

SITE PLANS FOR A PROPOSED BUILDING ADDITION TO



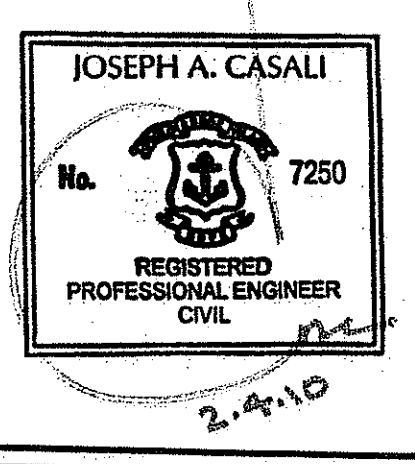
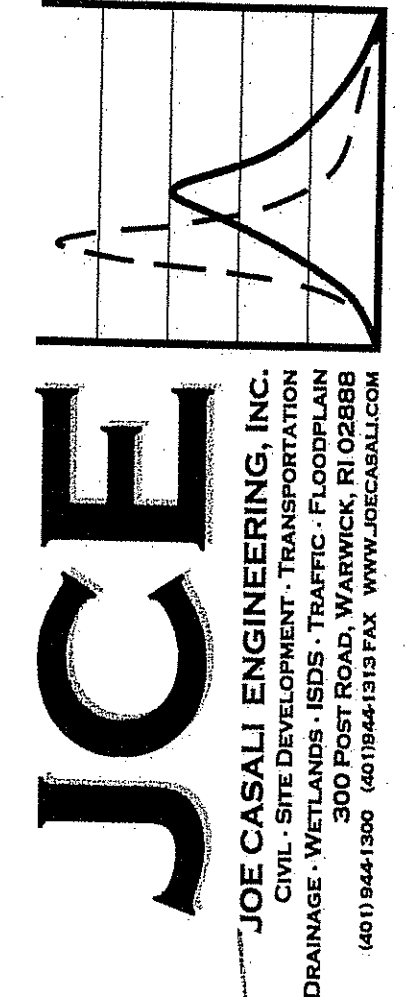
Community Health Care

NORTHWEST COMMUNITY HEALTH CARE

AP 175 LOT 38
36 BRIDGE WAY
PASCOAG, RHODE ISLAND

ZONING DISTRICTS: VC & A-100

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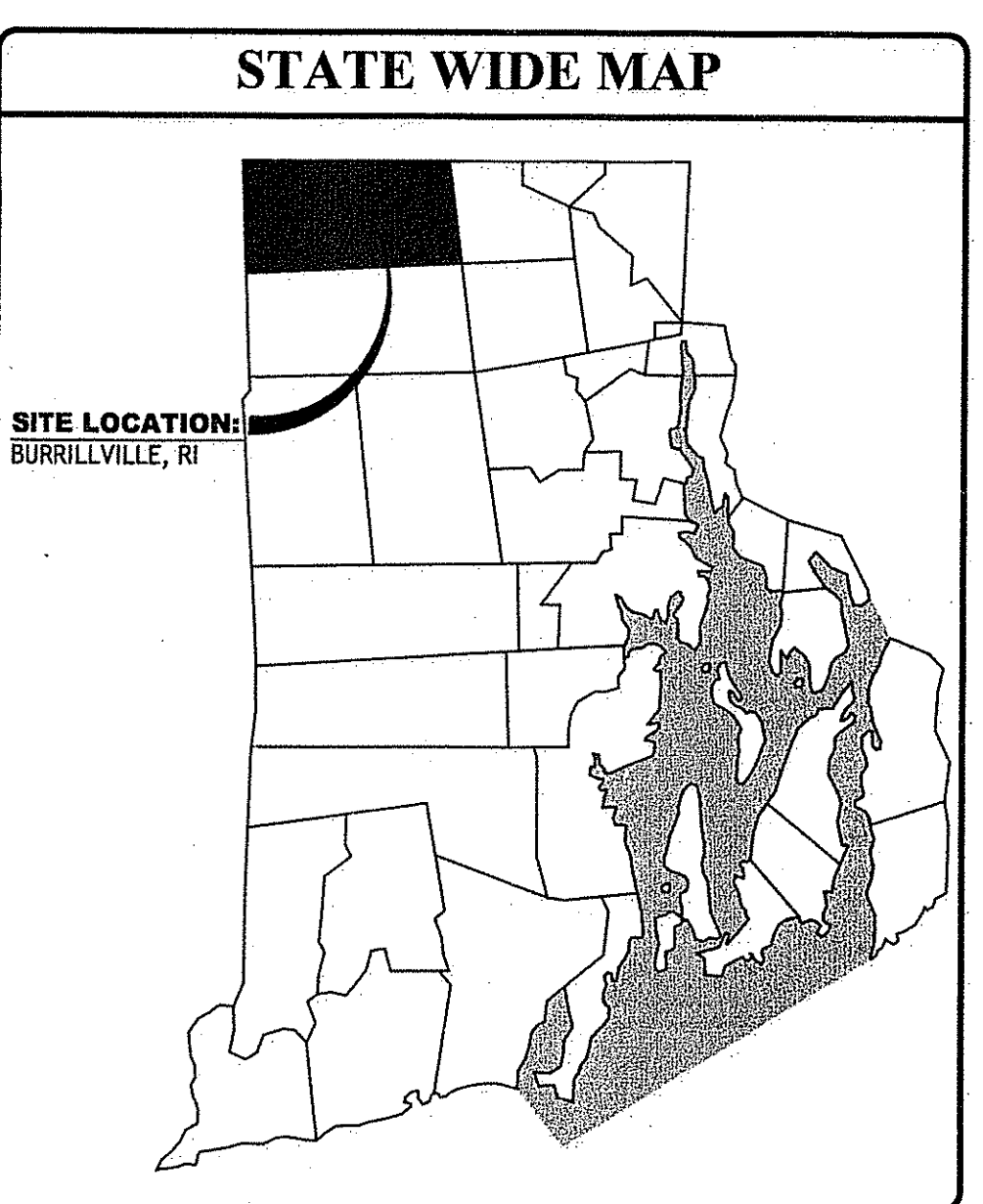
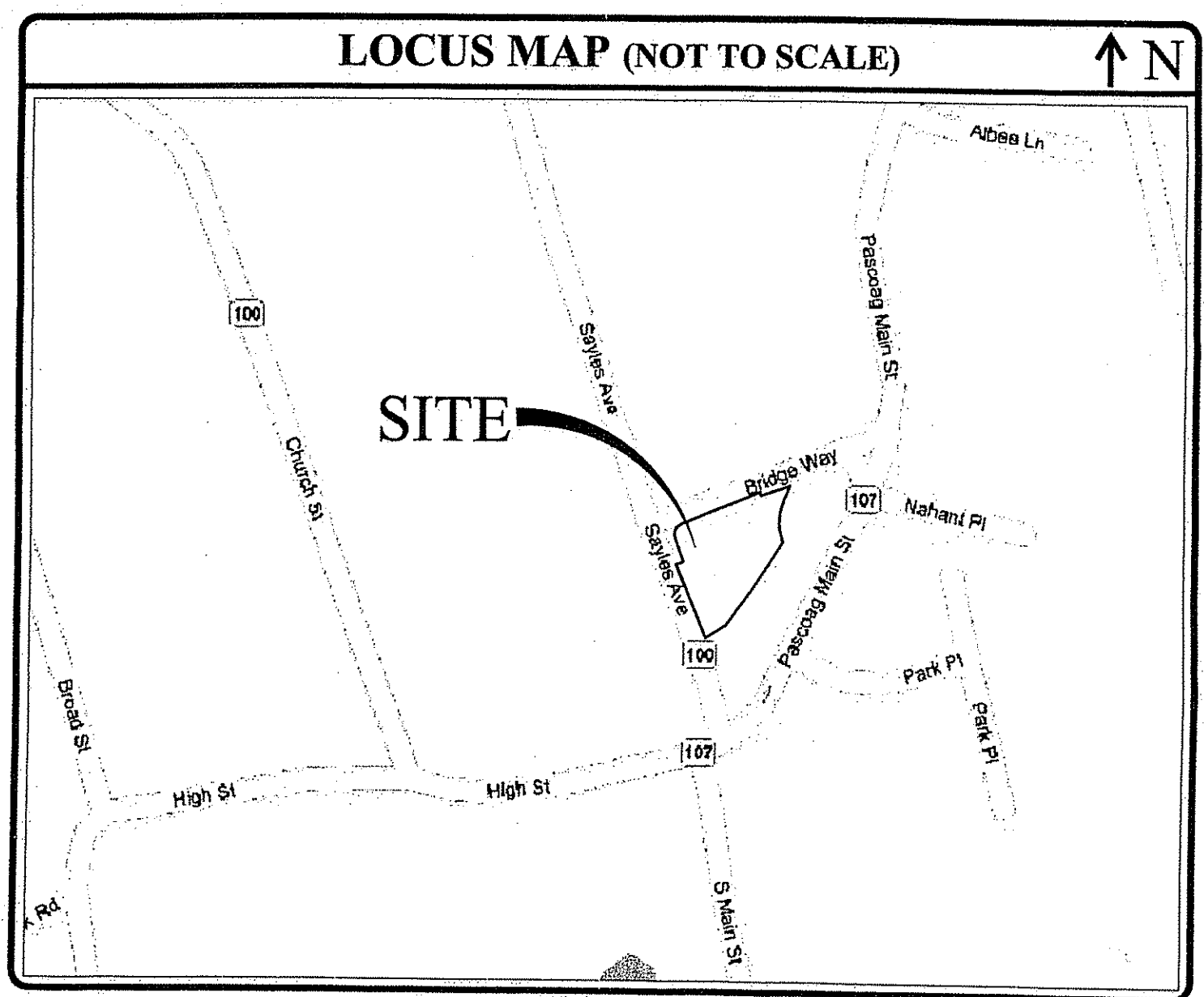


NORTHWEST COMMUNITY
HEALTH CARE BUILDING ADDITION
36 BRIDGE WAY
PASCOAG, RHODE ISLAND
AP 175 LOT 38

SUBMISSION TYPE:
MINOR LAND DEVELOPMENT - PRELIMINARY SUBMISSION
RIDEM - FRESHWATER WETLANDS SUBMISSION

Q:\03-80-Vision III Architects\03-80-NW Northwest Community\CAD\DWG COMM HEALTH PLANSET.dwg Feb. 09. 2010 3:41pm

PROJECT TEAM	
OWNER/ APPLICANT:	NORTHWEST COMMUNITY HEALTH CARE D/B/A WELLONE 36 BRIDGE WAY PASCOAG, RI 02852
ARCHITECT:	VISION 3 ARCHITECTS 225 CHAPMAN STREET PROVIDENCE, RI 02905 PHONE: 401-461-7771 FAX: 401-461-7772
CIVIL:	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313
SURVEYOR:	WATERMAN ENGINEERING CO. 46 SUTTON AVENUE EAST PROVIDENCE, RI 02914 PHONE: 401-438-5775 FAX: 401-438-5773



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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 25 2010 FILE # 10-0013
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

REVISIONS:		
NO.	DATE	DESCRIPTION
1	2/5/10	PRELIMINARY PLAN RIDEM SUBMISSION

DESIGNED BY:	GEC
DRAWN BY:	WMLJR
CHECKED BY:	JAC
DATE:	12/31/09
PROJECT NO.:	03-804f

PRELIMINARY, NOT FOR
CONSTRUCTION

COVER SHEET

SHEET 1 OF 6

- GENERAL NOTES:**
- CLASS I PROPERTY LINE AND CLASS III TOPOGRAPHIC SURVEY COMPLETED BY WATERMAN ENGINEERING CO., 46 SUTTEN AVENUE, EAST PROVIDENCE, RI IN DECEMBER 2009.
 - THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
 - THE PROPERTY LIES WITHIN ZONE AE WHICH IS DEFINED AS SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED AS DEPICTED IN THE FLOOD INSURANCE RATE MAP (FIRM) FOR PROVIDENCE COUNTY, RHODE ISLAND, MAP NUMBER 44007 C010G, EFFECTIVE DATE MARCH 2, 2009. THE BASE FLOOD ELEVATIONS DETERMINED NEAR THE SITE ARE 416, 413, AND 408, AS YOU MOVE FROM THE SOUTHERN PORTION OF THE PROPERTY TO THE NORTHERN SIDE OF THE PROPERTY. THE ELEVATION DIFFERENCE FROM 413 TO 408 OCCURS AFTER THE DAM.
 - THERE ARE NO EXISTING EASEMENTS ON THE PROPERTY.
 - THE EXISTING PROPERTY LINES WILL REMAIN AS IS UNDER PROPOSED CONDITIONS.
 - THIS SITE LIES WITHIN THE DOWNTOWN PASCOAG REVITALIZATION AREA.
 - THIS SITE IS NOT WITHIN THE ROUTE 102 DEVELOPMENT MANAGEMENT DISTRICT.
 - THIS SITE IS WITHIN A COMMUNITY WELLHEAD PROTECTION AREA.
 - THIS SITE IS WITHIN THE BLACKSTONE RIVER BASIN WATERSHED (R0001) AREA, AS PER THE RI WATERSHED MAP BY RIGIS.
 - THE WATER QUALITY CLASSIFICATION FOR THIS SITE IS CLASS B PER RIDEM WATER QUALITY REGULATIONS.
 - THERE ARE NO STATE OR LOCAL GREENSPACE PRIORITIES OR GREENWAYS ADJACENT THE SITE.
 - THIS SITE IS NOT WITHIN A NATURAL HERITAGE SITE.
 - THIS SITE CONTAINS A PORTION OF THE RIVER WALK TRAIL.
 - THERE ARE NO ARCHEOLOGICAL SITES WITHIN THE PROPERTY.

ZONING CRITERIA	REQUIRED
ZONING DISTRICT	VC A-100
MINIMUM LOT AREA	N/A 100,000 SF
MINIMUM LOT FRONTAGE	N/A 325 FT
MINIMUM FRONT YARD SETBACK	35 FT* 40 FT*
MINIMUM SIDE YARD SETBACK	15 FT 20 FT
MINIMUM REAR YARD SETBACK	30 FT 40 FT
MAXIMUM BUILDING COVERAGE	15% 8%

* THE LOT FRONTAGE IS ONLY 35 FEET WHEN THE PROPERTY ABUTS AN R OR F DISTRICT, OTHERWISE THERE IS NO REQUIREMENT.

- LEGEND**
- EXISTING PROPERTY LINE
 - ABUTTING PROPERTY LINE
 - 200' RIVERBANK WETLAND
 - BUILDING SETBACK LINE
 - 100' EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING CURB
 - GUARD RAIL
 - DRAIN LINE
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - UTILITY POLE
 - OVERHEAD WIRES
 - UNDERGROUND ELECTRIC
 - VERIZON LINE
 - WATER LINE
 - WATER SHUT OFF VALVE
 - WELL
 - SEWER
 - SMH
 - NOW OR FORMERLY EXISTING LIMIT OF WOODLAND (APPROXIMATE)
 - HAY BALES
 - LIMIT OF DISTURBANCE
 - SOIL EVALUATION

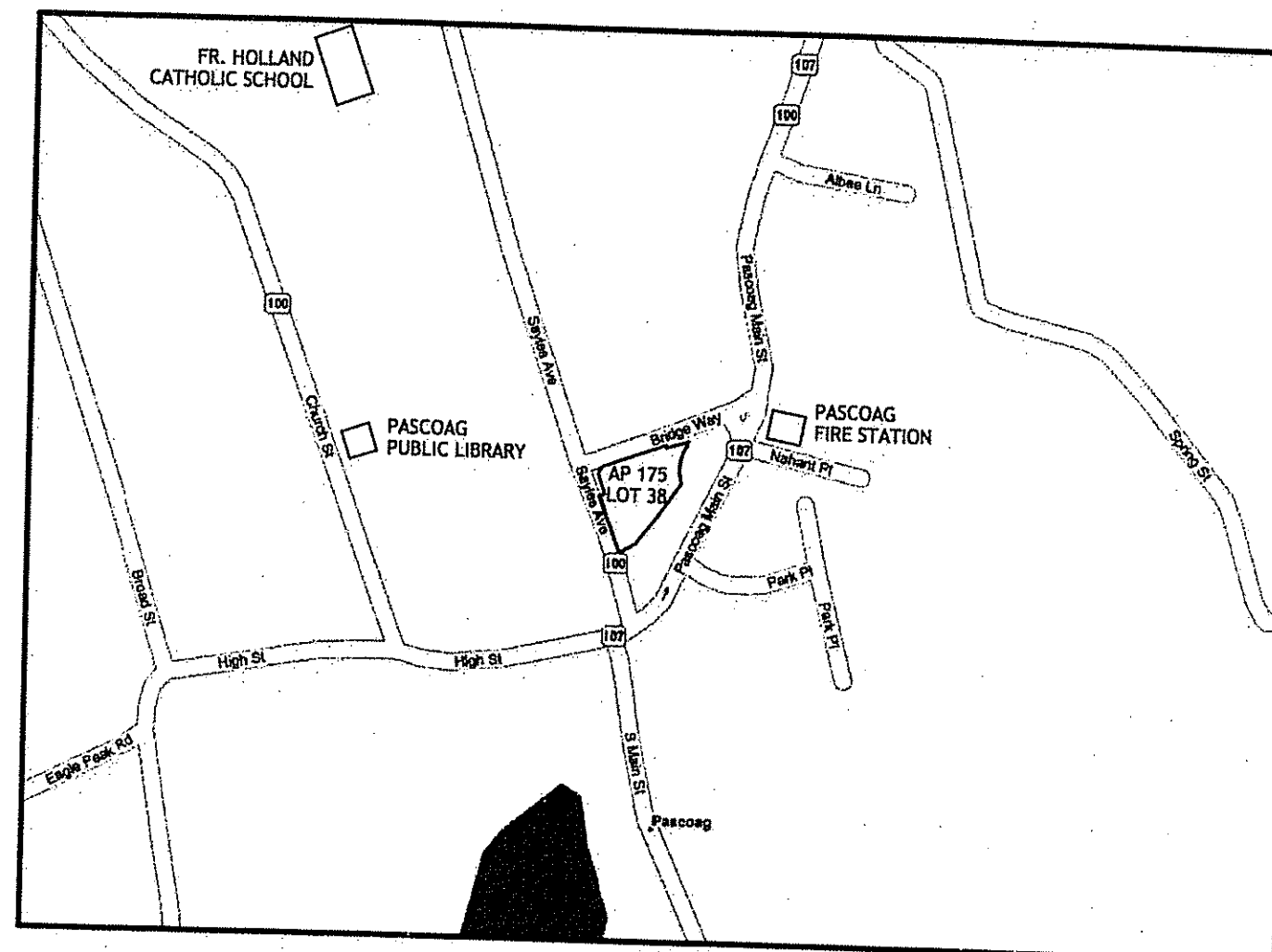
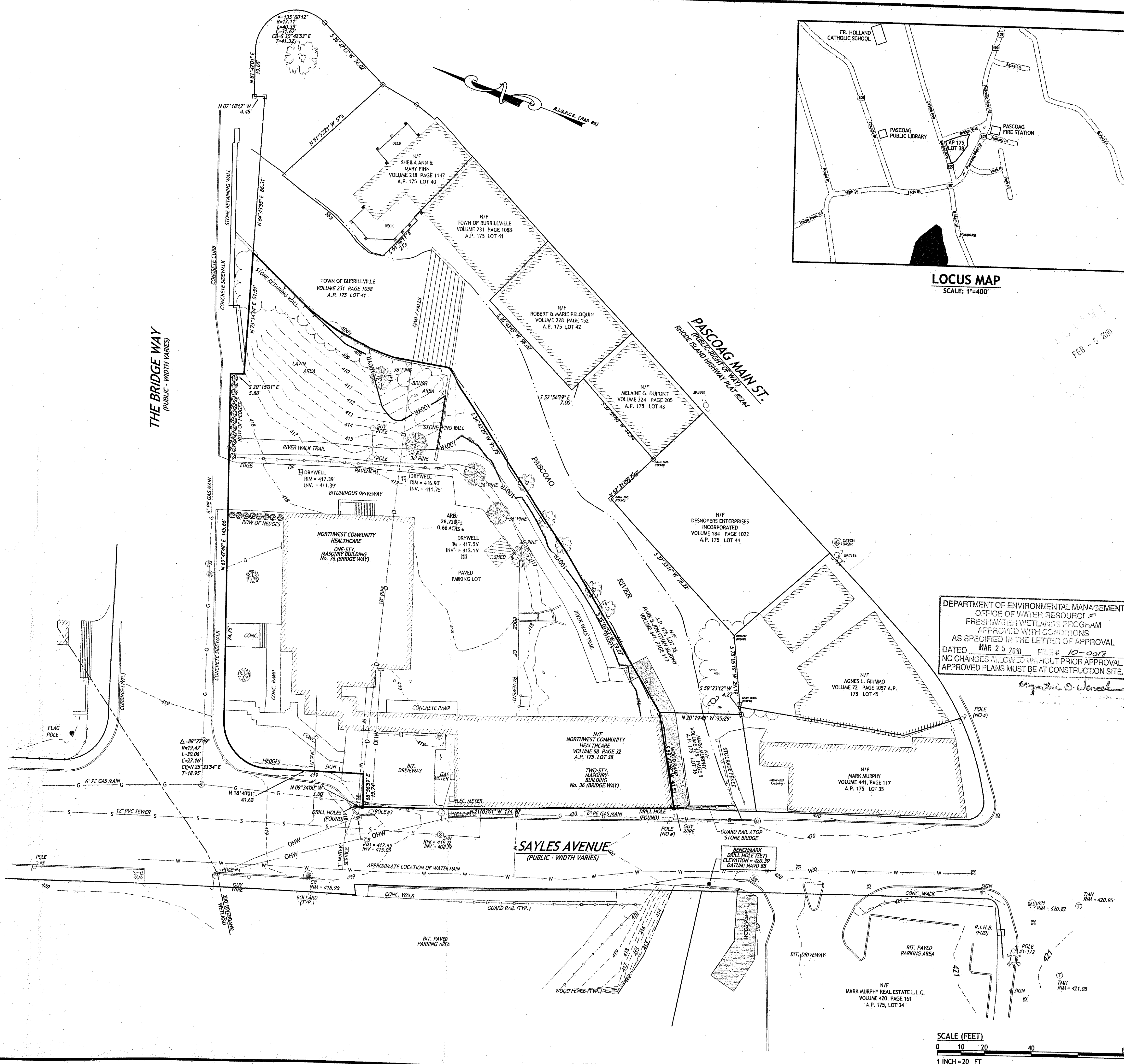
EXISTING LOT AREA:
0.66 ACRES

PROPOSED LOT AREA:
0.66 ACRES (LOT LINES ARE NOT CHANGING UNDER PROPOSED CONDITIONS)

OWNER / APPLICANT:
NORTHWEST COMMUNITY HEALTH CARE
D/B/A WELL ONE
36 BRIDGE WAY
P.O. BOX 312
PASCOAG, RI 02859



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT: 1-888-DIG-SAFE
1-888-344-7233



LOCUS MAP
SCALE: 1"=400'

FEB - 5 2010

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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**NORTHWEST COMMUNITY
HEALTH CARE BUILDING ADDITION**
36 BRIDGE WAY
PASCOAG, RHODE ISLAND
AP 175 LOT 38

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/5/10	PRELIMINARY PLAN RIDEM SUBMISSION

DESIGNED BY: GEC
DRAWN BY: WMLJR
CHECKED BY: JAC
DATE: 12/31/09
PROJECT NO: 03-80AT

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS PLAN

SHEET 2 OF 6

JCE
JDE CASALI ENGINEERING, INC.
CIVIL - SITE DEVELOPMENT - TRANSPORTATION
DRAINAGE - WETLANDS - EEDS - TRAFFIC - FLOODPLAIN
300 POST ROAD, WARWICK, RI 02888
(401) 944-1888

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL

- GENERAL NOTES:**
- THIS SITE FALLS WITHIN THE 200' RIVERBANK WETLAND OF THE PASCOAG RIVER.
 - PROPOSED IMPROVEMENTS INCLUDE A 2,970 SF BUILDING ADDITION WITH DRAINAGE MITIGATION AND UTILITY SERVICES.
 - A PORTION OF THE PROPOSED ROOFTOP WILL BE COLLECTED INTO AN UNDERGROUND INFILTRATION SYSTEM TO MITIGATE THE INCREASE IN PEAK STORM WATER RUNOFF FROM THE PROPOSED ADDITION AND SITE IMPROVEMENTS.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

ZONING TABLE

ZONING CRITERIA	REQUIRED	PROPOSED	RELIEF REQUESTED
ZONING DISTRICT	VC	A-100	A-100
MINIMUM LOT AREA	N/A	100,000 SF	28,720 SF
MINIMUM LOT FRONTAGE	N/A	325 FT	203 FT
MINIMUM FRONT YARD SETBACK	35 FT	40 FT	24 FT
MINIMUM SIDE YARD SETBACK	15 FT	20 FT	0 FT
MINIMUM REAR YARD SETBACK	30 FT	40 FT	0 FT
MINIMUM BUILDING COVERAGE	15%	8%	36.5%

* THE LOT FRONTAGE IS ONLY 35 FEET WHEN THE PROPERTY ABUTS AN R OR F DISTRICT, OTHERWISE THERE IS NO REQUIREMENT.

PARKING CALCULATIONS
 FOR MEDICAL USE, TWO CAR SPACES FOR EVERY THREE EMPLOYEES IS REQUIRED.
 REQUIRED NO. OF SPACES: 53 EMPLOYEES / 3 X 2 CAR SPACES = 36 SPACES REQUIRED
 PROPOSED PARKING: 10 SPACES* (RELIEF REQUESTED: 26 SPACES)

* THE PROPERTY CAN NOT ACCOMMODATE ANY ADDITIONAL PARKING DUE TO THE SITE PARAMETERS. AS EXIST TODAY, NORTHWEST COMMUNITY HEALTH CARE DOES NOT ALLOW THE EMPLOYEES TO UTILIZE THE PARKING BEHIND THE BUILDING OR PARKING ALONG THE STREET. THE EMPLOYEES UTILIZE THE PUBLIC PARKING AREAS PROVIDED BY THE TOWN.

SEWER CALCULATIONS FOR AQUIFER ZONE
 SEWER CALCULATIONS BASED ON RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) RULES ESTABLISHING MINIMUM STANDARDS RELATING TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF ON-SITE WASTEWATER TREATMENT SYSTEMS DATED JANUARY 1, 2006.

TYPE OF USE	UNIT	GALLONS PER DAY
DENTAL OFFICE	PER CHAIR	200
MEDICAL OFFICE	PER DOCTOR	250

EXISTING SEWER USAGE:
 FOR THE DENTAL OFFICE USE:
 9 CHAIRS X 200 GALLONS PER DAY = 1,800 GALLONS PER DAY
 FOR THE MEDICAL OFFICE USE:
 6 DOCTORS X 250 GALLONS PER DAY = 1,500 GALLONS PER DAY
 TOTAL: DENTAL OFFICE USE + MEDICAL OFFICE USE = 1,800 + 1,500 = 3,300 GALLONS PER DAY

REQUIRED IN AN A-100 ZONE: 200 GALLONS PER DAY
 PROPOSED: 3,300 GALLONS PER DAY
 RELIEF REQUESTED: 3,100 GALLONS PER DAY

FUTURE SEWER USAGE:
 WITH THE PROPOSED ADDITION, NORTHWEST COMMUNITY HEALTH CARE WILL BE HIRING AN ADDITIONAL DOCTOR FOR THE MEDICAL OFFICE.
 FOR THE DENTAL OFFICE USE:
 9 CHAIRS X 200 GALLONS PER DAY = 1,800 GALLONS PER DAY
 FOR THE MEDICAL OFFICE USE:
 7 DOCTORS X 250 GALLONS PER DAY = 1,750 GALLONS PER DAY
 TOTAL: DENTAL OFFICE USE + MEDICAL OFFICE USE = 1,800 + 1,750 = 3,550 GALLONS PER DAY

REQUIRED IN AN A-100 ZONE: 200 GALLONS PER DAY
 PROPOSED: 3,550 GALLONS PER DAY
 RELIEF REQUESTED: 3,350 GALLONS PER DAY

IT SHOULD BE NOTED THAT THE ACTUAL SEWER USAGE BASED ON HISTORICAL WATER DATA FROM THE PASCOAG UTILITY DISTRICT IS LESS THAN CALCULATED ABOVE AND SHOWN BELOW.

FOR THE DENTAL OFFICE USE:
 ACTUAL USAGE: 37.60 CF PER DAY = 281 GALLONS PER DAY
 FOR THE MEDICAL OFFICE USE:
 ACTUAL USAGE: 81.35 CF PER DAY = 608 GALLONS PER DAY

TOTAL: DENTAL + MEDICAL OFFICE USE = 281 + 608 = 889 GALLONS PER DAY
 THE 889 GALLONS PER DAY IS STILL GREATER THAN THE ALLOWED 200 GALLONS PER DAY.

IMPERVIOUS SURFACE CALCULATIONS
 IMPERVIOUS SURFACES SHALL BE LIMITED TO 25% OF THE MINIMUM LOT SIZE OF ANY DEVELOPED LOT WITHIN AN A-ZONE.
 REQUIRED: 28,720 SF X 25% = 7,180 SF
 PROPOSED: 16,419 SF OF 57% OF DEVELOPED LOT SIZE
 RELIEF REQUESTED: 32%

LAYOUT NOTE:
 THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

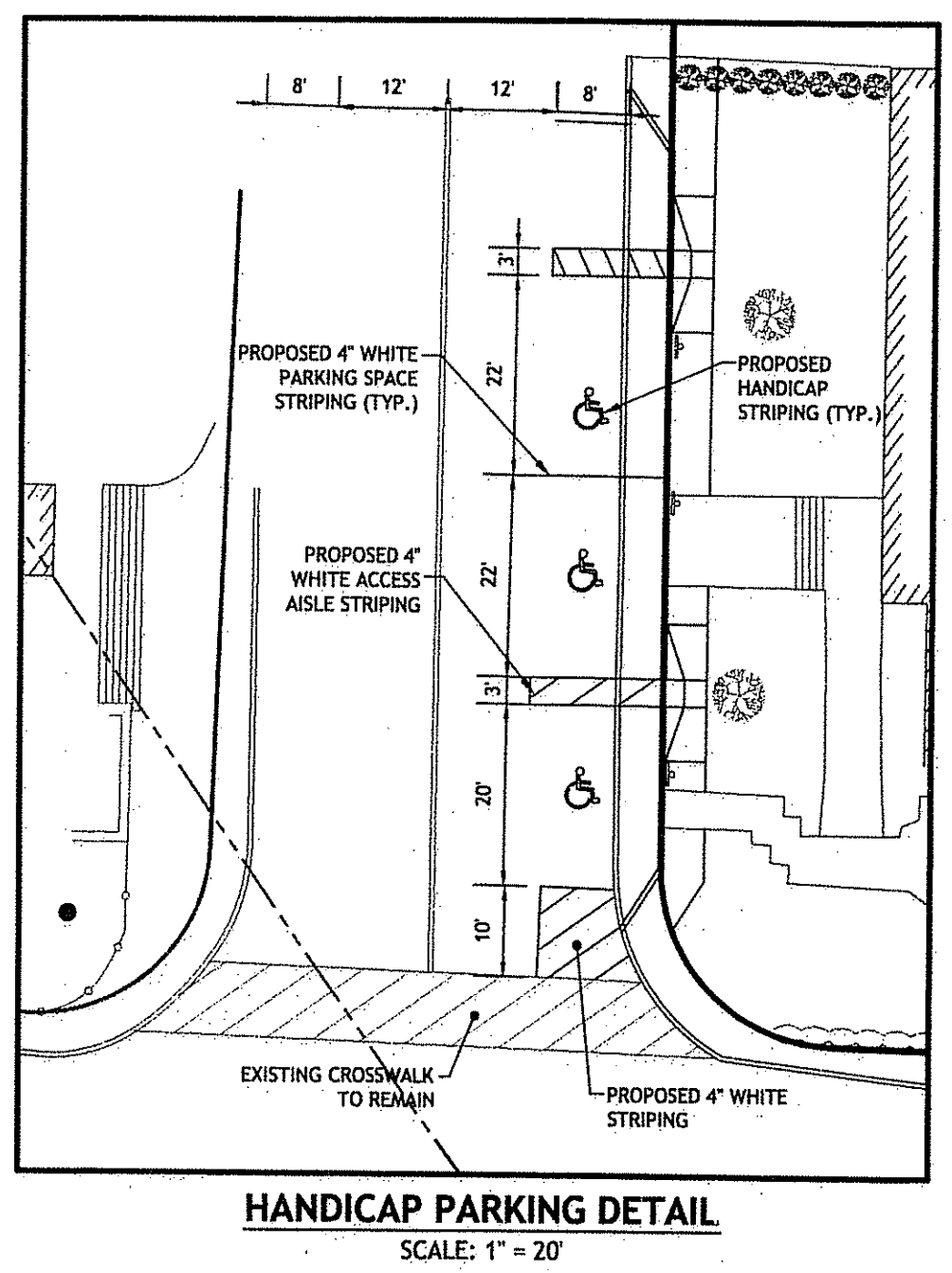
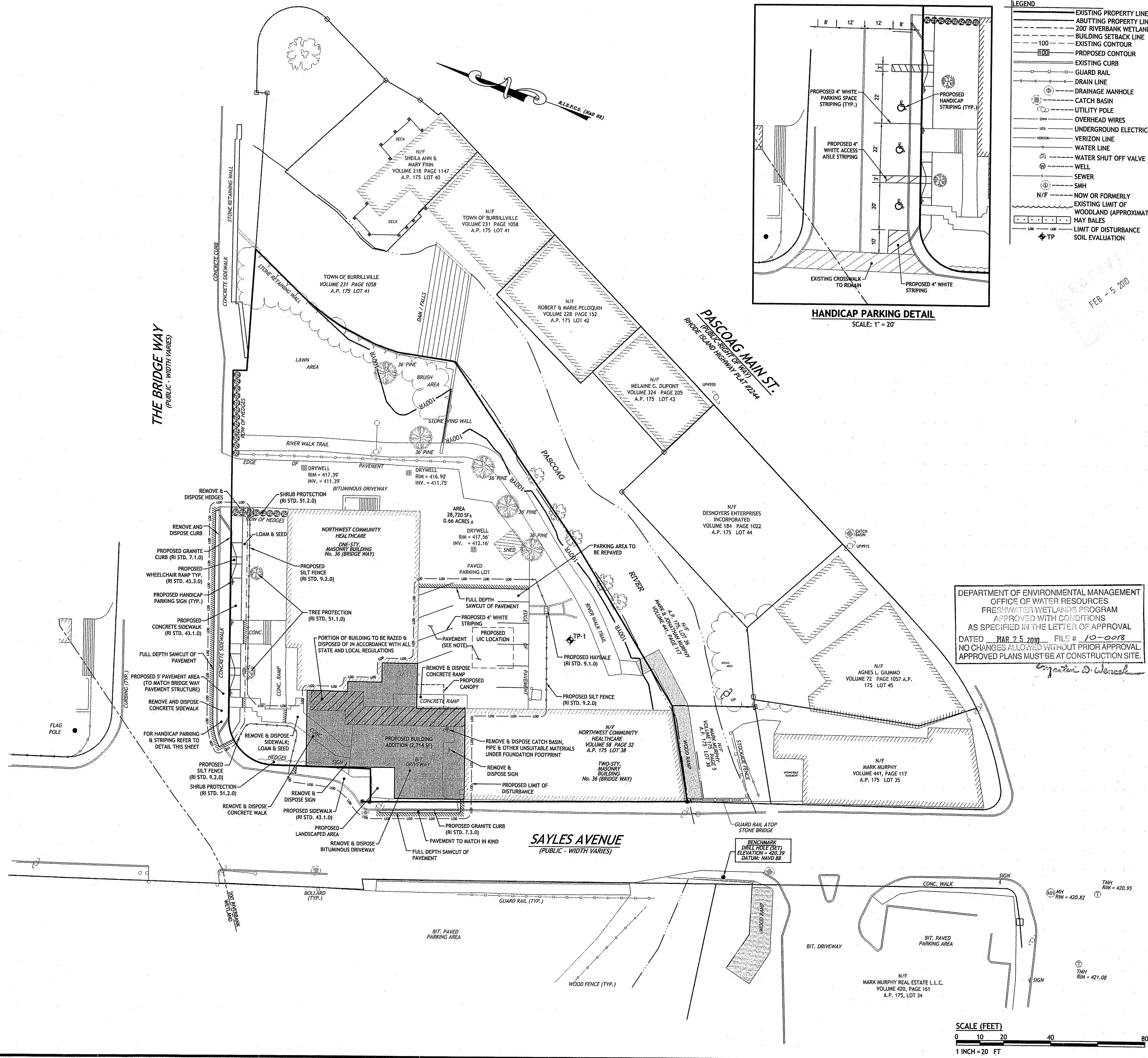
PROPOSED PAVEMENT STRUCTURE:
 ON-SITE (PAVEMENT TYPE A)
 1.5" BITUMINOUS CONCRETE SURFACE COURSE CLASS I-1
 1.5" BITUMINOUS CONCRETE BINDER COURSE
 8" GRAVEL BORROW SUBBASE

TEST PIT DATA

TEST PIT	ELEV.	SHGWT
TP-1	416.50	412.80

EXISTING LOT AREA:
 0.66 ACRES
PROPOSED LOT AREA:
 0.66 ACRES (LOT LINES ARE NOT CHANGING UNDER PROPOSED CONDITIONS)

OWNER / APPLICANT:
 NORTHWEST COMMUNITY HEALTH CARE
 D/B/A WELL ONE
 36 BRIDGE WAY
 P.O. BOX 312
 PASCOAG, RI 02889



LEGEND

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- ABUTTING PROPERTY LINE
- 200' RIVERBANK WETLAND
- BUILDING SETBACK LINE
- EXISTING CONTOUR
- 100
- 1000
- PROPOSED CONTOUR
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- LIMIT OF DISTURBANCE
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAR 25 2010 FILE # 10-0018
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JOE CASALI ENGINEERING, INC.
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION
 DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN
 300 POST ROAD, WARWICK, RI 02889
 (401) 864-1326 / 1019-1313 FAX: WWW.JOECA.SALI.COM

JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 2-9-10

NORTHWEST COMMUNITY HEALTH CARE BUILDING ADDITION
 36 BRIDGE WAY
 PASCOAG, RHODE ISLAND
 AP 175 LOT 38

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/5/10	PRELIMINARY PLAN RIDEM SUBMISSION

DESIGNED BY: GEC
 DRAWN BY: WMLR
 CHECKED BY: JAC
 DATE: 12/31/09
 PROJECT NO.: 03-80af

PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN

SHEET 3 OF 6

Q:\03-80-Vision III Architects\03-80af Northwest Community Health Care\PLANS\SET.dwg Feb. 04, 2010 12:06pm

DRAINAGE SYSTEM NOTES:

1. THE PROPOSED DRAINAGE LINES SHALL BE SCH-40 OR AN APPROVED EQUAL, UNLESS OTHERWISE SPECIFIED IN PLANS.
2. ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.
3. THE DESIGN ENGINEER MUST SUBMIT AN AS BUILT PLAN AND A CERTIFICATION TO THE TOWN ENGINEER THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE DESIGN PLANS FOR ALL ELEMENTS OF THE STORM OR DRAINAGE SYSTEM PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. THE SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT.
2. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
3. ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
4. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
5. ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
7. THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
9. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.

BMP MAINTENANCE SCHEDULE:

1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
 - A. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO THE INFILTRATION SYSTEMS, ALL PIPES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.
 - B. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.
2. UPON COMPLETION OF THE PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.
3. AFTER THE COMPLETION OF THE ENTIRE PROJECT TO THE SATISFACTION OF THE OWNER OR ENGINEER, ALL MAINTENANCE OF THE DRAINAGE SYSTEM SHALL THEN BE THE RESPONSIBILITY OF THE OWNER.
4. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED BY THE OWNER AS FOLLOWS:
 - A. ANY REQUIRED REPAIR AND REPLACEMENT OF DRAINAGE STRUCTURES OR FACILITIES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE SYSTEM.
 - B. INFILTRATION SYSTEMS SHALL BE INSPECTED ON A BI-ANNUALLY BASIS TO ENSURE PROPER FUNCTIONING. INSPECTION PORTS SHALL BE USED TO VERIFY THAT THE SYSTEMS ARE DRAINING WITHIN 72-HOURS. IF THE SYSTEM FAILS TO DRAIN WITHIN 72-HOURS, THE SYSTEM SHALL BE CLEANED OR REPLACED AS NECESSARY.
 - C. THE INFILTRATION SYSTEM SHALL BE INSPECTED BI-ANNUALLY FOR SEDIMENT ACCUMULATION. IF THE SYSTEM HAS ACCUMULATED SEDIMENT, THE SEDIMENT SHALL BE REMOVED BY VACUUMING THE SYSTEM. ALL SEDIMENT REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL REGULATIONS. VACUUMING THE SYSTEM CAN BE ACHIEVED THROUGH THE INSPECTION PORTS.
 - D. ALL DESIGN, CLEANING, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL FOLLOW AT LEAST THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION MINIMUM STANDARDS, SECTION 206.2000 AND SECTION 701.9040. WHERE APPROPRIATE, PROCEDURES REGARDING THE DRAINAGE DESIGN, AND THE INSPECTION AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL BE FOLLOWED AS OUTLINED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" (RIDEM/RICRMC, SEPTEMBER 1, 1993).

GENERAL NOTES:

1. RUNOFF FROM A PORTION OF THE ROOF WILL BE COLLECTED INTO A CLOSED DRAINAGE SYSTEM AND DISCHARGE INTO THE INFILTRATION SYSTEM AS SHOWN AS ON THE PLAN. THIS INFILTRATION SYSTEM WILL ONLY BE MITIGATING THIS ROOFTOP RUNOFF.

TEST PIT DATA

TEST PIT	ELEV.	SHGWT
TP-1	416.50	412.80

EXISTING LOT AREA:

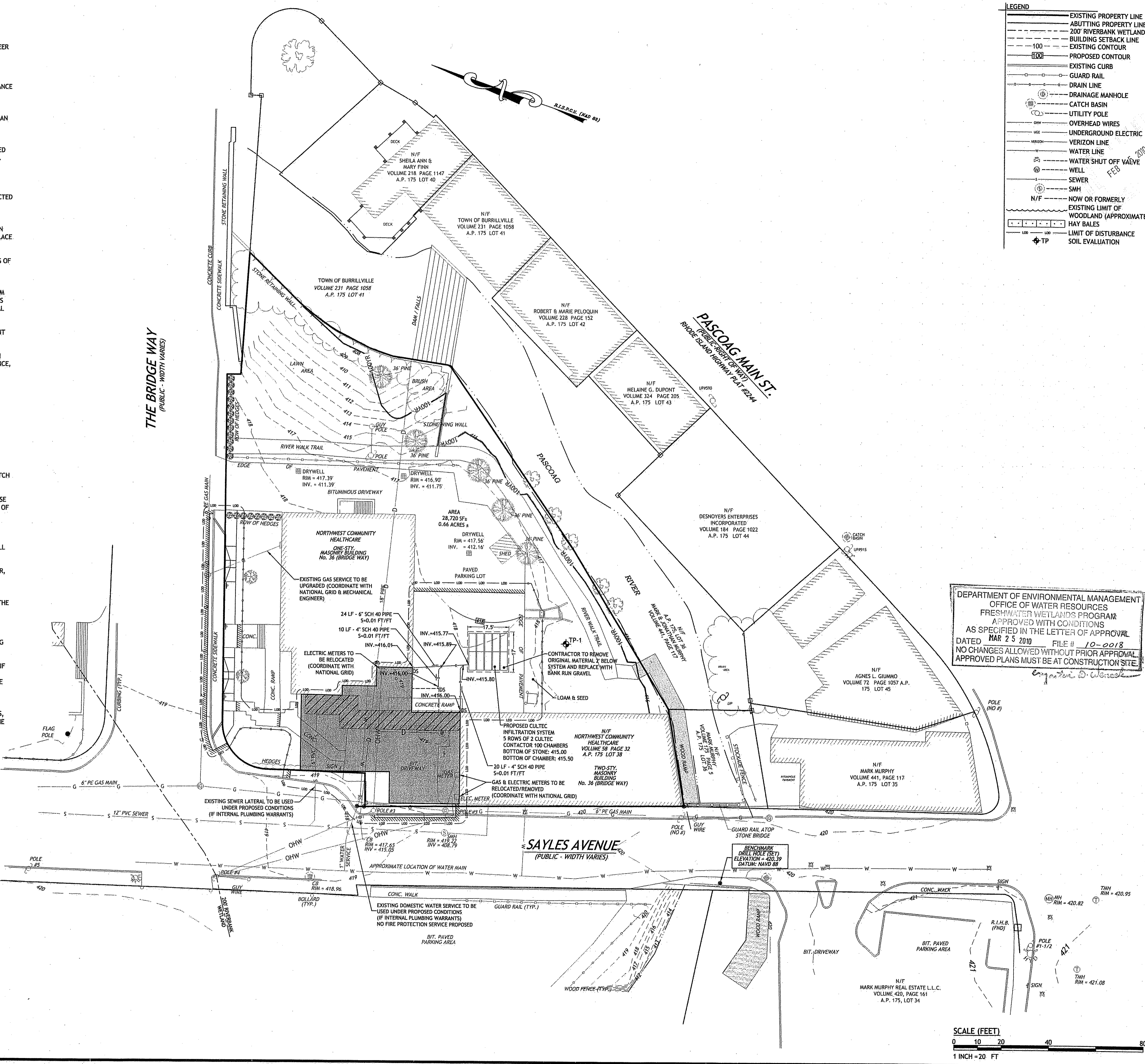
0.66 ACRES

PROPOSED LOT AREA:

0.66 ACRES (LOT LINES ARE NOT CHANGING UNDER PROPOSED CONDITIONS)

OWNER / APPLICANT:

NORTHWEST COMMUNITY HEALTH CARE
D/B/A WELL ONE
36 BRIDGE WAY
P.O. BOX 312
PASCOAG, RI 02859



LEGEND

- EXISTING PROPERTY LINE
- - - ABUTTING PROPERTY LINE
- - - 200' RIVERBANK WETLAND
- - - BUILDING SETBACK LINE
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FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 25 2010 FILE # 10-0018
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

JCE
JOE CASALI ENGINEERING, INC.
CIVIL - SITE DEVELOPMENT - TRANSPORTATION
DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN
14011944-1300 4019848-513 FAX WWW.JCEMAIL.COM

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL

NORTHWEST COMMUNITY HEALTH CARE BUILDING ADDITION
36 BRIDGE WAY
PASCOAG, RHODE ISLAND
AP 175 LOT 38

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/5/10	PRELIMINARY PLAN RIDEM SUBMISSION

DESIGNED BY: GEC
DRAWN BY: WMLJR
CHECKED BY: JAC
DATE: 12/31/09
PROJECT NO: 03-80a-f

PRELIMINARY, NOT FOR CONSTRUCTION

GRADING & UTILITY PLAN

SHEET 4 OF 6

Q:\03-80-Vision III Architects\03-80a-f Northwest Community Health Care Building Addition.dwg Feb. 04, 2010 2:47pm

SITE NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR OR RHODE ISLAND REGISTERED PROFESSIONAL ENGINEER.
- ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
- WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE TOWN AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR THE TOWN.
- THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
- THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
- THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAY'S WORK.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- REFER TO MECHANICAL PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

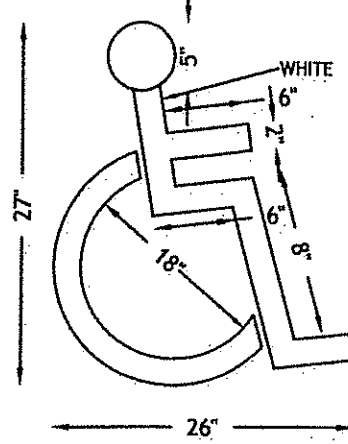
- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATION'S WILL BE AUTHORIZED.
- THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST. CONTRACTOR SHALL REFER TO THE ELECTRICAL PLANS FOR ALL PROPOSED LIGHTING DETAILS.
- OVERHEAD/UNDERGROUND ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THEIR OPERATIONS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR TOWN.
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

WATER NOTES:

- ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE PASCOAG UTILITY DISTRICT REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5' WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER PIPE.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS; SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO PASCOAG UTILITY DISTRICT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- WATER LINE TRENCH TO BE AWWA TYPE 5 A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1' BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ARCHITECT AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, GRAVEL, STONE, DRAINAGE PIPE AND RELATED STRUCTURES, WATER, SEWER, AND DRAIN LINE INSTALLATION, PAVEMENT SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
- SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2000 EDITION, INCLUDING LATEST REVISIONS.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE RIDOT SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.



NOTE:
1. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STATUTE BUILDING CODE.

HANDICAP PAVEMENT MARKING
NOT TO SCALE



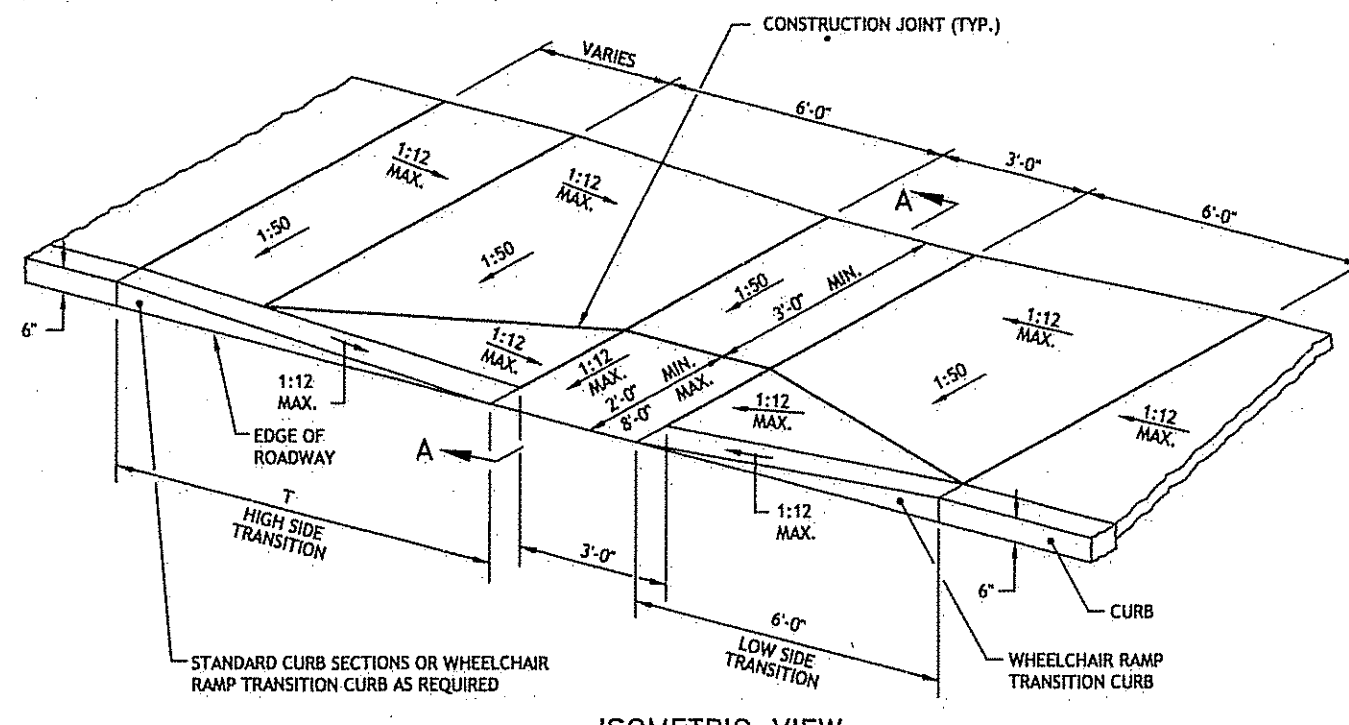
PROPOSED HANDICAPPED PARKING SIGNS
NOT TO SCALE

NOTE:
SIGNS ARE TO CONFORM WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

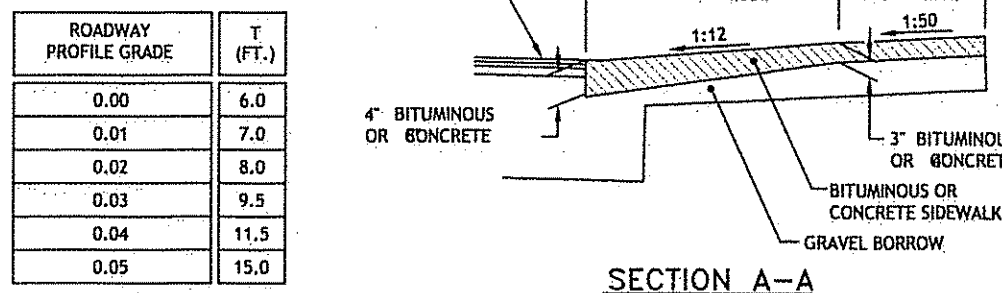
SIGN NOTES:
1. SIGN POSTS SHALL BE GALVANIZED STEEL U-CHANNEL (3 1/2" WIDE-MIN) AND INSTALLED IN CONFORMANCE TO M.U.T.C.D. AND RHODE ISLAND STANDARD SPECIFICATIONS.
2. POSTS SHALL BE DRIVEN TO A DEPTH OF 4 FEET (MIN).
3. THE EDGE OF THE SIGN SHALL BE 18" FROM THE FACE OF THE CURB.
4. WITHIN SIDEWALK LOCATIONS THE SIGN POST WILL BE INSTALLED WITHIN A 8'X8' SQUARE BOX FORM.

NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 7-15 OF THE STANDARD SPECIFICATIONS.
2. PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOR MORE THAN 60° WITH A LINE PARALLEL TO FLOW OF TRAFFIC, 1'-4" (MIN.) FROM EDGE OF CURB FACE.

PARKING SIGN MOUNTING DETAIL
R.I. STANDARD 24.6.0



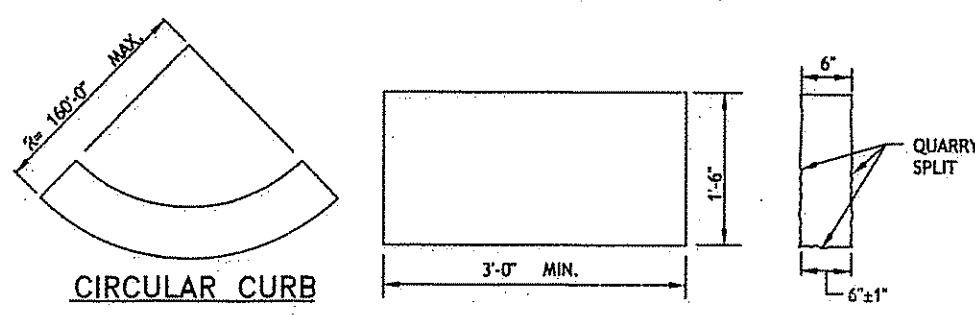
ISOMETRIC VIEW
NOT TO SCALE



SECTION A-A

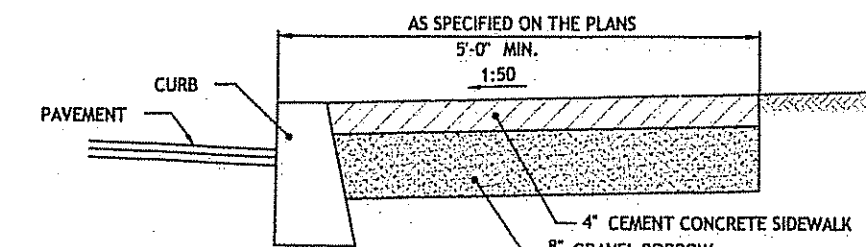
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
7. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3'-0" SHALL BE MAINTAINED.
8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT EXCEED 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
9. WHERE THE ROAD PROFILE EXCEEDS 2% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
10. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
11. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
12. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADII POINT WHEN POSSIBLE.
13. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILER PIECES TO BE GREATER LENGTHS (PREFERRED).
14. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.

WHEELCHAIR RAMP
R.I. STANDARD 43.3.0



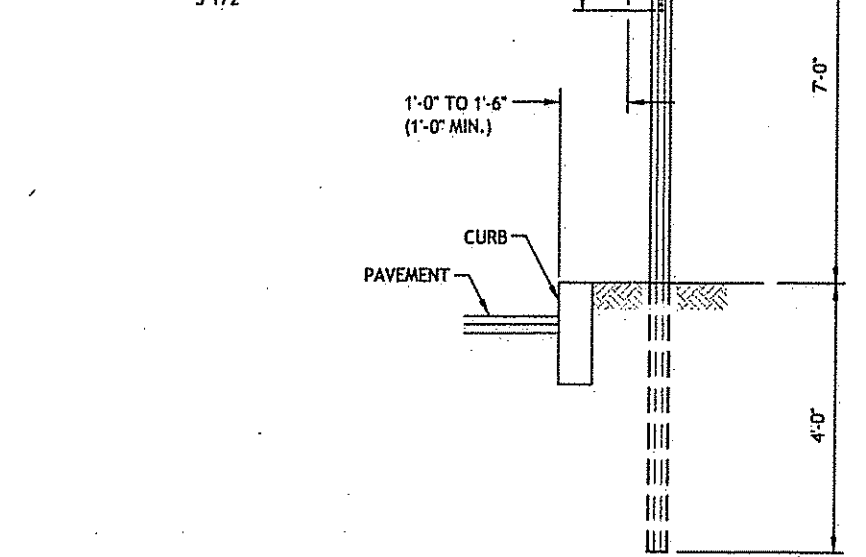
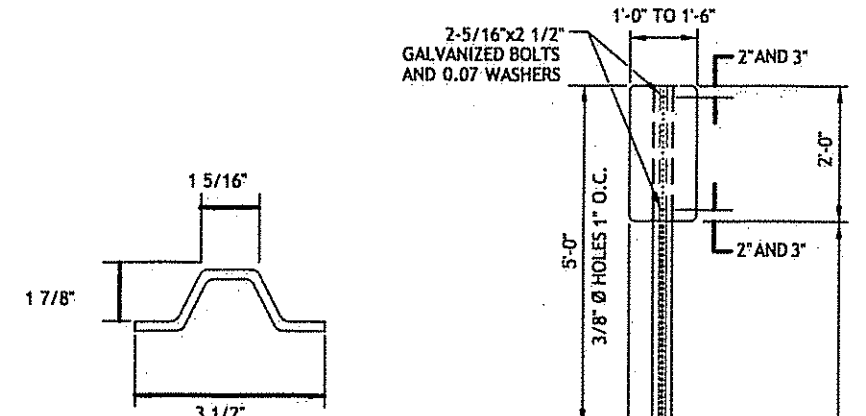
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. TOP SURFACE TO BE FINISHED BY SAW, REMAINDER TO BE QUARRY SPLIT.
3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

GRANITE CURB
R.I. STANDARD 7.3.0

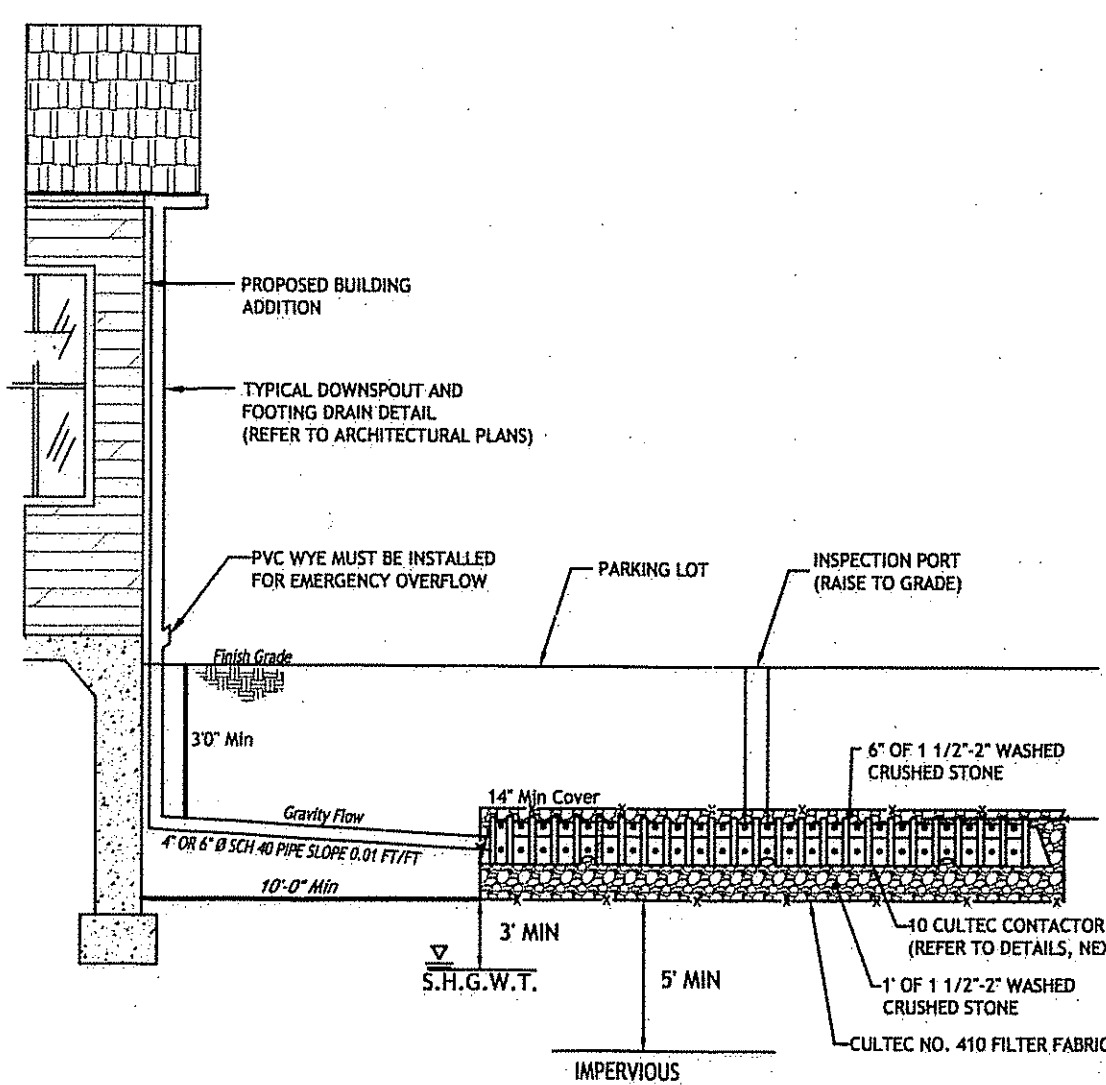


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

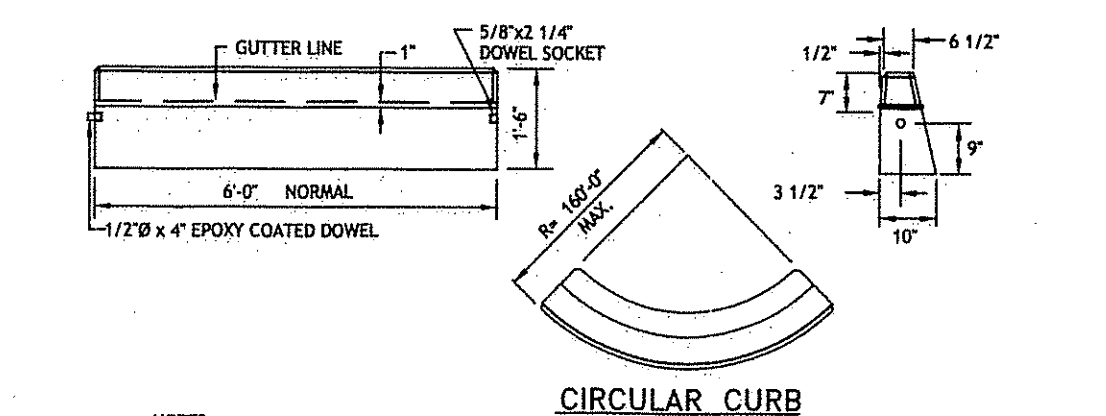
CEMENT CONCRETE SIDEWALK
R.I. STANDARD 43.1.0



- NOTE:
SHRUB TO BE PROTECTED - 1'-0" CLEARANCE AROUND SHRUB

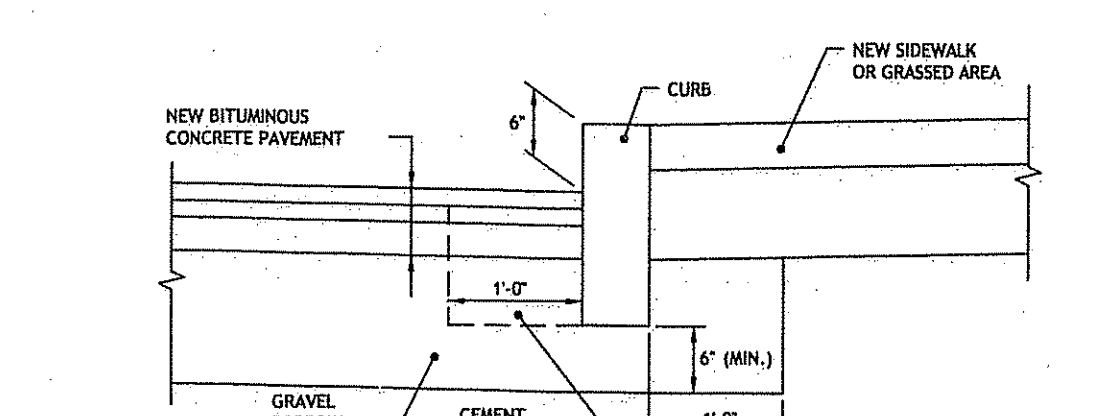


ROOFTOP INFILTRATION CONNECTION
NOT TO SCALE



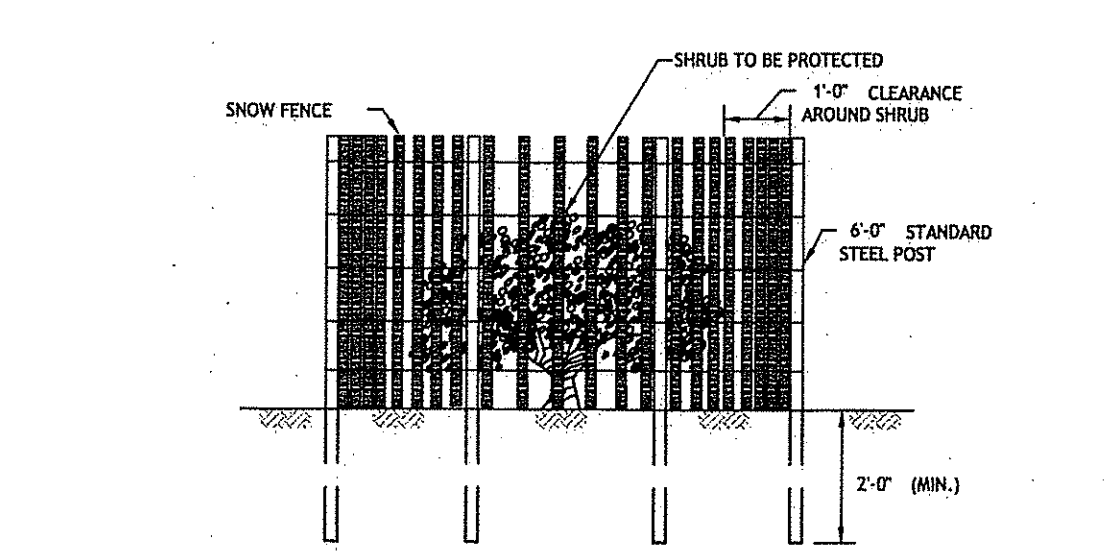
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILER PIECES TO BE 3'-0".
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

PRECAST CONCRETE CURB
STANDARD 7.1.0



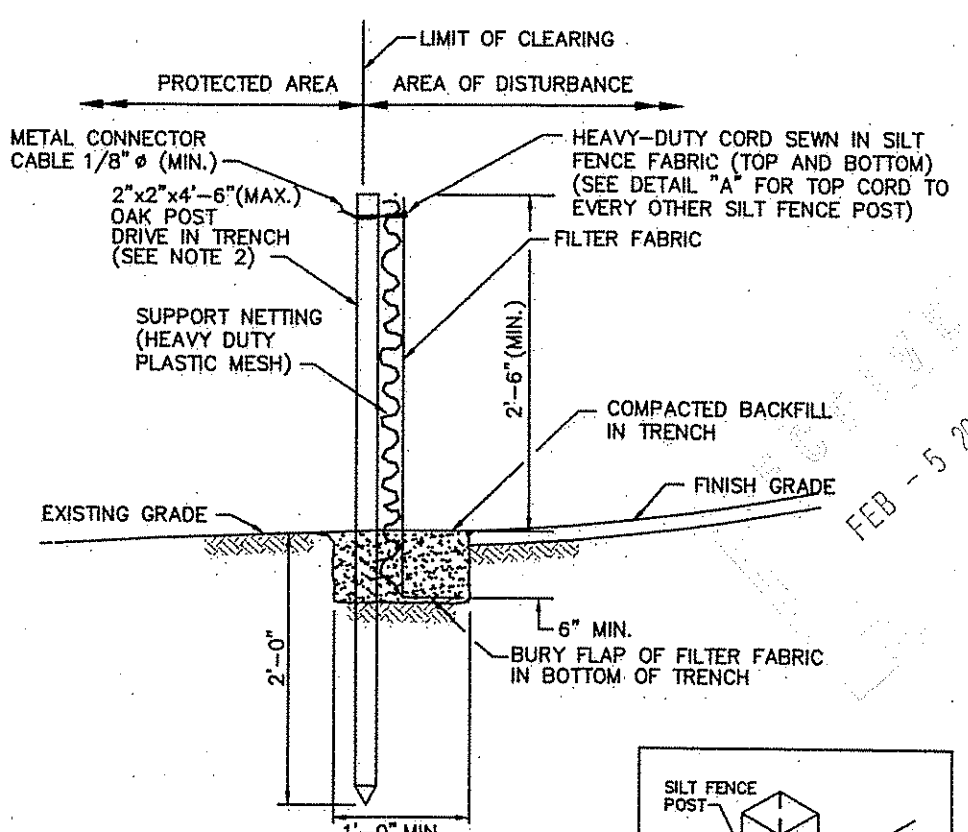
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

CURB SETTING DETAIL
R.I. STANDARD 7.6.0



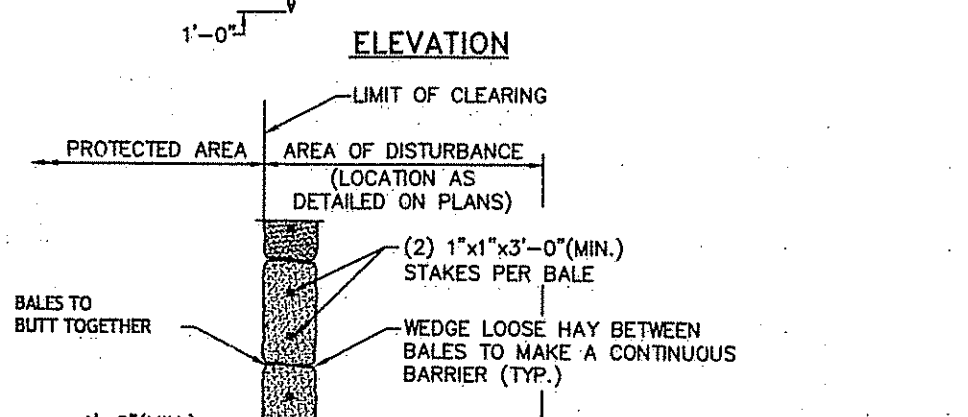
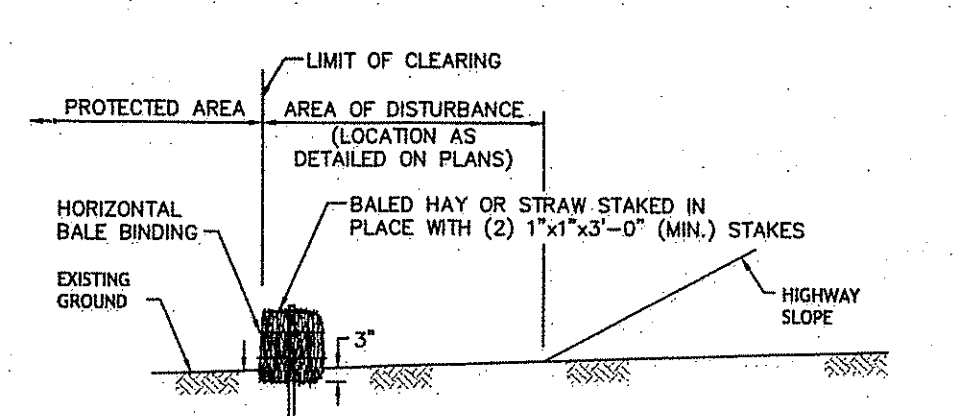
- NOTE:
SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE R.I. STANDARD SPECIFICATIONS.

SHRUB PROTECTION DEVICE
R.I. STANDARD 51.2.0



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
2. 2"x2"x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
3. 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

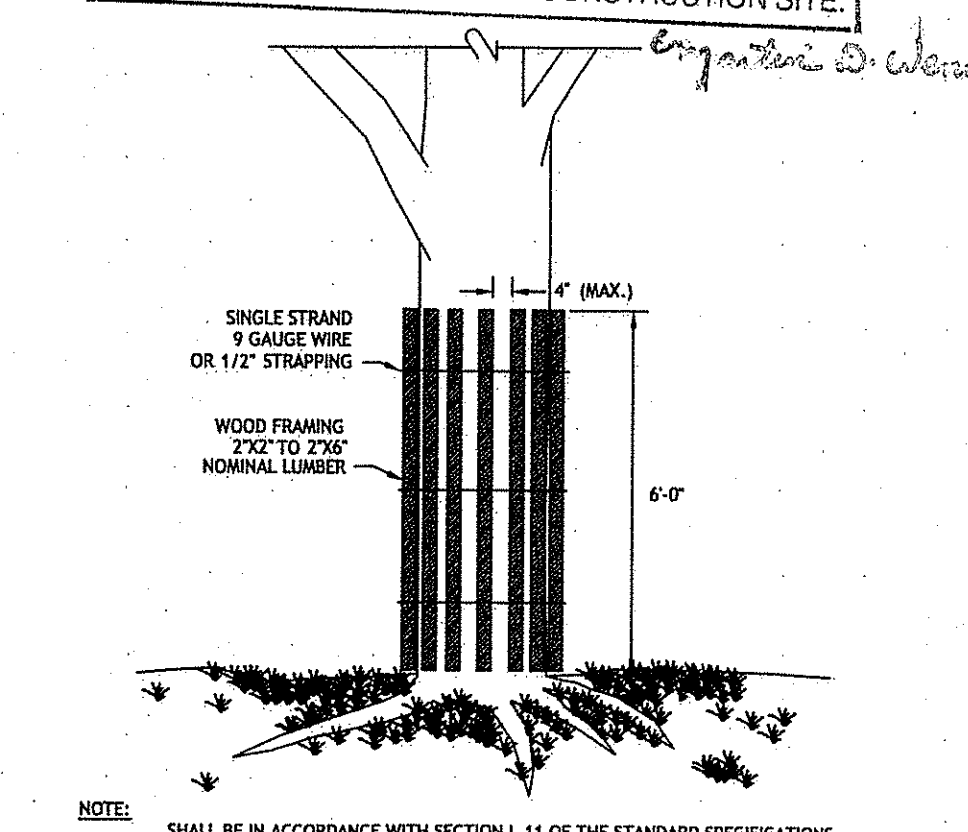
SILT FENCE DETAIL
R.I. STANDARD 9.2.0



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
2. TO BE USED WHERE THE EXISTING GROUND SLOPES AWAY FROM THE HIGHWAY EMBANKMENT AS CALLED FOR ON PLANS.
3. AT APPROXIMATE 100'-0" INTERVALS A BALE OF HAY IS TO BUTT PERPENDICULARLY.

BALED HAY EROSION CHECK
R.I. STANDARD 9.1.0

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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- NOTE:
SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE STANDARD SPECIFICATIONS.

TREE PROTECTION DEVICE
R.I. STANDARD 51.1.0

JCE
JOSEPH A. CASALI ENGINEERING, INC.
DRAINAGE, WETLANDS, SEDES, TRAFFIC, EROSION CONTROL
300 POST ROAD, WARWICK, RI 02888
(401) 944-1300 (401) 944-1313 FAX WWW.JCEONLINE.COM

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL
2.04.10

NORTHWEST COMMUNITY HEALTH CARE BUILDING ADDITION
36 BRIDGE WAY
PASCOAG, RHODE ISLAND
AP 175 LOT 38

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GENERAL NOTES & DETAILS

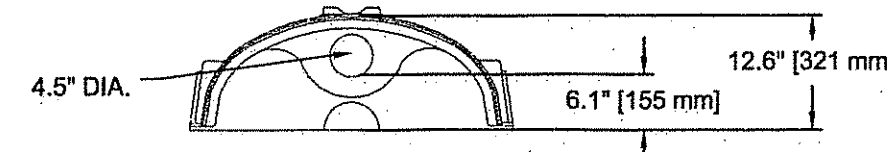
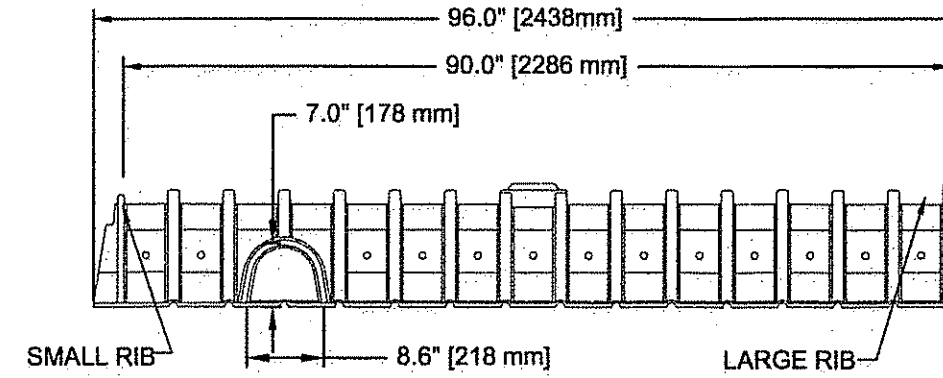
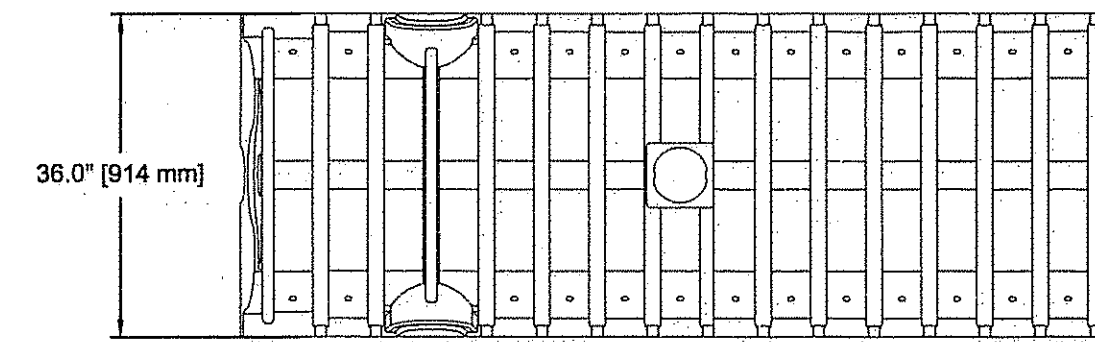
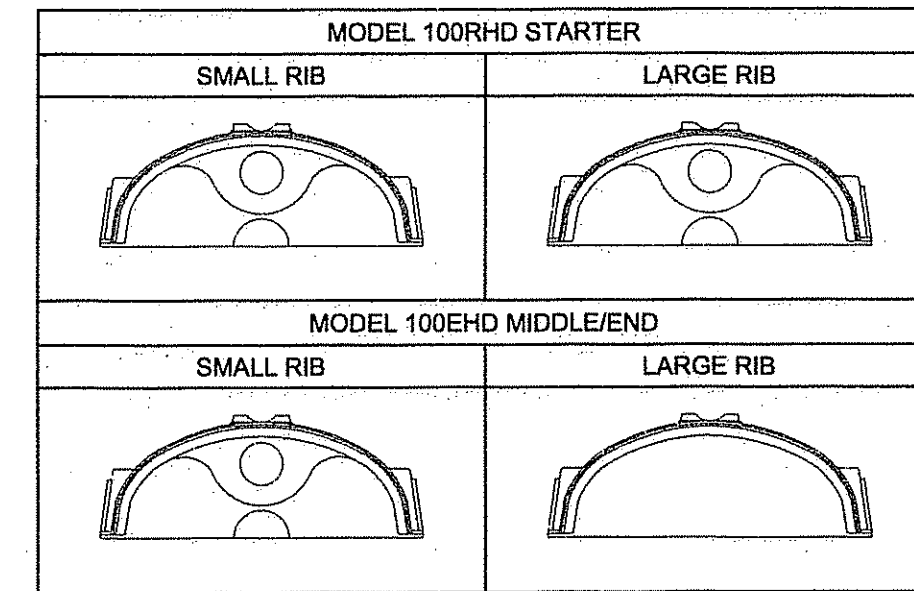
CULTEC CONTACTOR 100 CHAMBER PRODUCT SPECIFICATIONS

GENERAL
CULTEC CONTACTOR 100 CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER AND/OR ON-SITE WASTEWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION, AND CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF OR AS SEPTIC LEACHFIELDS.

CHAMBER PROPERTIES

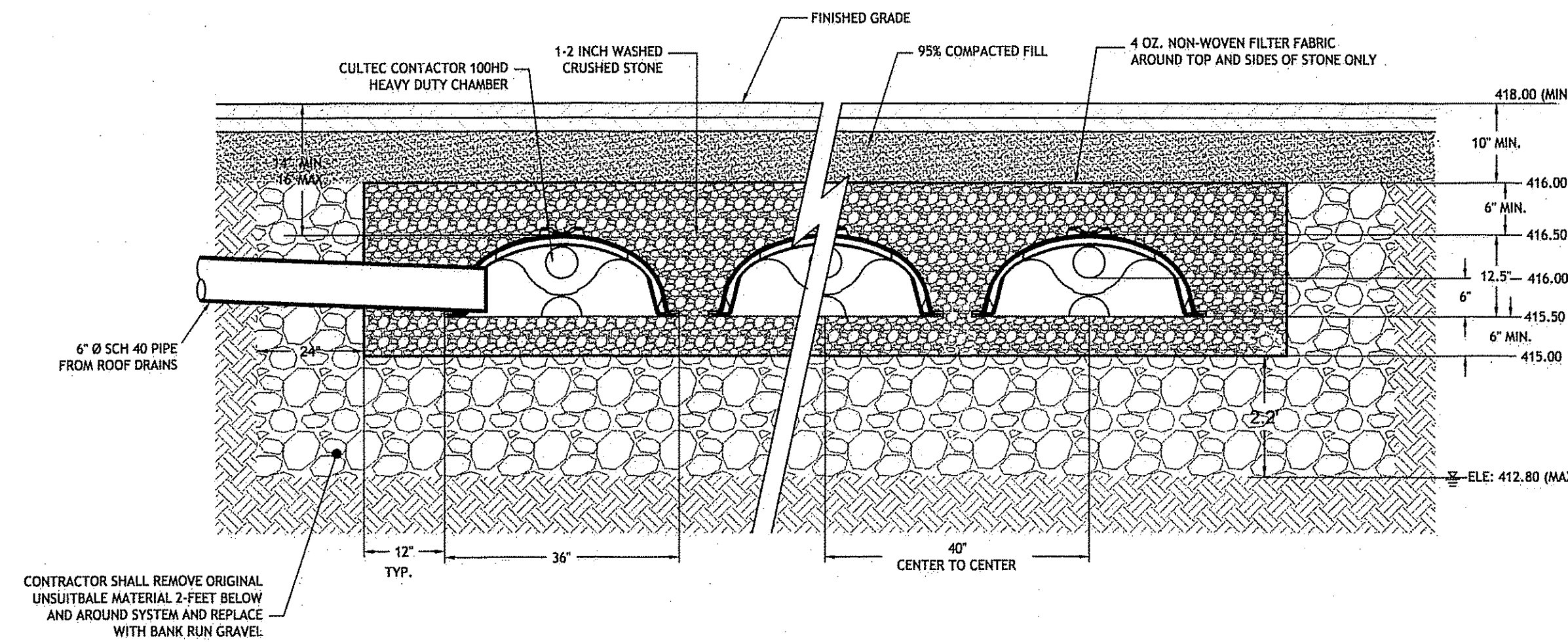
- THE CHAMBERS WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT (203-775-4416).
- CONTACT CULTEC, INC. AT 203-775-4416 FOR SUBMITTAL PACKAGES AND TO PURCHASE PRODUCT.
- THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC CONTACTOR 100 SHALL BE 12.5 INCHES TALL, 36 INCHES WIDE AND 8 FEET LONG. THE INSTALLED LENGTH OF INTERMEDIATE UNITS SHALL BE 7.4 FEET FOR STANDARD-DUTY AND 7.5 FEET FOR HEAVY-DUTY.
- THE CONTACTOR 100 COMES STANDARD WITH A 4.5 INCH INLET/OUTLET OPENING. THE OPENING MAY BE INCREASED TO 10 INCH MAXIMUM DIAMETER.
- THE CHAMBER WILL HAVE 16 CORRUGATIONS.
- THE NOMINAL STORAGE VOLUME OF THE CONTACTOR 100 STANDARD-DUTY WILL BE 1.961 CF/FT; THE CONTACTOR 100 HD WILL BE 1.865 CF/FT.
- THE CHAMBERS WILL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR WEIGHT HIGH DENSITY POLYETHYLENE (HMWHDPE) IN AN ISO-9001:2000 CERTIFIED FACILITY.
- CHAMBERS ARE MANUFACTURED WITH AN OPEN BOTTOM, INTEGRALLY FORMED END WALLS AND PERFORATED SIDEWALLS.
- THE CHAMBERS MUST HAVE ACHIEVED A MINIMUM OF 5 YEARS INSTALLATION HISTORY WITHOUT STRUCTURAL DEFICIENCIES.
- THE CHAMBERS WILL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
- THE CHAMBER'S END WALL WILL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE INLET OR END PLATES CANNOT BE USED WITH THIS UNIT.
- THE CONTACTOR 100R STARTER CHAMBER MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL END WALLS, AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
- THE CONTACTOR 100E MIDDLE/END CHAMBER MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL, AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
- ALL CHAMBERS WILL BE ARCHED IN SHAPE. THE HEAVY-DUTY VERSION WILL HAVE FIFTY-SIX 3/4 INCH ROUND DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNITS CORE TO PROMOTE INFILTRATION/EXFILTRATION; THE STANDARD-DUTY VERSION WILL HAVE THIRTY 3/4 INCH ROUND DISCHARGE HOLES.
- CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
- CONTACTOR 100HD HEAVY-DUTY CHAMBERS ARE DESIGNED TO WITHSTAND AASHTO H-20 LOAD RATING (32,000 LBS./AXLE) WHEN INSTALLED ACCORDING TO CULTEC'S MOST CURRENT INSTALLATION INSTRUCTIONS. CONTACTOR HEAVY DUTY UNITS ARE DESIGNATED BY A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
- CONTACTOR 100 STANDARD-DUTY CHAMBERS ARE DESIGNED TO WITHSTAND AASHTO H-10 LOAD RATING (16,000 LBS./AXLE) WHEN INSTALLED ACCORDING TO CULTEC'S MOST CURRENT INSTALLATION INSTRUCTIONS.
- POLYETHYLENE CHAMBERS MUST HAVE THE ABILITY TO ACCEPT AND CARRY PIPE THROUGH ITS INTEGRALLY FORMED VERTICAL SUPPORT WALL WITHOUT THE USE OF SEPARATE PIPE HANGERS.
- UNITS WILL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
- THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION.
- REPEATING SUPPORT PANELS AND END WALLS OF THE ELONGATED CHAMBER SHALL BE SPACED EVERY 7.4 - 7.5 FEET, DEPENDING ON STANDARD OR HEAVY-DUTY MODEL.

CULTEC CONTACTOR 100 NOTES INFORMATION



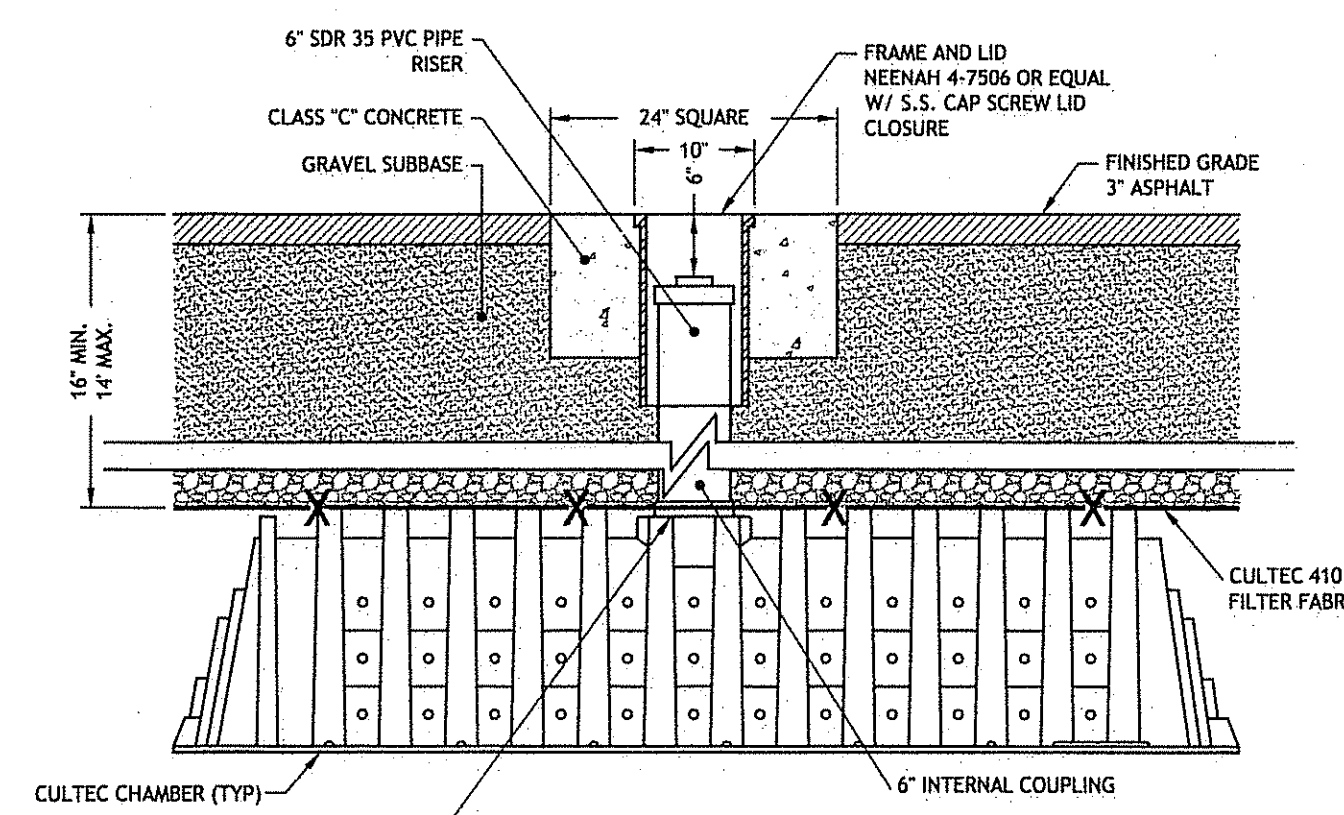
CULTEC CONTACTOR 100HD CHAMBER STORAGE = 1.961 CF/FT
INSTALLED LENGTH ADJUSTMENT = 0.5'
ALL CONTACTOR 100HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.

CULTEC CONTACTOR 100 (R-MODEL) SECTION VIEW

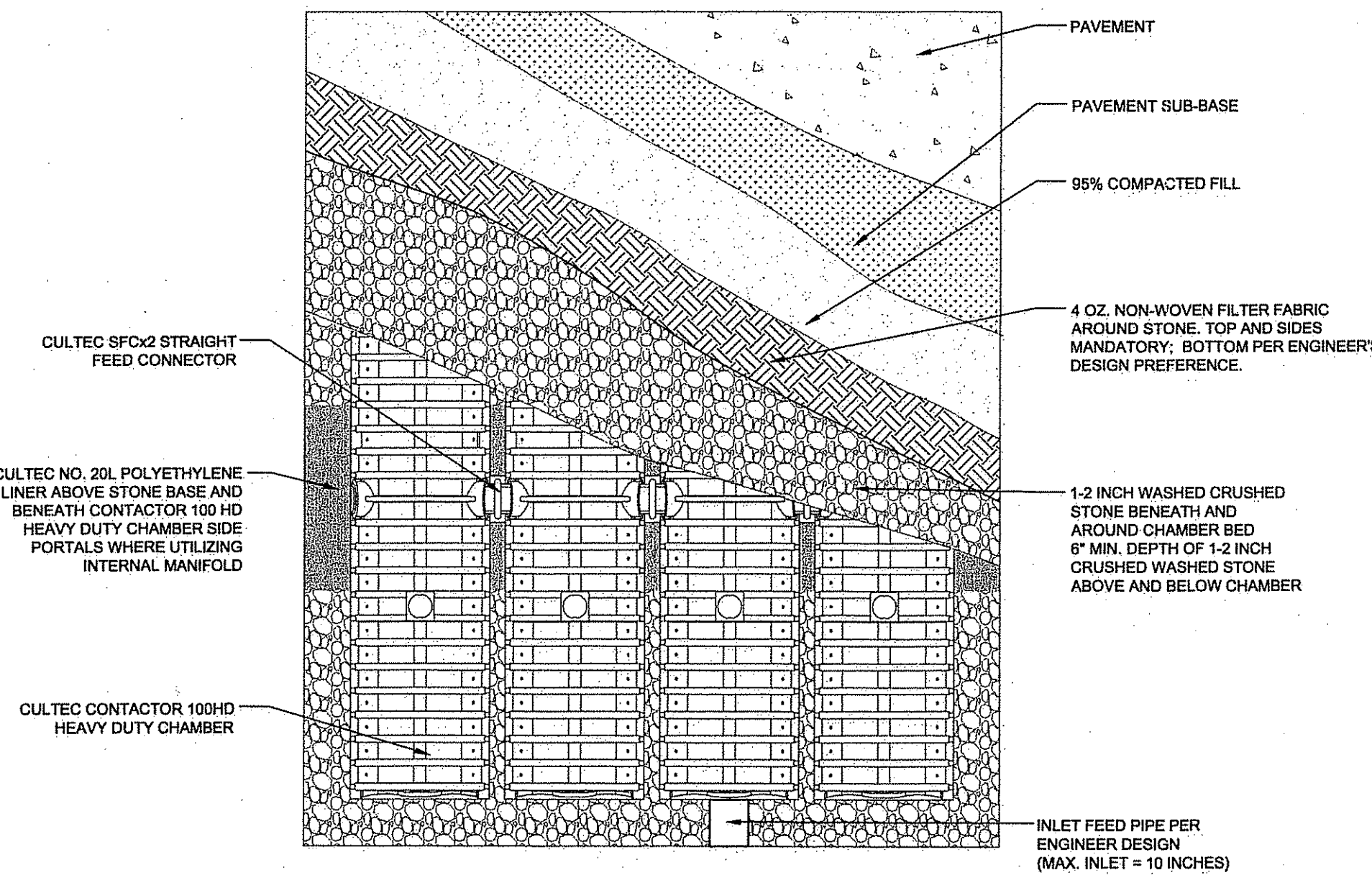


3.84 CUBIC FEET OF STORAGE PER LINEAL FOOT
INSTALLED ACCORDING TO DESIGN UNIT

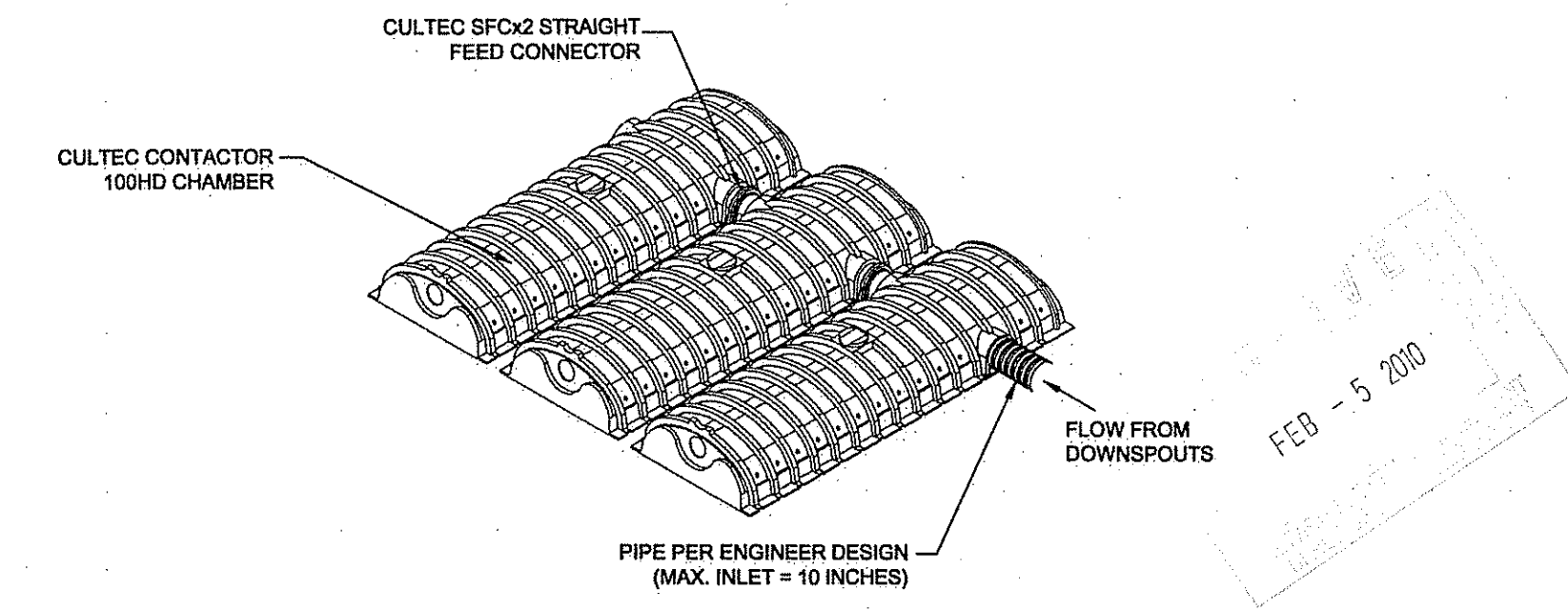
CULTEC CONTACTOR 100 UNPVD-TRAFFIC APPLICATION TYPICAL CROSS SECTION



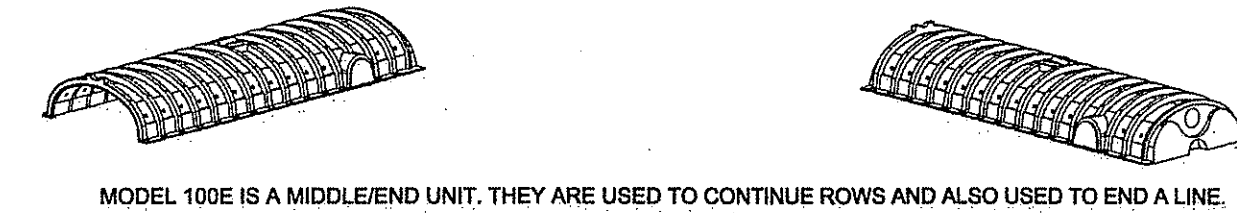
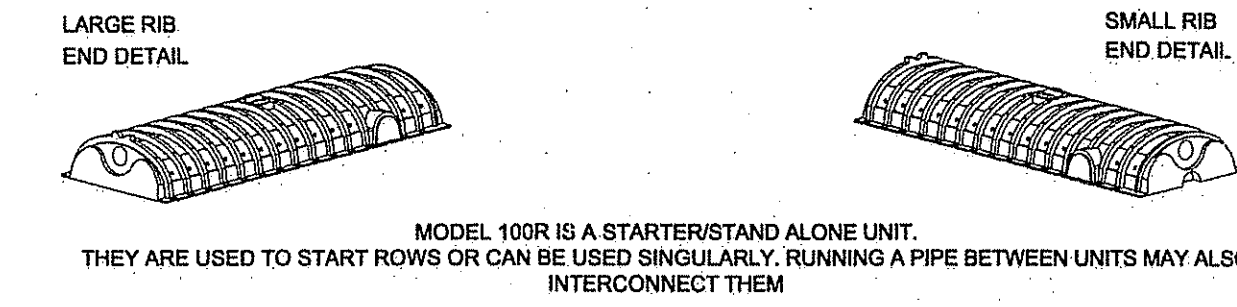
TYPICAL INSPECTION PORT DETAIL
N.T.S.



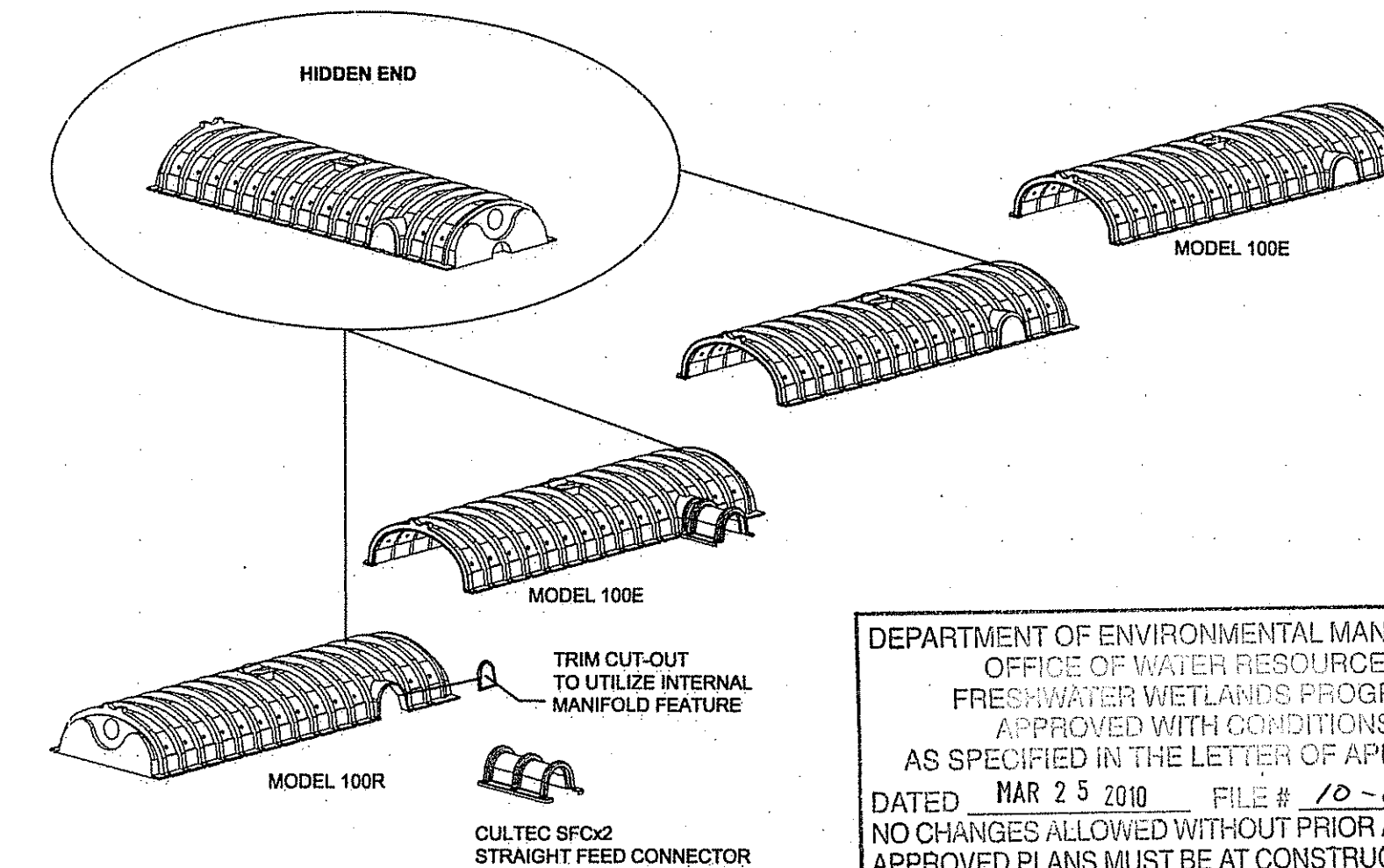
CULTEC CONTACTOR 100 PLAN VIEW DETAIL



CULTEC CONTACTOR 100 MANIFOLD INFORMATION



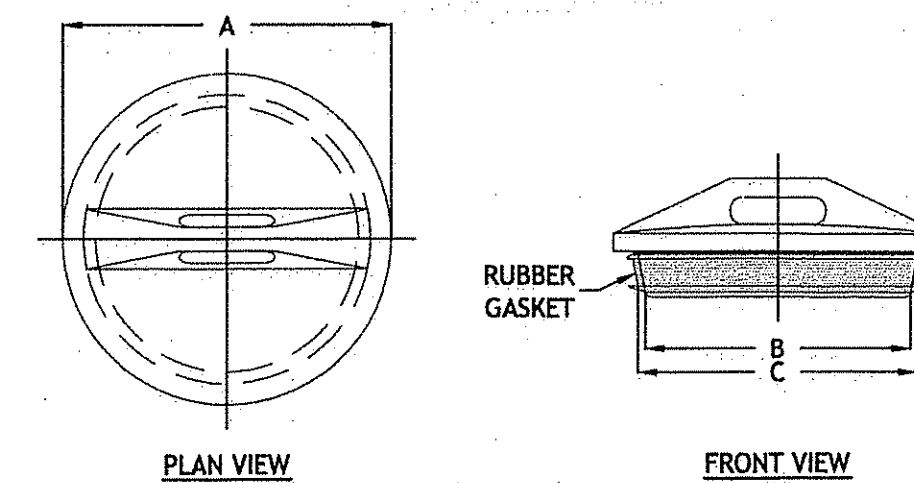
CULTEC CONTACTOR 100 DETAIL INFORMATION



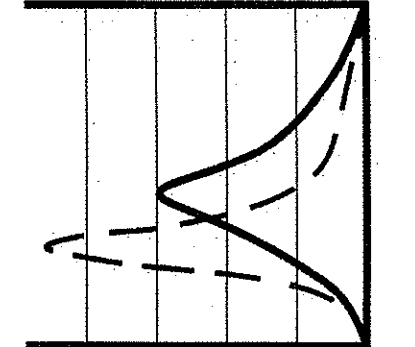
CULTEC CONTACTOR 100 DETAIL INFORMATION

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 25 2010 FILE # 10-0018
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

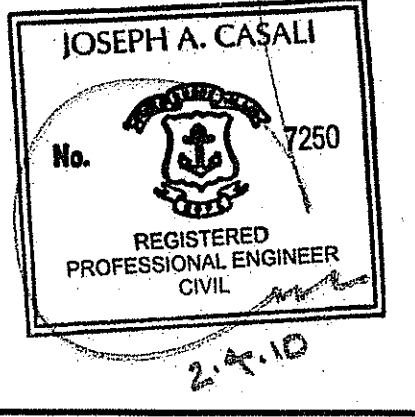
4" - 48" END PLUGS



PART NO.	PIPE SIZE	A	B	C
1233-AA	12" 300 mm	13.75" 349 mm	11.20" 284 mm	11.75" 298 mm



JOE CASALI ENGINEERING, INC.
CIVIL - SITE DEVELOPMENT - TRANSPORTATION
DRAINAGE - WETLANDS - EROSION CONTROL - TRAFFIC FLOORPLAN
300 WEST ROAD, WAWKESHA, NJ 07095
908.884.1300 FAX 908.884.1301 WWW.JOEENGINEERING.COM



NORTHWEST COMMUNITY HEALTH CARE BUILDING ADDITION
36 BRIDGE WAY
PASCOAG, RHODE ISLAND
AP 175 LOT 38

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/5/10	PRELIMINARY PLAN RIDEM SUBMISSION

DESIGNED BY: GEC
DRAWN BY: WMLJR
CHECKED BY: JAC
DATE: 12/31/09
PROJECT NO: 03-80af

PRELIMINARY, NOT FOR CONSTRUCTION

UIC DETAILS

C:\03-80-Vision III Architect\03-80af Northwest Community Health Care Building Addition\PLANSET.dwg, Feb. 04, 2010 2:48pm