

"SEAWARD"

COASTAL DRAINAGE IMPROVEMENTS A.P. 43 LOT 11 OCEAN AVENUE, NEWPORT RI 02840

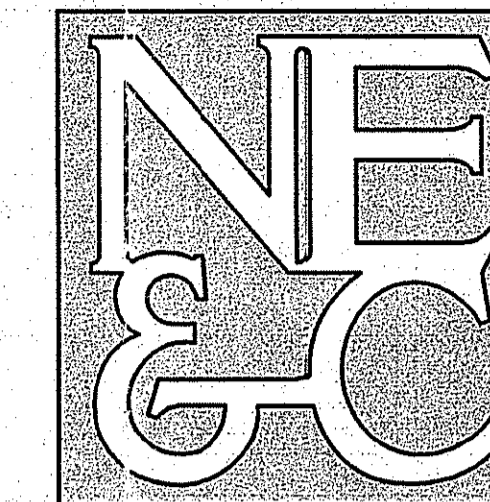
AERIAL PHOTOGRAPH

PHOTOGRAPHY TAKEN FROM 1987 RIDOT ORTHO
PHOTOGRAPHY SCALE 1"=150'

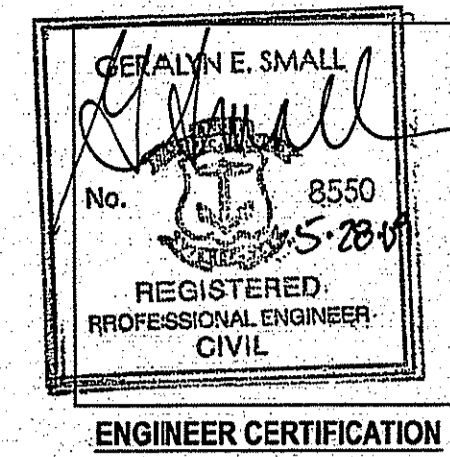


PREPARED BY:

NORTHEAST ENGINEERS
& CONSULTANTS, INC.



SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL
MATERIALS TESTING



A KNOWLEDGE CORPORATION

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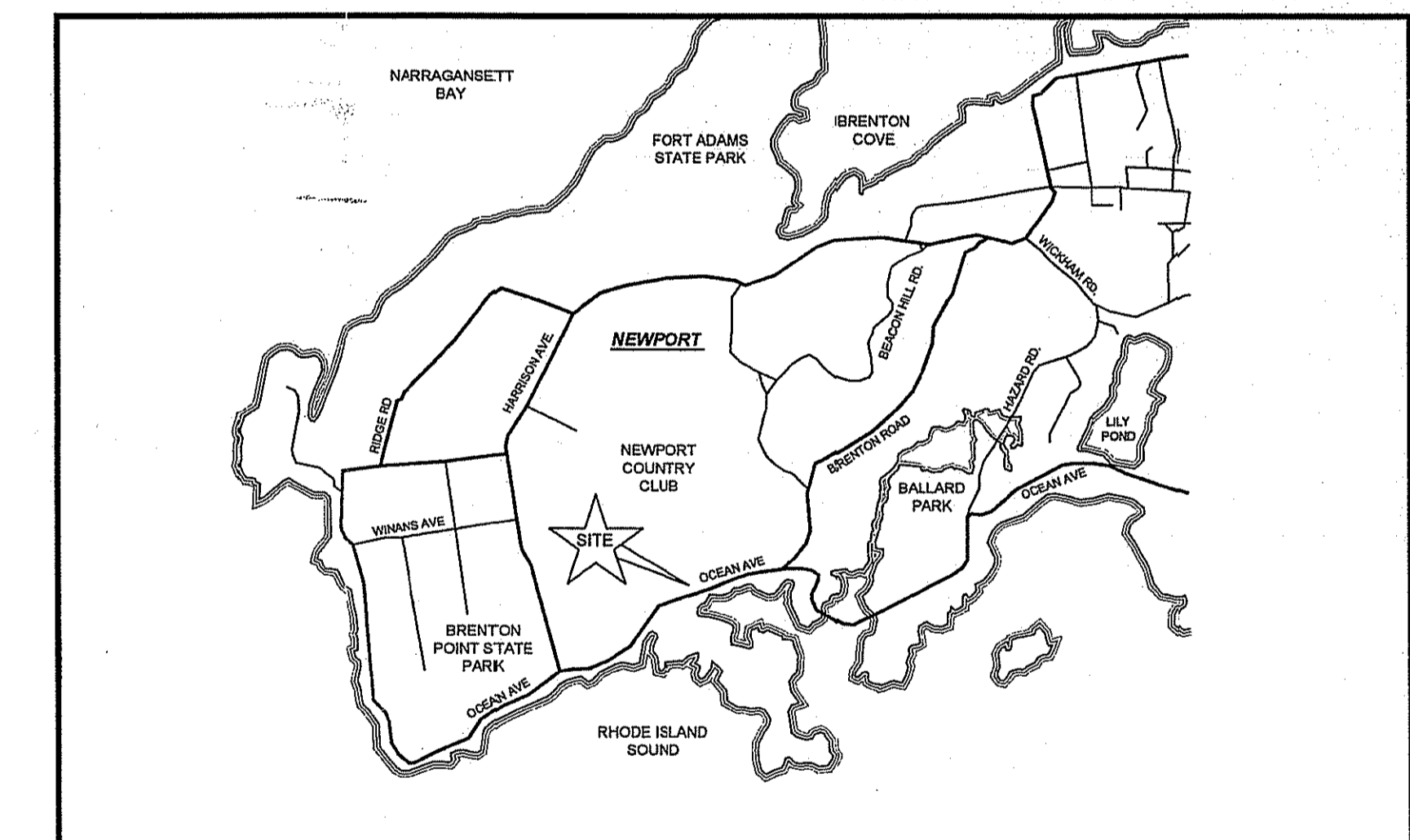
WETLANDS:



Natural Resource Services, Inc.

86 HARRISVILLE MAIN ST. PO BOX 311, BURRILLVILLE, RI 02830
PHONE (401) 568-7390 FAX (401) 568-7490

LOCATION MAP



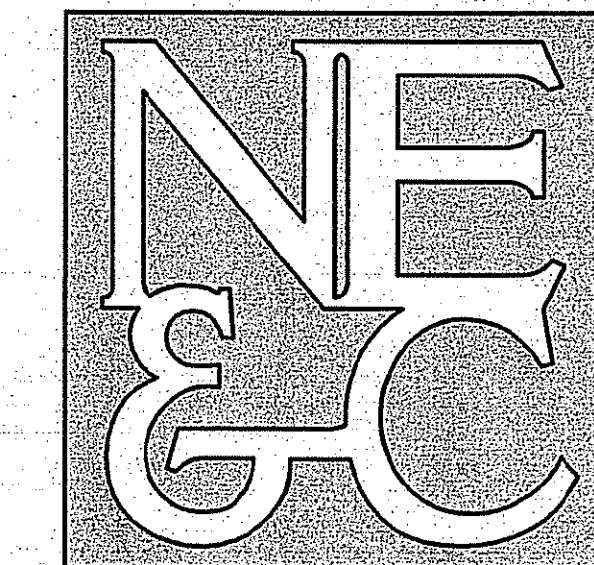
RIDEM WETLANDS SUBMISSION APRIL 2009

PLAN INDEX

TITLE SHEET
EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS
DRAINAGE AND SESC DETAILS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF PERMIT
DATED SEP 9 2009 FILE # 09-0130
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION

Nancy Freeman
SHEET 1 OF 3
SHEET 2 OF 3
SHEET 3 OF 3



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PLANTING NOTES:

BIOLOGICAL WETLAND
ALL DISTURBED AREAS SHOULD BE SEED WITH, SEASONALLY FLOODED WILDLIFE FOOD SEED MIX AT 16#/ACRE

THE FOLLOWING SHRUBS SHOULD BE EVENLY DISTRIBUTED THROUGHOUT THE WETLAND AT 8 FEET AND ON-CENTER.

- | | | |
|---------------------|------------------------|--|
| SHRUBS | | |
| ARROWWOOD | VIBURNUM DENTATUM | |
| HIGH BUSH BLUEBERRY | VACCINIUM CORYMBOSUM | |
| SPECKLED ALDER | ALNUS RUBOSA | |
| SHADBUSH | AMELANCHIER CANADENSIS | |

PERIMETER WETLAND
ALL DISTURBED AREAS SHOULD BE SEED WITH, SEASONALLY FLOODED WILDLIFE FOOD SEED MIX AT 16#/ACRE

THE FOLLOWING SHRUBS AND TREES SHOULD BE PLANTED THROUGHOUT THE PERIMETER WETLAND AT 8 FEET AND 15 FEET ON-CENTER, RESPECTIVELY.

- | | | |
|------------|----------------------|-----------|
| SHRUBS | | TREES |
| ARROWWOOD | VIBURNUM DENTATUM | RED MAPLE |
| RUBUS | MYRICA PENNSYLVANICA | ACER |
| BAY BERRY | SAMBUCUS CANADENSIS | |
| ELDERBERRY | | |

NOTE:
1. PLANTING NOTES PROVIDED BY NATURAL RESOURCE SERVICES, RHODE ISLAND REGISTERED WETLAND BIOLOGIST.

2. AS STIPULATED BY CRMC ASSENT No. M2009-03-062, THE RESTORED WETLAND SHALL BE GRADED TO FORM A TOPOGRAPHICAL DEPRESSION APPROXIMATELY 6 INCHES TO 1 FOOT DEEP (AFTER TOPSOIL PLACEMENT), AT LEAST 10 INCHES OF ORGANIC RICH LOAM SHALL BE PROVIDED IN WETLAND RESTORATION AREA. THE WETLAND SHALL BE RESTORATION AREA.

No.	Revision	Date	App.

Designed by: JJR Drawn by: JJR Checked by: JJR
Scale: 1"=20' Date: 13NOV08

Project Title:
"SEAWARD"
A PROPOSED NEW RESIDENCE
A.P. 43, LOTS 5 & 11
OCEAN AVENUE
NEWPORT, RI

Client/Owner:
ATLANTIC PROPERTIES REVOCABLE TRUST
JENNIFER C. SNYDER, TRUSTEE
C/O TURNER SCOTT
122 TOURO STREET, NEWPORT RI 02840

Issued for:

Drawing Title:
EXISTING CONDITIONS AND PROPOSED IMPROVEMENTS

Drawing Number:
PR-1

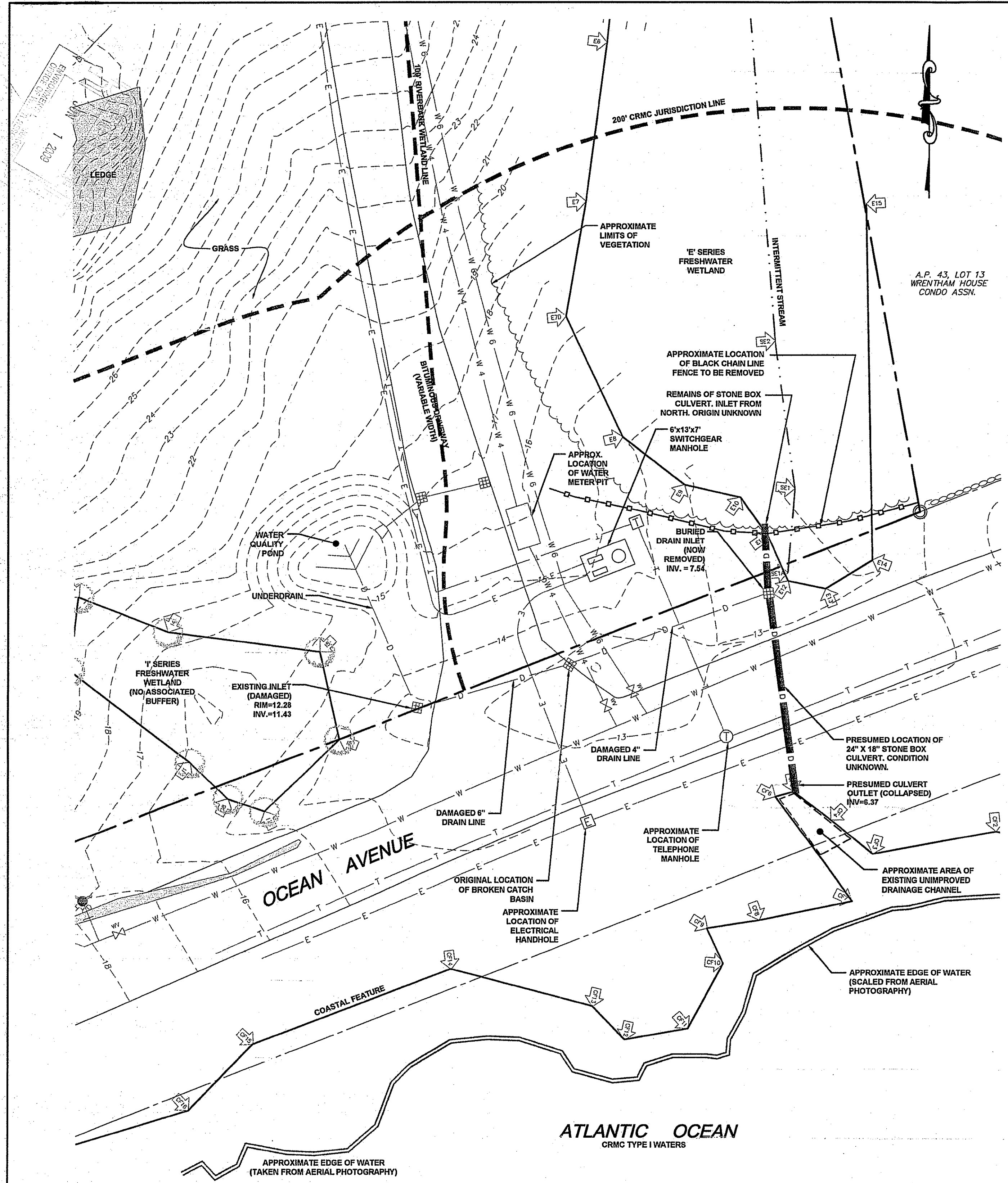
Sheet **2** of **3**

Project Number:
04362.0

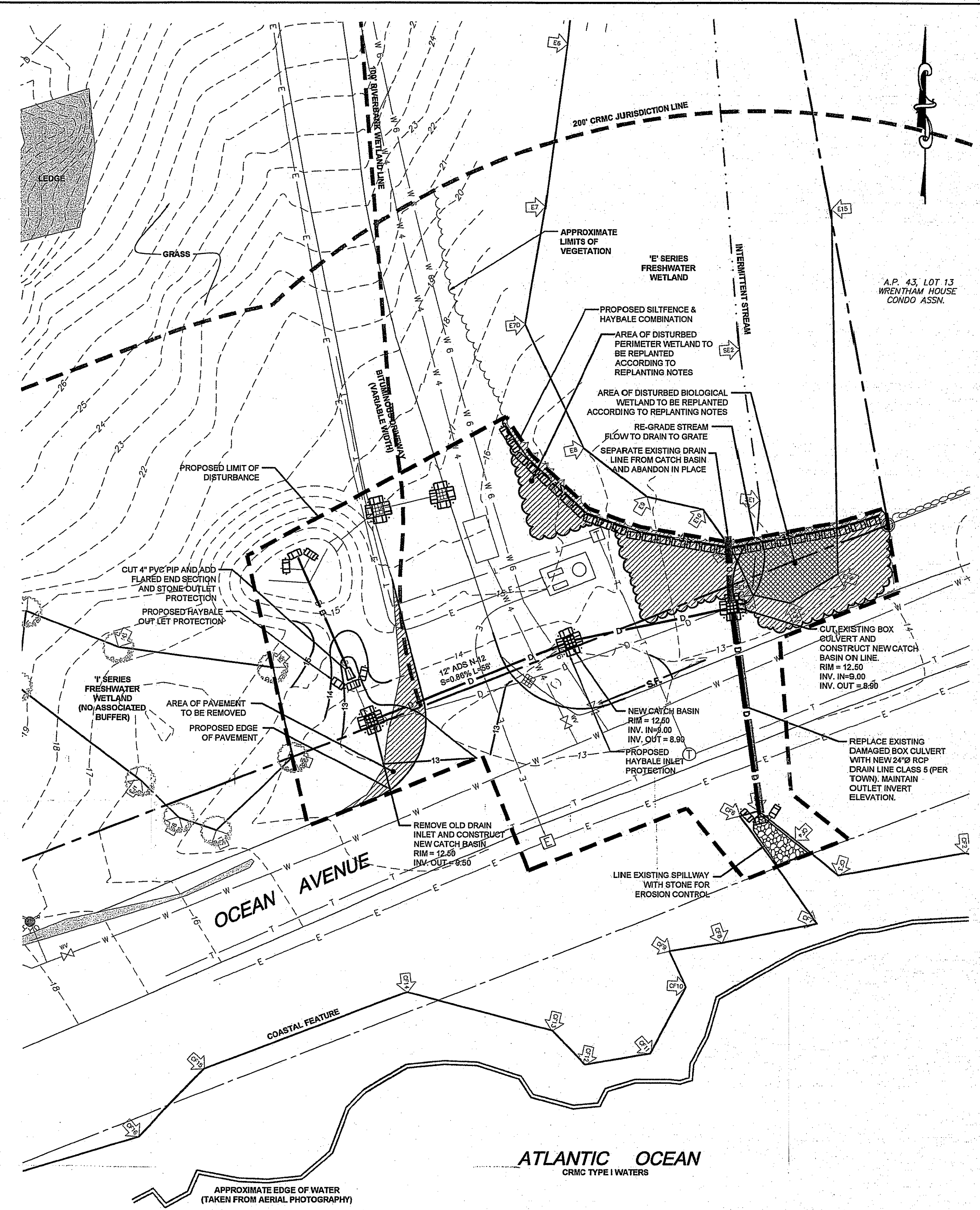
Survey Index:

CECALYN E. SMALL
Cecalyn E. Small
No. 8550
REGISTERED PROFESSIONAL ENGINEER CIVIL

OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.



EXISTING CONDITIONS
SCALE: 1"=20'



PROPOSED CONDITIONS
SCALE: 1"=20'

PROJECT NOTES:

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION, PREPARED FOR AVALON PROPERTIES, INC. & WRENTHAM PROPERTIES, INC. C/O MRS. JAMES VAN ALLEN, 339 OCEAN AVENUE, NEWPORT, RI, TAX ASSESSORS PLAT 43, LOTS 11 & 13," DATED: 9-9-99, BY JOHN BRAGA.
- NORTH ARROW SHOWN ON THIS PLAN TAKEN FROM TAX ASSESSOR'S PLAT MAP.
- EXISTING CONDITIONS AND TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF GROUND SURVEYS PERFORMED BY NORTHEAST ENGINEERS & CONSULTANTS (NE&C) BETWEEN DECEMBER 2004 AND JANUARY 2007 AND UPDATED BASED ON FIELD SKETCHES AND ADDITIONAL FIELD SURVEY BY NE&C IN OCTOBER 2008. ALL ELEVATIONS SHOWN ARE IN THE NAVD DATUM. LOCATIONS AND ELEVATIONS OF RECENT IMPROVEMENTS SHOULD BE CONSIDERED APPROXIMATE.
- THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE X, AS SHOWN ON FIRM PANEL 445403 0003E, REVISED JUNE 16, 1992.
- SOIL CHARACTERISTICS OF THE ENTIRE SITE ARE CATEGORY Cnd - CANTON-CHARLTON/ROCK OUTCROP COMPLEX, 15-35% SLOPES, AND Cdc - CANTON AND CHARLTON FINE SANDY LOAMS, VERY ROCKY 3-15% SLOPES, B - TYPE SOILS, AND Pmb - PITTSFORD SILT LOAM, 3-8% SLOPES, AND "se" - STISSING, C - TYPE SOILS, AS SHOWN ON MAPS NUMBERED 128 AND 137 OF THE SOIL SURVEY OF RHODE ISLAND ISSUED JULY 1981.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE, AND/OR ALL LOCAL UTILITY COMPANIES)

- WETLAND FLAGGING PERFORMED BY NATURAL RESOURCE SERVICES (NRS) IN APRIL 2005 AND SURVEY LOCATED BY NE&C IN THE OF SPRING 2005. ADDITIONAL FLAGGING PERFORMED PER RIDEM COMMENTS IN THE SPRING OF 2005.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS PRIOR TO COMMENCING ANY FIELD WORK.
- IF WORK IS COMPLETED IN ACCORDANCE WITH THIS PLAN, THERE SHOULD BE NO ADVERSE IMPACTS TO NEIGHBORING PROPERTIES.
- UPLAND SITE WORK RECEIVED AN INSIGNIFICANT ALTERATION PERMIT FROM RIDEM IN FEBRUARY 2007. (PERMIT NO. 06-0311)
- THE PURPOSE OF THIS APPLICATION IS TO IMPROVE AND REPAIR THE DRAINAGE SYSTEM WHICH CONVEYS STORMWATER RUNOFF FROM THE UPLAND INTERMITTENT STREAM, A PORTION OF THE IMPROVED PROPERTY AND OCEAN DRIVE ACROSS TO THE RHODE ISLAND SOUND. THIS WORK DESCRIBED HERE ALSO INCLUDES THE REPLACEMENT OF WETLAND AREAS DISTURBED DURING CONSTRUCTION.
- PAVEMENT RESTORATION OF OCEAN AVENUE SHALL BE INCLUSIVE OF ALL UTILITY CONNECTIONS FOR THE SITE.
- PROPER CONSTRUCTION OF THE PROPOSED IMPROVEMENTS ILLUSTRATED ON THIS PLAN ARE THE RESPONSIBILITY OF THE PROPERTY OWNER OF "SEAWARD", AS WELL AS ALL FUTURE MAINTENANCE OF THESE CATCH BASINS, DRAINLINES, AND OUTFALL.
- PROJECT RECEIVED CRMC ASSENT UNDER FILE M2009-03-062. ALL PROPOSED WORK MUST ADHERE TO ALL STIPULATIONS CONTAINED THEREIN.

- LEGEND:**
- PROPERTY LINE
 - - - ABUTTERS' LINE
 - ROUND
 - REBAR / IRON PIN
 - - - EXISTING STONEWALL
 - - - EXISTING CONTOURS
 - ◊ EXISTING WETLAND FLAG
 - ◊ EXISTING COASTAL WETLAND FLAG
 - - - EXISTING EDGE OF FLAGGED FEATURE
 - - - TOP OF COASTAL LEDGE
 - ⊙ EXISTING HYDRANT
 - - - EXISTING WATER LINE
 - ⊙ EXISTING WELL (IRRIGATION ONLY)
 - ⊙ EXISTING SEWER MANHOLE

EXISTING TREES
EXISTING SHRUBS/BUSHES
EXISTING EXPOSED LEDGE
EXISTING STREAM
EXISTING TELEPHONE MANHOLE
EXISTING COMM. HANDHOLE
EXISTING CATCH BASIN EXISTING ELECTRIC MANHOLE
PROPOSED DRAIN LINE
PROPOSED CATCH BASIN
PROPOSED LIMIT OF DISTURBANCE
PROPOSED GRADING
PROPOSED WATER RESOURCES
PROPOSED WETLANDS PROGRAM

APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 28 2009 FILE # 09-0130
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED BY: *Nancy L. Freeman*

SOIL EROSION CONTROL NOTES

- CONSTRUCTION SEQUENCE:**
 - DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
 - CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON PLAN. CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THESE ENTRANCES.
 - INSTALL SILT FENCES AND/OR HAY BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF STREAMS AND WETLANDS PRIOR TO ANY EARTH MOVING ACTIVITIES.
 - REMOVE TREES WHERE NECESSARY.
 - EXCAVATE BASINS/PONDS IN ACCORDANCE WITH THE PLANS AND DETAILS.
 - START BUILDINGS, BIDS AND DRIVEWAY CONSTRUCTION.
 - INSTALL THE REQUIRED DRAINAGE.
 - CONSTRUCT LANDSCAPED AREAS. MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.

- GENERAL NOTES:**
 - DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
 - ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
 - AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
 - ALL FILL SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDIANCE, OR OTHER RELATED PROBLEMS.
 - FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
 - ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 12" IN THICKNESS.
 - FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPES, LIMESTONE DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 - FROZEN SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
 - FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
 - SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

- VEGETATIVE PRACTICE PERMANENT MEASURES:**
 - SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
 - LOAM AND SEED SHALL MEET THE STANDARDS SPECIFIED IN RIDOT L01 AND L02.
 - A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED. TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)
 - LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10): 600 LBS/ACRE
 - SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
WINTER RYE: 12 LBS/ACRE
 - HAY MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.

- BASIN/POND EXCAVATION:**
 - INSTALL SILT FENCE AND SILT CURTAIN AS INDICATED ON THE PLANS.
 - EXCAVATE THE PROPOSED BASINS/PONDS.
 - SEED IN ACCORDANCE WITH RIDOT L01 AND L02 NOTES.
 - REMOVE SILT FENCE FROM THE BASINS/PONDS.
 - LEAVE SILT CURTAIN IN PLACE IN FRONT OF OUTLETS UNTIL BASINS/PONDS ARE STABILIZED.

- MAINTENANCE DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED:**
 - SILT FENCES AND HAYBALES SHALL BE INSPECTED AS INDICATED IN THE DETAILS. AT A MINIMUM THE SILT FENCING AND HAYBALES SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - EXCISION MATTING SHALL BE INSPECTED ON A WEEKLY BASIS.
 - STONE APRONS SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
 - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND REESTABLISHED AS NECESSARY.
 - SEEDED AREAS WILL BE FERTILIZED AND RESEED AS NECESSARY TO INSURE ESTABLISHMENT OF VEGETATION.

GENERAL NOTES

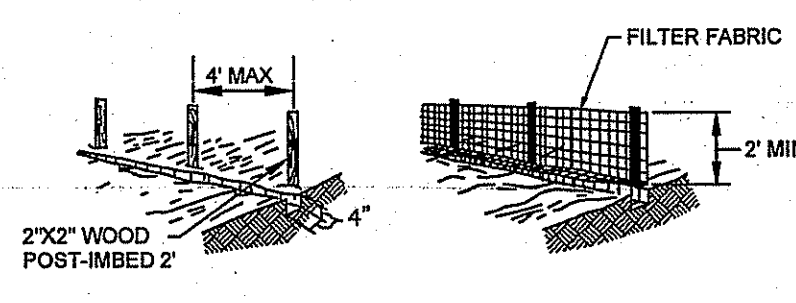
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS WITH THE CITY OF NEWPORT. NO CONSTRUCTION IS TO COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF NEWPORT AND THE RI DEPARTMENT OF TRANSPORTATION. STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DATED 2004 AND ALL CURRENT ADDENDA, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
- ALL ELEVATIONS ARE ON ASSUMED DATUM.
- DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER AND OWNER.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO BE MADE TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. THE CONTRACTOR IS REQUIRED TO VERIFY THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER UTILITIES NOT ON RECORD OR SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE REPAIR AND REINSTATEMENT OF UTILITY SERVICES DAMAGED DURING CONSTRUCTION.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, WALKS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE (1-888-344-7233) AND/OR ALL LOCAL UTILITY COMPANIES).
- WATER AND SEWER MAINS SHALL MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10' AT ALL TIMES. CONSULT R.I.D.E.M. RULES AND REGULATIONS FOR ANY DEVIATIONS FROM THIS REQUIREMENT.
- ALL SEWER MANHOLE FRAMES AND COVERS SHALL PROVIDE 30" CLEAR ACCESS AND HAVE THE WORD "SEWER" CAST IN CENTER W/ 3" LETTERS.
- ANY DISTURBANCE OF THE CITY RIGHT-OF-WAY MUST BE RESTORED TO CITY OF NEWPORT STANDARDS.

STORMWATER MAINTENANCE NOTES:

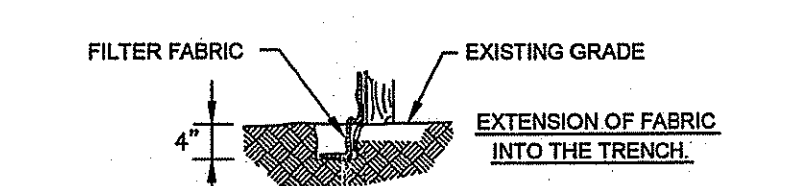
- UPON COMPLETION OF GRADING, ALL DRAINAGE AREAS SHALL BE STABILIZED WITH TEMPORARY EROSION CONTROL BLANKET (NORTH AMERICAN GREEN D575 OR APPROVED EQUAL).
- GRASSES SHALL BE PLANTED AROUND AND WITHIN THE WATER QUALITY DEPRESSIONS IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AN PREVENT EROSION.
- WATER QUALITY DEPRESSIONS TO BE MOVED AT LEAST 3 TIMES PER GROWING SEASON TO PREVENT UNWANTED GROWTH. A WATER TOLERANT SEED MIXTURE SHALL BE USED.
- WATER QUALITY DEPRESSIONS TO BE INSPECTED AT LEAST TWICE A YEAR FOR EROSION PROBLEMS. AREAS SUBJECT TO EROSION PROBLEMS SHALL BE RE-SEED IMMEDIATELY TO STABILIZE ANY EXPOSED SOILS. WHERE POOLS OF STAGNANT WATER ARE OBSERVED, THE DEFICIENCY SHALL BE CORRECTED IMMEDIATELY WITH THE REMOVAL OF ACCUMULATED SEDIMENTS, ROTOTILLING OF THE SOIL, AND IMMEDIATE RESEEDING.
- TRASH, LITTER AND OTHER DEBRIS ARE TO BE REMOVED FROM WATER QUALITY DEPRESSIONS AND PAVED WATERWAYS AT LEAST TWICE A YEAR. LITTER SHALL BE REMOVED PRIOR TO ANY MOVING OPERATIONS.
- ACCUMULATED SEDIMENTS SHALL BE REMOVED FROM ALL WATER QUALITY DEPRESSIONS AT LEAST ONCE EVERY TEN YEARS. EXCAVATED MATERIAL SHALL BE DISPOSED OF PROPERLY.
- MAINTENANCE OF THE STORMWATER SYSTEM DURING THE CONSTRUCTION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DRAINAGE STRUCTURES SHALL BE INSPECTED AT LEAST TWICE A YEAR. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM ALL STRUCTURES DURING THE SCHEDULED MAINTENANCE INSPECTIONS. ALL REMOVED MATTER SHALL BE DISPOSED OF AT A LICENSED OFF-SITE FACILITY.
- THE STRUCTURAL INTEGRITY OF ALL CATCH BASINS, INLET STRUCTURES, OUTLET STRUCTURES AND MANHOLES SHALL BE CHECKED AT LEAST TWICE A YEAR. STRUCTURAL FAULTS SHALL BE REPAIRED IMMEDIATELY.
- THE LONG TERM MAINTENANCE OF ALL ON SITE DRAINAGE FEATURES AND THE DRAINLINE, OUTFALL AND CATCHBASINS WITHIN THE CITY OF NEWPORT'S R.O.W. ADJACENT TO A.P. 43, LOTS 5&11 SHALL BE MAINTAINED BY THE OWNER OF "SEAWARD".

CRMC EARTHWORK STIPULATIONS (PER ASSENT No. M2009-03-002)

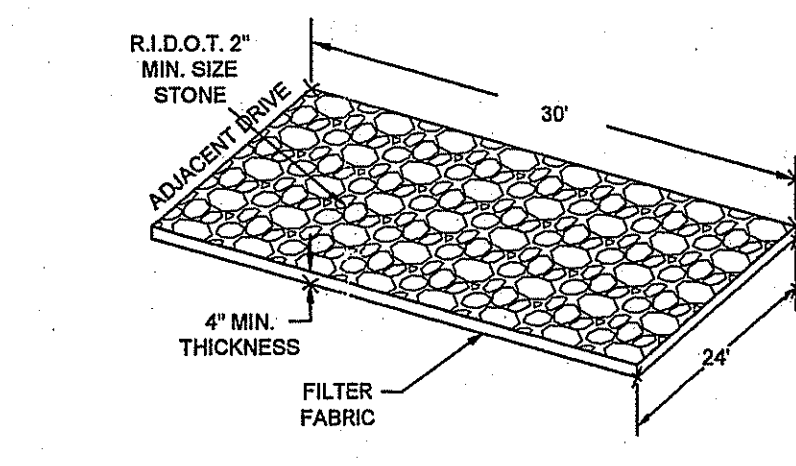
- THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE MOST RECENT RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (RIESCCH) SHALL STRICTLY BE ADHERED TO.
- PRIOR TO INITIATION OF ANY GRADING, CONSTRUCTION OR EARTHWORK ACTIVITY, A LINE OF STAKED HAYBALES AND/OR SILT FENCE IN ACCORDANCE WITH RIESCH STANDARD "ST" SHALL BE PLACED ALONG THE DOWNSIDE PERIMETER OF THE PROPOSED AREA OF CONSTRUCTION. BALES OF HAY AND/OR SILT FENCE SHALL BE "TOED IN" INCHES TO PREVENT THE UNDERWASH OF SEDIMENTS. THIS LINE SHALL BE MAINTAINED BY THE REPLACEMENT OF BALES AS NEEDED BY THE PROPER UPLAND DISPOSAL OF ACCUMULATED SEDIMENTS UNTIL PERMANENT SITE REVEGETATION IS ESTABLISHED. NO SOILS NOR ANY OTHER MATERIALS SHALL BE ALLOWED TO ENTER BEYOND THIS LINE, NEITHER TEMPORARILY NOR PERMANENTLY.
- ALL DISCHARGES WHICH RESULT FROM DEWATERING OPERATIONS MUST FLOW INTO SEDIMENT TRAPS CONSISTING OF STAKED HAYBALE RINGS ENCLOSED CRUSHED STONE TO DISPERSE INFLOW VELOCITY IN ACCORDANCE WITH RIESCH STANDARD "FB". HAYBALES SHALL BE "TOED IN" 4 TO 6 INCHES INTO GROUND TO PREVENT UNDERWASH OF SEDIMENTS. THESE DEVICES SHALL NOT BE LOCATED ON ANY COASTAL FEATURE NOR IN ANY DESIGNATED BUFFER ZONE. IF NECESSARY, A MATTING DEVICE SHALL BE USED BELOW THE TRAPS. THESE DEVICES MUST COMPLETELY REMOVED UPON COMPLETION OF DEWATERING OPERATIONS.
- THERE SHALL BE NO STOCKPILING OR DISPOSAL OF SOILS, CONSTRUCTION MATERIALS, DEBRIS, ETC. ON THE COASTAL FEATURE, WITHIN 50 FEET OF THE INLAND EDGE OF THE COASTAL FEATURE, IN COASTAL WATERS, OR IN ANY AREAS DESIGNATED AS A CRMC SETBACK OR COASTAL BUFFER ZONE.
- ALL EXCESS EXCAVATED MATERIALS, EXCESS SOILS, EXCESS CONSTRUCTION MATERIALS, AND DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN INLAND LANDFILL OR A SUITABLE AND LEGAL UPLAND LOCATION OUTSIDE OF CRMC JURISDICTION. NO MATERIALS SHALL BE DEPOSITED ON THE COASTAL FEATURE, WITHIN 200 FEET OF THE INLAND EDGE OF THE COASTAL FEATURE, IN COASTAL WATERS, OR IN ANY AREAS DESIGNATED AS A CRMC SETBACK OR COASTAL BUFFER ZONE.
- ALL FILL MATERIALS SHALL BE CLEAN, FREE OF DEBRIS OR RUBBLE, AND FREE OF ANY MATERIALS WHICH MAY CAUSE POLLUTION OF SURFACE WATERS OR GROUNDWATER.
- ALL AREAS OF EXPOSED SOIL WHICH ARE DISTURBED BY CONSTRUCTION AND RELATED ACTIVITIES SHALL BE REVEGETATED AS IMMEDIATELY AS IS PHYSICALLY POSSIBLE SO AS TO MINIMIZE EROSION AND SEDIMENTATION. IF THE SEASON IS NOT CONDUCTIVE TO IMMEDIATE REVEGETATION, ALL EXPOSED SOILS SHALL BE TEMPORARILY STABILIZED WITH HAY MULCH, JUTE MAT NETTING OR SIMILAR EROSION CONTROL MATERIALS. SOIL STABILIZATION METHODS SHALL BE EMPLOYED DURING, AS WELL AS AFTER, THE CONSTRUCTION PHASE TO THE MAXIMUM EXTENT POSSIBLE.
- EXCAVATION AND GRADING SHALL BE LIMITED TO THE AREA APPROVED. EXCESS EARTHWORK BEYOND THAT AUTHORIZED BY THIS ASSENT IS NOT PERMITTED.
- THERE SHALL BE NO DISPOSAL OF HAZARDOUS MATERIALS WHICH MAY BE ASSOCIATED WITH CONSTRUCTION MACHINERY, ETC. ON THE SITE OR IN THE WATERWAY. ALL USED OIL, LUBRICANTS, CONSTRUCTION CHEMICALS, ETC. SHALL BE DISPOSED OF IN FULL COMPLIANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS.



- SET POSTS AND EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
- STAPLE FILTER FABRIC TO THE POSTS AND EXTEND INTO TRENCH.
- BACK FILL AND COMPACT THE EXCAVATED SOIL INTO THE TRENCH.

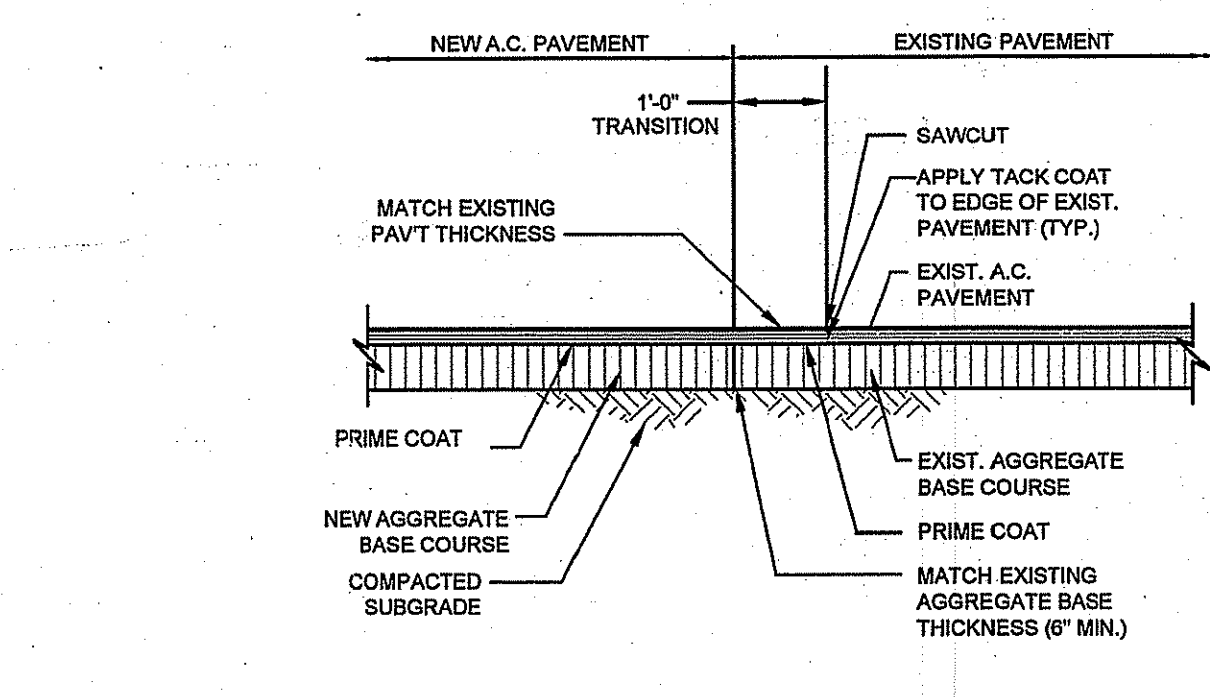


SILT FENCE DETAIL
SCALE: NOT TO SCALE

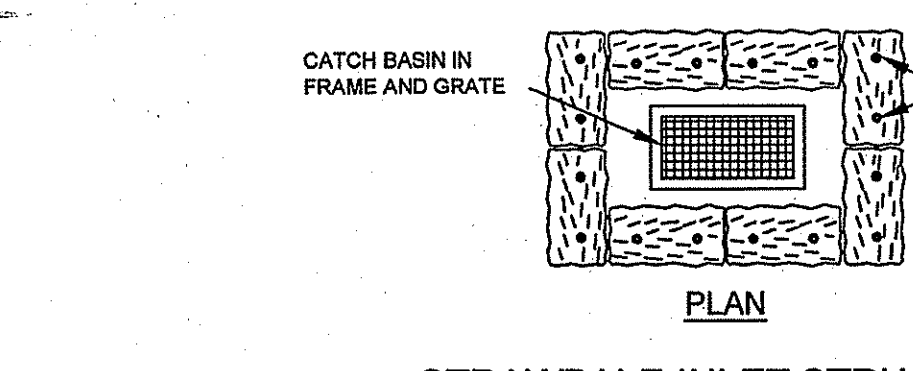


WHEEL CLEANING BLANKET
SCALE: NOT TO SCALE

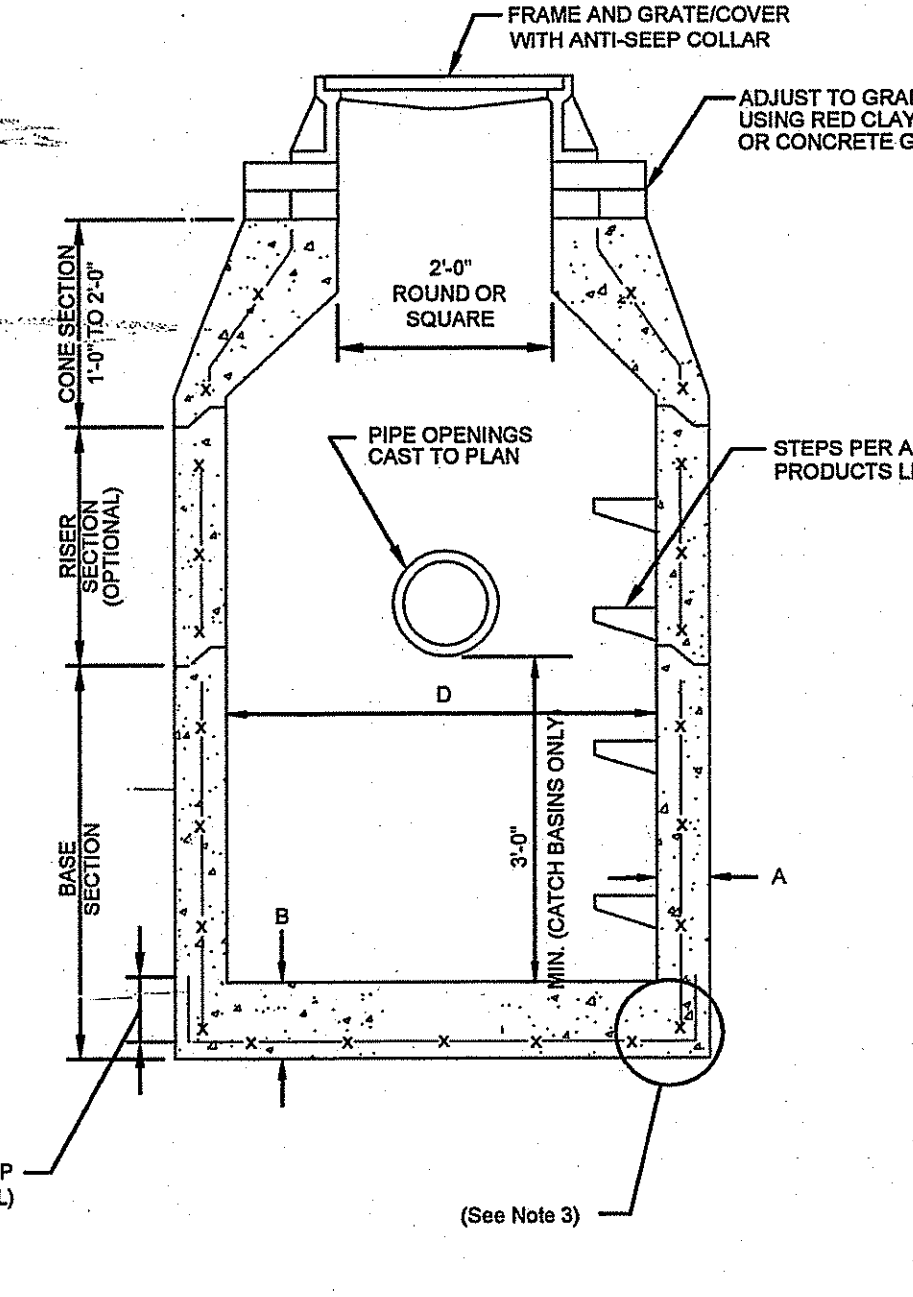
NOTE:
PAVEMENT STRUCTURE SHALL BE RESTORED TO EQUAL OR BETTER THAN EXIST. IN THICKNESS AND QUALITY.



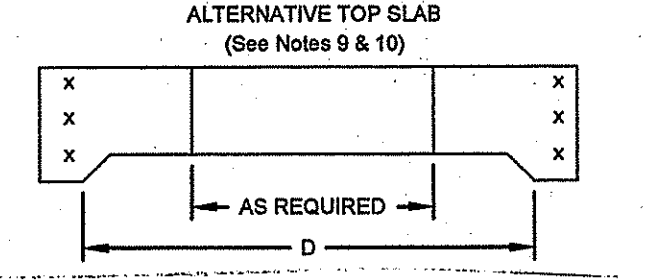
SMOOTH RIDING CONNECTION DETAIL
SCALE: NOT TO SCALE



STRAWBALE INLET STRUCTURE
SCALE: NOT TO SCALE



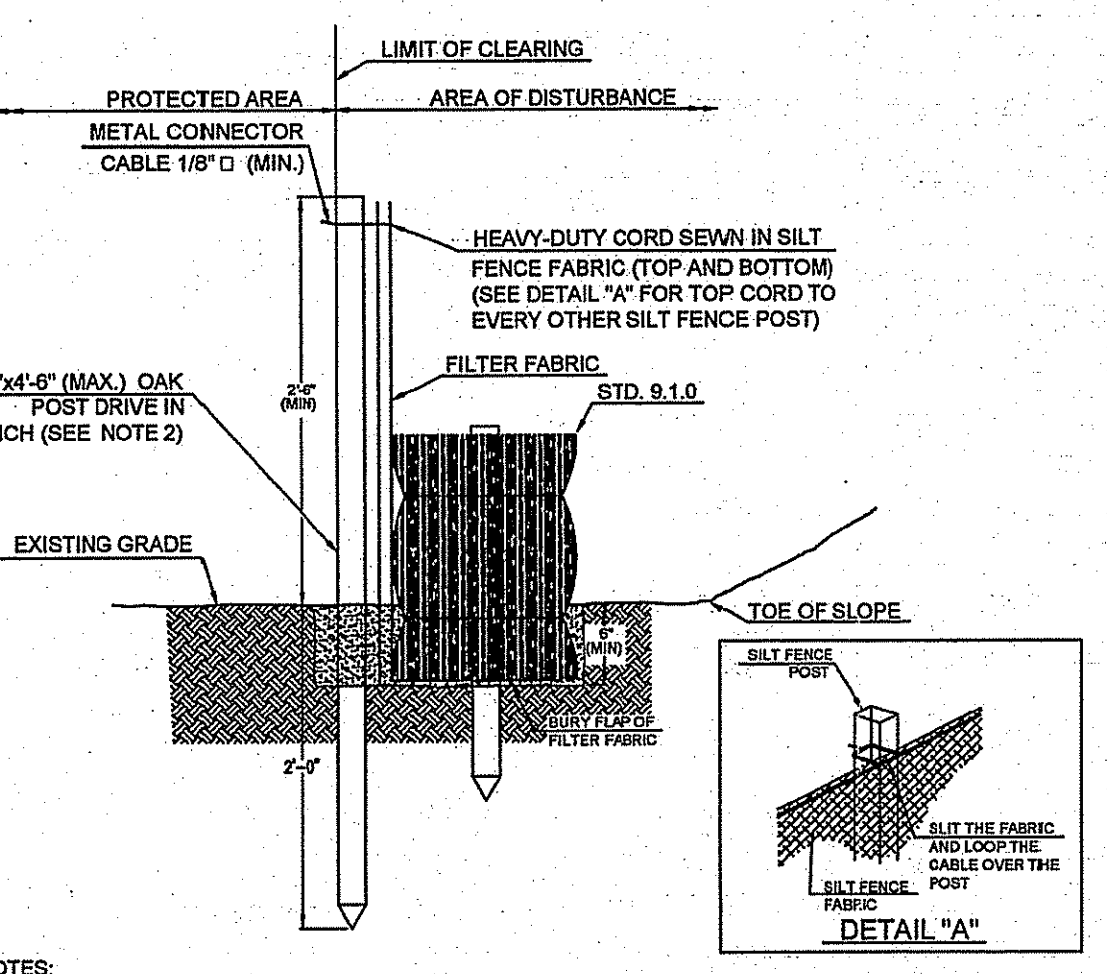
PRECAST ROUND CATCH BASIN & DRAIN MANHOLE (RIDOT 4.4.0)
SCALE: NOT TO SCALE



CATCH BASIN DIAMETER (D)	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*	
	A	B
4'-0"	5"	6"
5'-0"	6"	7"
6'-0"	7"	8"

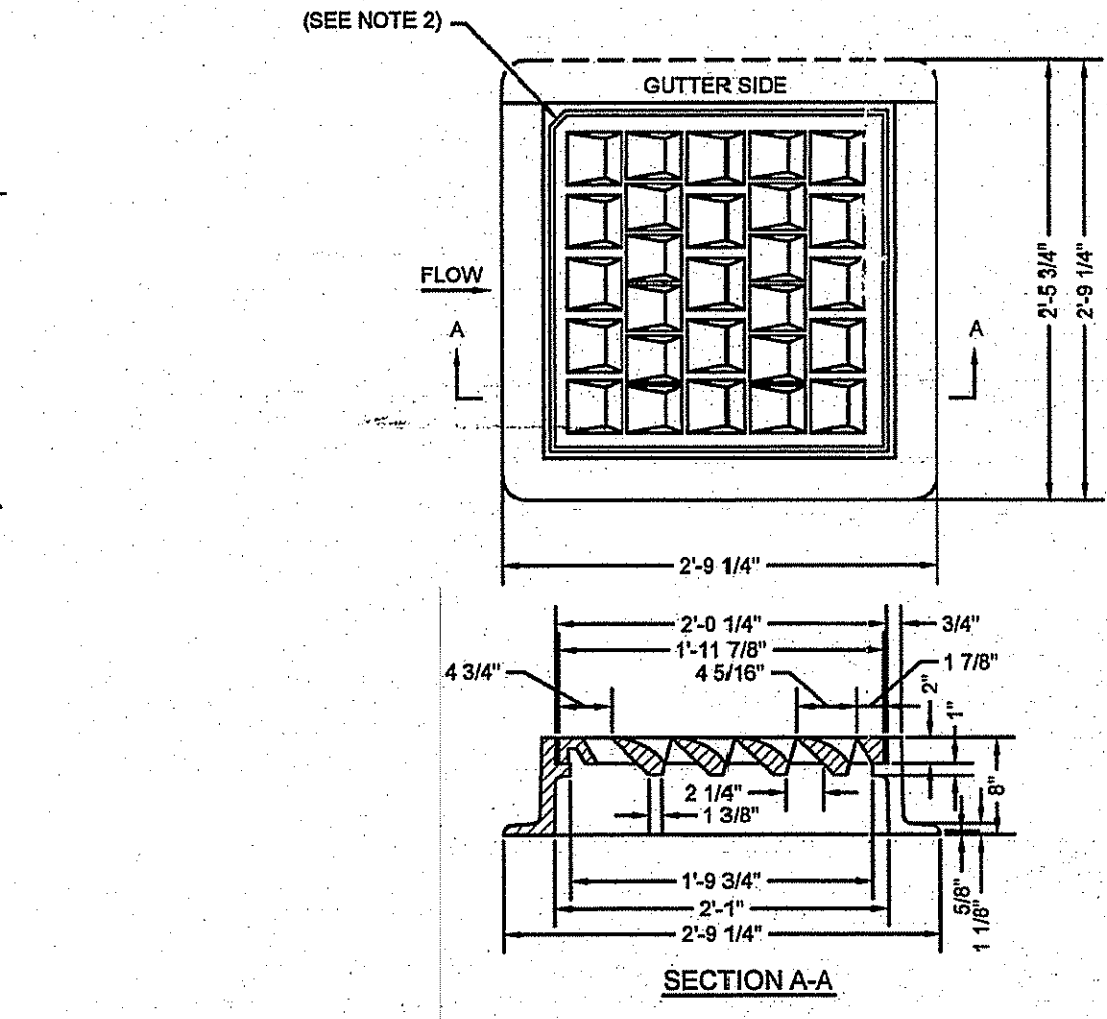
* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

- SHALL BE ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATION.
- SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
- STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
- STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT. ONE POUR MONOLITHIC BASE SECTION.
- ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
- CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
- THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS. 11. REFER TO STD. 5.2.0 FOR APPROPRIATE PIPE SIZES.
- ALTERNATIVE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
- ALTERNATIVE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.



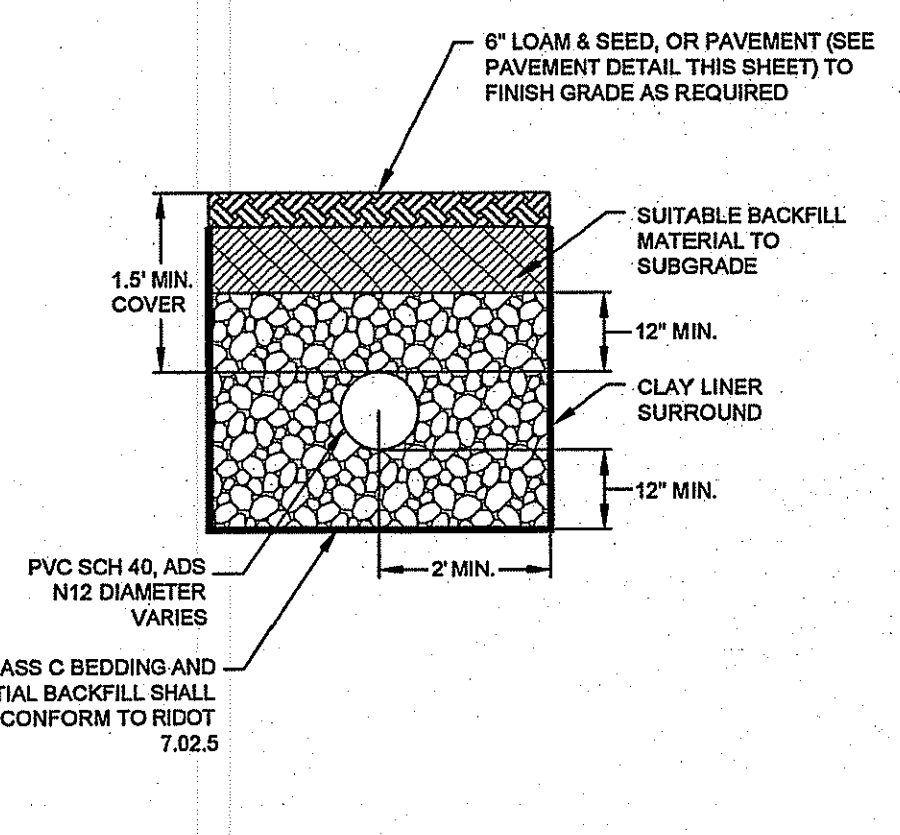
- SHALL BE IN ACCORDANCE WITH SECTION 208 OF THE R.I. STANDARD SPECIFICATIONS.
- STD. 9.1.0 IS INSTALLED "TIGHT" AGAINST SILT FENCE. THOROUGHLY COMPACT EXCAVATED SOILS BACK INTO TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICE. SILT FENCE FABRIC SHALL NOT BE SLIT. STD. 9.1.0 POST SHALL BE DRIVEN THROUGH SILT FENCE FABRIC. 2'x2'x4'-0" (MAX.) OAK POST FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP OFF AREAS AS SHOWN ON PLANS.
- 1'x1'x4'-6" (MIN.) POSTS ARE PERMITTED FOR PRE-FABRICATED SILT FENCE.
- SILT FENCE AND BALED HAY SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

BALED HAY EROSION CHECK AND SILT FENCE COMBINED
(R.I. STANDARD 9.3.0)
SCALE: NOT TO SCALE



- FRAME AND COVER SHALL CONFORM TO SECTION M.0.4 OF THE R.I. STANDARD SPECIFICATIONS.
- THIS CORNER LEFT FOR "LEFT" GRATE, DIAGONALLY OPPOSITE CORNER FOR "RIGHT" GRATE TO FIT IN KEYED FRAME.

HIGH CAPACITY FRAME & GRATE (RIDOT 6.3.4)
SCALE: NOT TO SCALE

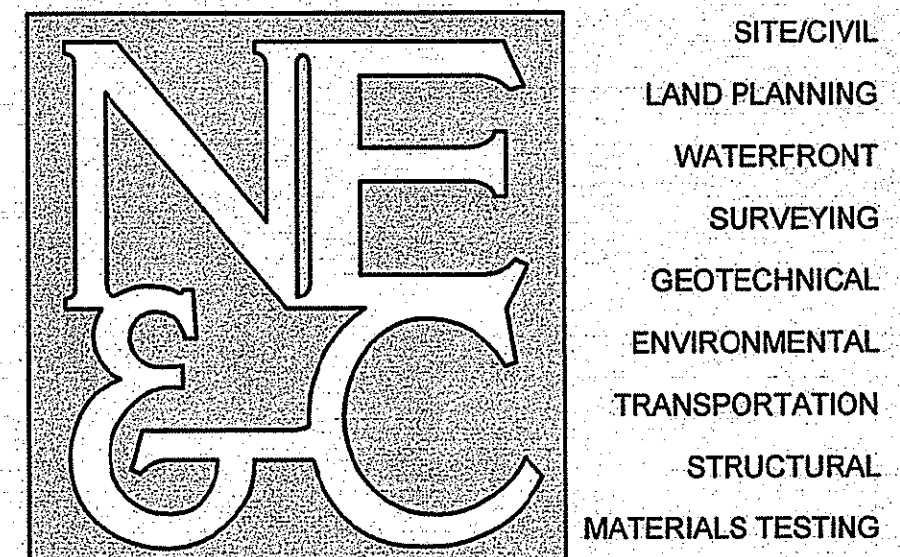


PVC, ADS N-12 & 24\"/>

DRAIN PIPE NOTES:

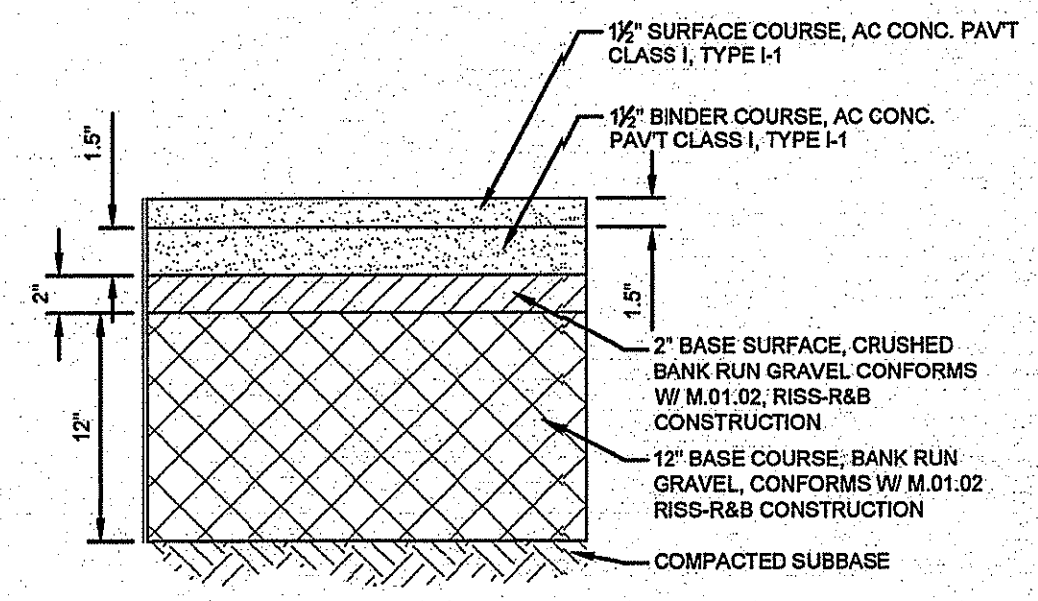
- UNSATURABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12-INCHES BELOW THE DESIGN INVERT ELEVATION.
- TRENCH PROTECTION SHALL BE REQUIRED IN ACCORDANCE WITH OSHA REGULATIONS, AND AS OTHERWISE REQUIRED TO PROTECT UTILITIES, ROADWAYS, AND ADJACENT STRUCTURES.
- PIPES SHALL BE LAID BEGINNING AT THE DOWNSTREAM END OF THE PIPE LINE, IN ACCORDANCE WITH RIDOT SPECIFICATION 701.03.4
- PIPE JOINTS SHALL BE MADE WITH RUBBER GASKETS, INSTALLED SO AS TO FORM A FLEXIBLE, WATER TIGHT JOINT.
- BACKFILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN HEIGHT. THESE LAYERS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY (ASHTO T180).
- 24\"/>

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MATERIALS TESTING



TYPICAL BITUMINOUS PAVEMENT SECTION
SCALE: NOT TO SCALE

No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	SMH
Scale:	AS SHOWN	Date:	13NOV08
Project Title:			
"SEAWARD"			
A.P. 43, LOTS 5 & 11 OCEAN AVENUE NEWPORT, RI			
Client/Owner:			
ATLANTIC PROPERTIES REVOCABLE TRUST JENNIFER C. SNYDER, TRUSTEE C/O TURNER SCOTT			
DEPARTMENT OF WATER RESOURCES			
OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL			
DATED: SEP 28 2009 FILE # 09-0130			
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL			
<i>Kathy L. Freeman</i>			
DRAINAGE & SESC DETAILS			
Drawing Number:		D-1	
Sheet:		3 of 3	
Project Number:		04362.0	
Survey Index:			
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