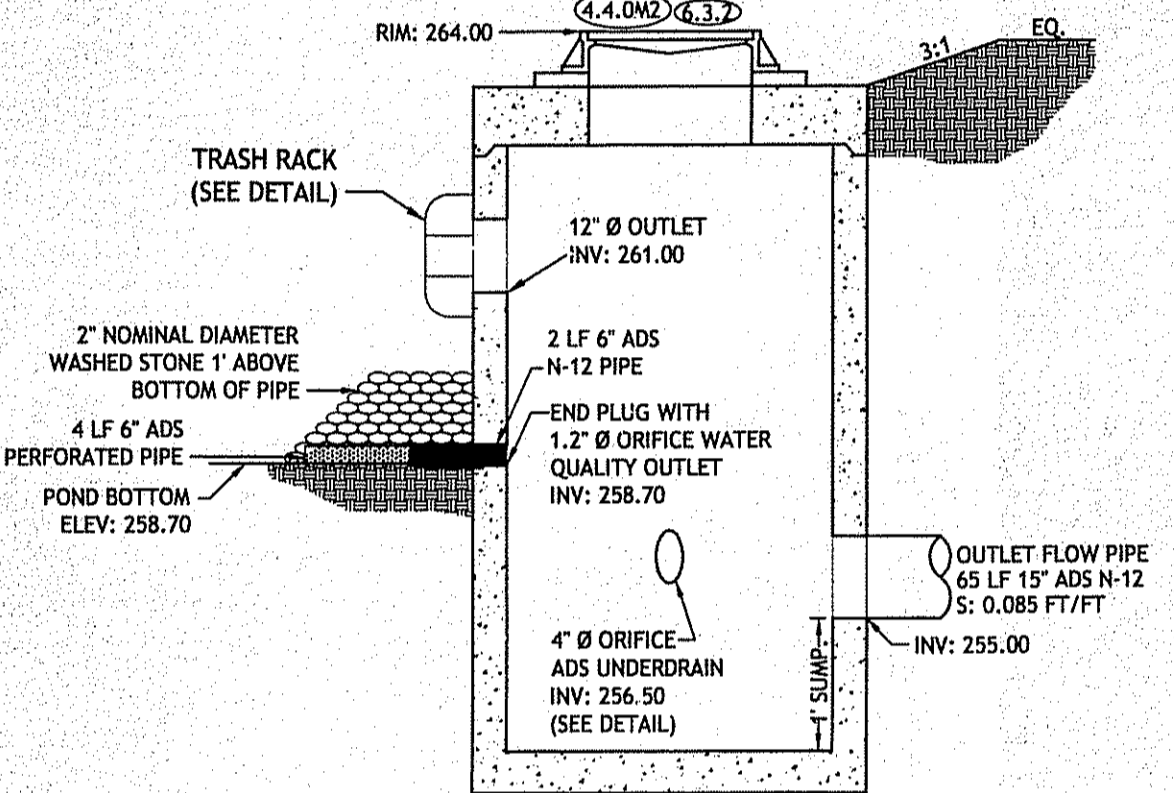


ROCK FILL RIP-RAP AT FLARED END SECTIONS
NOT TO SCALE

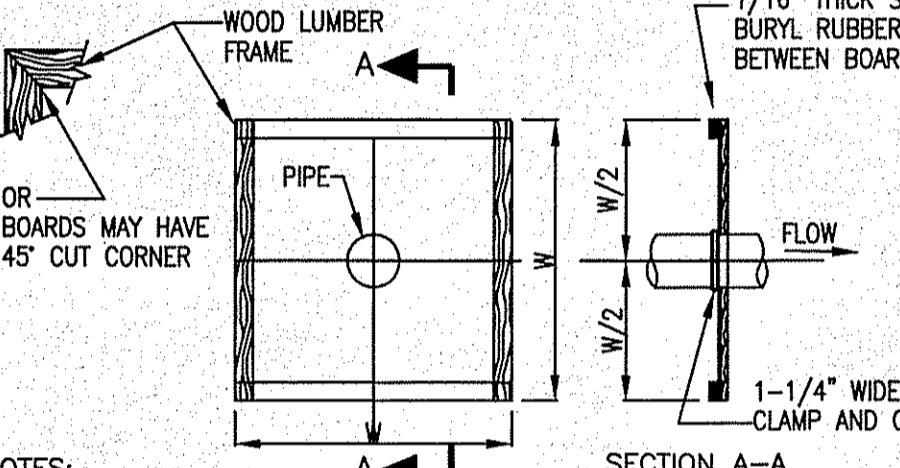
N-12 FABRICATED 45° BENDS



PART NO	PIPE SIZE	A	PART NO	PIPE SIZE	A
1294AN	12"	30.04"	3064AN	30"	97.28"
1504AN	15"	35.24"	3684AN	36"	114.74"
1804AN	18"	41.44"	4304AN	42"	132.20"
2104AN	21"	47.64"	4924AN	48"	149.66"
2404AN	24"	53.84"	5544AN	54"	167.12"



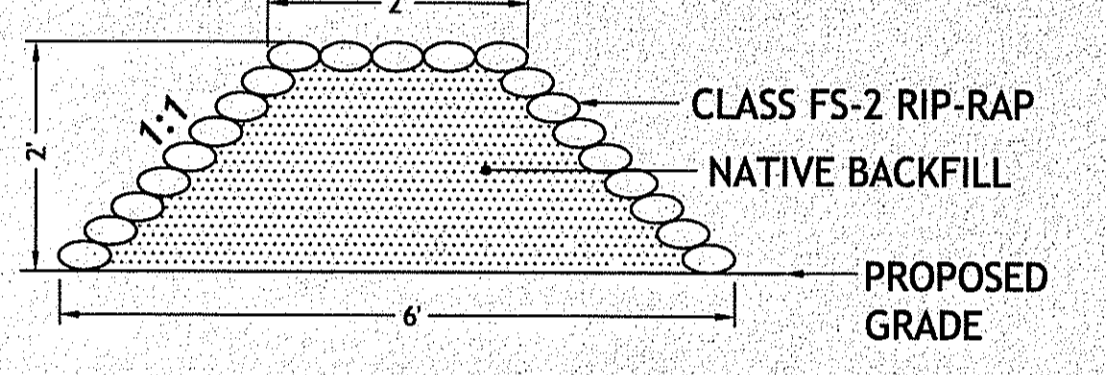
OUTLET CONTROL STRUCTURE (DETENTION POND)
NOT TO SCALE



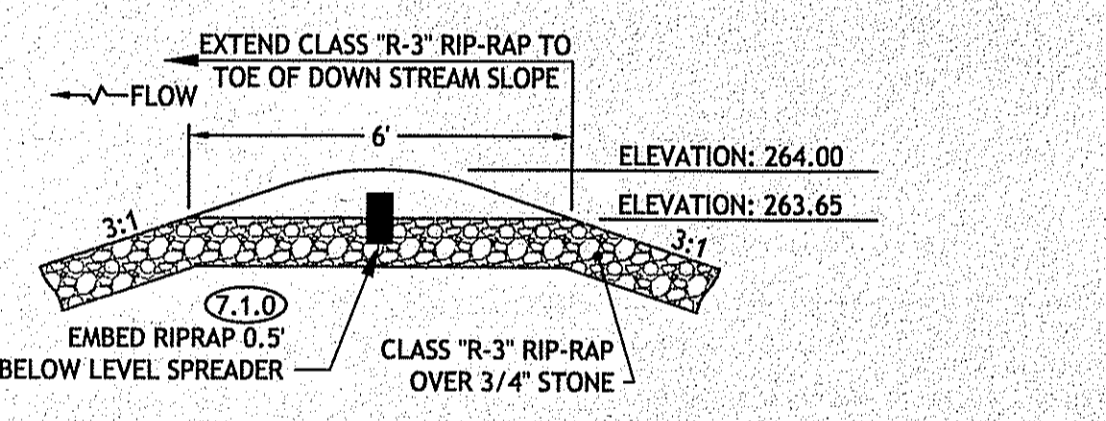
ANTI-SEEP COLLAR DETAIL
NOT TO SCALE

TABLE OF QUANTITIES (PER COLLAR)

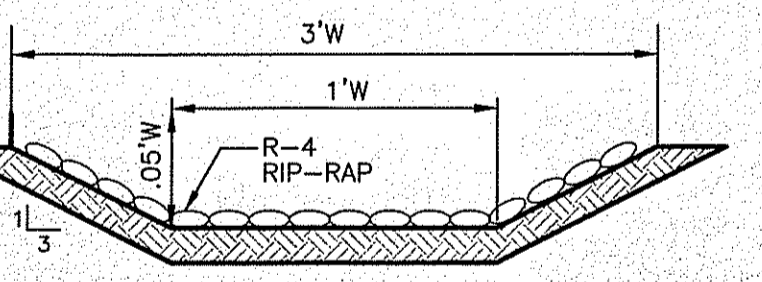
PIPE DIA. INCHES	W" FEET SQ. FT.	1" BUTYL RUBBER SHEET SQ. FT.	1/2" STAINLESS STEEL STRIP SQ. FT.	WOOD LUMBER FOR FRAME LIN. FT.
4" TO 8"	2	4	1	8
10" TO 18"	4	16	1	16



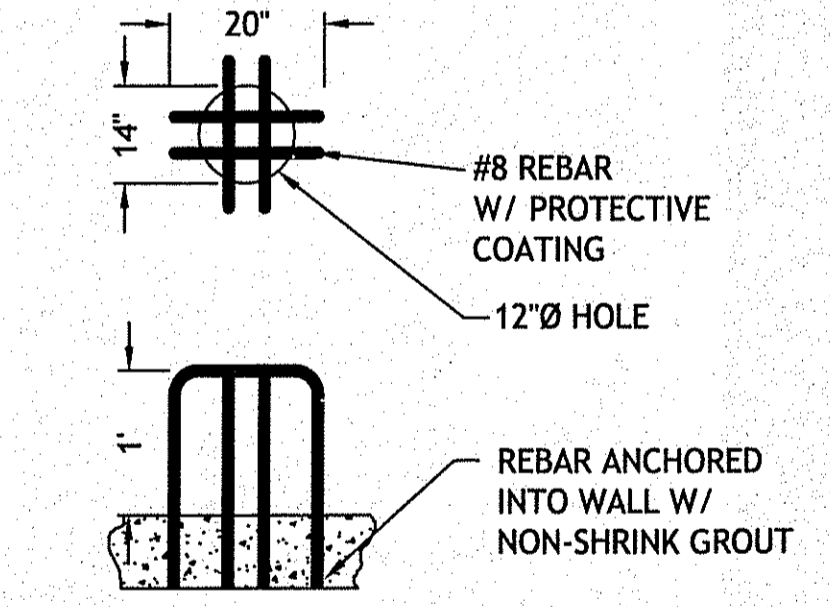
CHECK DAM
NOT TO SCALE



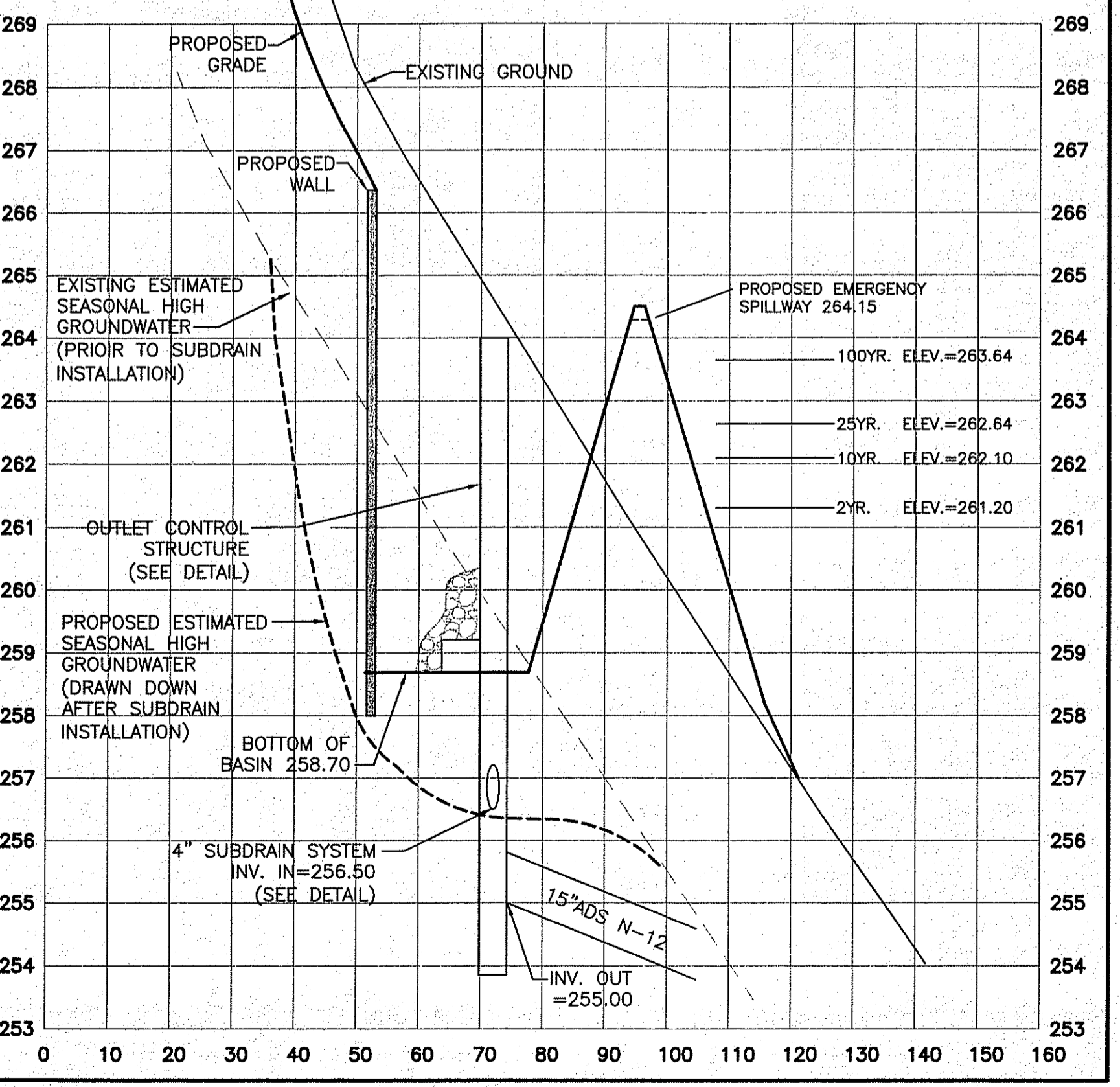
EMERGENCY SPILLWAY
SCALE: 1" = 4'



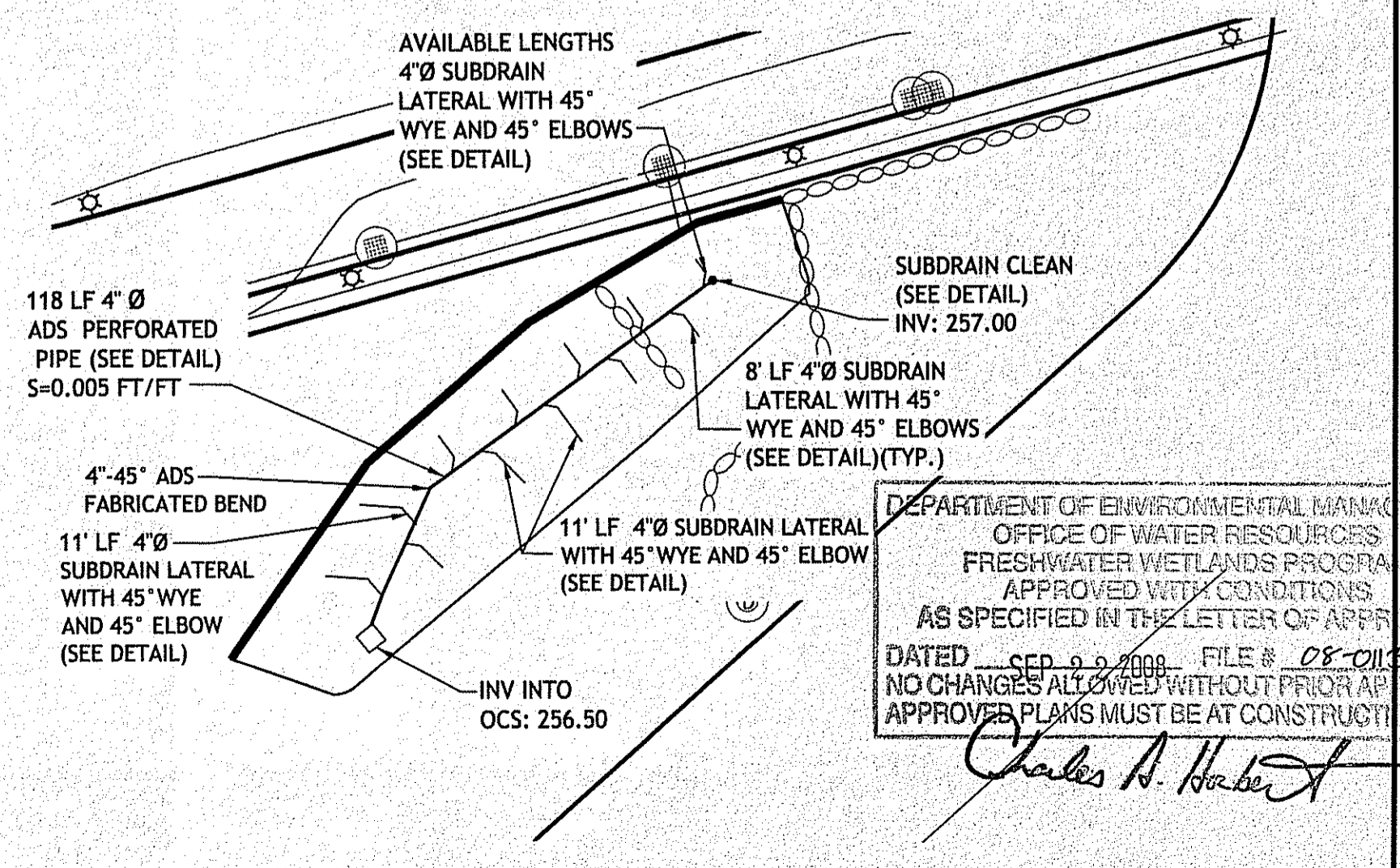
LOW FLOW CHANNEL DETAIL
NOT TO SCALE



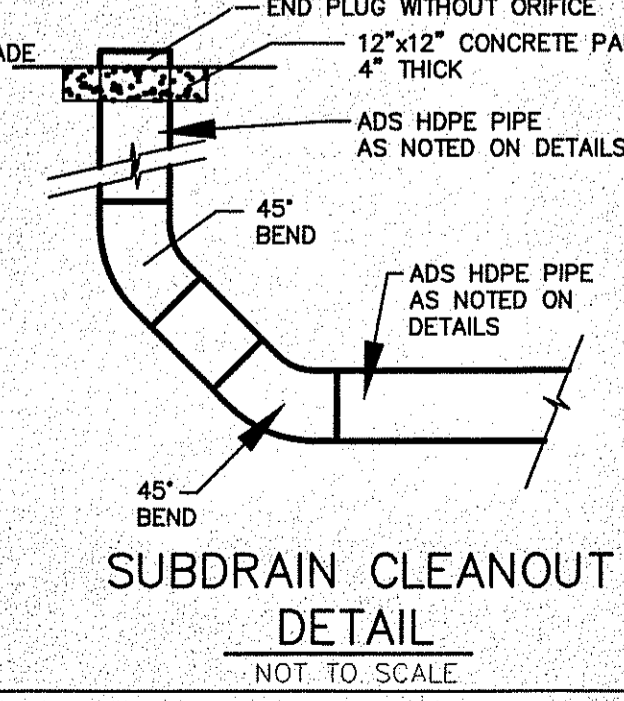
TRASH RACK DETAIL



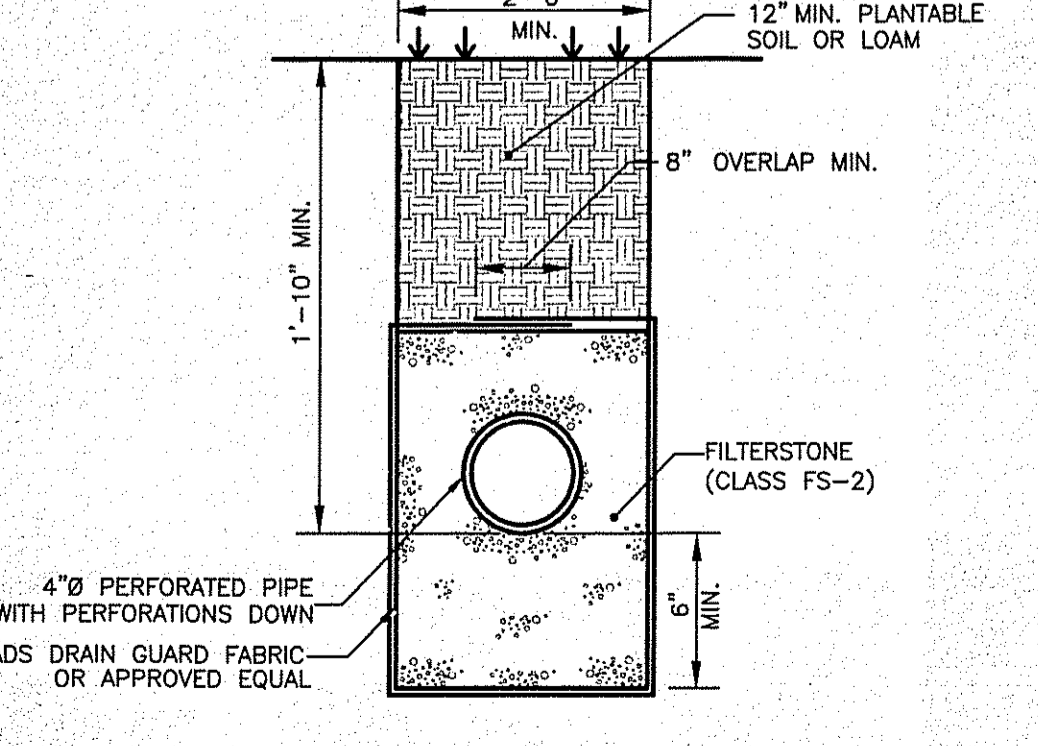
DETENTION POND DETAIL
SCALE: VERT. 1"=20', HORIZ. 1"=2'



SUBDRAIN DETAIL PLAN
SCALE: 1"=30'



SUBDRAIN CLEANOUT DETAIL
NOT TO SCALE



SUBDRAIN HEADER PIPE DETAIL
NOT TO SCALE

CDE
CASALI & DAMICO ENGINEERING, INC.
DRAINAGE, WETLANDS, SEDES, TRAFFIC, FLOODPLAIN
300 POPE ROAD, WARWICK, RI 02886
(401) 944-1300 (401) 944-1313 fax
www.casaldamico.com

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL
2.12.08

BRIARCLIFFE GARDENS
49 OLD POCASSET ROAD
JOHNSTON, RHODE ISLAND
AP 43/1 LOTS 224, 229, 236 AND 343

REVISIONS:

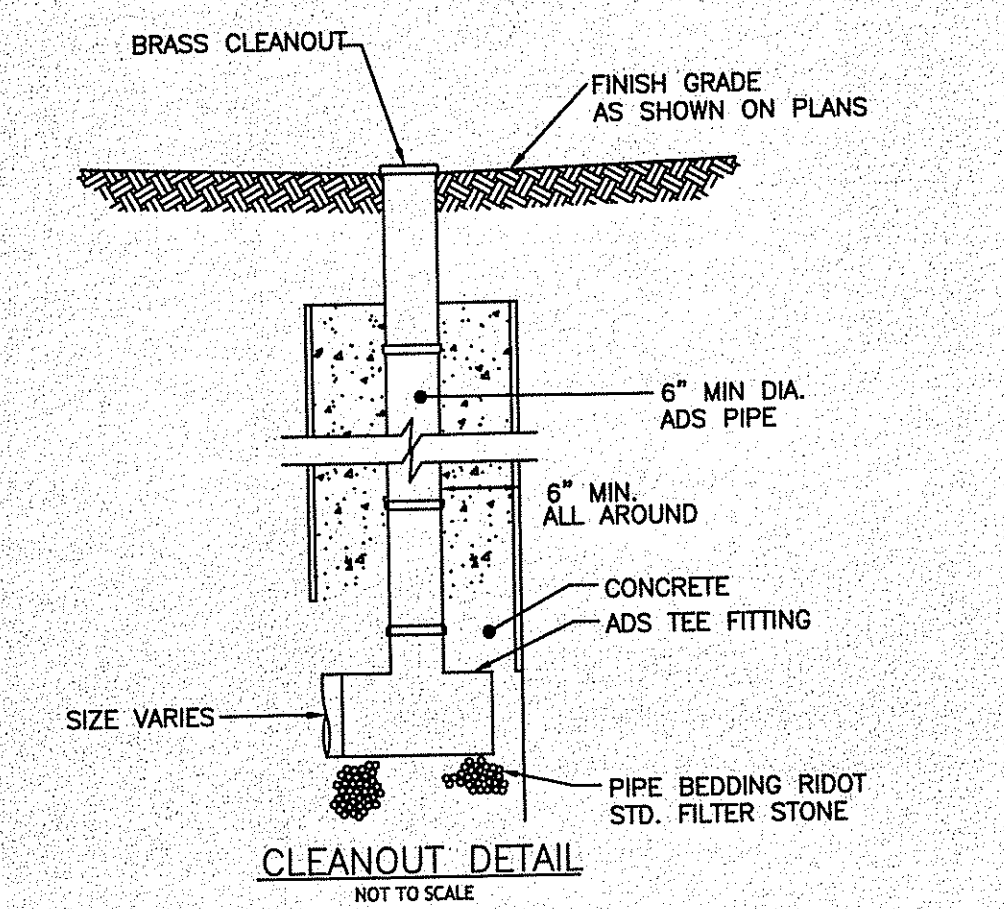
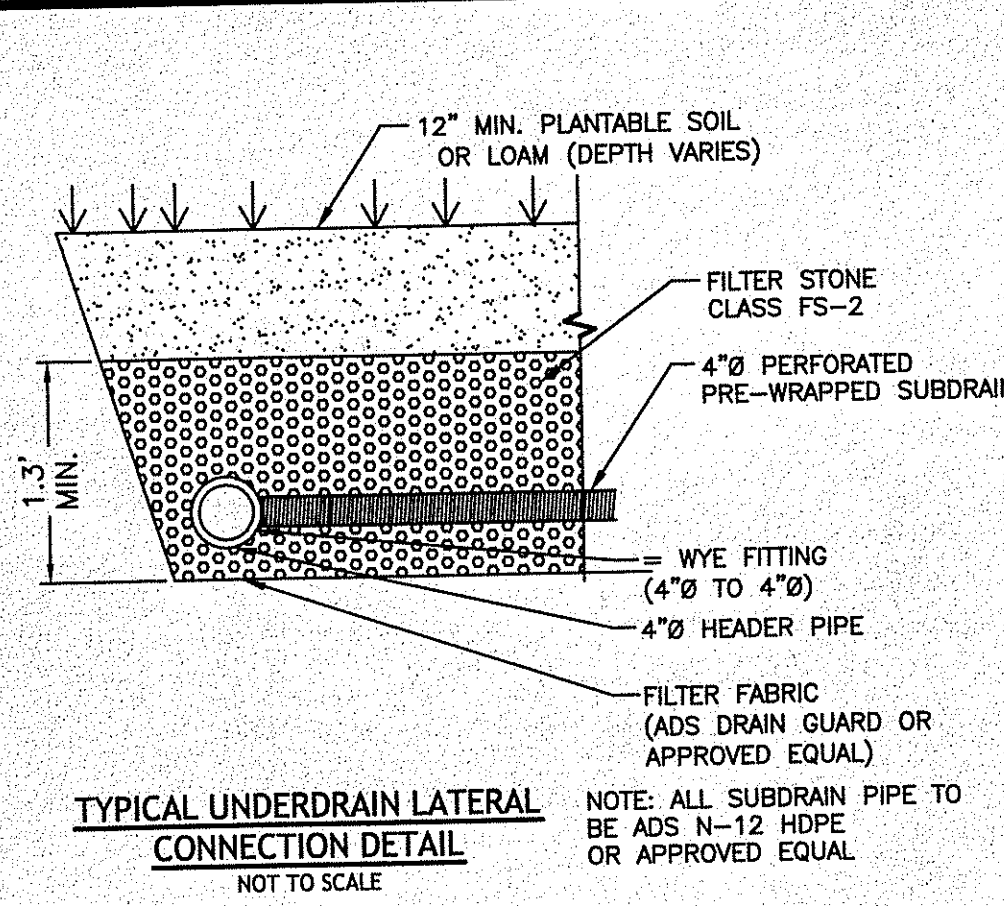
NO.	DATE	DESCRIPTION
1	3-14-08	REVISIONS
2	6-18-08	TOWN COMMENTS
3	7-24-08	RIDEM
4	7-25-08	TOWN COMMENTS

DESIGNED BY: JDC/PJB
DRAWN BY: DCZ
CHECKED BY: DMD
DATE: FEB 5, 2008
PROJECT NO: 07-59

PRELIMINARY, NOT FOR CONSTRUCTION

DETAILS IV

SHEET 11 OF 13



Utility Arlington® Series Luminaire

Specifications

GENERAL DESCRIPTION
The Utility Arlington is designed for ease of maintenance with the plug-in electrical module common to each of the luminaires in the Utility Arlington Series. A precision optical system maintains spot spacing while maintaining uniform illumination.

OPTICAL SYSTEM
The optical system consists of a precisely molded refractor operating in conjunction with a formed aluminum reflector located in the top cover. Positive pressure from three colored springs loading the refractor and guides of the top and bottom of the refractor create a sealed optical connection. Refractors designed to provide an I.E.S. Type III distribution are available and can be formed in various materials such as acrylic or polycarbonate plastic. Type V refractors are available in acrylic or polycarbonate only. An I.E.S. cutoff section is available.

LUMINAIRE HOUSING
The luminaire housing, cast of aluminum, encloses the refractor and provides an enclosure for the plug-in electrical module. The luminaire housing, cast of aluminum, encloses the refractor and provides an enclosure for the plug-in electrical module. The luminaire housing, cast of aluminum, encloses the refractor and provides an enclosure for the plug-in electrical module. The luminaire housing, cast of aluminum, encloses the refractor and provides an enclosure for the plug-in electrical module.

ELECTRICAL MODULE
The electrical module is mounted on a steel plate that is removable without the use of tools. A matching aluminum plug connects to the receptacle in the luminaire housing to complete the wiring. When a starting unit is removed, it is automatically replaced with an E.E.I.-M.E.M.A. metal dielectric plug. For photometric operation, the electrical module is provided with an E.E.I.-M.E.M.A. metal dielectric plug.

TOP COVERS
The top cover, cast of aluminum, is attached to the top of the luminaire housing by a stainless steel piano hinge and is fastened by an exterior, precision-adjustable, stainless steel lock-washer.

FINALS

NOTE: BALL TOP TO BE USED

US-1618 Rev. 4-7-06 Page 2 of 2

HAMILTON Series Cast Aluminum Posts

Ordering Guide

H12S4/10 - CARB -

SHAFT OPTIONS

4" Dia. Smooth, 6" Dia. Smooth, 3" Dia. Fluted, 3" Dia. Tapered, 3" Dia. Fluted, 3" Dia. Tapered

ANCHORAGE GUIDE

6.25" x 5.6" H. Door Opening for Anchorage and Wiring Access

US-1618 Rev. 4-7-06 Page 2 of 2

Cast Aluminum Posts extruded shafts

HAMILTON Series 10" dia. base

Specifications

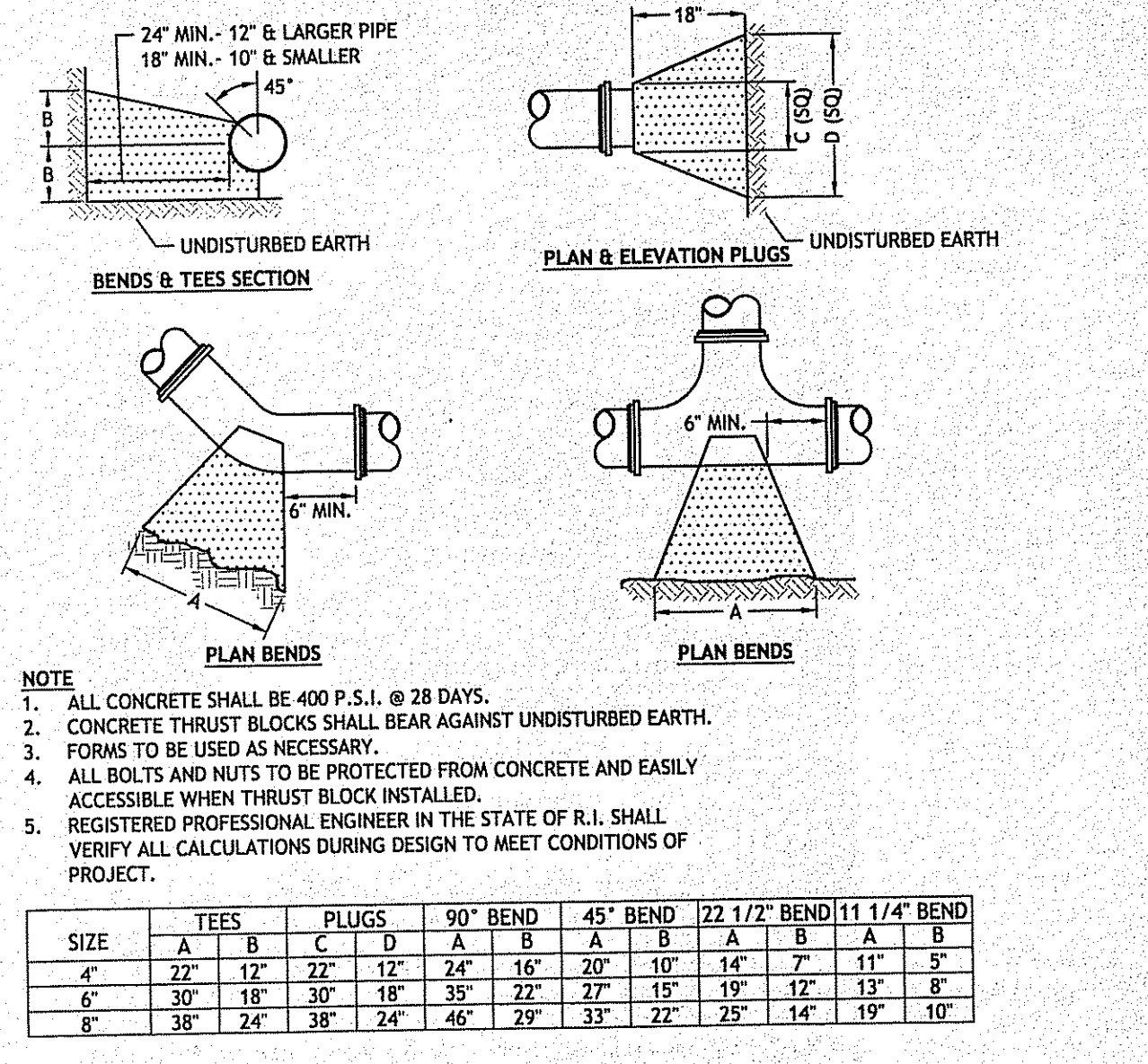
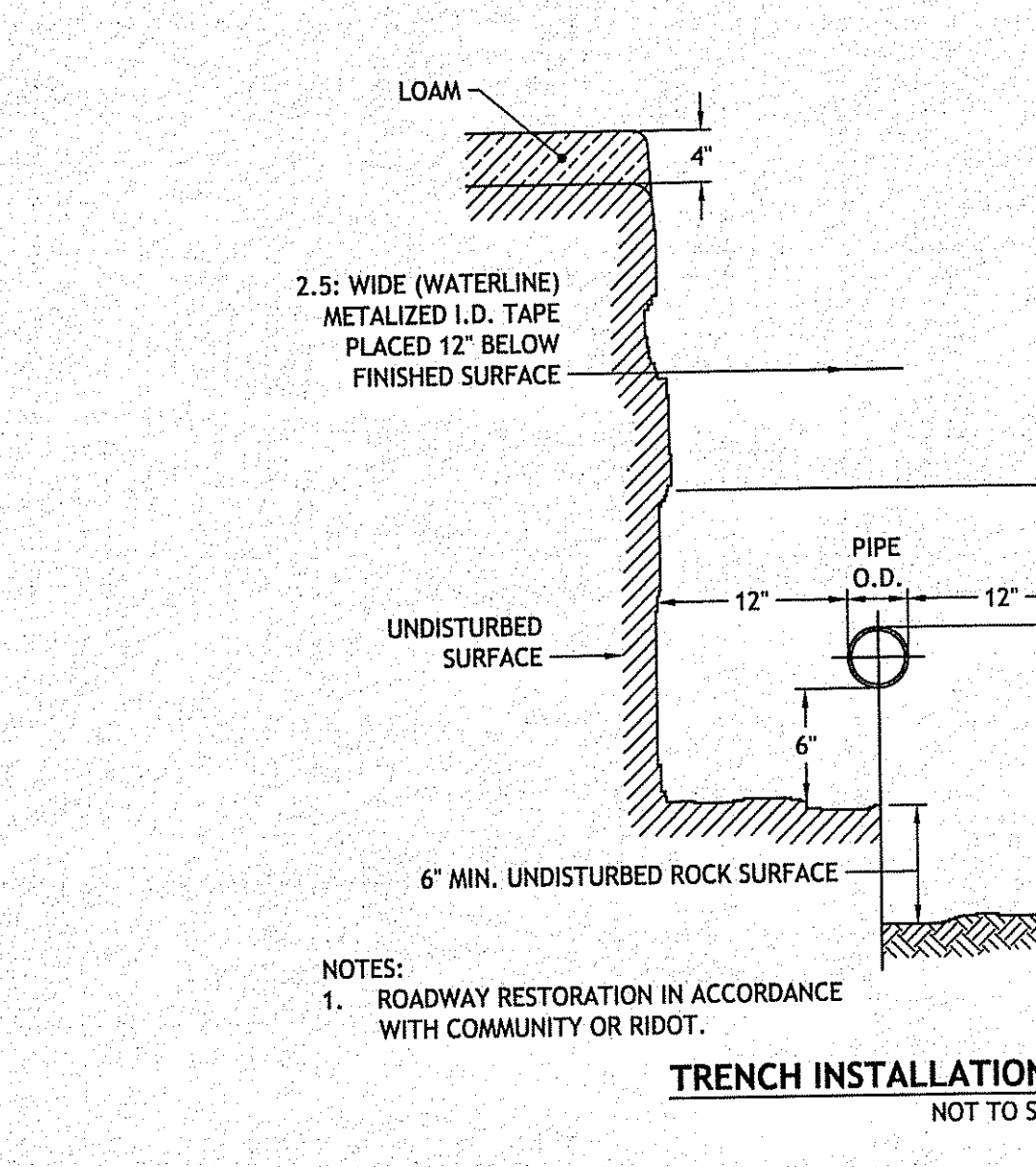
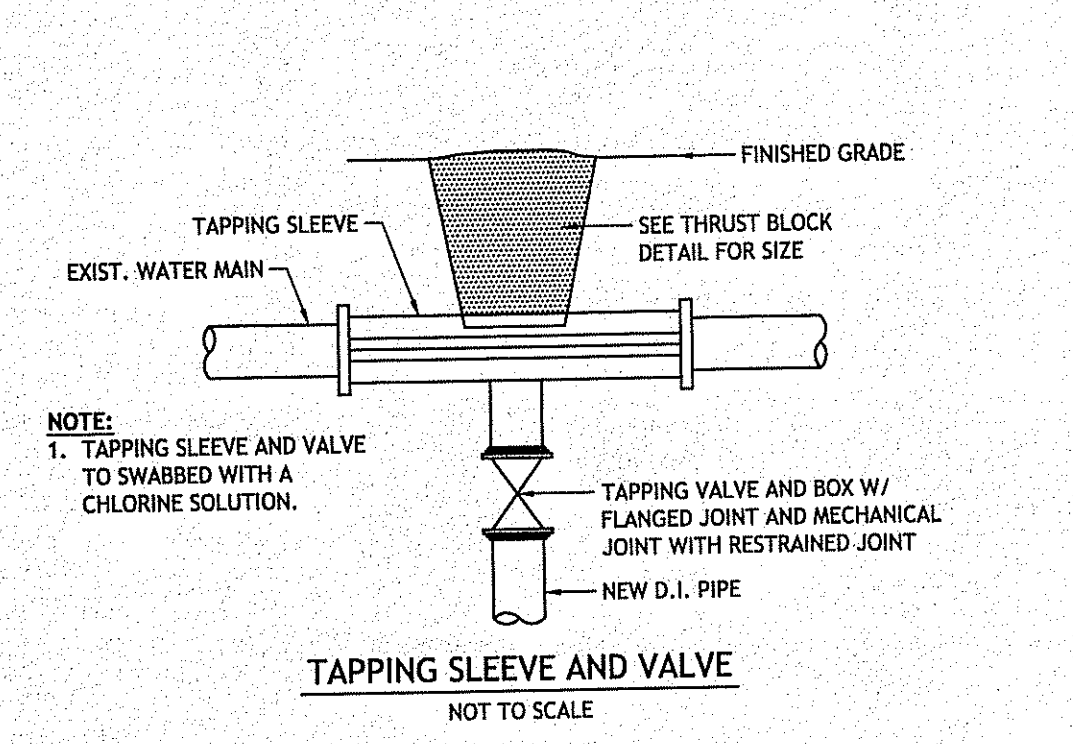
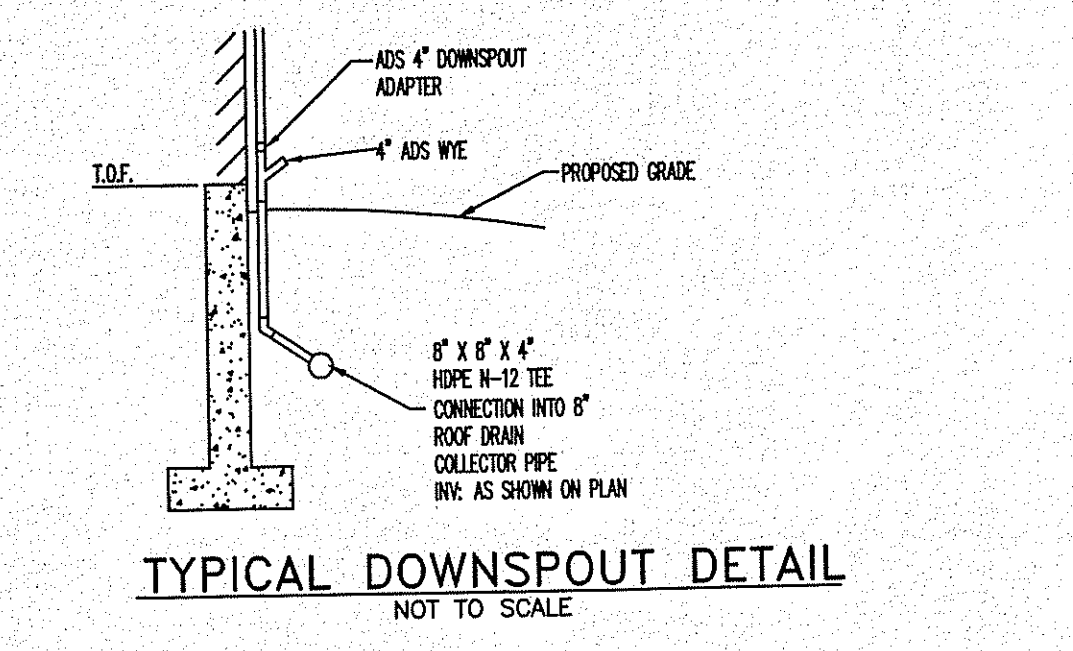
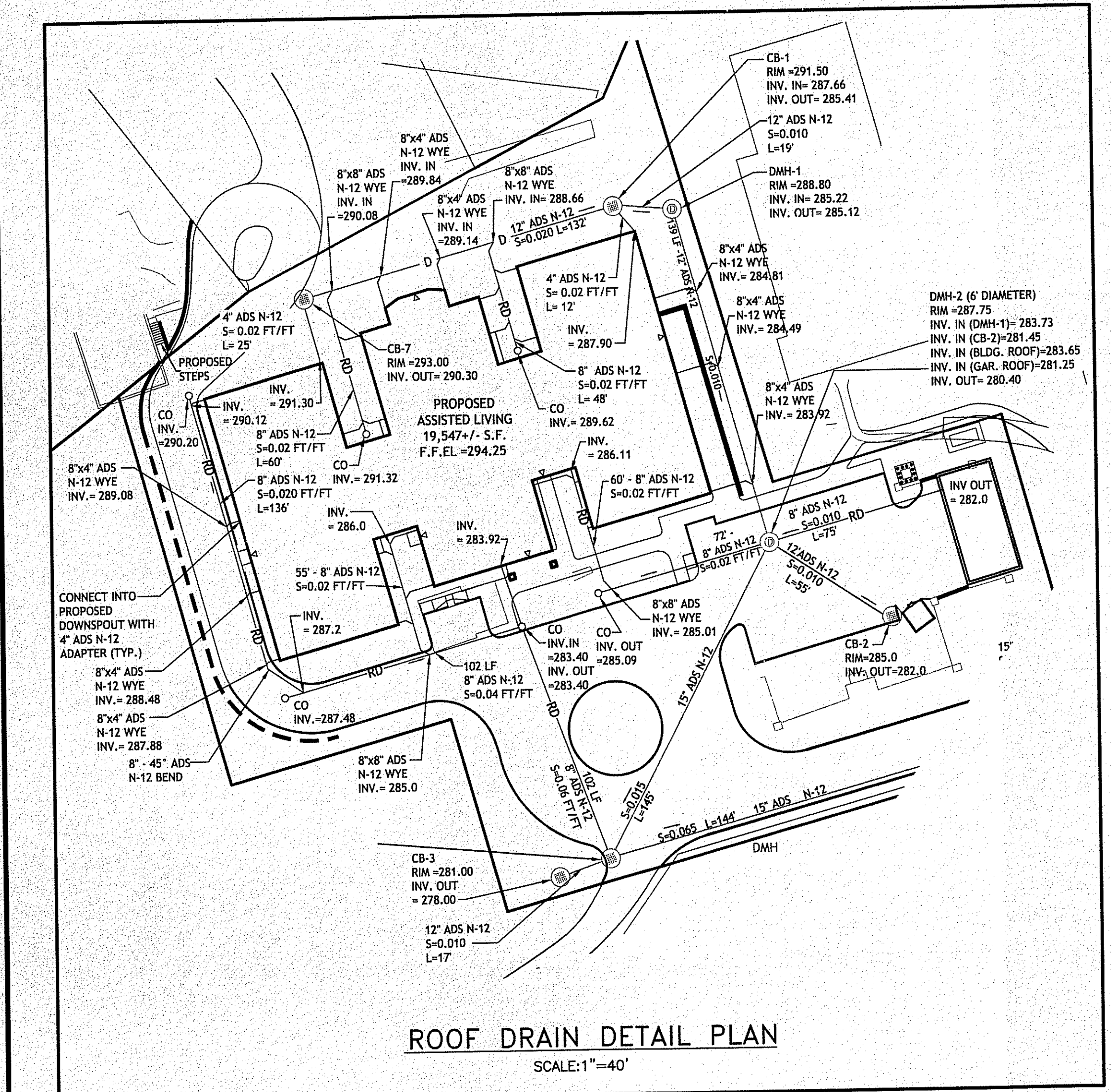
US-1618 Rev. 4-7-06 Page 1 of 2

Utility Arlington® Series Luminaire

Decorative Outdoor

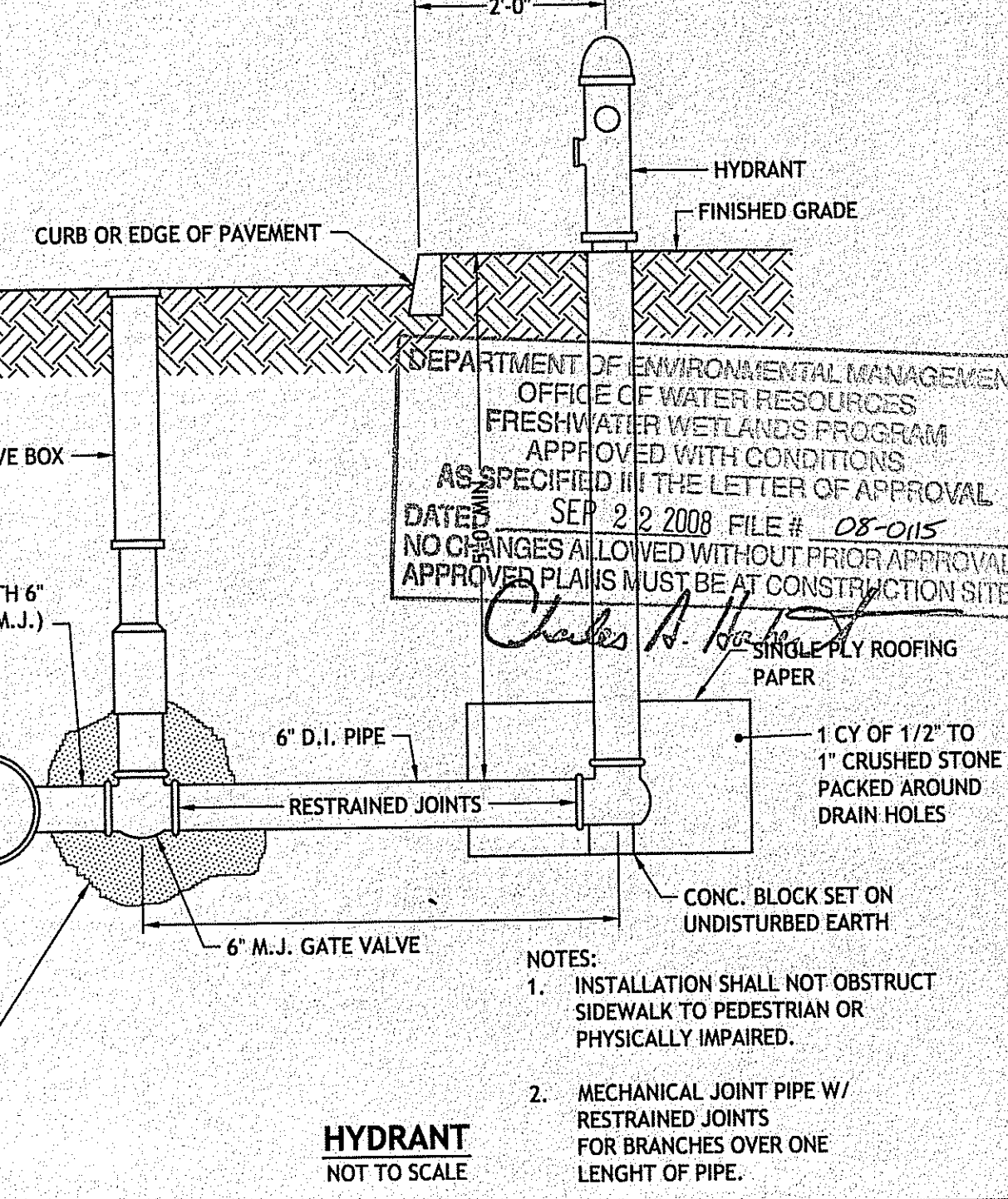
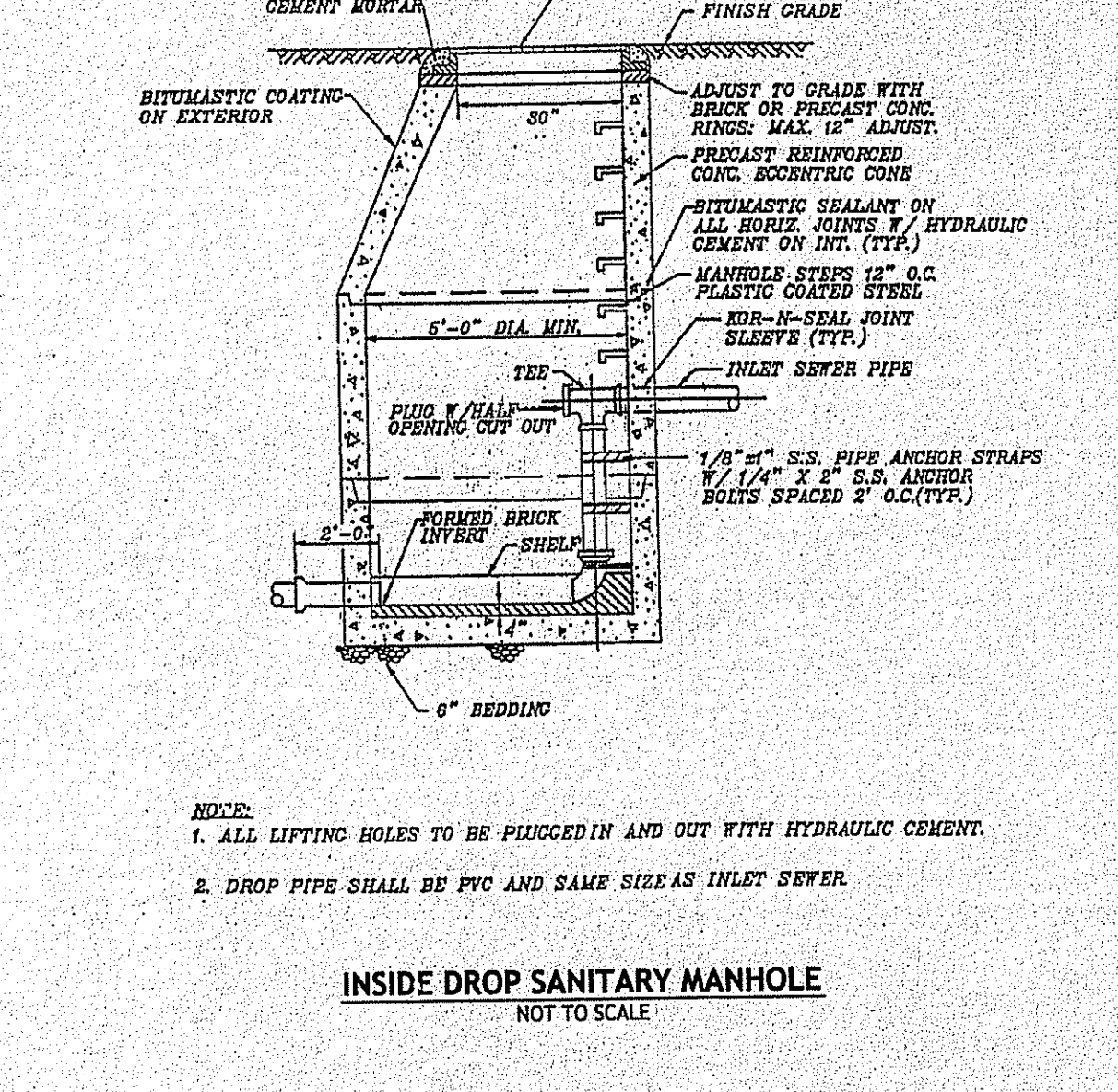
Ordering Information

US-1618 Rev. 4-7-06 Page 1 of 2



THURST BLOCK

SIZE	TEES			PLUGS			90° BEND			45° BEND			22 1/2° BEND			11 1/4° BEND		
	A	B	C	A	B	C	A	B	C	A	B	C	A	B	C	A	B	C
4"	22"	12"	22"	12"	24"	16"	20"	10"	14"	7"	11"	5"						
6"	30"	18"	30"	18"	35"	22"	27"	15"	19"	12"	13"	8"						
8"	38"	24"	38"	24"	46"	29"	33"	22"	25"	14"	19"	10"						



AUG 14 2008

CDE

CASALI & D'AMICO ENGINEERING, INC.
CIVIL - SITE DEVELOPMENT - TRANSPORTATION
DRAINAGE - WETLANDS - EROSION CONTROL - WATERWORKS - R.I. 02888
(401) 944-1333 fax: (401) 944-1333

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER CIVIL

BRIARCLIFFE GARDENS

49 OLD POCASSET ROAD
JOHNSTON, RHODE ISLAND
AP 43/1 LOTS 224, 229, 236 AND 343

REVISIONS:

NO.	DATE	DESCRIPTION
1	3-14-08	REVISIONS
2	6-18-08	TOWN COMMENTS
3	7-24-08	RIDEM
4	7-23-08	TOWN COMMENTS

DESIGNED BY: DCJ / PJB
DRAWN BY: DCJ
CHECKED BY: DMD
DATE: FEB 5, 2008
PROJECT NO: 07-59

PRELIMINARY, NOT FOR CONSTRUCTION

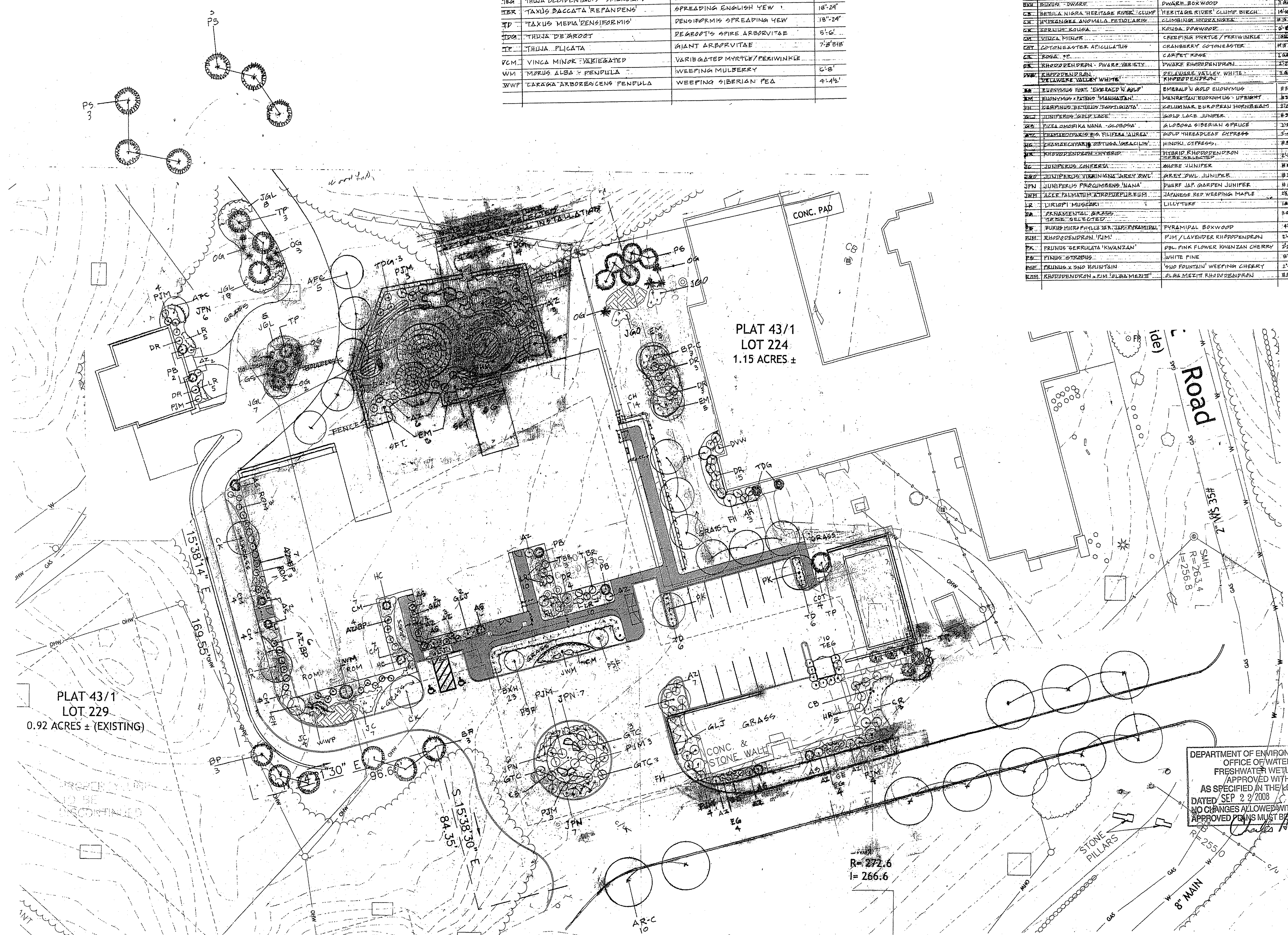
DETAILS V

SHEET 12 OF 13

THE GARDENS AT BRIARCLIFFE

SYM	BOTANICAL NAME	COMMON NAME	SIZE
SE	SELECTED ESPALIER		5'6"
SET	SELECTED FRUIT TREES		5'-6"
SA	SELECTED GRAPE		3'6"
SHV	SELECTED HERBS & VEGETABLES	- NOTED ON PLAN AS [Hatched Box]	
TEA	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	5'-6"
TBR	TAXUS DACCATA 'REFANPENS'	SPREADING ENGLISH YEW	18"-24"
TP	TAXUS MEDIA 'PENSIFORMIS'	PENSIFORMIS SPREADING YEW	18"-24"
TDA	THUJA DEBARROT	DEBARROT'S SPIRE ARBORVITAE	5'-6"
TT	THUJA PLICATA	GIANT ARBORVITAE	7'-8" B1B
VCM	VINCA MINOR 'VARIEGATED'	VARIEGATED MYRTLE / PERIWINKLE	
WVI	MORUS ALBA 'PENSULA'	WEeping SIBERIAN PEA	4'-4 1/2'
WV	MORUS ARBORESCENS PENSULA	WEeping SIBERIAN PEA	4'-4 1/2'

SYM	BOTANICAL NAME	COMMON NAME	SIZE
AFC	PRUNUS AUSTRIACA 'AUTUMNALIS'	AUTUMN FLOWERING CHERRY	2'-2 1/2'
AR	AZALEA 'ROSEBUD'	ROSEBUD AZALEA	3'6"
ARC	ACER SUBRUMI 'COLUMNAR'	COLUMNAR RED SWAMP MAPLE	2'-2 1/2'
AS	ALBESCA SIBERICA	ALBERTA SPRUCE	2 1/2'-3'
AT	AZALEA 'HYBRID'	HYBRID AZALEA - TO BE SELECTED	#3
AXB	AZALEA 'BRILLIANT PINK'	BRIGHT PINK AZALEA	#3
BP	PRUNUS CALLEVANA	BRADFORD PEAR	1'2 1/2'
BP2	PRUNUS CALLEVANA 'CLEVELAND SELECT'	CLEVELAND SELECT PEAR	2'2 1/2'
BW	BUXUS 'DWARF'	DWARF BOXWOOD	#3
CB	BETULA NIGRA 'HERITAGE RIVER' CLUMP	HERITAGE RIVER CLUMP BIRCH	14'-16" B1B
CH	HYDRANGEA ANOMALA 'PETIOLARIS'	CLIMBING HYDRANGEA	#3
CM	SPERULUS 'KOLBE'	KOLBE SPRAWLER	18"-24" B1B
CO	VINCA MINOR	CRESTED MYRTLE / PERIWINKLE	3'-8"
CO2	COTONASTER AFICULATA	CRANBERRY COTONEASTER	#3
CR	ROSA 'TE'	CARPET ROSE	1'6"
CR2	RHOZODENDRON 'DWARF VARIETY'	DWARF RHODODENDRON	2'2 1/2'
CR3	RHOZODENDRON 'VALLEY WHITE'	VALLEY WHITE	2'2 1/2'
CR4	RHOZODENDRON 'VALLEY WHITE'	VALLEY WHITE	2'2 1/2'
EM	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM2	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM3	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM4	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM5	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM6	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM7	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM8	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM9	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM10	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM11	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM12	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM13	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM14	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM15	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM16	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM17	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM18	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM19	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM20	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM21	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM22	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM23	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM24	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM25	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM26	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM27	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM28	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM29	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM30	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM31	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM32	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM33	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM34	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM35	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM36	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM37	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM38	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM39	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM40	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM41	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM42	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM43	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM44	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM45	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM46	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM47	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM48	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM49	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM50	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM51	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM52	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM53	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM54	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM55	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM56	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM57	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM58	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM59	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM60	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM61	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM62	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM63	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM64	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM65	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM66	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM67	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM68	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM69	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM70	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM71	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM72	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM73	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM74	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM75	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM76	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM77	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM78	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM79	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM80	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM81	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM82	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM83	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM84	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM85	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM86	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM87	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM88	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM89	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM90	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM91	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM92	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM93	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM94	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM95	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM96	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM97	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM98	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM99	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3
EM100	EMERALD 'BOUT' 'EMERALD N' AWP'	EMERALD N' AWP	#3



PLAT 43/1
LOT 229
0.92 ACRES ± (EXISTING)

PLAT 43/1
LOT 224
1.15 ACRES ±

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 29 2008 FILE # 08-015
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NO.	DATE	DESCRIPTION
1	3-14-08	REVISIONS
2	6-18-08	TOWN COMMENTS
3	7-24-08	RIDEM RESUBMISSION & REVISIONS
4	7-25-08	TOWN COMMENTS

DESIGNED BY: JDC / PJB
DRAWN BY: DCZ
CHECKED BY: DMD
DATE: FEB 5, 2008
PROJECT NO: 07-59

PRELIMINARY, NOT FOR CONSTRUCTION

LANDSCAPE PLAN

SHEET 13 OF 13

BRIARCLIFFE GARDENS
49 OLD POCASSET ROAD
JOHNSTON, RHODE ISLAND
AP 43/1 LOTS 224, 229, 236 AND 343

AUG 14 2008