

# R.I. DEM WETLANDS PRELIMINARY DETERMINATION SUBMISSION FOR STONEHILL MARKETPLACE PHASE 3B, 3C, 3D

SITUATED ON:  
A.P. 44/2, LOT 66  
ROUTE 6/195  
JOHNSTON, RHODE ISLAND

**PROJECT TEAM:**

**OWNER/DEVELOPER**

STONEHILL DRIVE, LLC  
1414 ATWOOD AVENUE  
JOHNSTON, RHODE ISLAND  
(401) 273-6800  
ATTN: MR. KELLY COATES  
SENIOR VICE PRESIDENT

**SURVEYOR, CIVIL ENGINEER,**

**TRAFFIC ENGINEER**

GAROFALO & ASSOCIATES, INC.  
85 CORLISS STREET, P.O. BOX 6145  
PROVIDENCE, RHODE ISLAND  
(401) 273-6000  
ATTN: MR. SAMUEL WHITE, P.L.S. (SURVEYOR)  
ATTN: MR. STEVEN GAROFALO, P.E.

**GEOTECHNICAL/ENVIRONMENTAL**

GZA GEO ENVIRONMENTAL  
140 BROADWAY  
PROVIDENCE, RHODE ISLAND  
(401) 421-4140

**WETLANDS**

ECOLOGICAL ASSOCIATES  
44 WOODLAND AVENUE  
NORTH KINGSTON, RHODE ISLAND  
(401) 884-3656

**UTILITY AGENCIES:**

**WATER COMPANY**

PROVIDENCE WATER SUPPLY BOARD

**SEWER COMPANY**

NARRAGANSETT BAY COMMISSION  
ONE SERVICE ROAD  
PROVIDENCE, RHODE ISLAND  
(401) 461-8848, EXT. 348

**GAS COMPANY**

NATIONAL GRID  
100 WEYBOSSET STREET  
PROVIDENCE, RHODE ISLAND  
(401) 272-5040, EXT. 15682

**ELECTRIC COMPANY**

NATIONAL GRID  
280 MELROSE STREET  
PROVIDENCE, RHODE ISLAND  
(401) 784-7412

**CABLE COMPANY**

COX COMMUNICATIONS  
1320 EDDIE DOWLING HIGHWAY  
LINCOLN, RHODE ISLAND  
(401) 383-2283

**PERMITTING AGENCIES:**

**JOHNSTON TOWN HALL**

1385 HARTFORD AVENUE  
JOHNSTON, RHODE ISLAND  
(401) 553-8800

**TOWN OF JOHNSTON**

100 IRONS AVENUE  
JOHNSTON, RHODE ISLAND

**RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT**

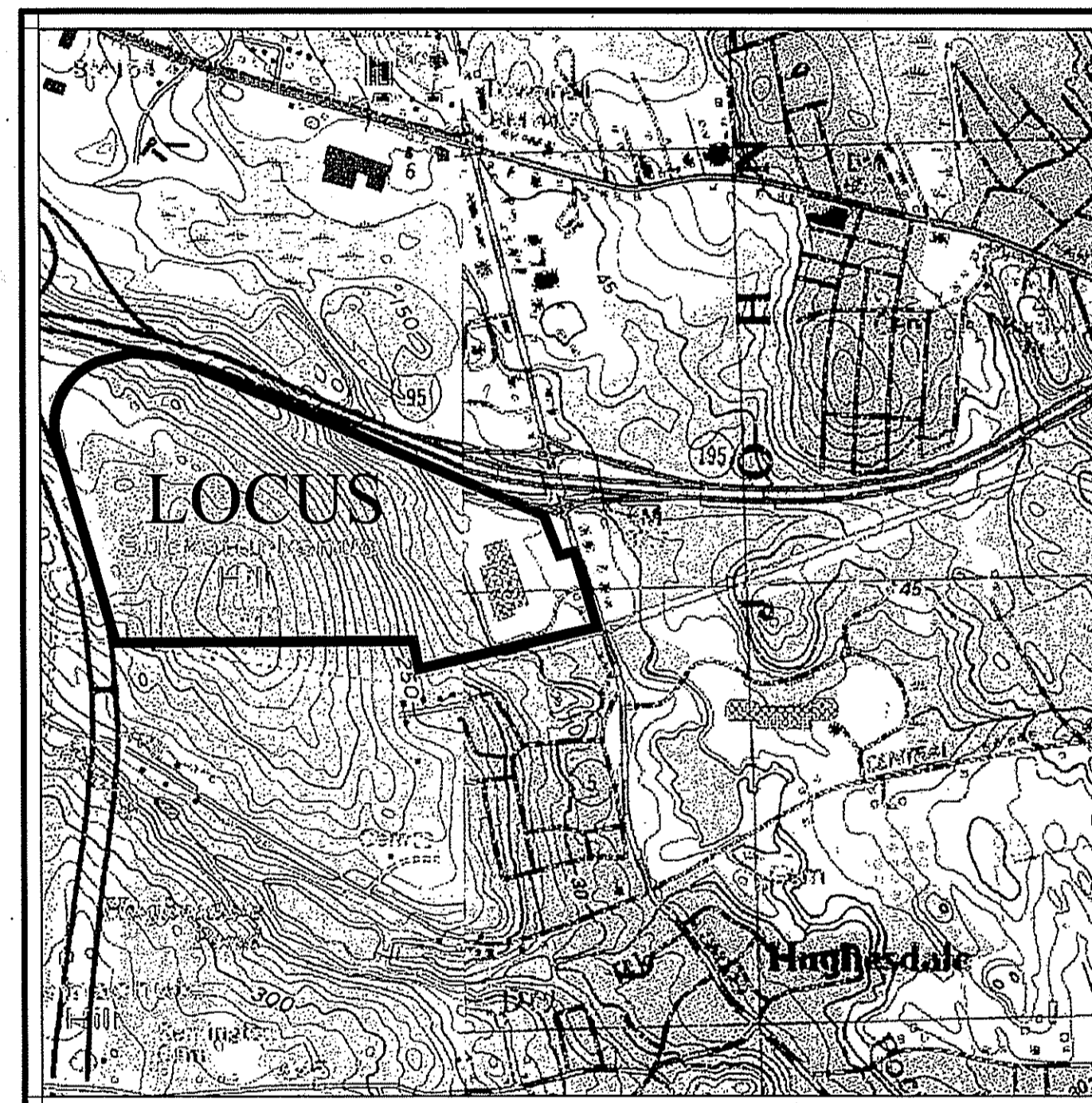
235 PROMENADE STREET  
PROVIDENCE, RHODE ISLAND  
(401) 222-6820

**FIRE ALARM AND FIRE DEPARTMENT**

JOHNSTON FIRE DEPARTMENT  
1520 ATWOOD AVENUE  
JOHNSTON, RHODE ISLAND  
(401) 351-1600

**TELEPHONE COMPANY**

VERIZON  
85 HIGH STREET, FLOOR 1  
PAWTUCKET, RHODE ISLAND  
(401) 525-3030



LOCUS MAP

SCALE: 1"=1000'

APPLICANT/OWNER:  
STONEHILL DRIVE, LLC  
1414 ATWOOD AVENUE  
JOHNSTON, RI 02919

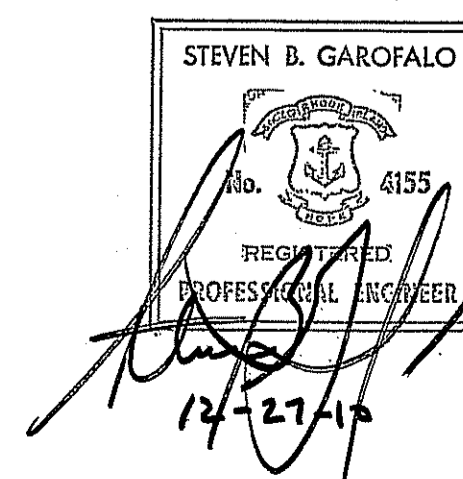
PREPARED BY:

**GAROFALO**

GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

P.O. BOX 6145  
85 CORLISS STREET  
PROVIDENCE, RI, 02940  
TEL. 401-273-6000  
JOB NUMBER: 5570-07

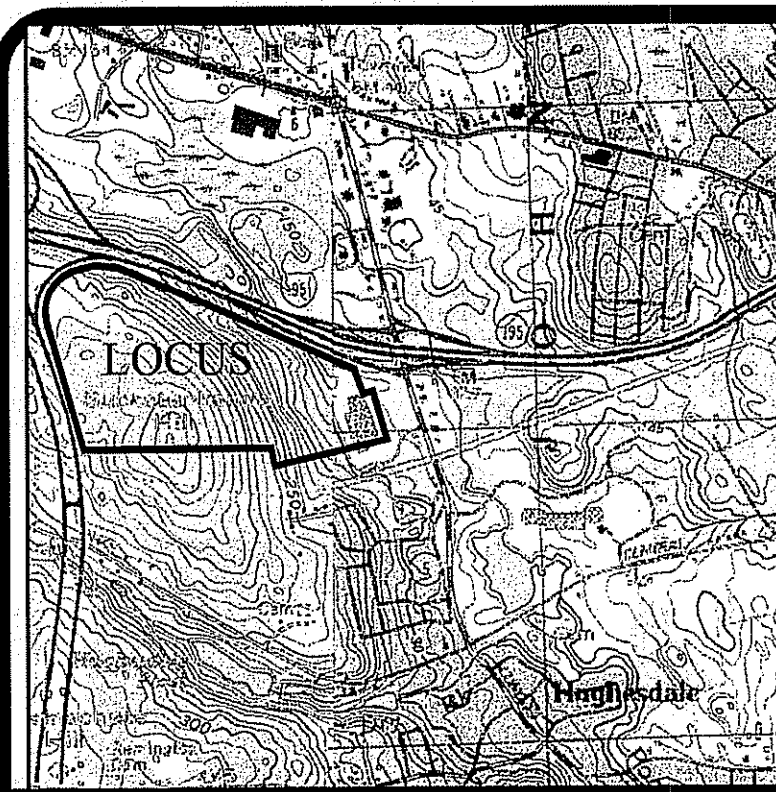
APRIL 5, 2010



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ECS4	ALTA/ACSM LAND TITLE SURVEY PLAN 4	-
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 27 2010 FILE # 10-0202  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



LOCUS MAP  
SCALE 1"=200'

LEGEND	
	Locus Property Line
	Abutter's Property Line
	Right of Way (R.O.W.) Easement
	Stone Wall
	Monument (found/set)
	Iron Rod/Pipe (found/set)
	P.K. Nail (found/set)

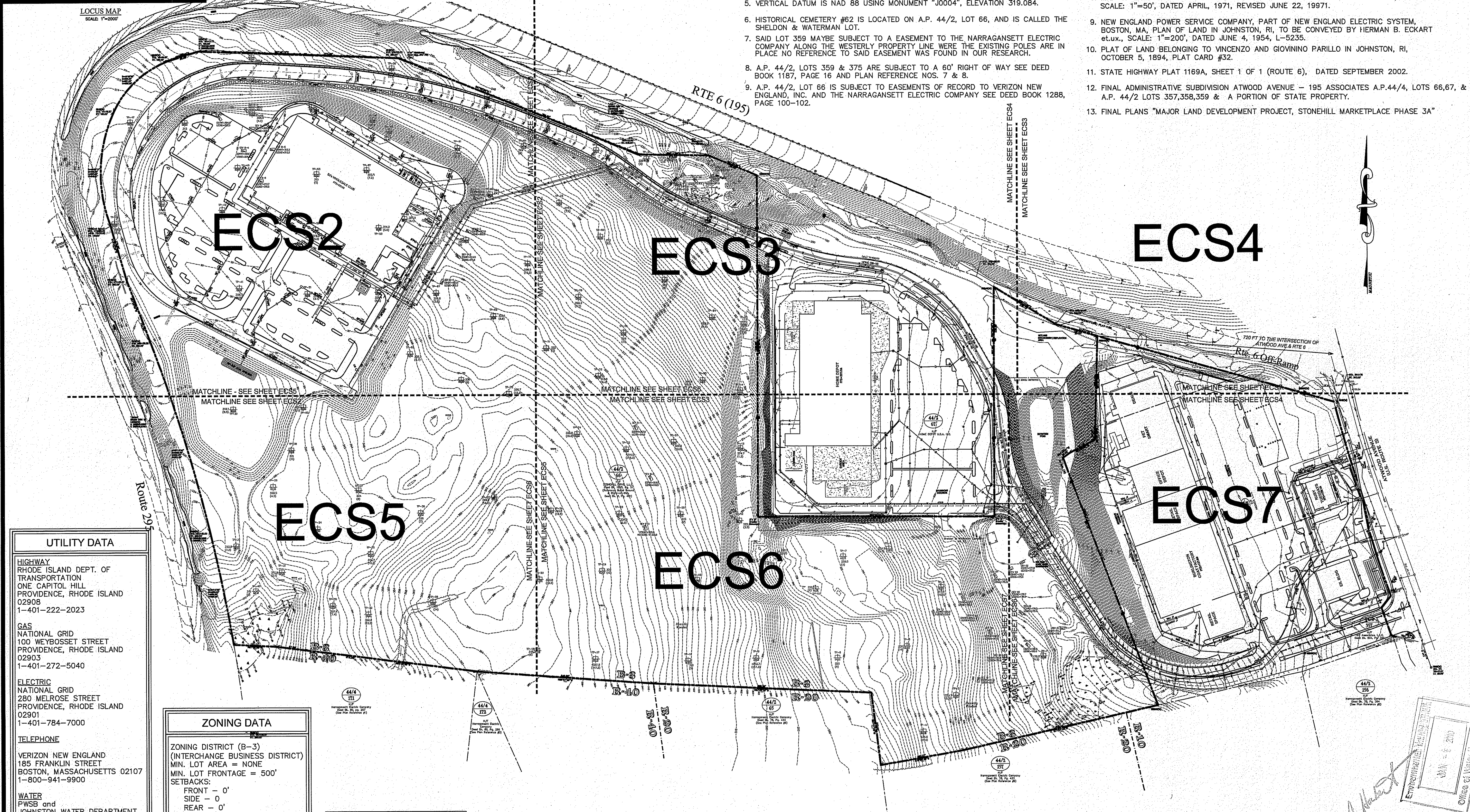
LEGEND	
	DRAIN LINE
	WATER LINE
	SEWER LINE
	GAS LINE
	ELECTRIC/TELEPHONE/CABLE LINE
	1' CONTOUR
	TREE LINE
	CHAIN LINK FENCE
	GUARDRAIL
	DRAIN MANHOLE
	CATCH BASIN
	SEWER MANHOLE
	UTILITY POLE
	FIRE HYDRANT
	WATER GATE
	ZONING DISTRICT BOUNDARY LINE
	WETLAND BOUNDARY w/FLAGS
	LIGHTPOST
	FLOODLIGHT

**NOTES:**

- PLAT 44/2, LOT 359 IS SUBJECT TO A 60' RIGHT-OF-WAY AND A 20' EASEMENT FOR BENEFIT OF MARY S. THORTEN et.al., HER SUCCESSORS AND ASSIGNS FOR THE PRIVILEGE TO PASS AND REPASS BY USUAL WAY TO BURIAL GROUNDS, SEE DEED BK. 6, PG. 481.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233).
- THE PROJECT IS LOCATED WITHIN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN) AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE TOWN OF JOHNSTON, RHODE ISLAND, PROVIDENCE COUNTY, COMMUNITY PANEL NO. 44007C03036, HAVING AN EFFECTIVE DATE OF MARCH 2, 2009.
- HORIZONTAL DATUM IS IN NAD 83 USING MONUMENTS "J0004" & "J0011".
- VERTICAL DATUM IS NAD 88 USING MONUMENT "J0004", ELEVATION 319.084.
- HISTORICAL CEMETERY #62 IS LOCATED ON A.P. 44/2, LOT 66, AND IS CALLED THE SHELDON & WATERMAN LOT.
- SAID LOT 359 MAYBE SUBJECT TO AN EASEMENT TO THE NARRAGANSETT ELECTRIC COMPANY ALONG THE WESTERLY PROPERTY LINE WHERE THE EXISTING POLES ARE IN PLACE NO REFERENCE TO SAID EASEMENT WAS FOUND IN OUR RESEARCH.
- A.P. 44/2, LOTS 359 & 375 ARE SUBJECT TO A 60' RIGHT OF WAY SEE DEED BOOK 1187, PAGE 16 AND PLAN REFERENCE NOS. 7 & 8.
- A.P. 44/2, LOT 66 IS SUBJECT TO EASEMENTS OF RECORD TO VERIZON NEW ENGLAND, INC. AND THE NARRAGANSETT ELECTRIC COMPANY SEE DEED BOOK 1288, PAGE 100-102.

**REFERENCES:**

- NEW ENGLAND POWER SERVICES COMPANY PLAN SHOWING LAND IN JOHNSTON, RHODE ISLAND TO BE CONVEYED TO MARY VOLPE TO THE NARRAGANSETT ELECTRIC COMPANY, SCALE: 1"=200', DATED JANUARY 19, 1955, L-5381.
- NEW ENGLAND POWER SERVICE COMPANY PLAN SHOWING LAND IN JOHNSTON, RHODE ISLAND TO BE CONVEYED BY GEORGE FERRANTE et.ux., SCALE: 1"=50', DATED MAY, 12, 1954, L-5221.
- NEW ENGLAND POWER SERVICE COMPANY PLAN SHOWING LAND IN JOHNSTON, RHODE ISLAND TO BE CONVEYED BY CHARLES H. WOOD, et.ux., SCALE: 1"=100', DATED JANUARY 20, 1955, L-5389.
- STATE HIGHWAY PLAT 1443, SHEETS 5-7 OF 12 (ROUTE 295) DATED APRIL 1970
- STATE HIGHWAY PLAT 1169, SHEETS 7 & 8 OF 14 (ROUTE 6) DATED OCTOBER 1961.
- STATE HIGHWAY PLAT 1075, SHEET 8 OF 10 (ROUTE 5, ATWOOD AVE.) DATED OCTOBER 1958.
- ALTA/ACSM PLAN OF LAND IN JOHNSTON, RHODE ISLAND, BY GUERRIERE & HALNON, INC., DATED AUGUST 12, 1997, SCALE: 1"=50'.
- MAP OF LAND SHOWING K-MART PARCEL BY ROBERT B. BOYER & ASSOCIATES, SCALE: 1"=50', DATED APRIL, 1971, REVISED JUNE 22, 1997.
- NEW ENGLAND POWER SERVICE COMPANY, PART OF NEW ENGLAND ELECTRIC SYSTEM, BOSTON, MA, PLAN OF LAND IN JOHNSTON, RI, TO BE CONVEYED BY HERMAN B. ECKART et.ux., SCALE: 1"=200', DATED JUNE 4, 1954, L-5235.
- PLAT OF LAND BELONGING TO VINCENZO AND GIOVINNO PARILLO IN JOHNSTON, RI, OCTOBER 5, 1894, PLAT CARD #32.
- STATE HIGHWAY PLAT 1169A, SHEET 1 OF 1 (ROUTE 6), DATED SEPTEMBER 2002.
- FINAL ADMINISTRATIVE SUBDIVISION ATWOOD AVENUE - 195 ASSOCIATES A.P.44/4, LOTS 66,67, & A.P. 44/2 LOTS 357,358,359 & A PORTION OF STATE PROPERTY.
- FINAL PLANS "MAJOR LAND DEVELOPMENT PROJECT, STONEHILL MARKETPLACE PHASE 3A"

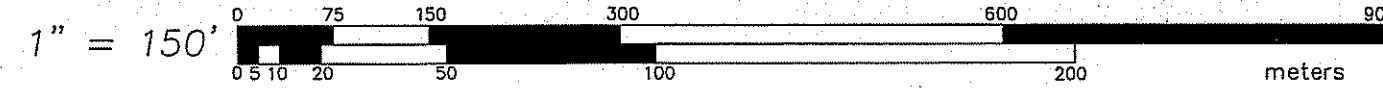


UTILITY DATA	
<b>HIGHWAY</b>	RHODE ISLAND DEPT. OF TRANSPORTATION ONE CAPITOL HILL PROVIDENCE, RHODE ISLAND 02908 1-401-222-2023
<b>GAS</b>	NATIONAL GRID 100 WEYBOSSET STREET PROVIDENCE, RHODE ISLAND 02903 1-401-272-5040
<b>ELECTRIC</b>	NATIONAL GRID 280 MELROSE STREET PROVIDENCE, RHODE ISLAND 02901 1-401-784-7000
<b>TELEPHONE</b>	VERIZON NEW ENGLAND 185 FRANKLIN STREET BOSTON, MASSACHUSETTS 02107 1-800-941-9900
<b>WATER</b>	PWSB and JOHNSTON WATER DEPARTMENT 1385 HARTFORD AVENUE JOHNSTON, RHODE ISLAND 02919 1-401-351-1760
<b>SEWER</b>	NBC
<b>DRAINAGE</b>	PRIVATE

ZONING DATA	
ZONING DISTRICT (B-3)	(INTERCHANGE BUSINESS DISTRICT)
MIN. LOT AREA	= NONE
MIN. LOT FRONTAGE	= 500'
SETBACKS:	
FRONT	- 0'
SIDE	- 0'
REAR	- 0'
MAX. BLDG. HEIGHT:	
50' RETAIL	
60' THEARTER	
40' ACCESSORY BLDG	
MAX. BLDG. COVERAGE	= 40%
MIN. DISTANCE OF STRUCTURE FROM "R" DISTRICT	= 200'
FROM "I" DISTRICT	= 150'
*--REFER TO TOWN OF JOHNSTON ZONING ORDINANCE FOR FURTHER INFORMATION.	

PARCEL DATA	
A.P. 44/2, LOT 66	N/F
STONEHILL DRIVE, L.L.C.	DEED BK. 1845, PG. 51
STONE HILL ROAD	JOHNSTON, RHODE ISLAND
LOT AREA:	4,061,133 S.F.± OR 93.23 Ac.±

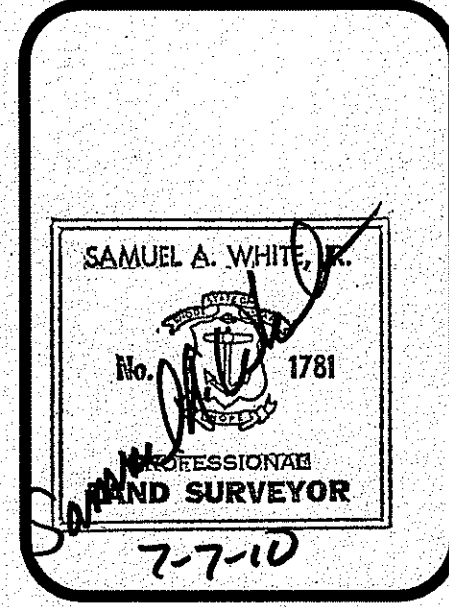
STREET INDEX	
U.S. ROUTE 6 (a.k.a. ROUTE 195)	
ATWOOD AVENUE (R.I. ROUTE 5)	
INTERSTATE ROUTE 295	



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 27 2011 FILE # 10-020  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**OVERALL EXISTING CONDITIONS PLAN**  
FOR  
A.P. 44/2, Lot 66  
SITUATED ON  
Stonehill Drive  
Johnston, Rhode Island  
PREPARED FOR  
STONEHILL DRIVE, L.L.C.

NO.	REVISION	BY	DATE



**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLIGGS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

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JOB NO.	5570-07	DRAWN BY	SLC
DWG. NO.	5570-ECS-38CD	CHECKED	SAW
SCALE:	1"=150'	APPROVED	SAW
		DATE:	APRIL 5, 2010

SHEET  
**ECS1**  
2 OF 38 SHEETS



RTE 6 (195)

**LEGEND**

- Locus Property Line
- Abuttor's Property Line
- - - Right of Way (R.O.W.)
- - - Easement
- Stone Wall
- Monument (found/set)
- Iron Rod/Pipe (found/set)
- △ P.K. Nail (found/set)

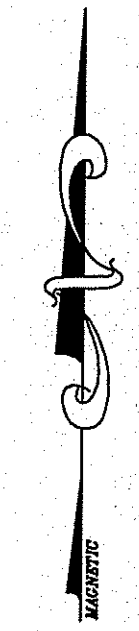
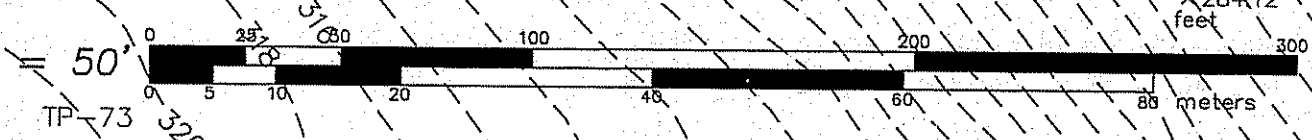
**LEGEND**

- D --- DRAIN LINE
- W --- WATER LINE
- S --- SEWER LINE
- G --- GAS LINE
- E --- ELECTRIC/TELEPHONE/CABLE LINE
- 1' --- 1" CONTOUR
- T --- TREE LINE
- C --- CHAIN LINK FENCE
- G --- GUARDRAIL
- M --- DRAIN MANHOLE
- C --- CATCH BASIN
- S --- SEWER MANHOLE
- U --- UTILITY POLE
- F --- FIRE HYDRANT
- W --- WATER GATE
- Z --- ZONING DISTRICT BOUNDARY LINE
- W --- WETLAND BOUNDARY w/FLAGS
- L --- LIGHTPOST
- F --- FLOODLIGHT

MATCHLINE SEE SHEET ECS2

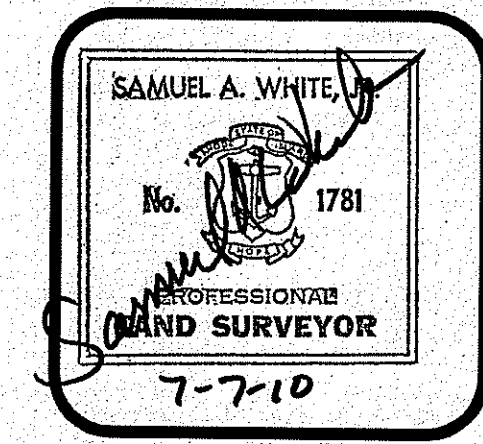
MATCHLINE SEE SHEET ECS4

MATCHLINE SEE SHEET ECS6



**EXISTING CONDITIONS PLAN**  
 FOR  
 A.P. 44/2, Lot 66  
 SITUATED ON  
 Stonehill Drive  
 Johnston, Rhode Island  
 PREPARED FOR  
 STONEHILL DRIVE, L.L.C.

NO.	REVISION	BY	DATE



**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS  
 Office of Water Resources

85 CORLISS STREET  
 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-6000

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JOB NO. 5570-07  
 DWG. NO. 5570-ECS-3BCD

DRAWN BY SLC  
 CHECKED SAW  
 APPROVED SAW  
 DATE: APRIL 5, 2010

SCALE: AS SHOWN IN THE SHEET

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 DIVISION OF WATER WELLS PROGRAM  
 DIVISION OF WETLANDS PROGRAM

DATE: APRIL 5, 2010  
 FILE # 10-022

**ECS3**

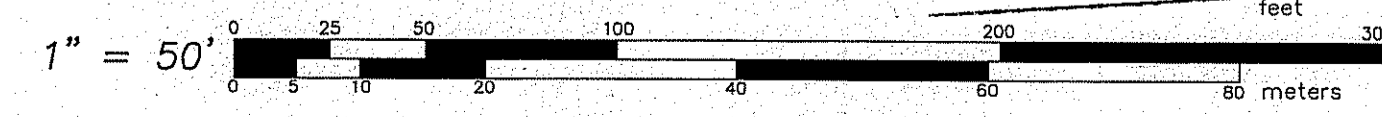
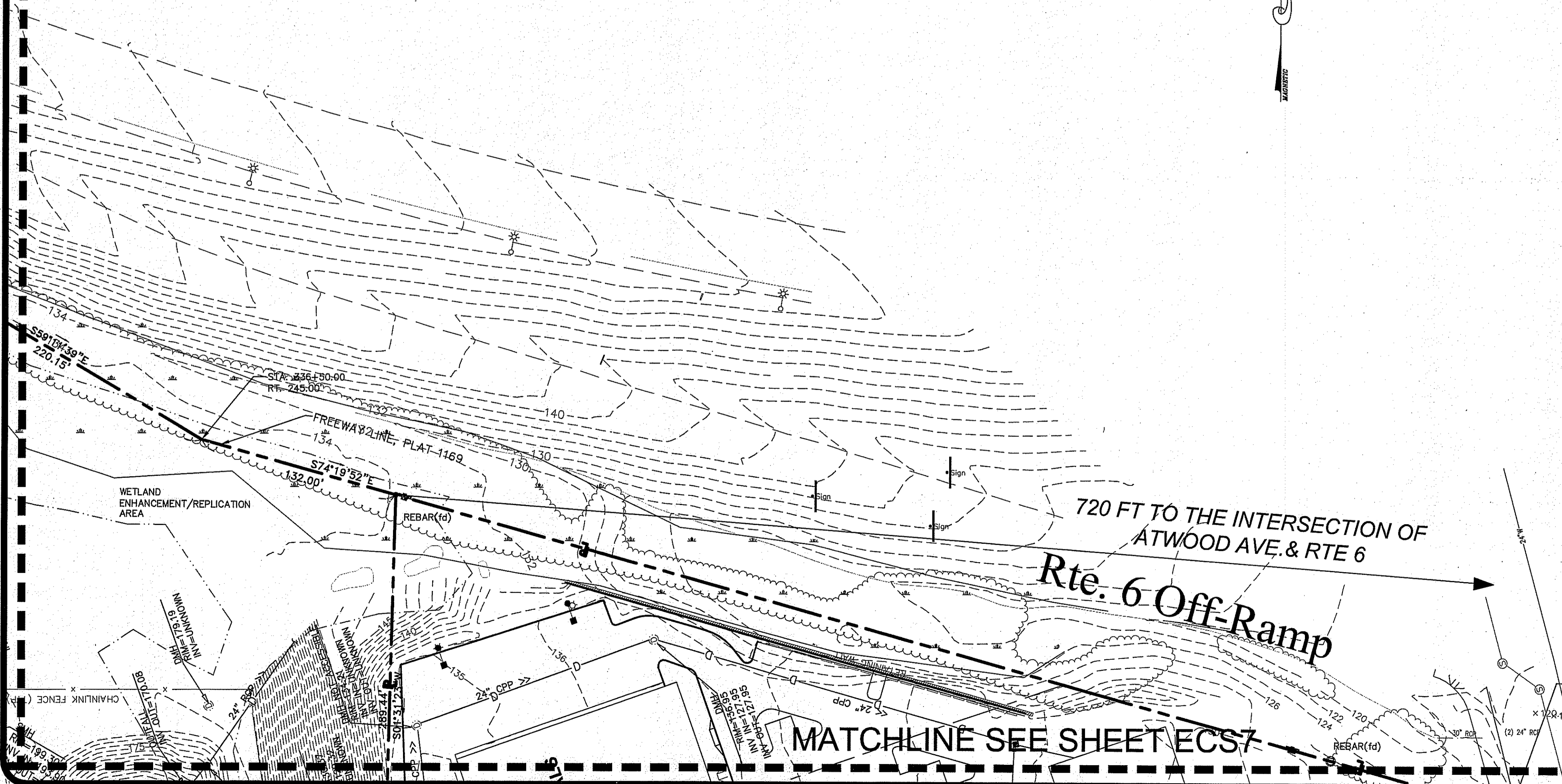
4 OF 38 SHEETS

MATCHLINE SEE SHEET ECS3

MATCHLINE SEE SHEET ECS7

LEGEND	
---	Locus Property Line
---	Abutter's Property Line
---	Right of Way (R.O.W.)
---	Easement
---	Stone Wall
■	Monument (found/set)
○	Iron Rod/Pipe (found/set)
△	P.K. Nail (found/set)

LEGEND	
---	DRAIN LINE
---	WATER LINE
---	SEWER LINE
---	GAS LINE
---	ELECTRIC/TELEPHONE/CABLE LINE
---	1' CONTOUR
---	TREE LINE
---	CHAIN LINK FENCE
---	GUARDRAIL
●	DMH
■	CB
●	SMH
○	UTILITY POLE
○	FIRE HYDRANT
○	WATER GATE
---	ZONING DISTRICT BOUNDARY LINE
---	WETLAND BOUNDARY w/FLAGS
---	LIGHTPOST
---	FLOODLIGHT

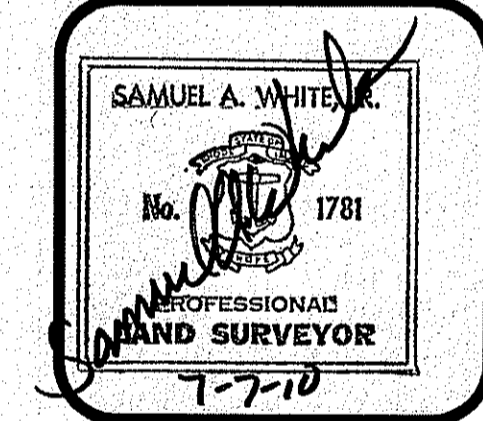


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 27 2011 FILE # 10-0209  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Environmental Management  
 JAN - 6 2010  
 Office of Water Resources

EXISTING CONDITIONS PLAN  
 FOR  
 A.P. 44/2, Lot 66  
 SITUATED ON  
 Stonehill Drive  
 Johnston, Rhode Island  
 PREPARED FOR  
 STONEHILL DRIVE, L.L.C.

NO.	REVISION	BY	DATE



**GAROFALO**  
 GAROFALO & ASSOCIATES, INC.  
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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 PROVIDENCE, R.I. 02940  
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JOB NO. 5570-07	DRAWN BY SLC
DWG. NO. 5570-ECS-38CD	CHECKED SAW
SCALE: 1"=50'	APPROVED SAW
	DATE: APRIL 5, 2010

**ECS4**

MATCHLINE SEE SHEET ECS2

Route 295

MATCHLINE SEE SHEET ECS6

INFILTRATION POND #1  
(CURRENTLY UNDER CONSTRUCTION)

**LEGEND**

- Locus Property Line
- Abuttor's Property Line
- Right of Way (R.O.W.)
- Easement
- Stone Wall
- Monument (found/set)
- Iron Rod/Pipe (found/set)
- △ P.K. Nail (found/set)

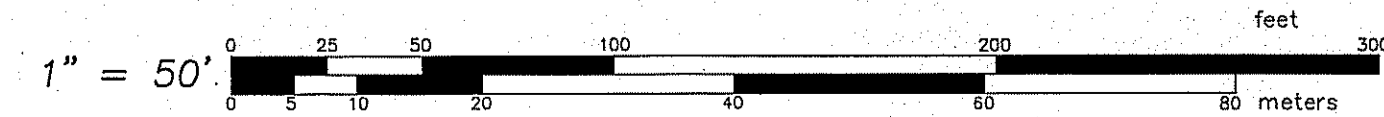
**LEGEND**

- D DRAIN LINE
- W WATER LINE
- S SEWER LINE
- G GAS LINE
- E ELECTRIC/TELEPHONE/CABLE LINE
- 1' CONTOUR
- TREE LINE
- CHAIN LINK FENCE
- GUARDRAIL
- DMH DRAIN MANHOLE
- CB CATCH BASIN
- SMH SEWER MANHOLE
- UTILITY POLE
- FIRE HYDRANT
- WATER GATE
- ZONING DISTRICT BOUNDARY LINE
- WETLAND BOUNDARY w/FLAGS
- LIGHTPOST
- FLOODLIGHT



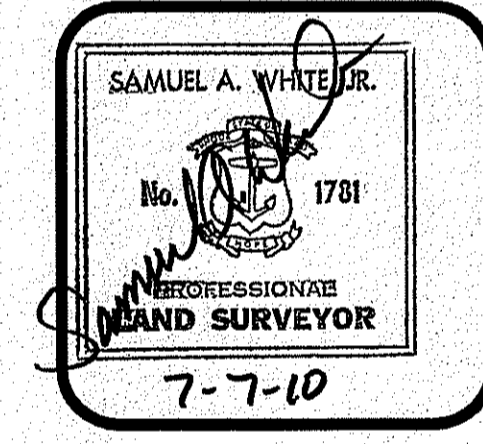
44/4  
171  
N/F  
Narragansett Electric Company  
Deed Bk. 80, pg. 257  
(See Plan Reference #1)

44/4  
172  
NARRAGANSETT ELECTRIC COMPANY  
OFFICE OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
NARRAGANSETT ELECTRIC COMPANY  
DEED BOOK 80, PAGE 257  
(See Plan Reference #1)  
APPROVED WITH CONDITIONS  
DATED JAN 27 2011 FILE # 10-0200  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION



EXISTING CONDITIONS PLAN  
FOR  
A.P. 44/2, Lot 66  
SITUATED ON  
Stonehill Drive  
Johnston, Rhode Island  
PREPARED FOR  
STONEHILL DRIVE, L.L.C.

NO.	REVISION	BY	DATE



**GAROFALO**  
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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
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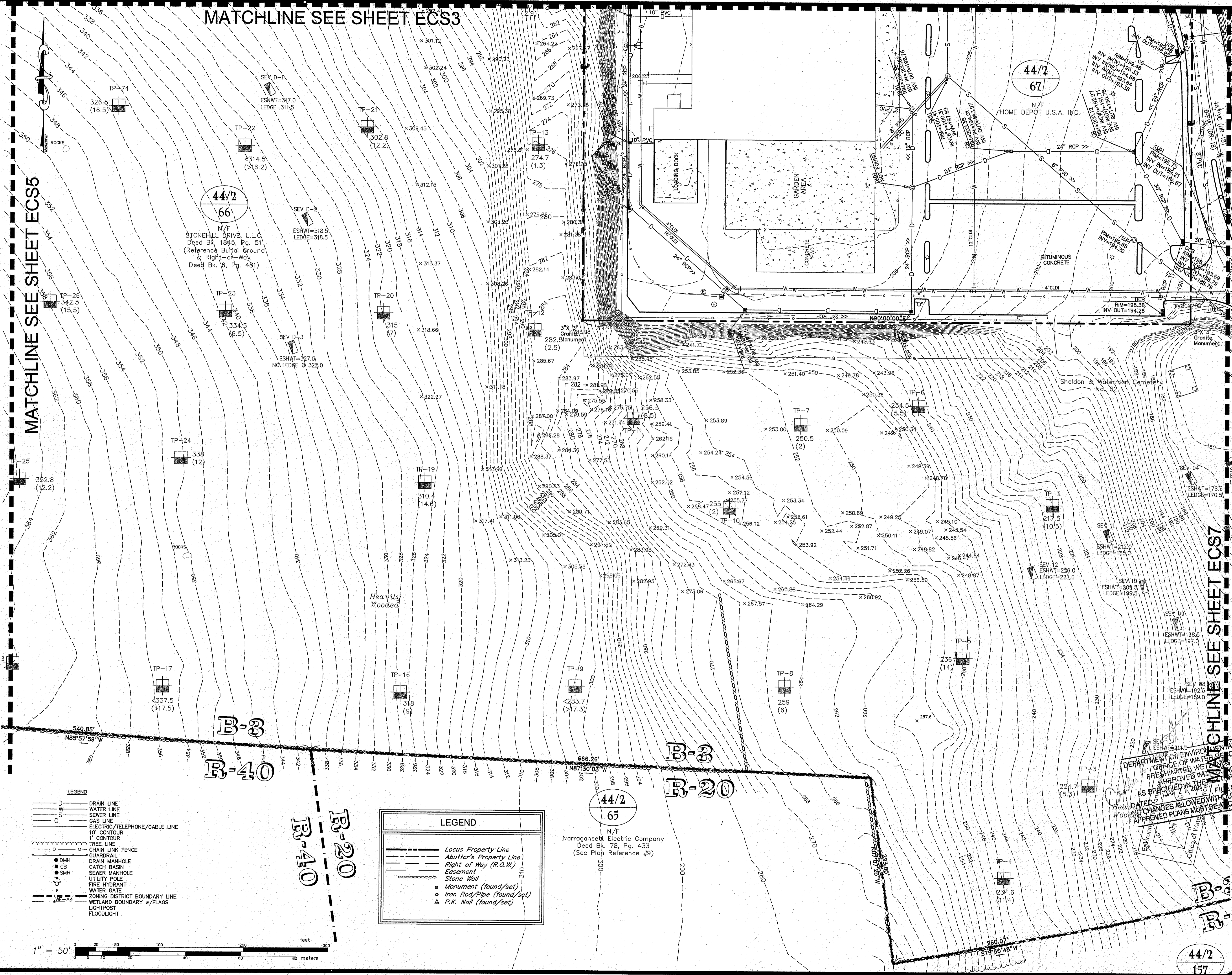
JOB NO. 5570-07  
DWG. NO. 5570-ECS-38CD  
SCALE: 1"=50'  
DRAWN BY SLC  
CHECKED SAW  
APPROVED SAW  
DATE: APRIL 5, 2010

SHEET  
**ECS5**  
6 OF 38 SHEETS

MATCHLINE SEE SHEET ECS3

MATCHLINE SEE SHEET ECS5

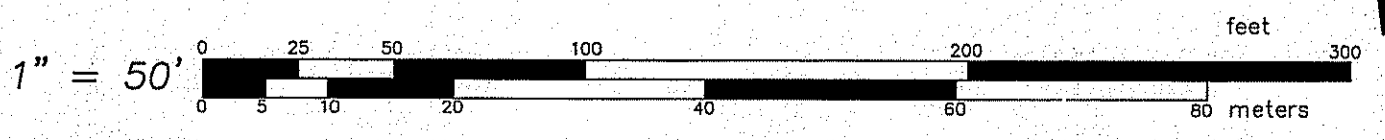
MATCHLINE SEE SHEET ECS7



- LEGEND**
- D --- DRAIN LINE
  - W --- WATER LINE
  - S --- SEWER LINE
  - G --- GAS LINE
  - E --- ELECTRIC/TELEPHONE/CABLE LINE
  - 10' --- 10' CONTOUR
  - 1' --- 1' CONTOUR
  - T --- TREE LINE
  - CL --- CHAIN LINK FENCE
  - GMH --- GUARDRAIL
  - DMH --- DRAIN MANHOLE
  - CB --- CATCH BASIN
  - SMH --- SEWER MANHOLE
  - U --- UTILITY POLE
  - F --- FIRE HYDRANT
  - WG --- WATER GATE
  - Z --- ZONING DISTRICT BOUNDARY LINE
  - W --- WETLAND BOUNDARY w/FLAGS
  - L --- LIGHTPOST
  - F --- FLOODLIGHT

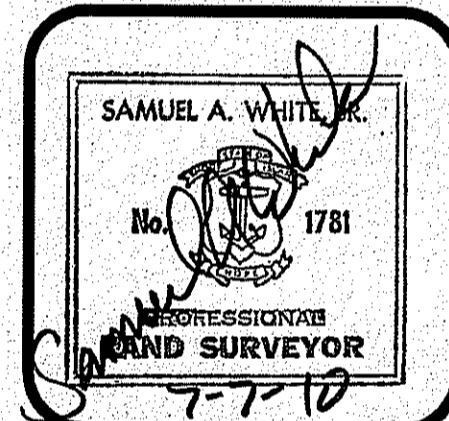
- LEGEND**
- Locus Property Line
  - Abutor's Property Line
  - Right of Way (R.O.W.)
  - Easement
  - Stone Wall
  - Monument (found/set)
  - Iron Rod/Pipe (found/set)
  - △ P.K. Nail (found/set)

N/F  
Narragansett Electric Company  
Deed Bk. 78, Pg. 433  
(See Plan Reference #9)



**EXISTING CONDITIONS PLAN**  
FOR  
A.P. 44/2, Lot 66  
SITUATED ON  
Stonehill Drive  
Johnston, Rhode Island  
PREPARED FOR  
STONEHILL DRIVE, L.L.C.

NO.	REVISION	BY	DATE

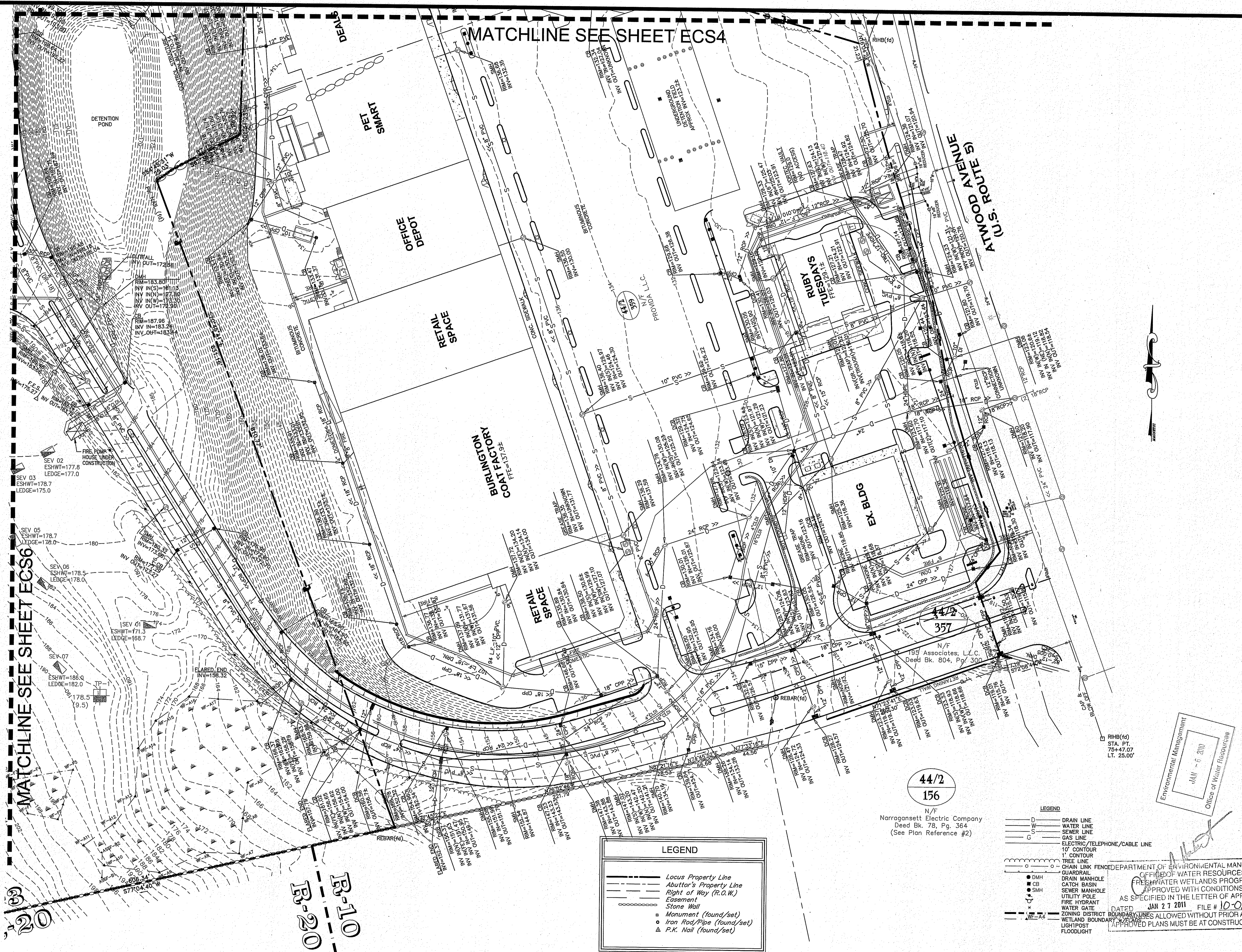


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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

88 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-8000

JOB NO. 5570-07	DRAWN BY SLC
DWG. NO. 5570-ECS-3B00	CHECKED SAW
SCALE: 1"=50'	APPROVED SAW
SHEET	DATE: APRIL 5, 2010

**ECS6**



MATCHLINE SEE SHEET ECS4

MATCHLINE SEE SHEET ECS6

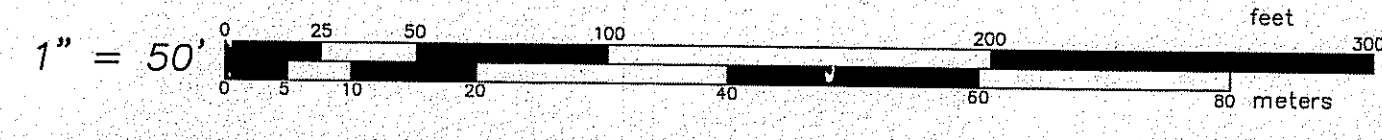
B-10  
B-20

LEGEND	
	Locus Property Line
	Abutter's Property Line
	Right of Way (R.O.W.)
	Easement
	Stone Wall
	Monument (found/set)
	Iron Rod/Pipe (found/set)
	P.K. Nail (found/set)

44/2  
156

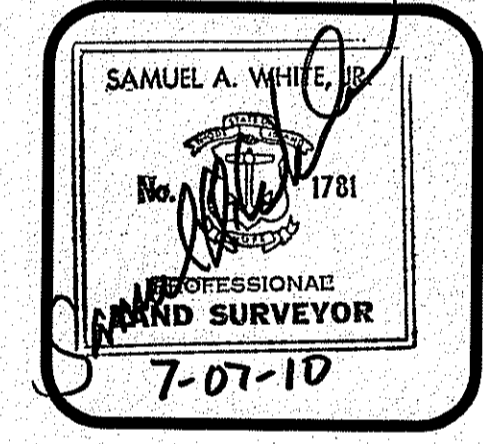
N/F  
Narragansett Electric Company  
Deed Bk. 78, Pg. 364  
(See Plan Reference #2)

LEGEND	
	DRAIN LINE
	WATER LINE
	SEWER LINE
	GAS LINE
	ELECTRIC/TELEPHONE/CABLE LINE
	10' CONTOUR
	TREE LINE
	FENCE
	GUARDRAIL
	DRAIN MANHOLE
	CATCH BASIN
	SEWER MANHOLE
	UTILITY POLE
	FIRE HYDRANT
	WATER GATE
	ZONING DISTRICT BOUNDARY LINES
	WETLAND BOUNDARY LINES
	LIGHTPOST
	FLOODLIGHT



EXISTING CONDITIONS PLAN  
FOR  
A.P. 44/2, Lot 66  
SITUATED ON  
Stonehill Drive  
Johnston, Rhode Island  
PREPARED FOR  
STONEHILL DRIVE, L.L.C.

NO.	REVISION	BY	DATE

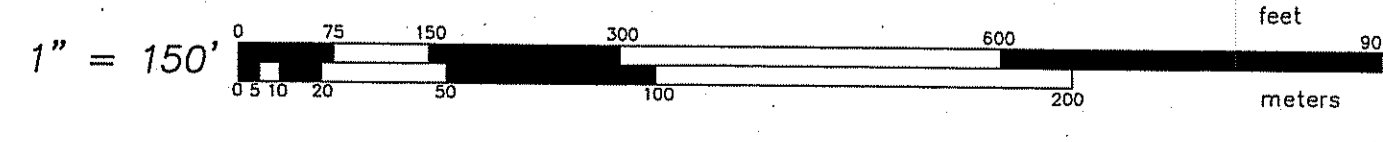
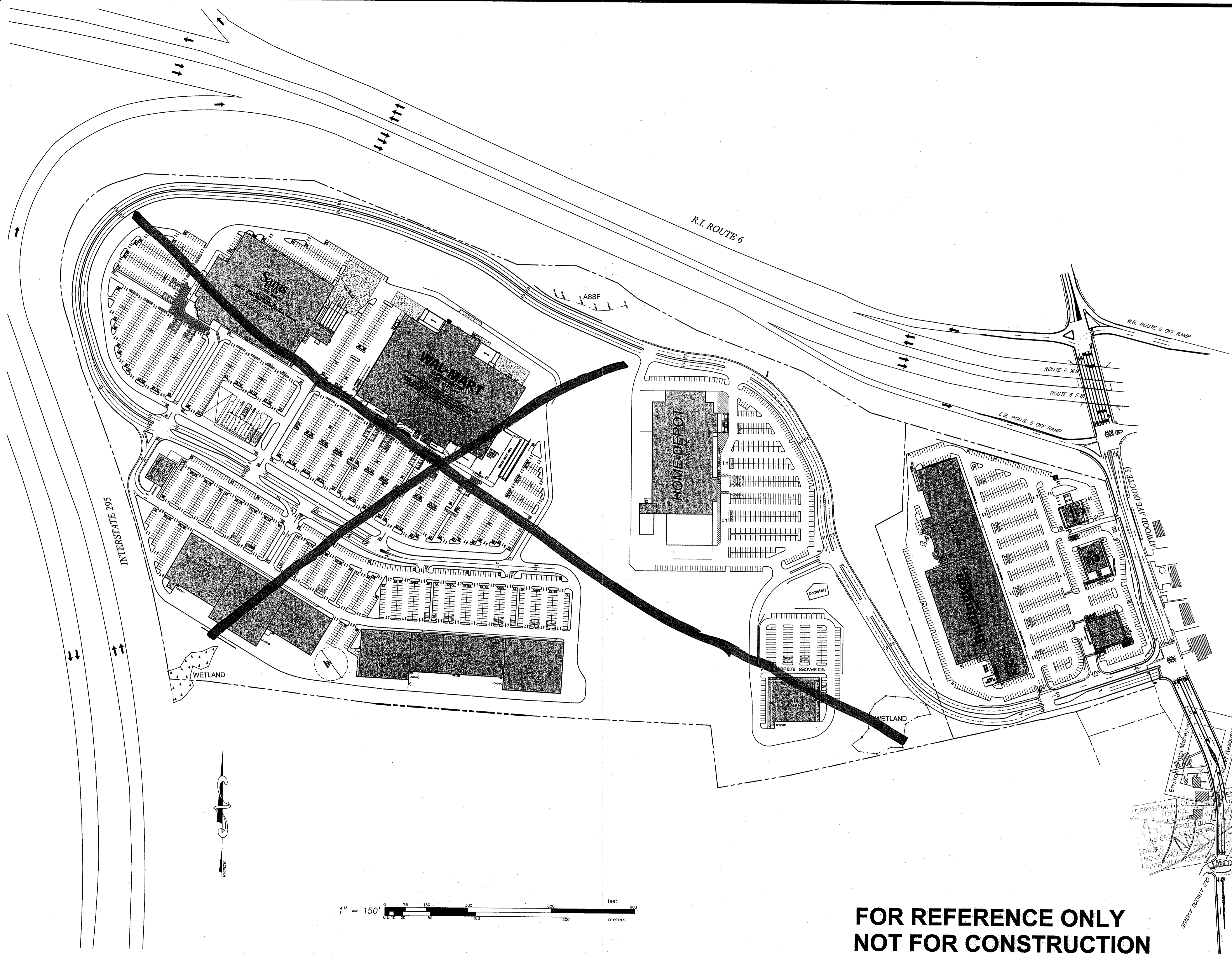


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P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 5570-07	DRAWN BY SLC
DWG. NO. 5570-ECS-38CD	CHECKED SAW
SCALE: 1"=50'	APPROVED SAW
DATE: APRIL 5, 2010	

**ECS7**



**FOR REFERENCE ONLY  
NOT FOR CONSTRUCTION**

MASTER PLAN  
FOR  
STONEHILL MARKETPLACE  
SITUATED ON  
ATWOOD AVENUE  
JOHNSTON, RHODE ISLAND  
PREPARED FOR  
STONEHILL DRIVE, LLC

NO.	REVISION	BY	DATE
1	PER RDB COMMENTS	PJD	12/17/10

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P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

JOB NO. 5570-07  
DWG. NO. 5570-MASTER PLAN  
SCALE: 1"=150'

DRAWN BY PJD  
CHECKED SBG  
APPROVED SBG  
DATE: OCTOBER 19, 2007

SHEET  
**MP**  
9 OF 38 SHEET

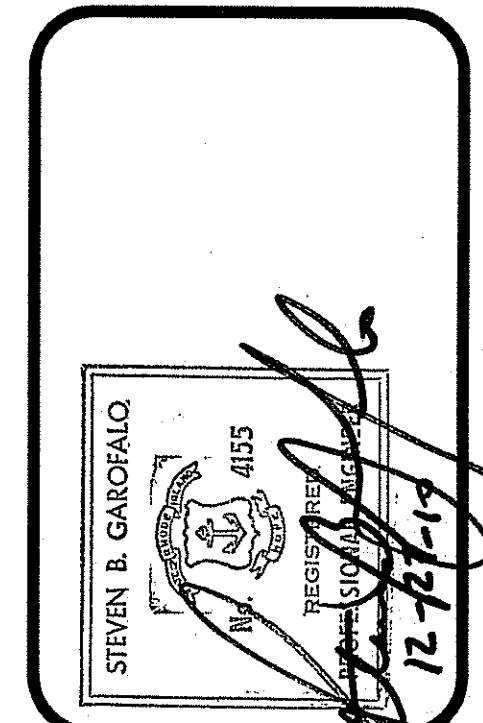
STEVEN B. GAROFALO  
REGISTERED PROFESSIONAL ENGINEER  
NO. 4155  
12-16-11

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OR OWNER WITHOUT WRITTEN CONSENT OF  
THIS OWNER OR ONE OF ITS DIRECTORS.

DEPARTMENT OF  
FOR THE  
PROVIDENCE, R.I.  
NO CHANGES  
APPROVED PLANS

OVERALL PHASING PLAN  
 FOR  
 STONEHILL MARKETPLACE PHASE 3  
 SITUATED ON  
 STONEHILL DRIVE  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR  
 STONEHILL DRIVE, LLC

NO.	REVISION	BY	DATE



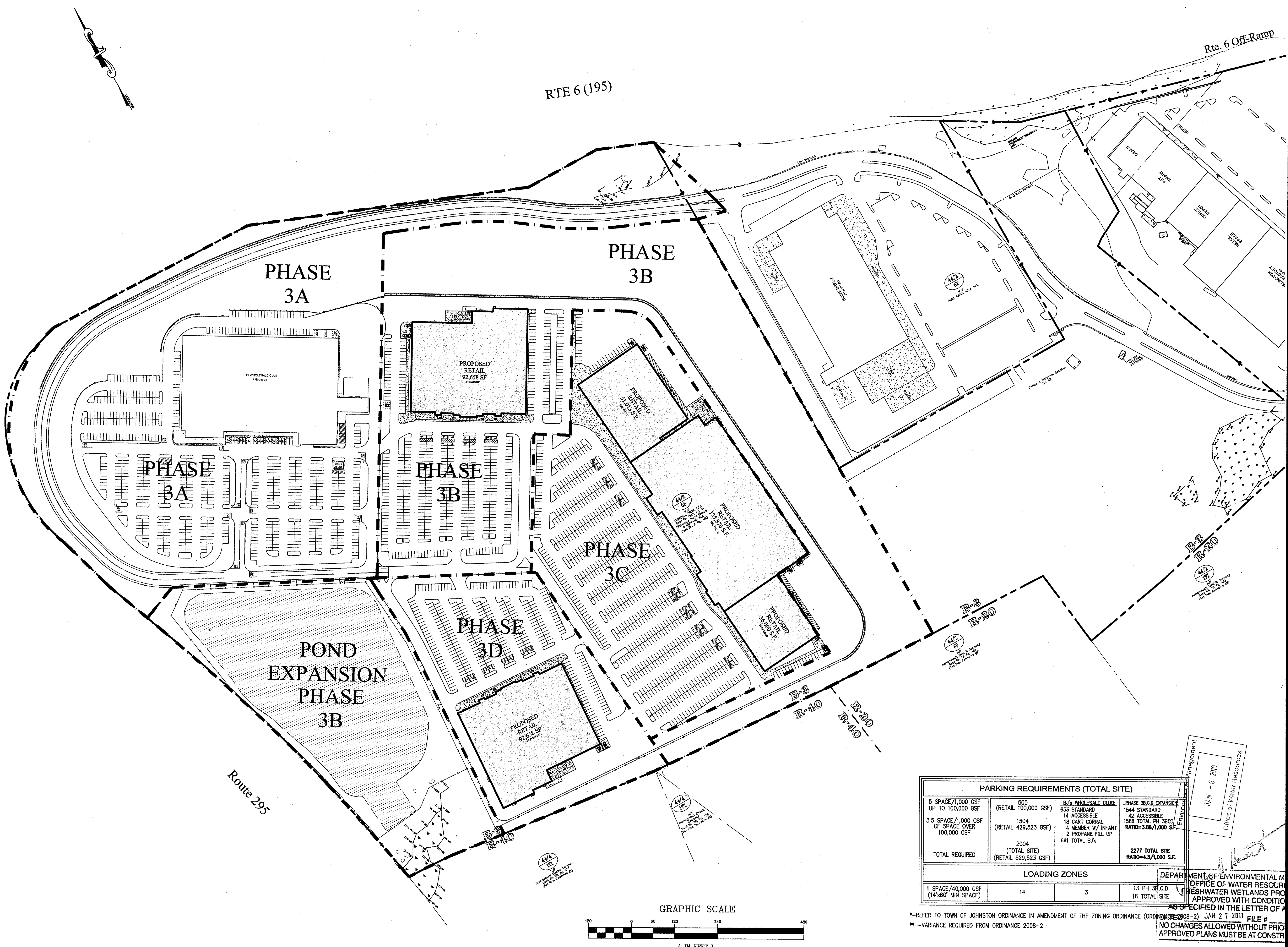
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JOB NO. 5570-07  
 DWG. NO. 5570-PH-3BCD  
 SCALE: 1"=120'  
 DRAWN BY PJD  
 CHECKED SBG  
 APPROVED SBG  
 DATE: APRIL 5, 2010

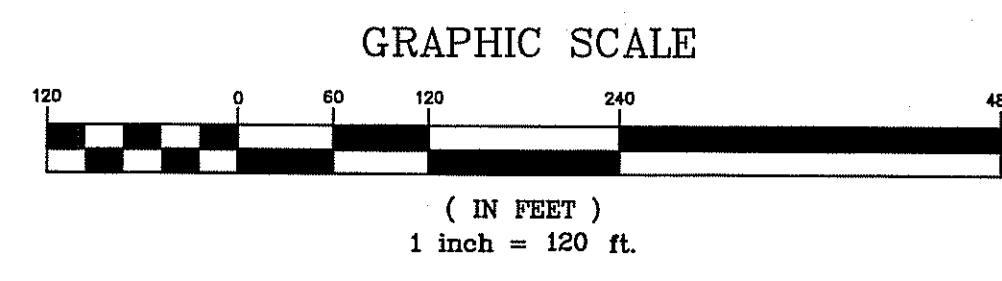
PH  
 10 OF 38 SHEET



PARKING REQUIREMENTS (TOTAL SITE)			
5 SPACE/1,000 GSF UP TO 100,000 GSF	500 (RETAIL 100,000 GSF)	B/G WHOLESALE CLUB: 653 STANDARD 14 ACCESSIBLE	PHASE 3B,C,D EXPANSION: 1544 STANDARD 42 ACCESSIBLE
3.5 SPACE/1,000 GSF OF SPACE OVER 100,000 GSF	1504 (RETAIL 429,523 GSF)	18 CART CORRAL 4 MEMBER W/ INFANT 2 PROPANE TILL UP 691 TOTAL B/G's	1588 TOTAL PH 3B,C,D RATIO=3.98/1,000 S.F.
TOTAL REQUIRED	2004 (RETAIL 529,523 GSF)		2277 TOTAL SITE RATIO=4.3/1,000 S.F.

LOADING ZONES			
1 SPACE/40,000 GSF (14'x60' MIN SPACE)	14	3	13 PH 3B,C,D 16 TOTAL SITE



\* REFER TO TOWN OF JOHNSTON ORDINANCE IN AMENDMENT OF THE ZONING ORDINANCE (ORDINANCE 2008-2) JAN 27 2011 FILE # 10-0002  
 \*\* -VARIANCE REQUIRED FROM ORDINANCE 2008-2  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH THE CURRENT CONSTRUCTION STANDARDS & SPECIFICATIONS OF THE TOWN OF JOHNSTON AND THE RHODE ISLAND SOIL EROSION & SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- THE SOIL EROSION CONTROL MEASURES SHOWN AND DETAILED HEREIN SHOULD BE CONSIDERED THE MINIMUM ACCEPTABLE STANDARDS FOR THE PROJECT. THE INITIAL METHOD OUTLINED IS INTENDED TO ROUTE ALL PRACTICABLE SURFACE WATER FROM THE EXCAVATION AREAS INTO EROSION CONTROL FACILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN ROADS, ALLAY DUST AND INSTALL ANY ADDITIONAL PROTECTIVE MEASURES NECESSARY TO CONTROL RUNOFF FROM THE SITE DURING CONSTRUCTION ACTIVITIES AND ENSURE THAT THE PROJECT SITE AND ALL ADJACENT PROPERTIES ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
- PRIOR TO COMMENCEMENT OF SITE DEMOLITION, PREPARATION OR EARTHWORK THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- THE LIMIT OF WORK SHALL BE STAKED OUT IN THE FIELD TO ENSURE THAT ALL WORK WILL OCCUR WITHIN THE APPROVED LIMITS OF DISTURBANCE.
- PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES ON SITE, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD ON SITE TO ESTABLISH SUPERVISORY AND INSPECTION PROCEDURES FOR SEDIMENT AND EROSION CONTROL MEASURES. THE MEETING SHALL BE ATTENDED BY THE CONTRACTOR, APPLICANT/OWNER, ARCHITECT/ENGINEER AND THE LOCAL SOIL & EROSION CONTROL PROFESSIONAL.
- THE EROSION CONTROL MEASURES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL & MAINTAIN EROSION CONTROL DEVICES FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION.
- THE EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAINSTORM TO ENSURE THEY ARE FUNCTIONING PROPERLY, REPAIR ANY DAMAGED AREAS IMMEDIATELY AND REMOVE ALL CAPTURED SEDIMENT AS REQUIRED.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE PLACED AS DIRECTED BY THE ARCHITECT/ENGINEER OR THE LOCAL SOIL & EROSION CONTROL PROFESSIONAL.
- DEWATERING OF ALL EXCAVATIONS SHALL BE PUMPED THROUGH DEWATERING BAGS AND DISCHARGED INTO A TEMPORARY SALUTATION BASIN WITHIN THE APPROVED PROJECT LIMIT OF DISTURBANCE.
- AT NO TIME SHALL SILT LADEN WATER BE ALLOWED TO ENTER ENVIRONMENTALLY SENSITIVE AREAS, EXISTING OR NEW DRAINAGE SYSTEMS. RUNOFF FROM DISTURBED AREAS SHALL BE DIRECTED THROUGH A TEMPORARY SILTATION BASIN & EROSION CONTROL MEASURES PRIOR TO ENTERING ANY ENVIRONMENTALLY SENSITIVE AREA OR DRAINAGE SYSTEM.
- CONTRACTOR SHALL REDUCE SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES CAUSED BY CONSTRUCTION ACTIVITIES. CONSTRUCTION ACTIVITIES SHALL BE SO SCHEDULED SO THAT THE LEAST AREA OF DISTURBED SOIL IS EXPOSED AT ON TIME. IN DISTURBED AREAS NOT SUBJECT TO TRAFFIC, CONTRACTOR SHALL USE TEMPORARY SEEDING AND MULCHING OPERATIONS. IN DISTURBED AREAS SUBJECT TO TRAFFIC, CONTRACTOR SHALL SPRINKLE SURFACE WITH WATER TO MINIMIZE DUST. DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR OTHER GROUND COVER SHALL BE PLANTED WITH GRASS ON 4" THICKNESS OF TOPSOIL. IF SEEDING CANNOT BE COMPLETED IMMEDIATELY, DISTURBED AREAS SHALL BE STABILIZED WITH A SPREAD HAY MULCH APPROPRIATELY ANCHORED OR EROSION CONTROL BLANKET.
- SURFACE STABILIZATION MUST BE IMPLEMENTED WITH 14 DAYS AFTER CONSTRUCTION ACTIVITY IN A PORTION OF THE SITE HAS CEASED OR BEEN TEMPORARILY HALTED.
- INSTALL REINFORCED SILT BARRIER AROUND STOCKPILE AREAS, TRUCK WASH DOWN AREAS AND VEHICLE REFUELING AREAS.
- TRUCK WASH DOWN AREA SHALL BE A MINIMUM 20'x20' AREA SURROUNDED BY A STONE REINFORCED SILT BARRIER. ACCUMULATED SOIL, SEDIMENT OR CONCRETE SHALL BE EITHER RECYCLED ON SITE OR DISPOSED OF AT AN OFF-SITE LOCATION.
- CONSTRUCTION VEHICLE REFUELING AREA SHALL BE A MINIMUM 20'x20' AREA SURROUNDED BY A STONE REINFORCED SILT BARRIER. THE DEPTH SHALL BE DETERMINED IN THE FIELD. AREA SHALL BE SCRAPED AND REDRESSED MONTHLY. SCRAPED MATERIAL SHALL BE REMOVED AND DISPOSED OF AT AN APPROVED OFF-SITE LOCATION.
- AS SOON AS PAVING IS COMPLETED, ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF ANY ACCUMULATED SEDIMENT AND DEBRIS. THEREAFTER, CLEAN UP SHOULD FOLLOW LONG TERM MAINTENANCE PLAN.
- REMOVE CONSTRUCTION FENCE, SILT BARRIER AND EROSION CONTROL MEASURES ONLY AFTER ESTABLISHMENT OF PERMANENT VEGETATION.

**R.I.D.E.M. NOTES:**

- IMPROVEMENTS INDICATED ON THIS PLAN ARE REGULATED BY THE RIDEM. THE CONTRACTOR SHALL REVIEW THE RIDEM PERMIT AND SHALL BE RESPONSIBLE TO CONFORM TO ALL CONDITIONS OUTLINED THEREIN.
- ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS, AND OTHER REFUSE SHALL BE DISCARDED OFFSITE, OUTSIDE OF ALL WETLANDS AND WETLAND SETBACK AREAS, UNLESS OTHERWISE SPECIFIED.
- THE HAYBALE LINE ILLUSTRATED ON THIS PLAN SHALL BE INSTALLED IN THE FIELD PRIOR TO CONSTRUCTION, AND SHALL SERVE AS THE LIMIT OF CLEARING & SURFACE DISTURBANCE ON THE SUBJECT PROPERTY. NO ALTERATIONS (INCLUDING VEGETATIVE CLEARING, RESTORATION PLANTINGS, SEEDING, OR SURFACE DISTURBANCE) SHALL OCCUR BEYOND THE SILT FENCE/DISTURBANCE LINE. UPON THE COMPLETION OF CONSTRUCTION, AND AN ADEQUATE STABILIZATION OF THE SITE, ALL SILT FENCE SHALL BE REMOVED ALONG WITH ANY ACCUMULATED SANDS/SEDIMENTS.
- UPON THE COMPLETION OF THE NECESSARY GRADING ON THE SUBJECT LOT, ALL DISTURBED SURFACES ADJACENT TO DELINEATED WETLANDS SHALL BE COVERED WITH PLANTABLE SOIL (4" MINIMUM), SEEDED WITH A CONSERVATION SEED MIX (OR LIKE), STABILIZED WITH A SPREAD HAY MULCH OR SIMILAR EROSION CONTROL AGENT AND, WHERE APPLICABLE, PLANTED WITH EVERGREEN WOODY SHRUB AND SAPLING SPECIES. THESE AREAS SHALL REMAIN ENTIRELY UNDISTURBED FOLLOWING PROJECT COMPLETION AND WILL BE ALLOWED TO REVEGETATE TO A NATURAL CONDITION.

**CONSERVATION SEED MIX:**  
 (% BY WEIGHT) (SEEDING RATE: 100 LBS./ACRE)  
 70% RED FESCUE; 10% PERENNIAL RYE GRASS; 5% COLONIAL BENT GRASS;  
 15% BIRDSFOOT TREFOL

**STORMWATER SYSTEM MAINTENANCE NOTES:**

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR SHALL DO A FULL MAINTENANCE & CLEAN UP OF THE STORMWATER SYSTEM AND SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP THE PROJECT MONITORING SHALL BE THE RESPONSIBILITY OF THE STONEHILL MARKETPLACE. HEREAFTER REFERRED TO AS THE OWNER. DURING CONSTRUCTION THE CONTRACTOR SHALL BE REQUIRED TO KEEP A WEEKLY LOG OF ALL INSPECTIONS AND REQUIRED MAINTENANCE. THIS LOG SHALL BE MADE AVAILABLE TO THE LOCAL SOIL & EROSION CONTROL AGENT, R.I. DEM, ARCHITECT & ENGINEER AT ALL TIMES.

UPON COMPLETION OF THE PROJECT, THE OWNER SHALL DESIGNATE A QUALIFIED PROFESSIONAL ENTITY OR INDIVIDUAL TO PERFORM ALL MONITORING, THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE ENTITY OR INDIVIDUAL SHALL BE PROVIDED TO THE R.I. DEM, DPW. THE OWNER'S REPRESENTATIVE SHALL BE REQUIRED TO KEEP A LOG OF ALL REQUIRED INSPECTIONS AND MAINTENANCE REQUIRED. THE LOG SHALL BE MADE AVAILABLE TO THE LOCAL SOIL & EROSION CONTROL AGENT, R.I. DEM, ARCHITECT & ENGINEER AT ALL TIMES.

THE DRAINAGE SYSTEMS INCLUDE DEEP-SUMP CATCH BASINS, SWALES AND RETENTION/INFILTRATION PONDS. THESE FACILITIES PROVIDE PARTIAL TREATMENT OF STORMWATER RUNOFF PRIOR TO DISCHARGE TO RESOURCE AREAS AND/OR INFILTRATION TO GROUNDWATER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)

- HAYBALE & SILT BARRIER:**  
MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM. REPAIR ANY DAMAGED AREAS IMMEDIATELY. REMOVE AND DISPOSE OF ALL CAPTURED SEDIMENT.
- PAVED AREAS:**  
PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEP CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
- CATCH BASINS:**  
ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM. SHOULD CATCH BASIN SUMPS BECOME FILLED WITH SEDIMENT TO HALF IT'S DEPTH (2') THEY SHALL BE CLEANED IMMEDIATELY.
- DRAIN MANHOLES:**  
DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM. SHOULD DRAIN MANHOLES BECOME FILLED WITH SEDIMENT TO A DEPTH OF (1') OR MORE THE DRAIN MANHOLES SHALL BE CLEANED IMMEDIATELY.
- RETENTION/INFILTRATION PONDS:**  
PONDS SHALL BE INSPECTED AFTER EVERY RAIN STORM. CARE SHALL BE TAKEN TO PREVENT SILTATION OF THE POND AFTER INSTALLATION. PRETREATMENT BMP'S DEEP SUMP CATCH BASINS MUST BE MAINTAINED AND CLEANED PER THE PROCEDURES LISTED TO ENSURE PROPER FUNCTIONING. RETENTION/INFILTRATION POND SHALL BE MONITORED FOR ANY ACCUMULATION OF SEDIMENT/DEBRIS. ALL ACCUMULATED SEDIMENT AND DEBRIS MUST BE REMOVED.
- SWALES:**  
SWALES SHALL BE INSPECTED AFTER EVERY RAIN STORM. SWALES SHALL BE MONITORED FOR ANY SLOPE EROSION, PONDING AND SEDIMENTATION. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED, BY HAND AND DISPOSED OF. MAINTAIN ALL EROSION CONTROL MEASURES DURING THE COURSE OF CONSTRUCTION AND IN ACCORDANCE WITH THE SWPPP.

DISPOSAL OF ALL SEDIMENT COLLECTED MUST BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF THE OWNER).

- PAVED AREAS:**  
PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS SHALL BE SWEEP CLEAN OF ALL DEBRIS SWEEPING SHALL BE PERFORMED, AT A MINIMUM, IN MARCH AND OCTOBER OF EACH YEAR.
- CATCH BASINS:**  
ALL CATCH BASINS SHALL BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY, OIL/WATER SEPARATOR ELBOWS ARE IN PLACE, FRAMES AND GRATES ARE NOT DAMAGED. CATCH BASIN SUMPS SHALL BE CLEANED AT LEAST FOUR TIMES A YEAR AT A MINIMUM. IN ADDITION TO THIS REQUIREMENT, SHOULD CATCH BASIN SUMPS BECOME FILLED WITH SEDIMENT TO HALF IT'S DEPTH (2') THEY SHALL BE CLEANED IMMEDIATELY.
- DRAIN MANHOLES:**  
ALL DRAIN MANHOLES SHALL BE INSPECTED TO ENSURE FRAMES AND COVER ARE NOT DAMAGED. DRAIN MANHOLES SHALL BE INSPECTED AND CLEANED AT LEAST FOUR TIMES A YEAR AT A MINIMUM. IN ADDITION TO THIS REQUIREMENT, SHOULD DRAIN MANHOLE CHANNEL BECOME FILLED WITH SEDIMENT OF (6") OR MORE THEY SHALL BE CLEANED IMMEDIATELY.
- RETENTION/INFILTRATION PONDS:**  
PONDS SHALL BE INSPECTED ON A BIENNIAL BASIS, IN MARCH & OCTOBER AND AFTER EVERY RAIN STORM OF 3" OR MORE TO DETERMINE IF THE POND IS FUNCTIONING AS DESIGNED. PONDS SHALL BE MONITORED FOR ANY ACCUMULATION OF SEDIMENT/DEBRIS. ALL ACCUMULATED SEDIMENT AND DEBRIS MUST BE REMOVED IMMEDIATELY. IF THE RESULTS OF INSPECTION DETERMINE THAT THE SYSTEM IS NOT FUNCTIONING AS DESIGNED AND IS PERFORMING AT A SUBSTANDARD LEVEL OF SERVICE, THE SYSTEM WILL NEED TO BE REPAIRED OR COMPLETELY REPLACED. EVENTUALLY, THE POND CAPACITY WILL DECREASE REQUIRING DEEP TILLING OF THE BASIN FLOOR EVERY SEVERAL YEARS (5-10) TO RESTORE THE ORIGINAL INFILTRATION RATE. TILLING CAN BE ACCOMPLISHED WITH A ROTARY TILLER OR DISC HARROW. AFTER TILLING, BASIN FLOOR MUST BE RESEED IMMEDIATELY TO PREVENT EROSION OF THE BASIN BOTTOM.
- SWALES:**  
SWALES SHALL BE INSPECTED BIENNIALY, IN MARCH AND OCTOBER, OR MORE FREQUENTLY IF REQUESTED BY THE TOWN OF JOHNSTON OR THE R.I. DEM. SWALE SHALL BE MONITORED FOR ANY SLOPE EROSION, PONDING AND SEDIMENTATION. SEDIMENT AND DEBRIS SHALL BE REMOVED, BY HAND, ON AN ANNUAL BASIS. GRASS SHALL BE MOWED AT LEAST TWICE PER YEAR WITH CLIPPINGS REMOVED. GRASS SHALL NOT BE CUT SHORTER THAN 4" TALL.

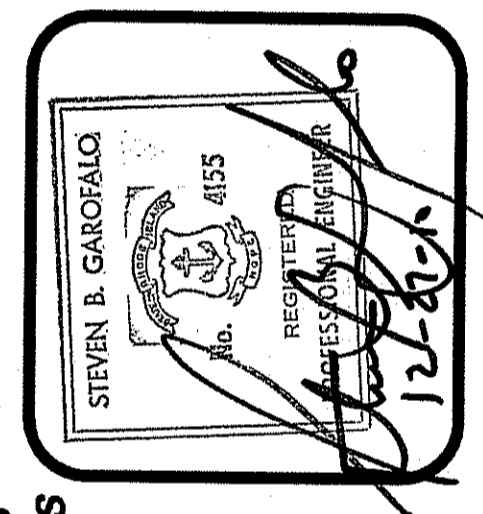
DISPOSAL OF ALL SEDIMENT COLLECTED MUST BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS.

THE RESULTS OF THE INSPECTIONS, ALONG WITH THE DETERMINATION OF ANY REMEDIAL WORK THAT MAY BE FOUND TO BE NECESSARY AS A RESULT OF THE INSPECTION, SHALL BE SUBMITTED TO THE TOWN OF JOHNSTON & THE R.I. DEM WITHIN (30) DAYS OF THE INSPECTION. PROVISIONS FOR INSPECTIONS AND ANY REMEDIAL REPAIRS DEEMED NECESSARY SHALL BE THE RESPONSIBILITY OF THE OWNER.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 (SCALED)  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 27 2011 FILE #  
 NO CHANGES ALLOWED WITHOUT APPROVED PLANS MUST BE AT CONSTRUCTION SITE

GENERAL NOTES PLAN 2  
 FOR  
 STONEHILL MARKETPLACE  
 PHASE 3B, 3C, 3D  
 SITUATED ON  
 STONEHILL DRIVE  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR  
 STONEHILL DRIVE, LLC

NO.	REVISION	BY	DATE

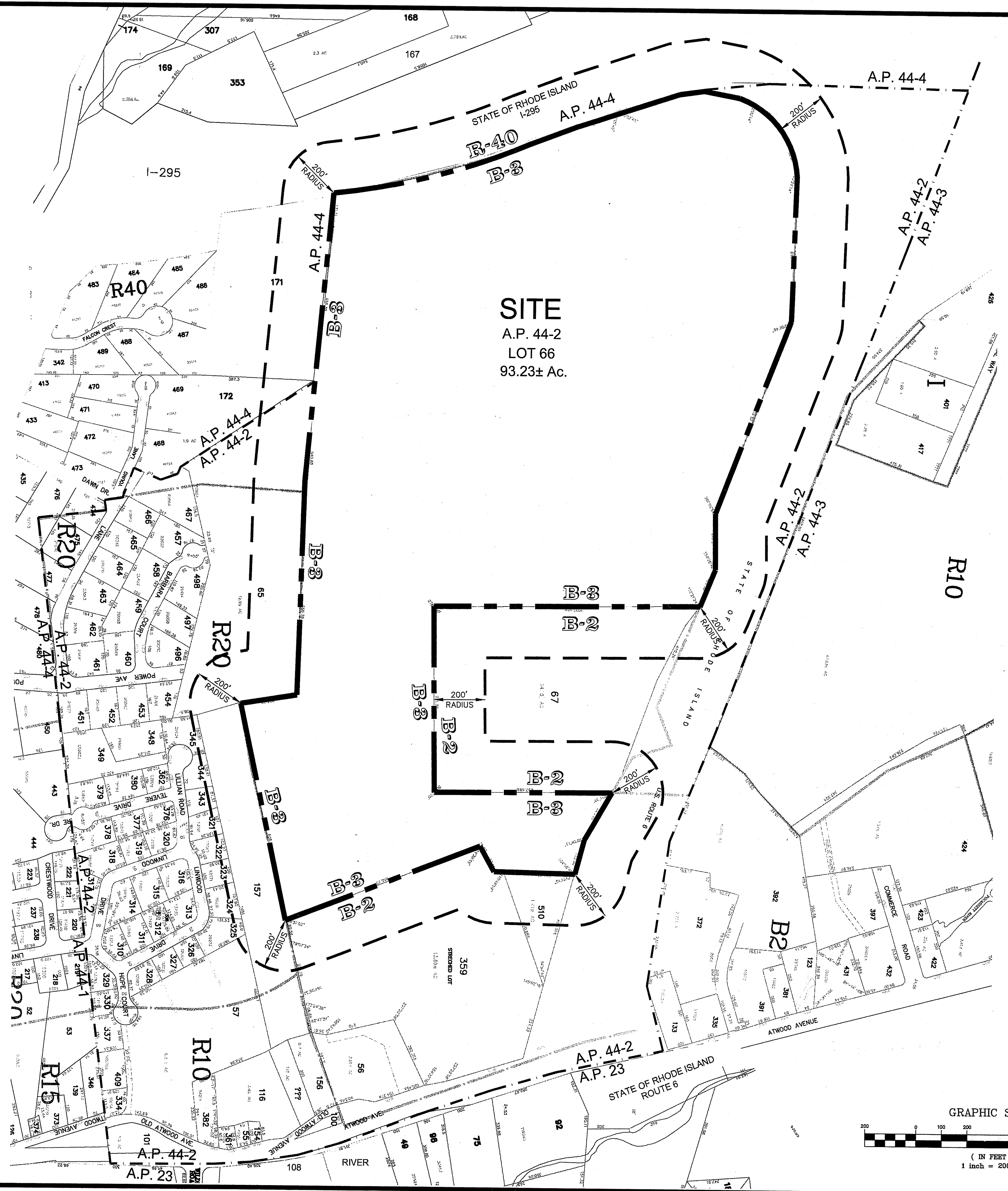
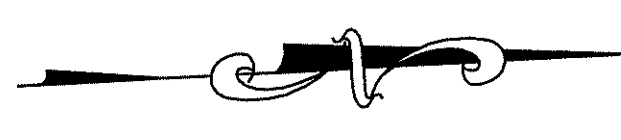


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 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-9000

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VOR NO. 5570-07  
 DWG. NO. 5570-DETAILS-NOTES-38CD  
 DRAWN BY PJD  
 CHECKED SBG  
 APPROVED SBG  
 DATE: APRIL 5, 2010

SHEET  
**C002**  
 12 OF 38 SHEET



**SITE**  
A.P. 44-2  
LOT 66  
93.23± Ac.

List of Properties within 200' of  
A.P. 44/2, Lot 66  
Owner: STONEHILL DRIVE, LLC  
January 7, 2009

**ROUTE 6 AND I-295**  
RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
TWO CAPITOL HILL  
PROVIDENCE, RHODE ISLAND 02903

**AP 44/2**  
LOT 57  
DELUCA, SHIRLEY L  
1334 ATWOOD AVENUE  
JOHNSTON, RHODE ISLAND 02919

LOT 65  
NARRAGANSETT ELECTRIC COMPANY  
C/O PROPERTY TAX DEPARTMENT  
25 RESEARCH DRIVE  
WESTBOROUGH, MASSACHUSETTS 01582

LOT 67  
HOME DEPOT USA, INC.  
PROPERTY TAX DEPARTMENT  
P.O. BOX 105842  
ATLANTA, GA 30348-5845

LOT 157  
NARRAGANSETT ELECTRIC COMPANY  
C/O PROPERTY TAX DEPARTMENT  
25 RESEARCH DRIVE  
WESTBOROUGH, MASSACHUSETTS 01582

LOT 321  
DEVECHIS, ANNA M.  
3 LILLIAN ROAD  
JOHNSTON, RHODE ISLAND 02919

LOT 322  
RICO, ANTHONY J. & JOYCE, et al.  
28 LINWOOD DRIVE  
JOHNSTON, RHODE ISLAND 02919

LOT 323  
TORTOLANI, AMERICO A., JR. & MARTHA  
30 LINWOOD DRIVE  
JOHNSTON, RHODE ISLAND 02919

LOT 324  
BENEDETTO VOLPE, LIFE ESTATE  
32 LINWOOD DRIVE  
JOHNSTON, RHODE ISLAND 02919

LOT 325  
AGUILAR, GILMAR  
34 LINWOOD DRIVE  
JOHNSTON, RHODE ISLAND 02919

LOT 343  
MERTEN, ROMAN  
5 LILLIAN DRIVE  
JOHNSTON, RHODE ISLAND 02919

LOT 344  
CONTE, ANTHONY & MARIA  
7 LILLIAN DRIVE  
JOHNSTON, RHODE ISLAND 02919

LOT 345  
INNOCENTI, ERNEST  
9 LILLIAN DRIVE  
JOHNSTON, RHODE ISLAND 02919

LOT 359  
PROVIDA, LLC  
56 PASCO DRIVE  
WARWICK, RI 02886

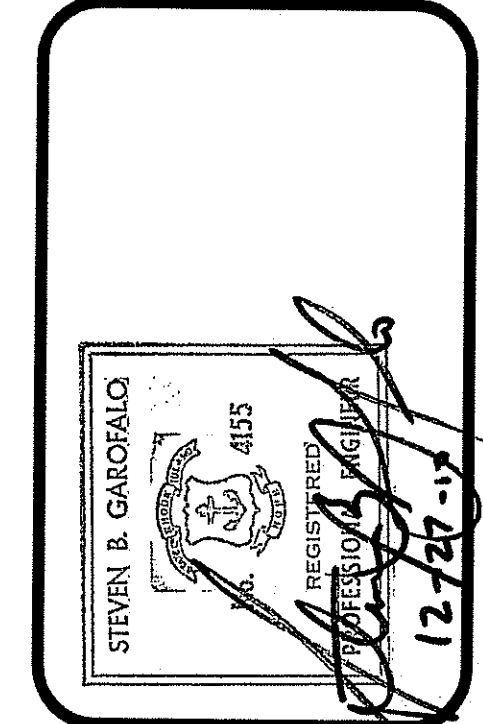
LOT 510  
195 ASSOCIATES, LLC  
1414 ATWOOD AVENUE  
JOHNSTON, RHODE ISLAND 02919

**AP 44/4**  
LOT 171  
NARRAGANSETT ELECTRIC COMPANY  
C/O PROPERTY TAX DEPARTMENT  
25 RESEARCH DRIVE  
WESTBOROUGH, MASSACHUSETTS 01582

LOT 172  
NARRAGANSETT ELECTRIC COMPANY  
C/O PROPERTY TAX DEPARTMENT  
25 RESEARCH DRIVE  
WESTBOROUGH, MASSACHUSETTS 01582

200' RADIUS MAP  
FOR  
STONEHILL MARKETPLACE  
A.P. 44/2 LOT 66  
SITUATED ON  
STONEHILL DRIVE  
JOHNSTON, RHODE ISLAND  
PREPARED FOR  
STONEHILL DRIVE, LLC

NO.	REVISION	BY	DATE

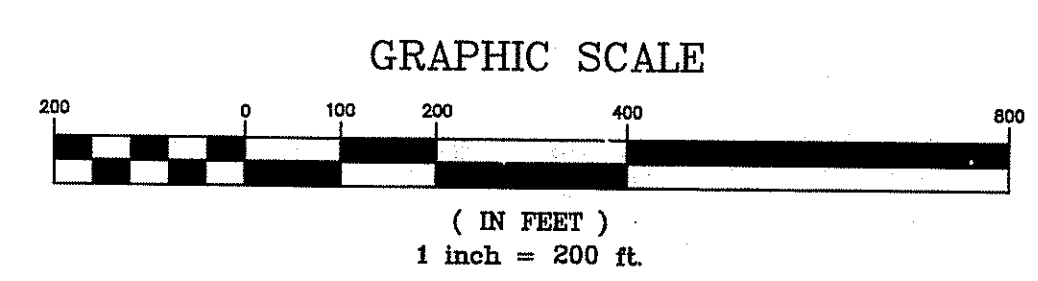


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OWNER OR ONE OF ITS DIRECTORS

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TEL. 401-273-6000

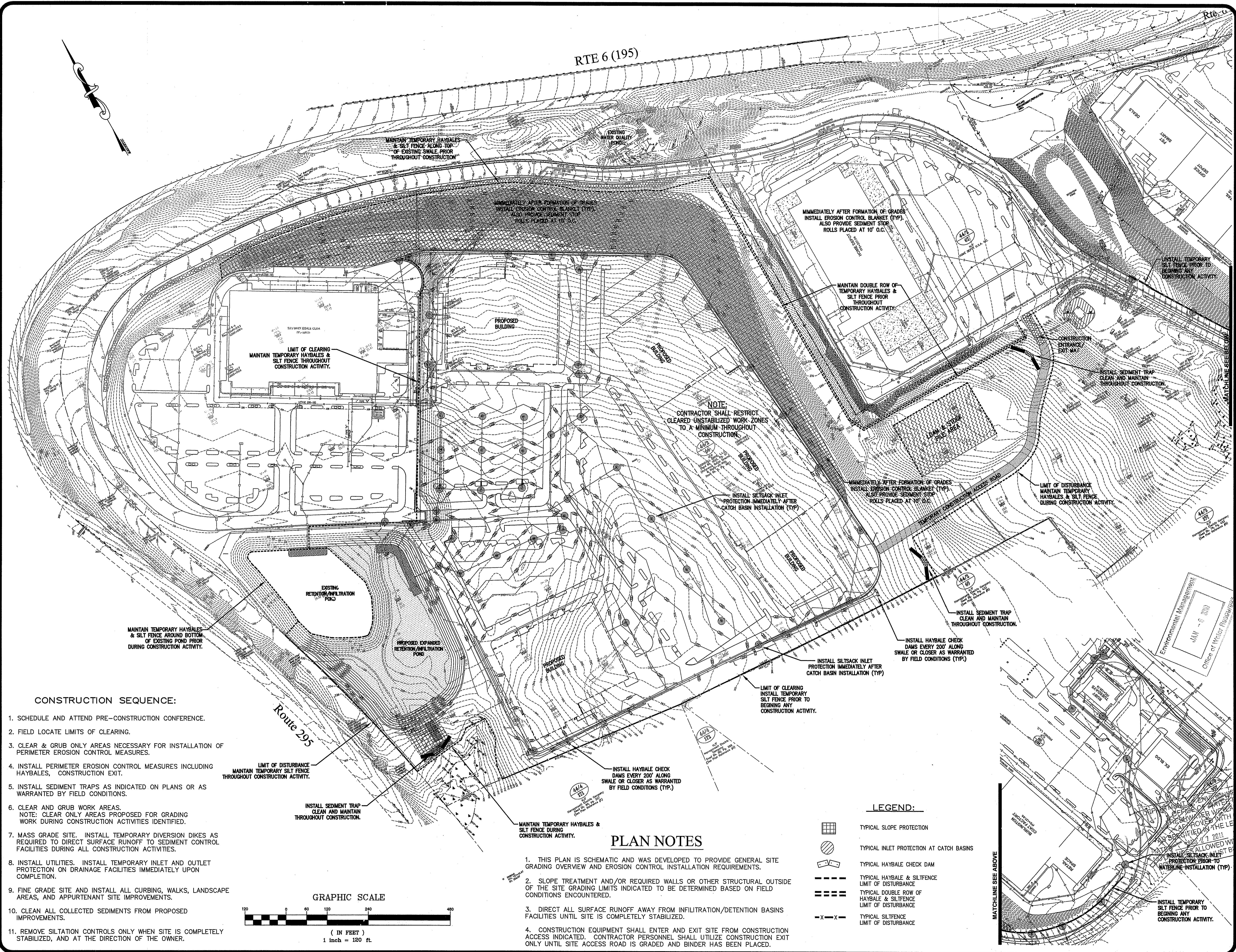
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JAN 27 2011 FILE # 10-02  
NO CHANGES ALLOWED WITHOUT PRIOR  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



JOB NO. 5570-07	DRAWN BY PJD
DWG. NO. 5570-200' RADIUS MAP-36CD	CHECKED SBG
SCALE: 1"=200'	APPROVED SBG
DATE: APRIL 5, 2010	

**C100**



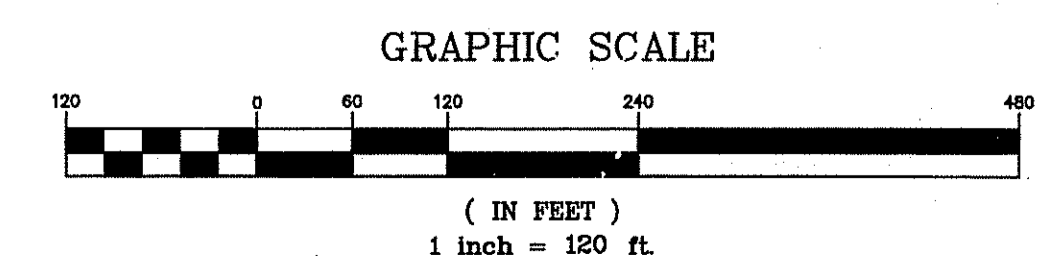


RTE 6 (195)

Route 295

**PLAN NOTES**

- THIS PLAN IS SCHEMATIC AND WAS DEVELOPED TO PROVIDE GENERAL SITE GRADING OVERVIEW AND EROSION CONTROL INSTALLATION REQUIREMENTS.
- SLOPE TREATMENT AND/OR REQUIRED WALLS OR OTHER STRUCTURAL OUTSIDE OF THE SITE GRADING LIMITS INDICATED TO BE DETERMINED BASED ON FIELD CONDITIONS ENCOUNTERED.
- DIRECT ALL SURFACE RUNOFF AWAY FROM INFILTRATION/DETENTION BASINS FACILITIES UNTIL SITE IS COMPLETELY STABILIZED.
- CONSTRUCTION EQUIPMENT SHALL ENTER AND EXIT SITE FROM CONSTRUCTION ACCESS INDICATED. CONTRACTOR PERSONNEL SHALL UTILIZE CONSTRUCTION EXIT ONLY UNTIL SITE ACCESS ROAD IS GRADED AND BINDER HAS BEEN PLACED.



**LEGEND:**

- TYPICAL SLOPE PROTECTION
- TYPICAL INLET PROTECTION AT CATCH BASINS
- TYPICAL HAYBALE CHECK DAM
- TYPICAL HAYBALE & SILTFENCE LIMIT OF DISTURBANCE
- TYPICAL DOUBLE ROW OF HAYBALE & SILTFENCE LIMIT OF DISTURBANCE
- TYPICAL SILTFENCE LIMIT OF DISTURBANCE

**CONSTRUCTION SEQUENCE:**

- SCHEDULE AND ATTEND PRE-CONSTRUCTION CONFERENCE.
- FIELD LOCATE LIMITS OF CLEARING.
- CLEAR & GRUB ONLY AREAS NECESSARY FOR INSTALLATION OF PERIMETER EROSION CONTROL MEASURES.
- INSTALL PERIMETER EROSION CONTROL MEASURES INCLUDING HAYBALES, CONSTRUCTION EXIT.
- INSTALL SEDIMENT TRAPS AS INDICATED ON PLANS OR AS WARRANTED BY FIELD CONDITIONS.
- CLEAR AND GRUB WORK AREAS.  
NOTE: CLEAR ONLY AREAS PROPOSED FOR GRADING WORK DURING CONSTRUCTION ACTIVITIES IDENTIFIED.
- MASS GRADE SITE. INSTALL TEMPORARY DIVERSION DIKES AS REQUIRED TO DIRECT SURFACE RUNOFF TO SEDIMENT CONTROL FACILITIES DURING ALL CONSTRUCTION ACTIVITIES.
- INSTALL UTILITIES. INSTALL TEMPORARY INLET AND OUTLET PROTECTION ON DRAINAGE FACILITIES IMMEDIATELY UPON COMPLETION.
- FINE GRADE SITE AND INSTALL ALL CURBING, WALKS, LANDSCAPE AREAS, AND APPURTENANT SITE IMPROVEMENTS.
- CLEAN ALL COLLECTED SEDIMENTS FROM PROPOSED IMPROVEMENTS.
- REMOVE SILTATION CONTROLS ONLY WHEN SITE IS COMPLETELY STABILIZED, AND AT THE DIRECTION OF THE OWNER.

**EROSION CONTROL PLAN 2**  
FOR  
**STONEHILL MARKETPLACE**  
PHASE 3B, 3C, 3D  
SITUATED ON  
**STONEHILL DRIVE**  
**JOHNSTON, RHODE ISLAND**  
PREPARED FOR  
**STONEHILL DRIVE, LLC**

NO.	REVISION	BY	DATE
1	PER RIDEM COMMENTS	PJD	12/17/10

**GAROFALO**  
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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
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PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

STEVEN B. GAROFALO  
REGISTERED PROFESSIONAL ENGINEER  
14-27-10

Environmental Management  
Office of Water Resources  
JAN - 6 2010

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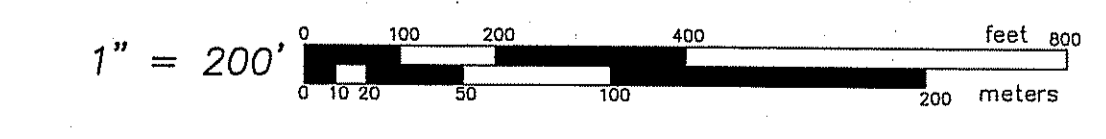
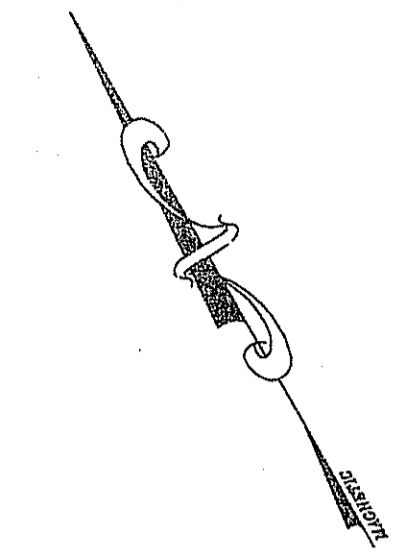
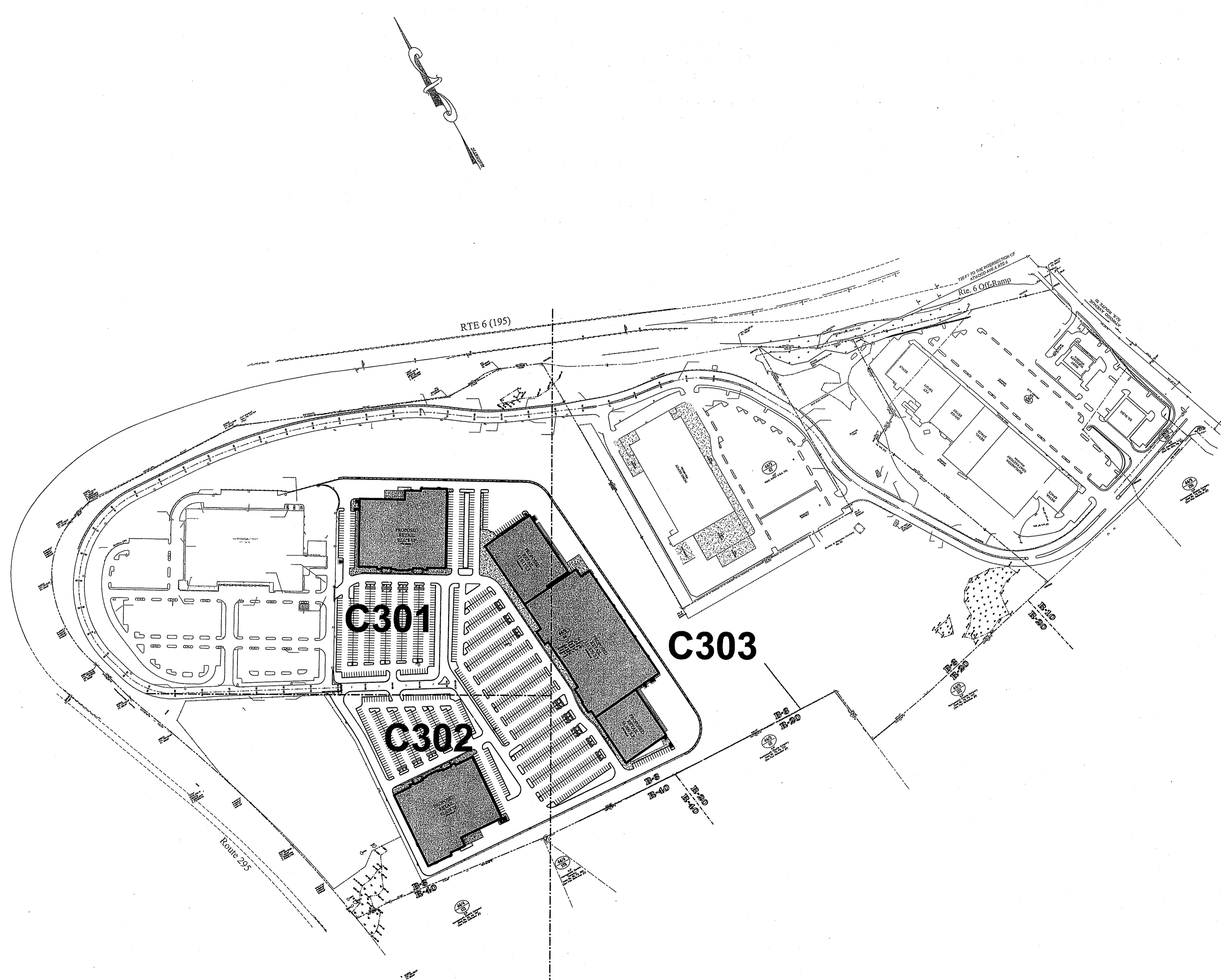
HOBBS NO. 07  
PROJ. NO. 07-07  
DRAWING NO. 07-07-01  
DATE: APRIL 5, 2010

SCALE: APPROVAL  
CONSTRUCTION SITE

DRAWN BY PJD  
CHECKED SBG  
APPROVED SBG

DATE: APRIL 5, 2010

SHEET  
**C202**  
15 OF 38 SHEET

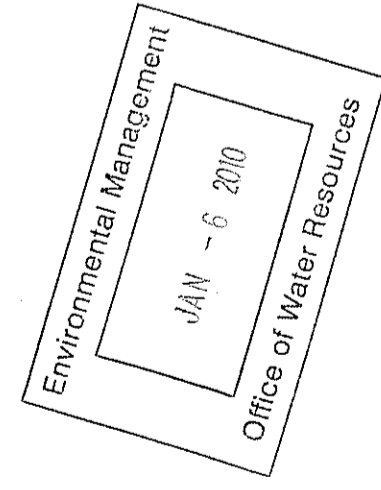


DEVELOPMENT SUMMARY			
ASSESSORS MAP 44/2, LOT 66			
ZONING: B-3 (INTERCHANGE BUSINESS DISTRICT)			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
SITE DATA			
LOT AREA	-	4,061,133 S.F. ±	4,061,133 S.F. ±
LAND USE	COMMERCIAL/RETAIL	COMMERCIAL/RETAIL	COMMERCIAL/RETAIL
MAXIMUM LOT BUILDING COVERAGE	40% (1,624,450 S.F.)	2.98% (121,324 S.F. Bf's)	PHASE 3B,C,D 10% (408,199 GSF) TOTAL PHASE 3A,B,C,D 13.1% (529,523 GSF)
DIMENSIONAL & SETBACK REQUIREMENTS			
PRINCIPLE BUILDINGS			
FRONTAGE	500'	1775.45'	XXXXX **
FRONT YARD	0'	0'	XXXXX
SIDE YARD	0'	0'	XXXXX
REAR YARD	0'	0'	XXXX
HEIGHT:			
RETAIL STORE	50'	0'	XXXXX
THEATER	60'	0'	N/A
ACCESSORY BLDG.	40'	0'	N/A
DIMENSIONAL & SETBACK REQUIREMENTS			
ACCESSORY BUILDINGS			
FRONT YARD	25'	0'	N/A
SIDE YARD	25'	0'	N/A
REAR YARD	25'	0'	N/A
HEIGHT	40'	0'	N/A
BUFFER ZONES			
SPECIFIC OFFSET REQUIREMENTS			
OFFSET TO ANY "R" DISTRICT	200'	0'	>200'
OFFSET TO ANY "T" DISTRICT	150'	0'	N/A
OFFSET TO ANY "B" DISTRICT	0'	0'	N/A
VEGETATED BUFFER ZONE			
TO ALL RESIDENTIAL DISTRICTS			
BUFFER ZONE	50'	0'	>50' (EXISTING VEGETATION)
PARKING REQUIREMENTS (TOTAL SITE)			
5 SPACE/1,000 GSF UP TO 100,000 GSF	500 (RETAIL 100,000 GSF)	Bf's WHOLESALE CLUB: 653 STANDARD	PHASE 3B,C,D EXPANSION: 1544 STANDARD
3.5 SPACE/1,000 GSF OF SPACE OVER 100,000 GSF	1504 (RETAIL 429,523 GSF)	14 ACCESSIBLE 18 CART CORRAL 4 MEMBER W/ INFANT 2 PROPANE FILL UP	42 ACCESSIBLE 1598 TOTAL PH 3B,C,D RATIO=3.88/1,000 S.F.
TOTAL REQUIRED	2004 (TOTAL SITE) (RETAIL 529,523 GSF)	691 TOTAL Bf's	2277 TOTAL SITE RATIO=4.3/1,000 S.F.
LOADING ZONES			
1 SPACE/40,000 GSF (14'x60' MIN SPACE)	14	3	13 PH 3B,C,D 16 TOTAL SITE

\*\*REFER TO TOWN OF JOHNSTON ORDINANCE IN AMENDMENT OF THE ZONING ORDINANCE (ORDINANCE 2008-2)  
 \*\*--VARIANCE REQUIRED FROM ORDINANCE 2008-2

**SITE LEGEND**

- LOCUS PROPERTY LINE
- CHAIN LINK FENCE
- LIGHT POLE
- UTILITY POLE
- HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT
- 4DY 4" EPOXY RESIN PAVEMENT MARKINGS
- 4W 4" EPOXY RESIN PAVEMENT MARKINGS
- CTE CONNECT TO EXISTING
- MTE MATCH TO EXISTING
- PCC PRECAST CONCRETE CURB



APPROVED FOR CONSTRUCTION  
 DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER DATED JAN 27 2011 FILE # 2010-0000000000  
 NO CHANGES ALLOWED WITHOUT APPROVED PLANS MUST BE AT CONSTRUCTION SITE

OVERALL SITE LAYOUT PLAN  
 FOR  
 STONEHILL MARKETPLACE  
 PHASE 3B, 3C, 3D  
 SITUATED ON  
 STONEHILL DRIVE  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR  
 STONEHILL DRIVE, LLC

NO.	REVISION	BY	DATE

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 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

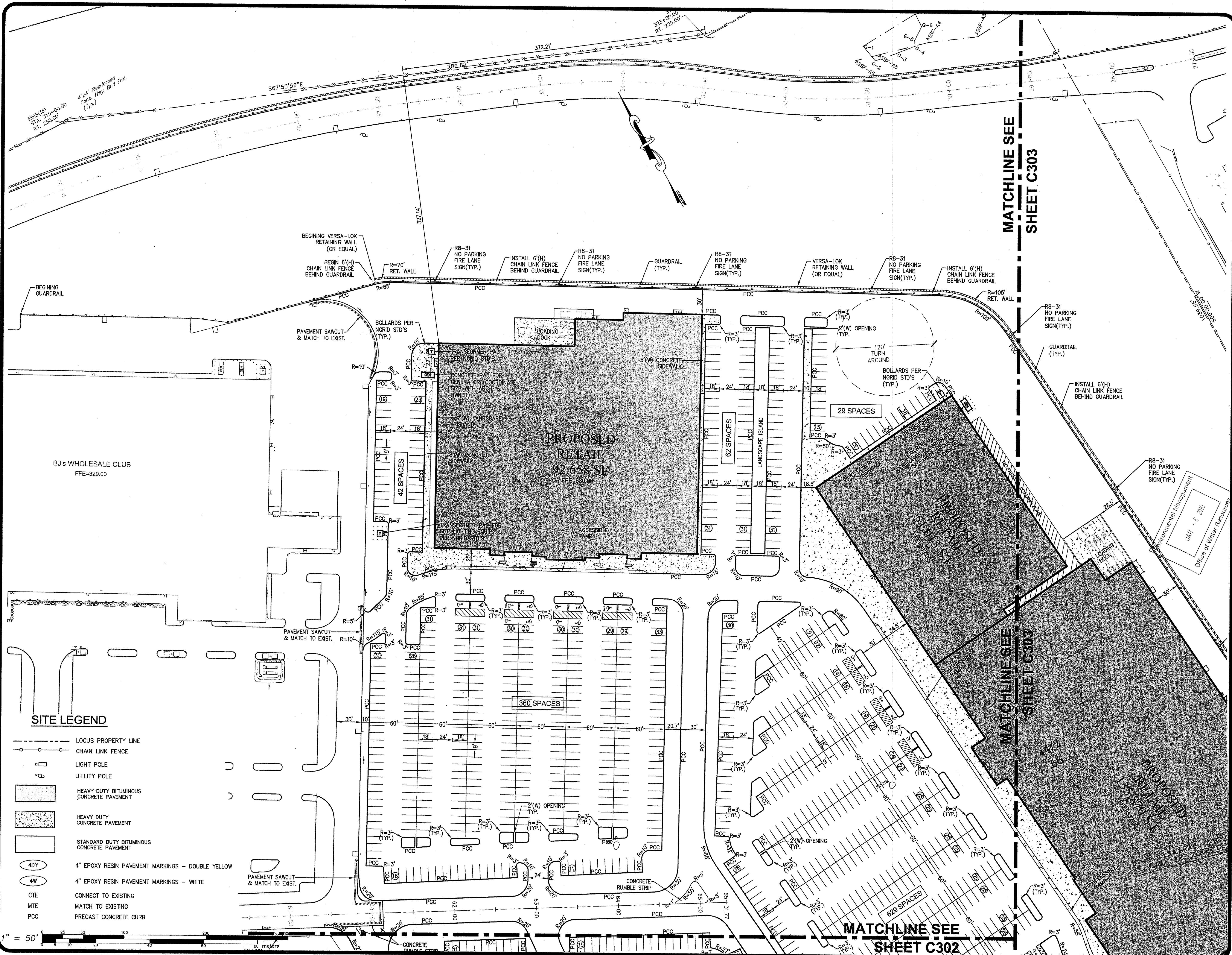
STEVEN B. GAROFALO  
 No. 4155  
 REGISTERED PROFESSIONAL ENGINEER  
 12-27-10

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DESIGN JOB NO. 2010-0000000000  
 DRAWN BY PJD  
 CHECKED SBG  
 APPROVED SBG  
 DATE: APRIL 5, 2010

SHEET  
**C300**  
 16 OF 38 SHEET



**SITE LAYOUT PLAN I**  
 FOR  
**STONEHILL MARKETPLACE**  
 PHASE 3B, 3C, 3D

SITUATED ON  
**STONEHILL DRIVE**  
**JOHNSTON, RHODE ISLAND**

PREPARED FOR  
**STONEHILL DRIVE, LLC**

NO.	REVISION	BY	DATE

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 PROVIDENCE, R.I. 02940  
 TEL. 401-273-6000

PROFESSIONAL ENGINEER  
 STATE OF RHODE ISLAND  
 NO. 4155  
 12/21/19

Office of Water Resources  
 Environmental Management  
 MAN - 6 2010

DATE: APRIL 5, 2010

SCALE: 1" = 50'

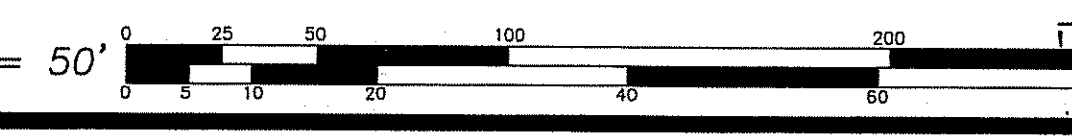
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 CHECKED: SBG  
 APPROVED: SBG

**C301**

17 OF 38 SHEET

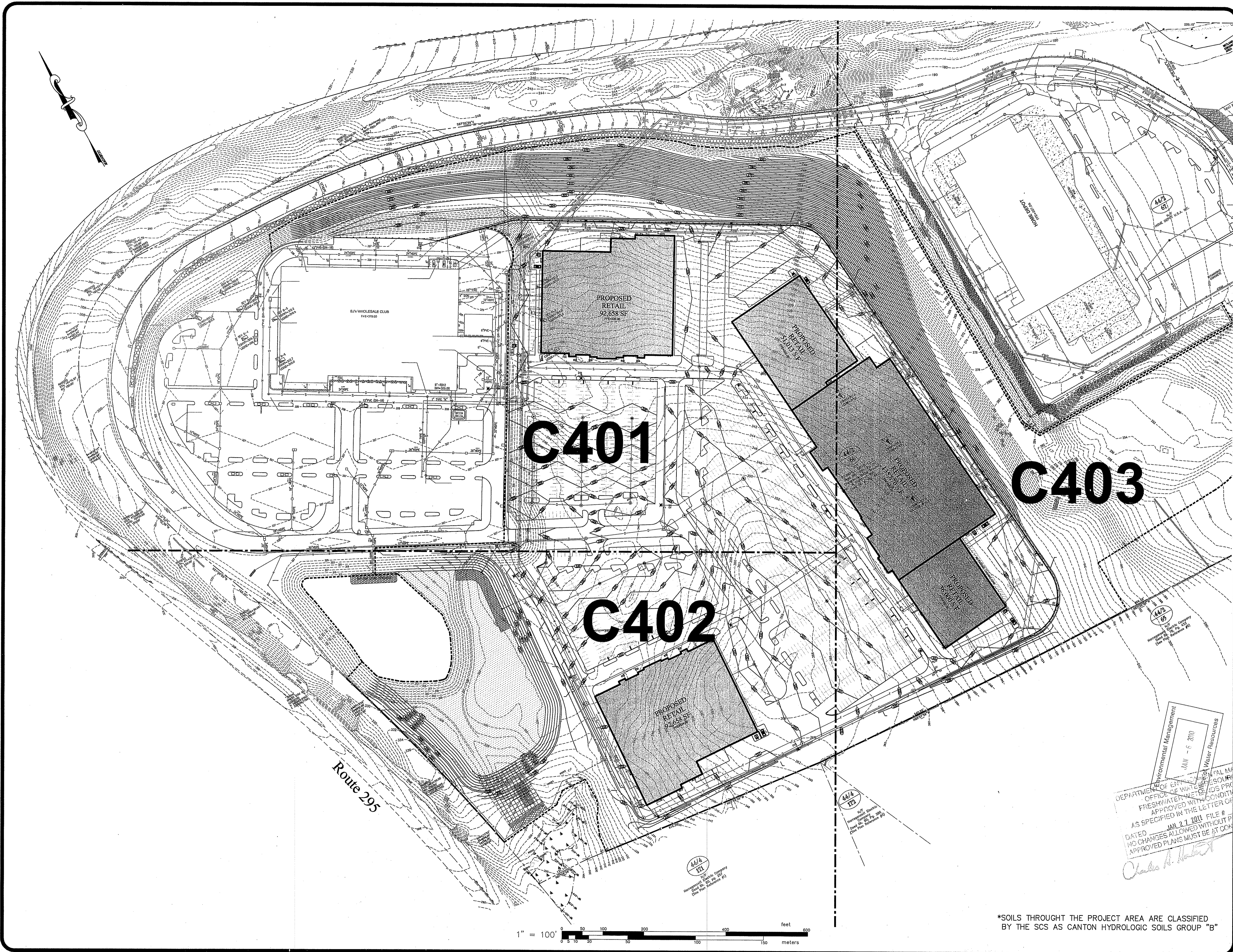
**SITE LEGEND**

- LOCUS PROPERTY LINE
- - - CHAIN LINK FENCE
- LIGHT POLE
- UTILITY POLE
- HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT
- 4D 4" EPOXY RESIN PAVEMENT MARKINGS - DOUBLE YELLOW
- 4W 4" EPOXY RESIN PAVEMENT MARKINGS - WHITE
- CTE CONNECT TO EXISTING
- MTE MATCH TO EXISTING
- PCC PRECAST CONCRETE CURB









OVERALL SITE GRADING PLAN  
 FOR  
 STONEHILL MARKETPLACE  
 PHASE 3B, 3C, 3D  
 SITUATED ON  
 STONEHILL DRIVE  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR  
 STONEHILL DRIVE, LLC

NO.	REVISION	BY	DATE

**C401**

**C402**

**C403**

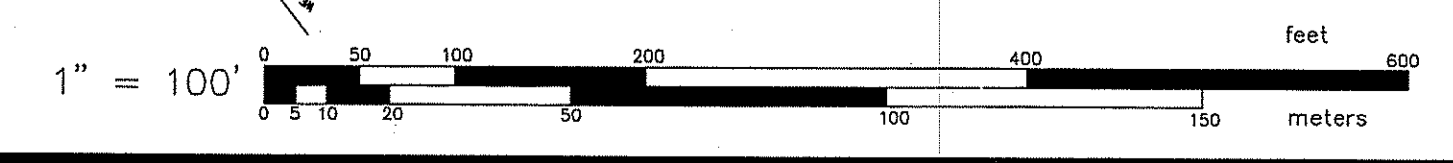
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Environmental Management  
 JAN - 6 2010  
 Department of Environmental Management  
 OFFICE OF WATER & WETLANDS PROGRAMS  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF  
 DATED JAN 27 2011 FILE #  
 NO CHANGES ALLOWED WITHOUT FURTHER  
 APPROVED PLANS MUST BE AT COM

STEVEN B. GAROFALO  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF RHODE ISLAND  
 REG. NO. 453  
 12-17-10

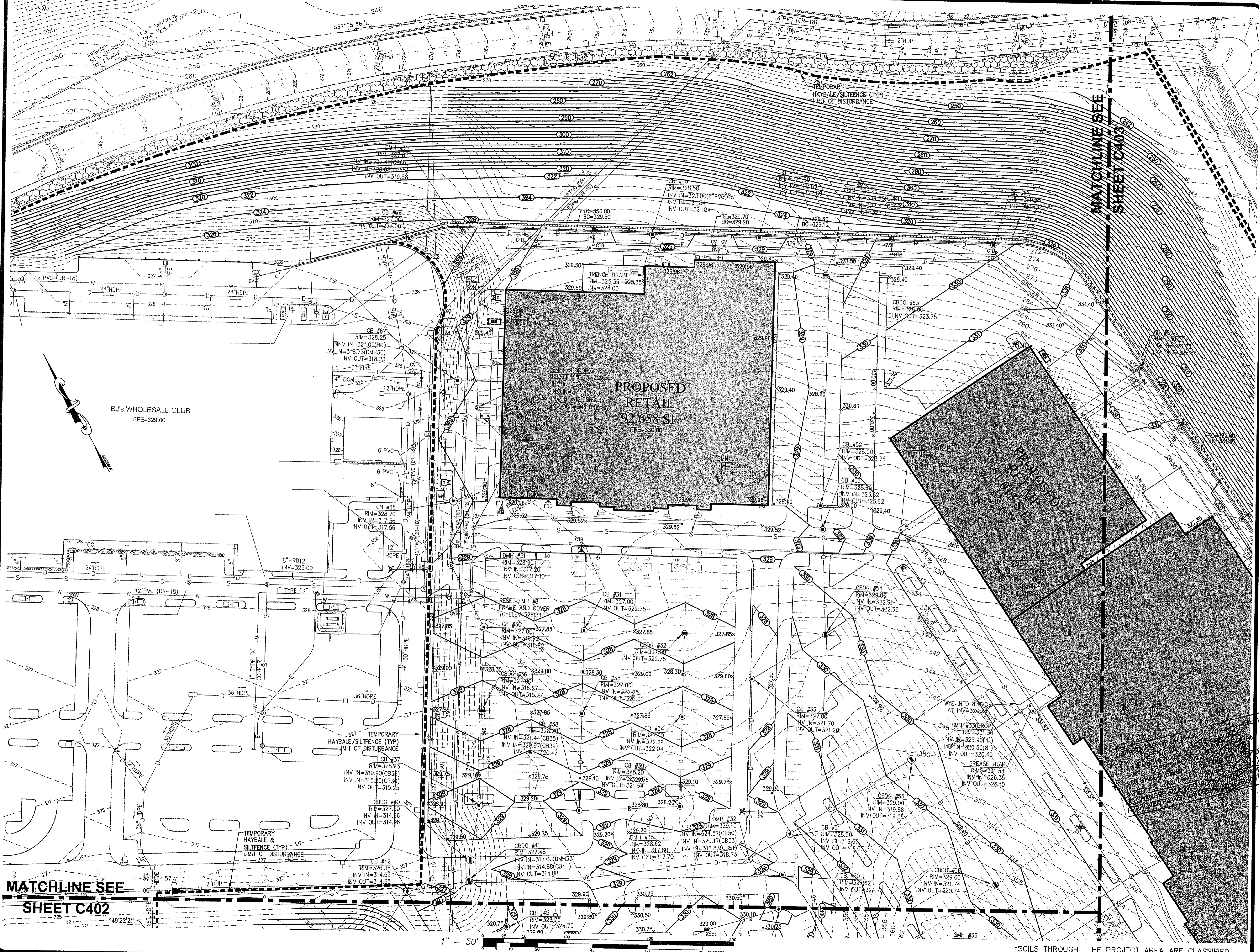
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 AND DATE OF SURVEY ARE SHOWN ON THESE  
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\*SOILS THROUGH THE PROJECT AREA ARE CLASSIFIED BY THE SCS AS CANTON HYDROLOGIC SOILS GROUP "B"

JOB NO. 0-195-07  
 DWG. NO. 5570-GU-3BCD  
 SCALE: 1"=100'  
 SHEET C400  
 20 OF 38 SHEET

DRAWN BY: PJD  
 CHECKED: SBG  
 APPROVED: SBG  
 DATE: APRIL 5, 2010



MATCHLINE SEE  
SHEET C402

MATCHLINE SEE  
SHEET C403

SITE GRADING PLAN I  
FOR  
STONEHILL MARKETPLACE  
PHASE 3B, 3C, 3D  
SITUATED ON  
STONEHILL DRIVE  
JOHNSTON, RHODE ISLAND  
PREPARED FOR  
STONEHILL DRIVE, LLC

NO.	REVISION	BY	DATE
1	PER RIDEM COMMENTS	PJD	12/17/10

Environmental Management  
MAN - 6 200  
Office of Water Resources

STEVEN B. GAROFALO  
REGISTERED PROFESSIONAL ENGINEER  
12-20-10

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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

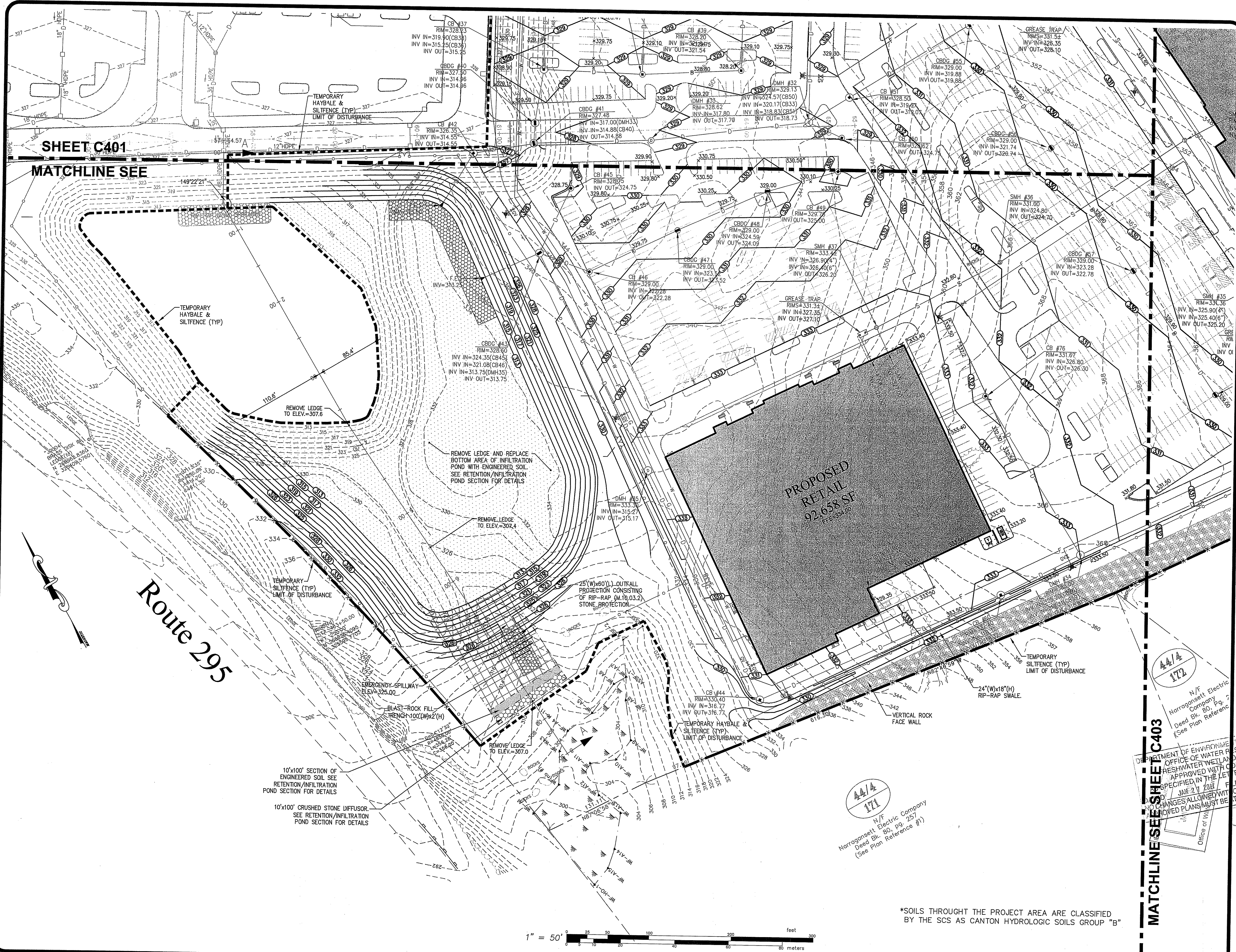
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JOB NO. 5570-07	DRAWN BY PJD
DWG. NO. 5570-GU-3BCD	CHECKED SBG
SCALE: 1"=50'	APPROVED SBG
SHEET	DATE: APRIL 5, 2010

**C401**  
21 OF 38 SHEET

\*SOILS THROUGHOUT THE PROJECT AREA ARE CLASSIFIED BY THE SCS AS CANTON HYDROLOGIC SOILS GROUP "B"



SHEET C401

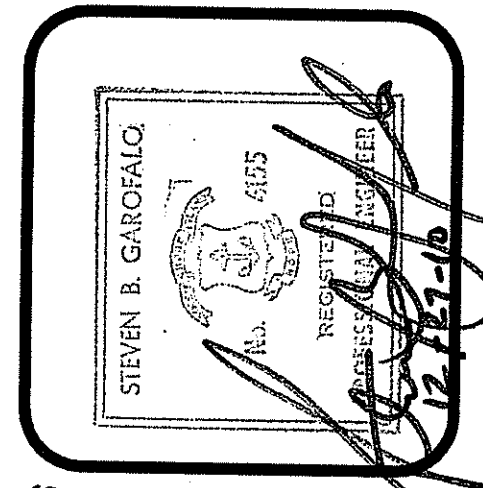
MATCHLINE SEE

Route 295

PROPOSED  
RETAIL  
92,658 SF

SITE GRADING PLAN 2  
FOR  
STONEHILL MARKETPLACE  
PHASE 3B, 3C, 3D  
SITUATED ON  
STONEHILL DRIVE  
JOHNSTON, RHODE ISLAND  
PREPARED FOR  
STONEHILL DRIVE, LLC

NO.	REVISION	BY	DATE
1	PER RIDEM COMMENTS	PJD	12/17/10



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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

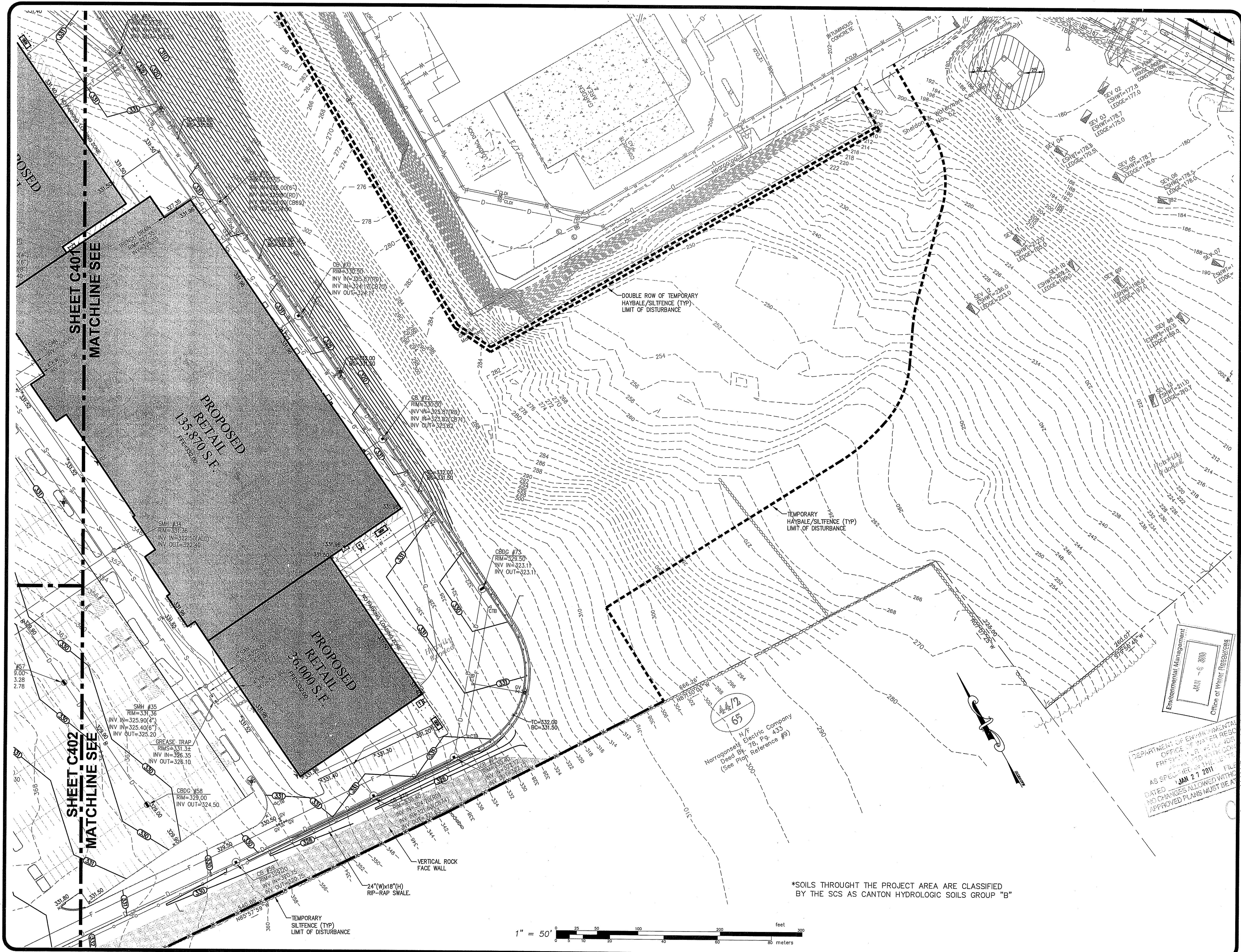
85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-6000

NO CHANGES ALLOWED WITHOUT APPROVAL  
APPROVED WITH CONDITIONS  
JAN 27 2011  
OFFICE OF WATER PROTECTION  
FRESHWATER WETLANDS PROTECTION  
APPROVED IN THE LETTER  
SPECIFIED IN THE LETTER  
FILED OUTSIDE APPROVAL  
NO CHANGES ALLOWED WITHOUT APPROVAL  
APPROVED WITH CONDITIONS  
JAN 27 2011  
OFFICE OF WATER PROTECTION  
FRESHWATER WETLANDS PROTECTION  
APPROVED IN THE LETTER  
SPECIFIED IN THE LETTER  
FILED OUTSIDE APPROVAL

JOB NO. 5570-07	DRAWN BY PJD
DWG. NO. 5570-GU-3BCD	CHECKED SBG
SCALE: 1"=50'	APPROVED SBG
	DATE: APRIL 5, 2010

SHEET  
**C402**  
22 OF 38 SHEET

\*SOILS THROUGH THE PROJECT AREA ARE CLASSIFIED BY THE SCS AS CANTON HYDROLOGIC SOILS GROUP "B"



**SITE GRADING PLAN 3**  
 FOR  
**STONEHILL MARKETPLACE**  
**PHASE 3B, 3C, 3D**  
 SITUATED ON  
**STONEHILL DRIVE**  
**JOHNSTON, RHODE ISLAND**  
 PREPARED FOR  
**STONEHILL DRIVE, LLC**

NO.	REVISION	BY	DATE
1	PER RIDEM COMMENTS	PJD	12/17/10

**GAROFALO**  
**GAROFALO & ASSOCIATES, INC.**  
**CIVIL & STRUCTURAL ENGINEERS/SURVEYORS**  
**LAND PLANNERS/ENVIRONMENTAL SCIENTISTS**

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 TEL. 401-273-6000

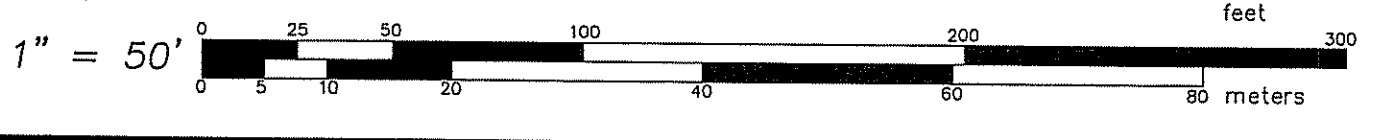
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DWG. NO. 5570-GU-38CD	CHECKED SBG
SCALE: 1"=50'	APPROVED SBG
DATE: APRIL 5, 2010	

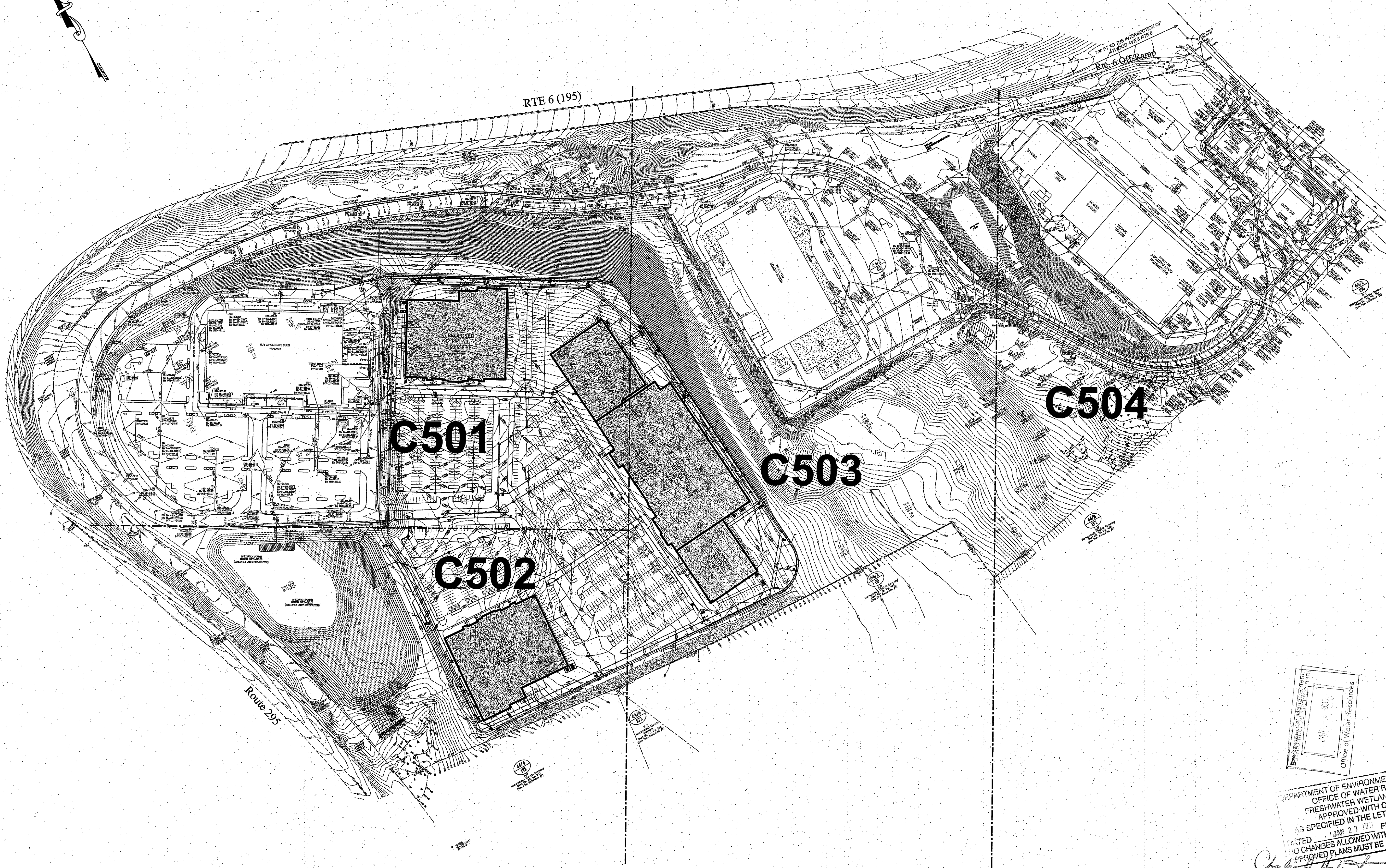
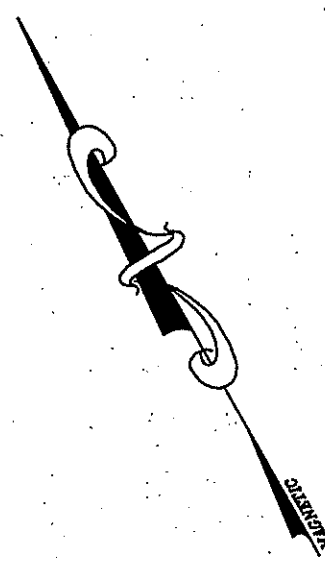
SHEET

# C403

23 OF 38 SHEET

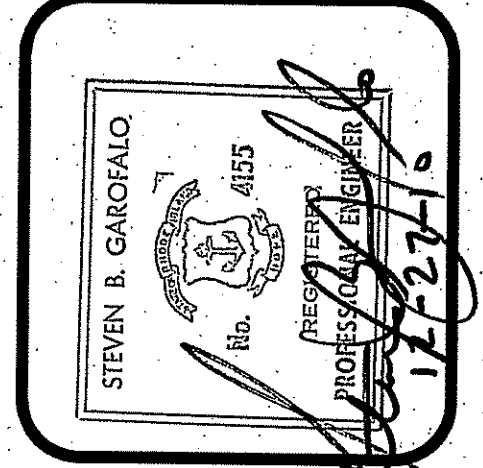
\*SOILS THROUGH THE PROJECT AREA ARE CLASSIFIED BY THE SCS AS CANTON HYDROLOGIC SOILS GROUP "B"





OVERALL SITE UTILITY PLAN  
 FOR  
 STONEHILL MARKETPLACE  
 PHASE 3B, 3C, 3D  
 SITUATED ON  
 STONEHILL DRIVE  
 JOHNSTON, RHODE ISLAND  
 PREPARED FOR  
 STONEHILL DRIVE, LLC

NO.	REVISION	BY	DATE



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 GAROFALO & ASSOCIATES, INC.  
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 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-6000

Office of Water Resources

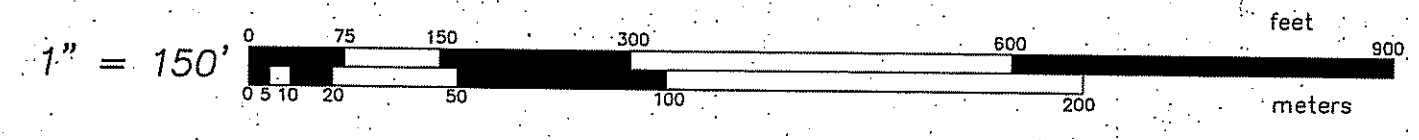
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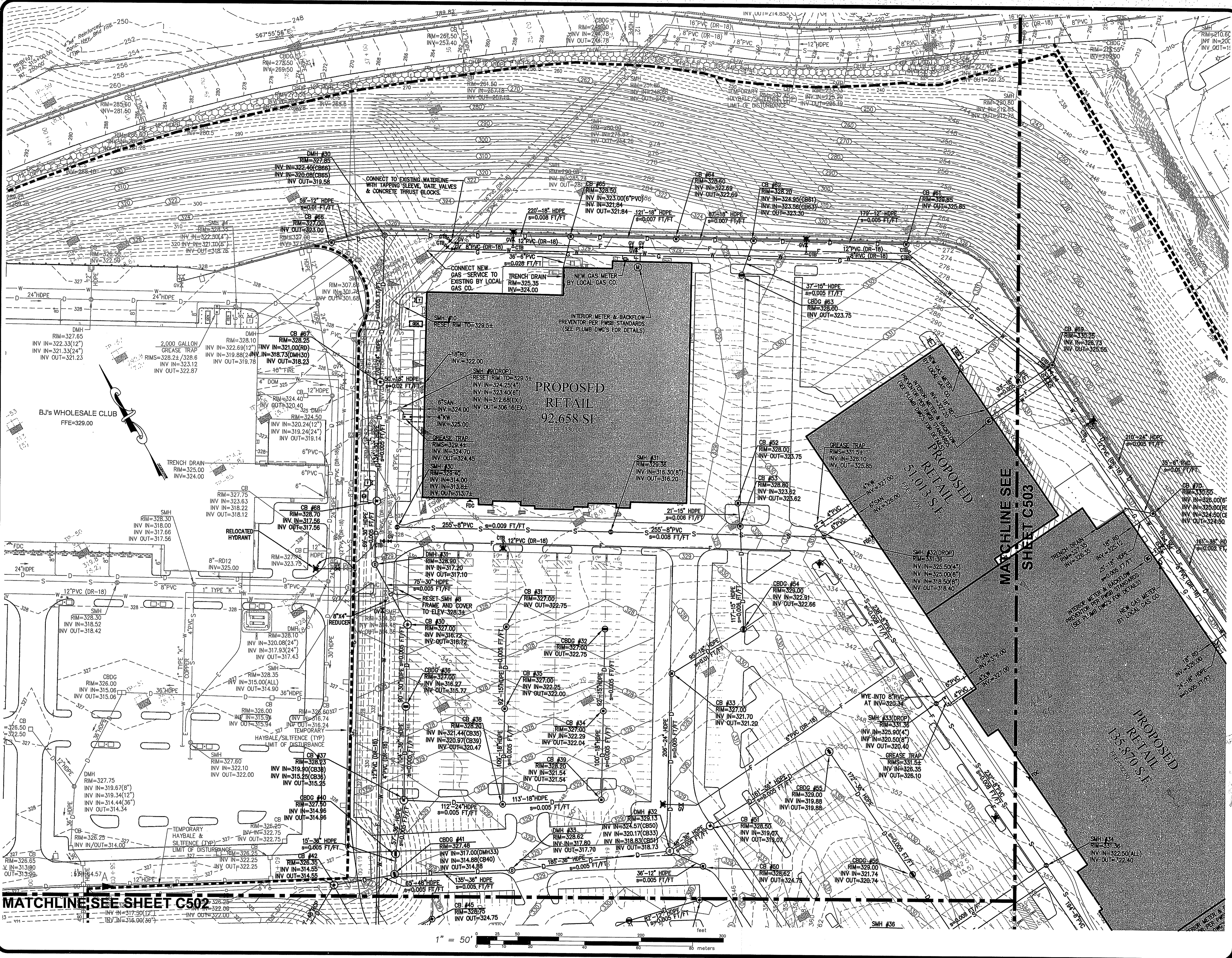
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 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS OF REMOVAL  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JAN 27 2011  
 NO CHANGES ALLOWED WITHOUT  
 APPROVED PLANS MUST BE  
 CONSTRUCTION SHEET

Charles R. Harkin

DRAWN BY PJD  
 CHECKED SBG  
 APPROVED SBG  
 DATE: APRIL 5, 2010

SHEET  
**C500**  
 24 OF 38 SHEET





**SITE UTILITY PLAN 1**  
 FOR  
**STONEHILL MARKETPLACE**  
**PHASE 3B, 3C, 3D**  
 SITUATED ON  
**STONEHILL DRIVE**  
**JOHNSTON, RHODE ISLAND**  
 PREPARED FOR  
**STONEHILL DRIVE, LLC**

NO.	REVISION	BY	DATE
1	PER RIDER COMMENTS	PJD	12/17/10

**GAROFALO**

**GAROFALO & ASSOCIATES, INC.**  
**CIVIL & STRUCTURAL ENGINEERS/SURVEYORS**  
**AND PLANNERS/ENVIRONMENTAL SCIENTISTS**

STEVEN B. GAROFALO  
 LICENSE NO. 0055  
 REGISTERED PROFESSIONAL ENGINEER

Environmental Management  
 PLAN - 6 2010

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PROJECT NO. 02940  
 PROVIDENCE, R.I. 02940  
 TEL: 401-273-6000

SHEET NO. 1 OF 38  
 DATE: APRIL 5, 2010

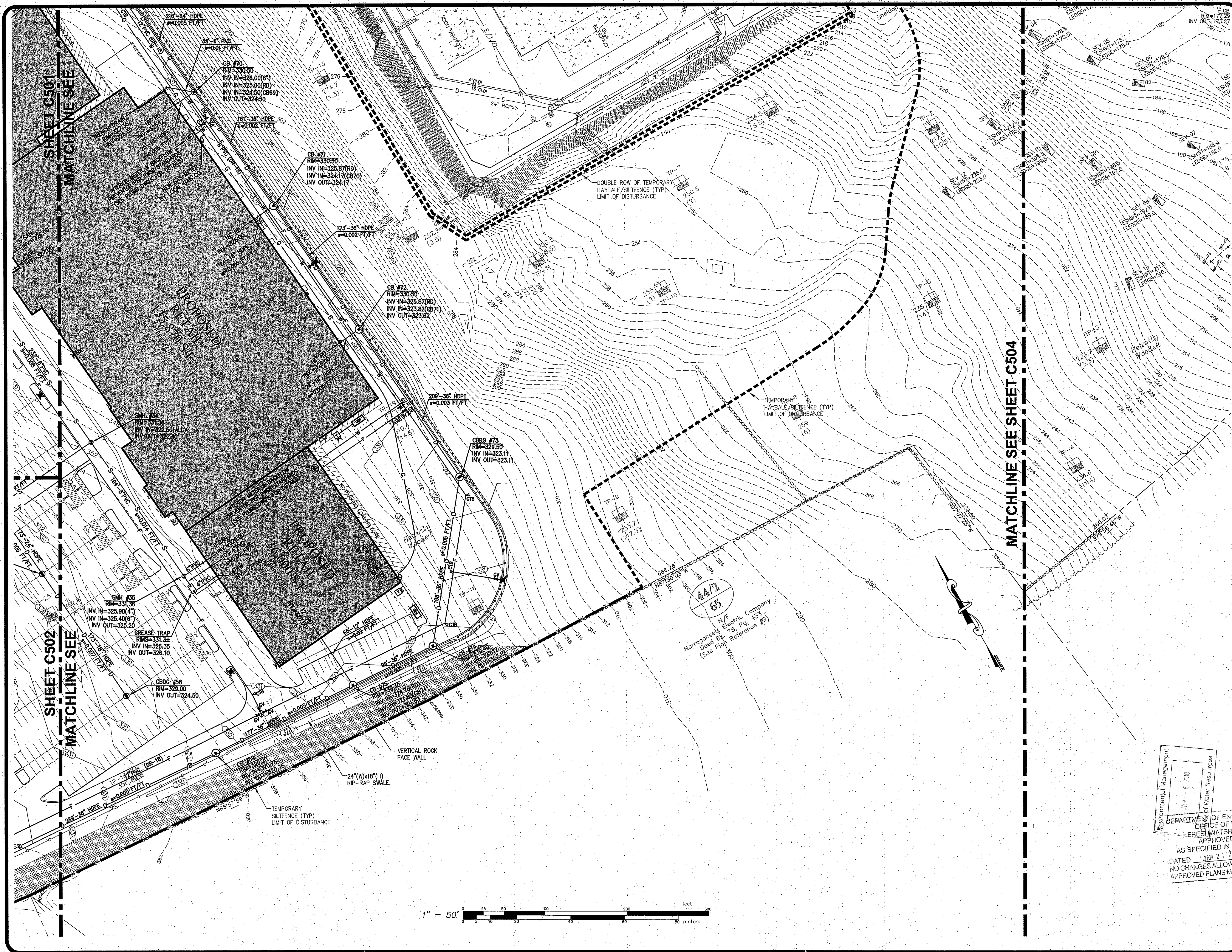
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**DWG. NO.** 1557-GU-38CD  
**SCALE:** 1"=50'  
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**DRAWN BY** PJD  
**CHECKED** SBG  
**APPROVED** SBG  
**DATE:** APRIL 5, 2010

C501

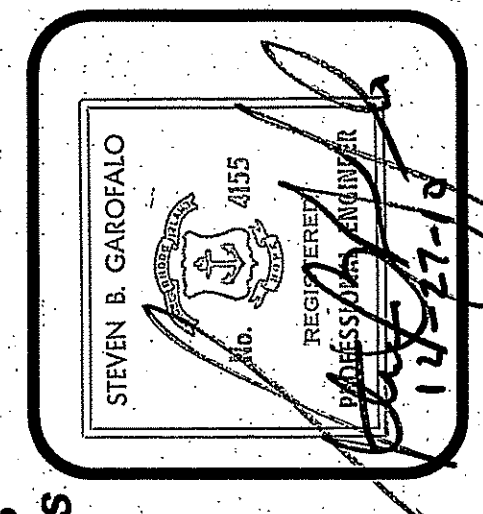
25 OF 38 SHEET





**SITE UTILITY PLAN 3**  
 FOR  
**STONEHILL MARKETPLACE**  
 PHASE 3B, 3C, 3D  
 SITUATED ON  
**STONEHILL DRIVE**  
**JOHNSTON, RHODE ISLAND**  
 PREPARED FOR  
**STONEHILL DRIVE, LLC**

NO.	REVISION	BY	DATE
1	PER RIDEM COMMENTS	PJD	12/17/10



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Environmental Management  
 Environmental Management  
 Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WATER QUALITY PROGRAM  
 APPROVED FOR CONSTRUCTION AS SPECIFIED IN THE LETTER OF APPROVAL  
 FILE # 0-002  
 DATED JAN 27 2010  
 NO CHANGES ALLOWED WITHOUT APPROVED PLANS MUST BE SUBMITTED TO THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT

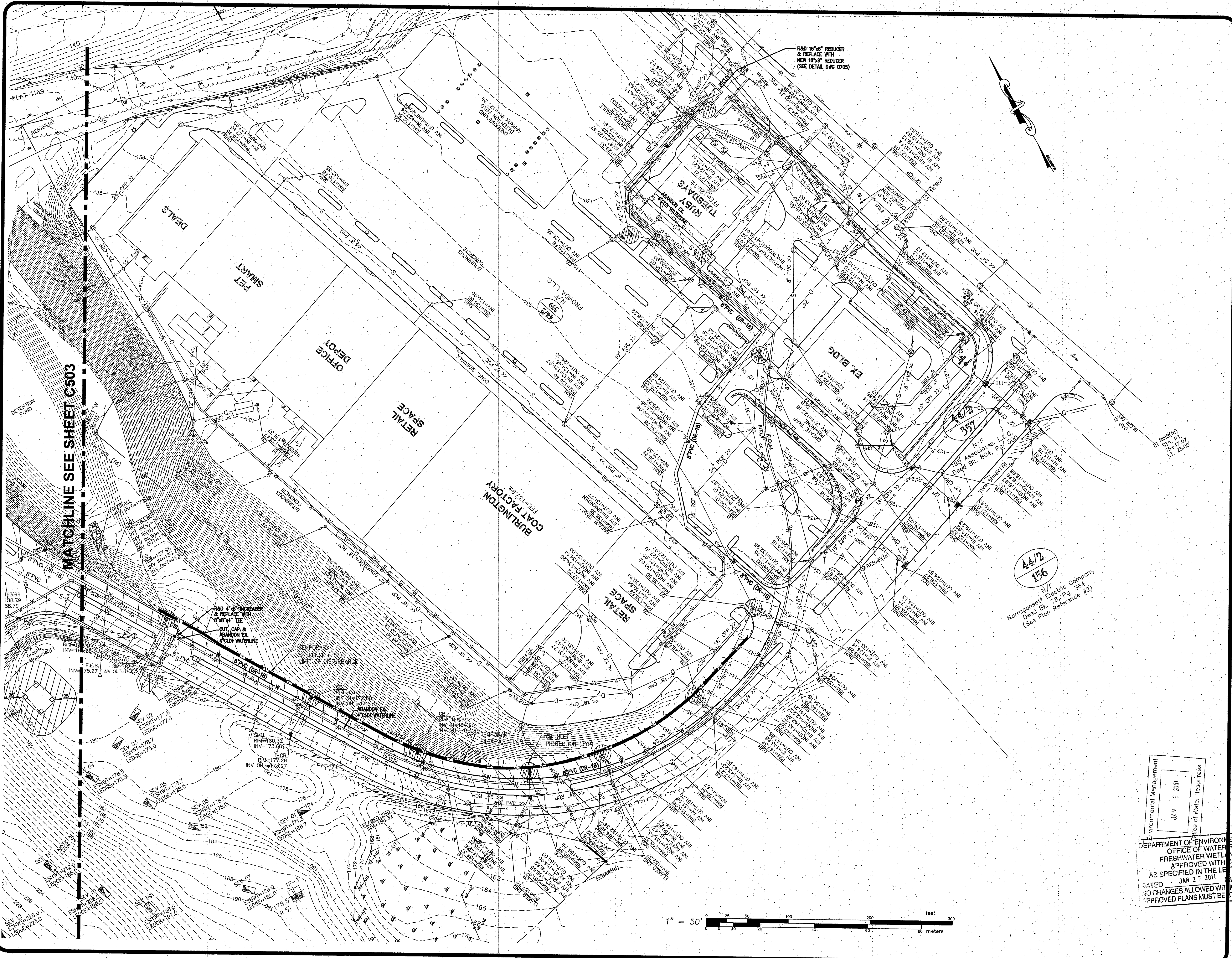
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**DWG. NO.** 0570-03B-3B0D  
**DATE:** APRIL 5, 2010

**DRAWN BY:** PJD  
**CHECKED:** SBC  
**APPROVED:** SBC

**1" = 50'**

**C503**

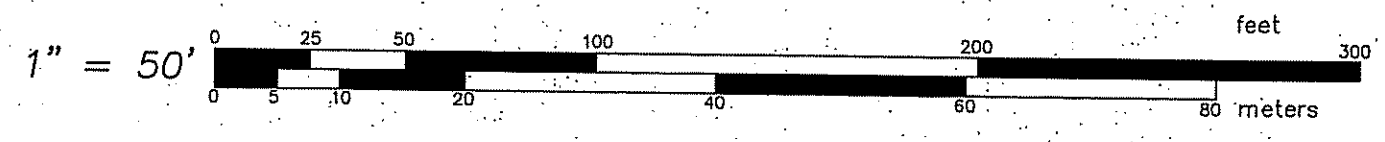
27 OF 38 SHEET



MATCHLINE SEE SHEET C503

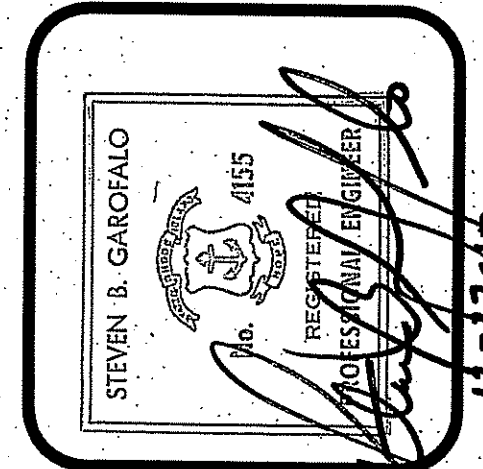
44/2  
156

N/E  
Narragansett Electric Company  
Dead Bk. 76 Pg. 36A  
(See Plan Reference #2)



SITE UTILITY PLAN 4  
FOR  
**STONEHILL MARKETPLACE  
PHASE 3B, 3C, 3D**  
SITUATED ON  
**STONEHILL DRIVE**  
JOHNSTON, RHODE ISLAND  
PREPARED FOR  
**STONEHILL DRIVE, LLC**

NO.	REVISION	BY	DATE
1	PER RIDEM COMMENTS	PJD	12/17/10



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PREPARED FOR THE OWNER FOR THIS  
PROJECT AT THIS SITE AND IS NOT TO BE  
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OR OWNER OR ONE OF ITS DIRECTORS

Environmental Management  
JAN - 6 2010  
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATE: APRIL 5, 2010

JOB NO. 5570-07  
DWG. NO. 5570-GU-3BCD  
DRAWN BY PJD  
CHECKED SBG  
APPROVED SBG  
DATE: APRIL 5, 2010

C504



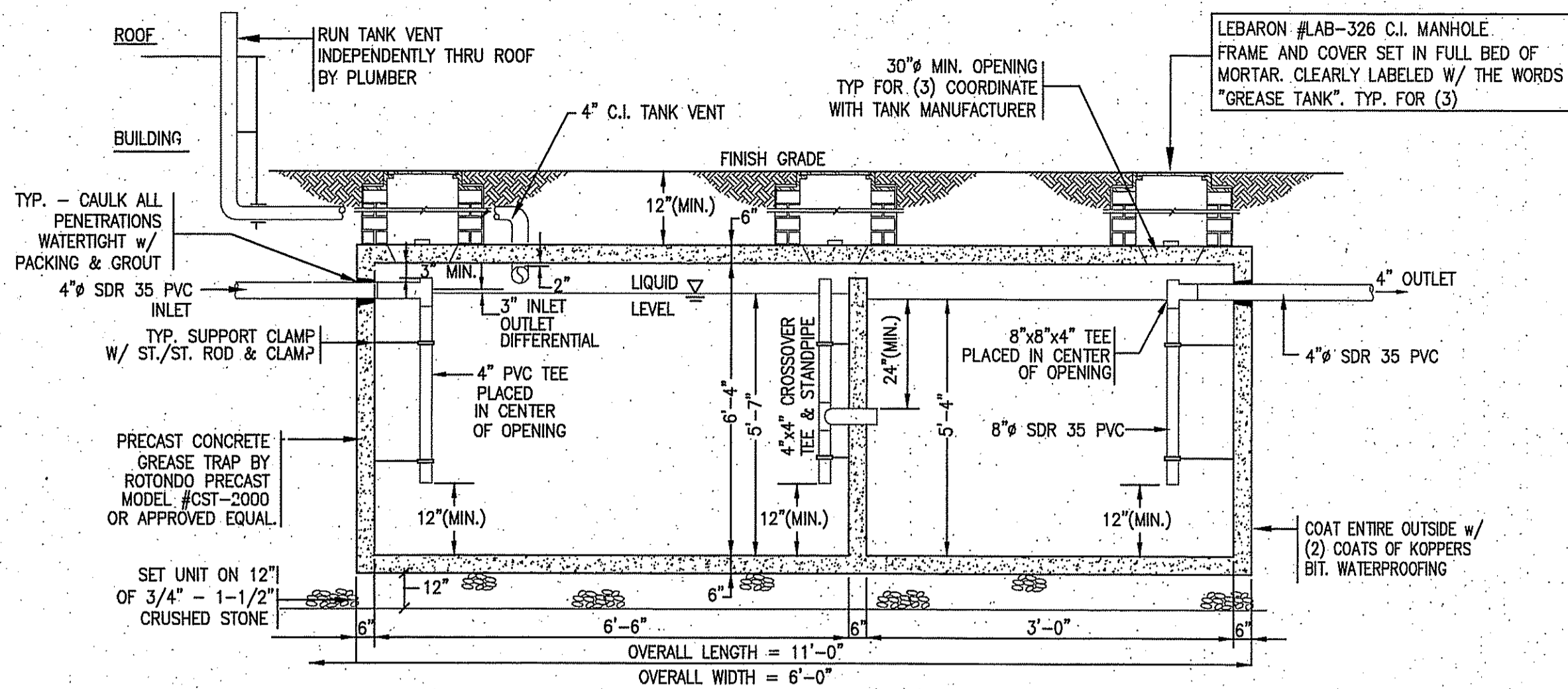






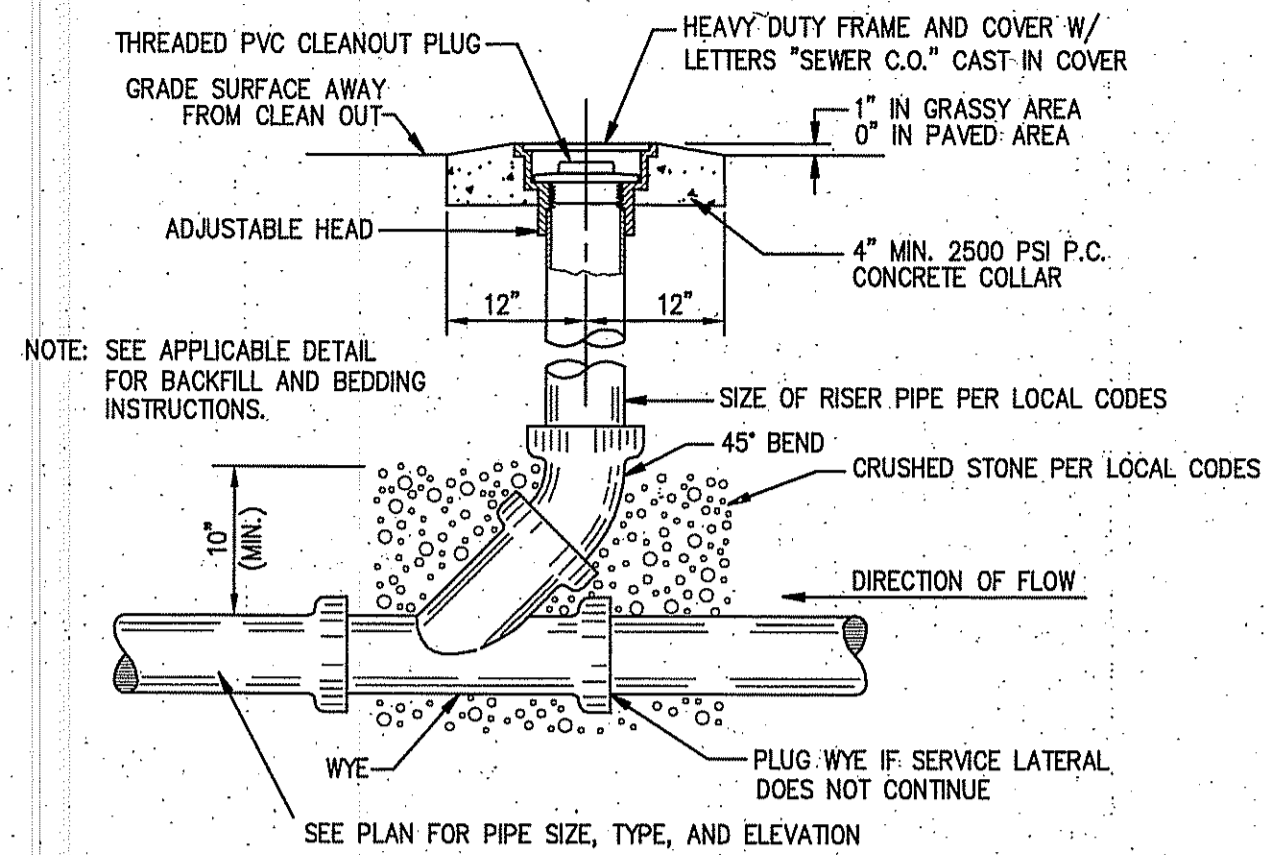
**NOTES:**

- GREASE TRAP SHALL BE INSPECTED MONTHLY BY THE OWNER/OPERATOR AND SHALL BE CLEANED BY A LICENSED SEPTAGE HAULER WHENEVER THE LEVEL OF GREASE IS 25% OF THE EFFECTIVE DEPTH OF THE TRAP, OR AT LEAST EVERY THREE MONTHS, WHICHEVER IS SOONER. THE OWNER/OPERATOR SHALL KEEP ALL INSPECTION AND PUMPING RECORDS ON FILE AND MADE AVAILABLE TO THE NARRAGANSETT BAY COMMISSION UPON REQUEST.
- NO WASTEWATER, OTHER THAN FROM KITCHEN FIXTURES OR FOOD PROCESSING EQUIPMENT, SHALL DISCHARGE INTO THE GREASE REMOVAL SYSTEM UNLESS APPROVED BY THE NARRAGANSETT BAY COMMISSION IN WRITING. WASTEWATER FROM SANITARY SOURCES SUCH AS TOILETS AND BATHROOM SINKS IS PROHIBITED FROM BEING DISCHARGED INTO THE GREASE REMOVAL DEVICE.
- ALL WASTEWATER FROM FOOD PREPARATION OPERATIONS AND/OR WASHING AND CLEAN-UP OPERATIONS, INCLUDING BUT NOT LIMITED TO POT SINKS, PRE-RINSE STATIONS, WOK STATIONS, SOUP KETTLES, BRAISING PANS, MOP SINKS AND WASTEWATER GENERATED FROM EXHAUST FAN HOOD CLEANING OPERATIONS MUST DISCHARGE TO THE GREASE REMOVAL DEVICE.
- PRECAST CONCRETE TANK SHALL CONFORM TO ASTM C-1227-02. TANK SHALL BE CLEARLY AND PERMANENTLY MARKED AT THE INLET END OF THE TANK WITH DATE OF MANUFACTURE, NAME AND TRADEMARK OF MANUFACTURER, TANK CAPACITY AND INDICATION OF EXTERNAL LOADS FOR WHICH TANK IS DESIGNED TO RESIST.
- TANK MUST BE CERTIFIED WATERTIGHT BY THE MANUFACTURER OR BY ON-SITE TESTING. ON-SITE TESTING FOR TANK LEAKAGE SHALL BE CONDUCTED FOR TANKS ASSEMBLED AT THE SITE. THE DIRECTOR MAY REQUIRE ON-SITE TESTING ON A CASE BY CASE BASIS. SEAL ALL TANK PENETRATIONS WITH WATERTIGHT NON SHRINK GROUT.
- THE NARRAGANSETT BAY COMMISSION MUST BE NOTIFIED SEVENTY-TWO (72) HOURS PRIOR TO INSTALLATION OF THE GREASE TRAP IN ORDER TO INSPECT AND OVERSEE THE INSTALLATION.



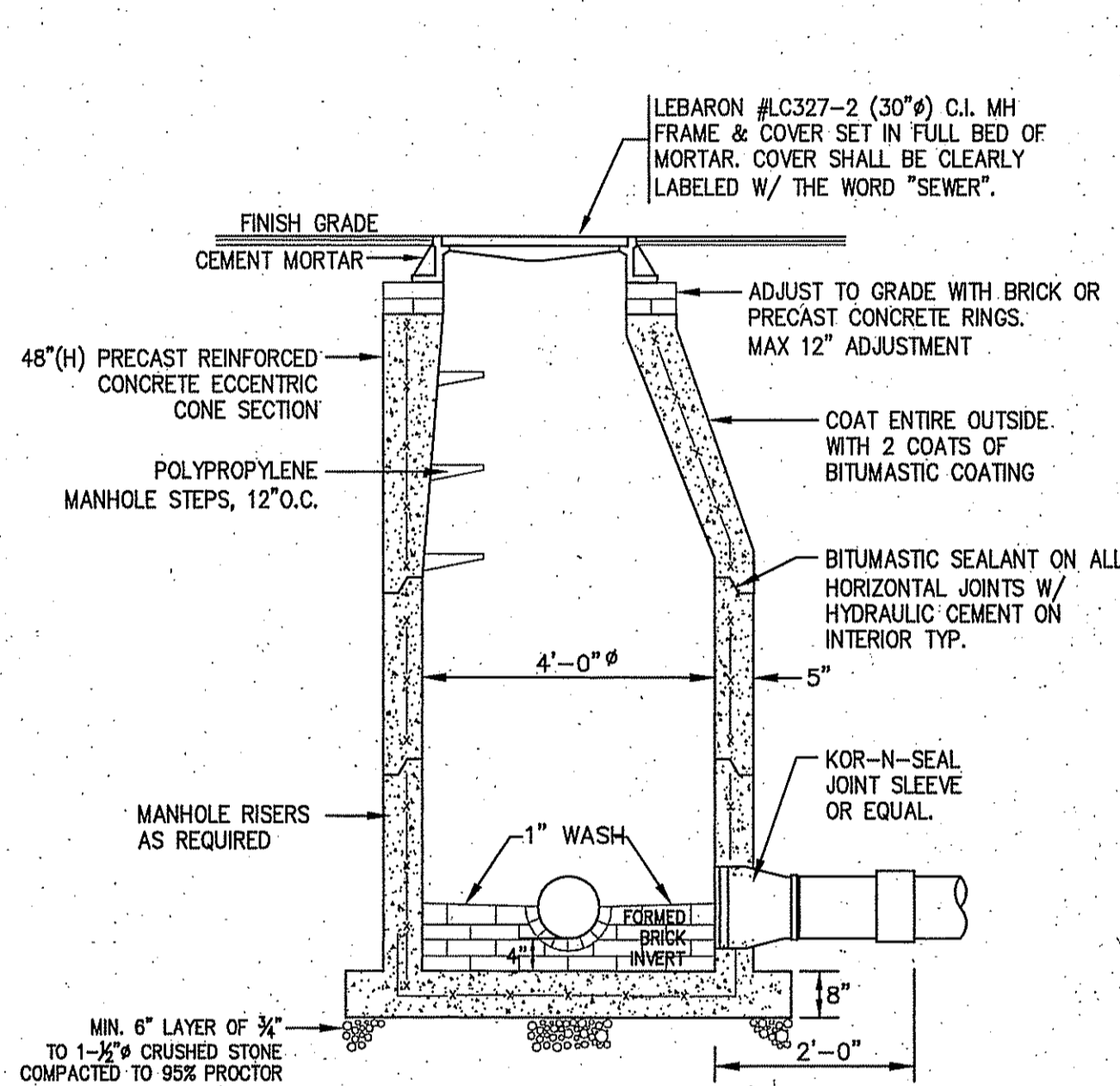
**1 GREASE TRAP DETAIL (2,000 GAL. CAP.)**

C704 N.T.S.



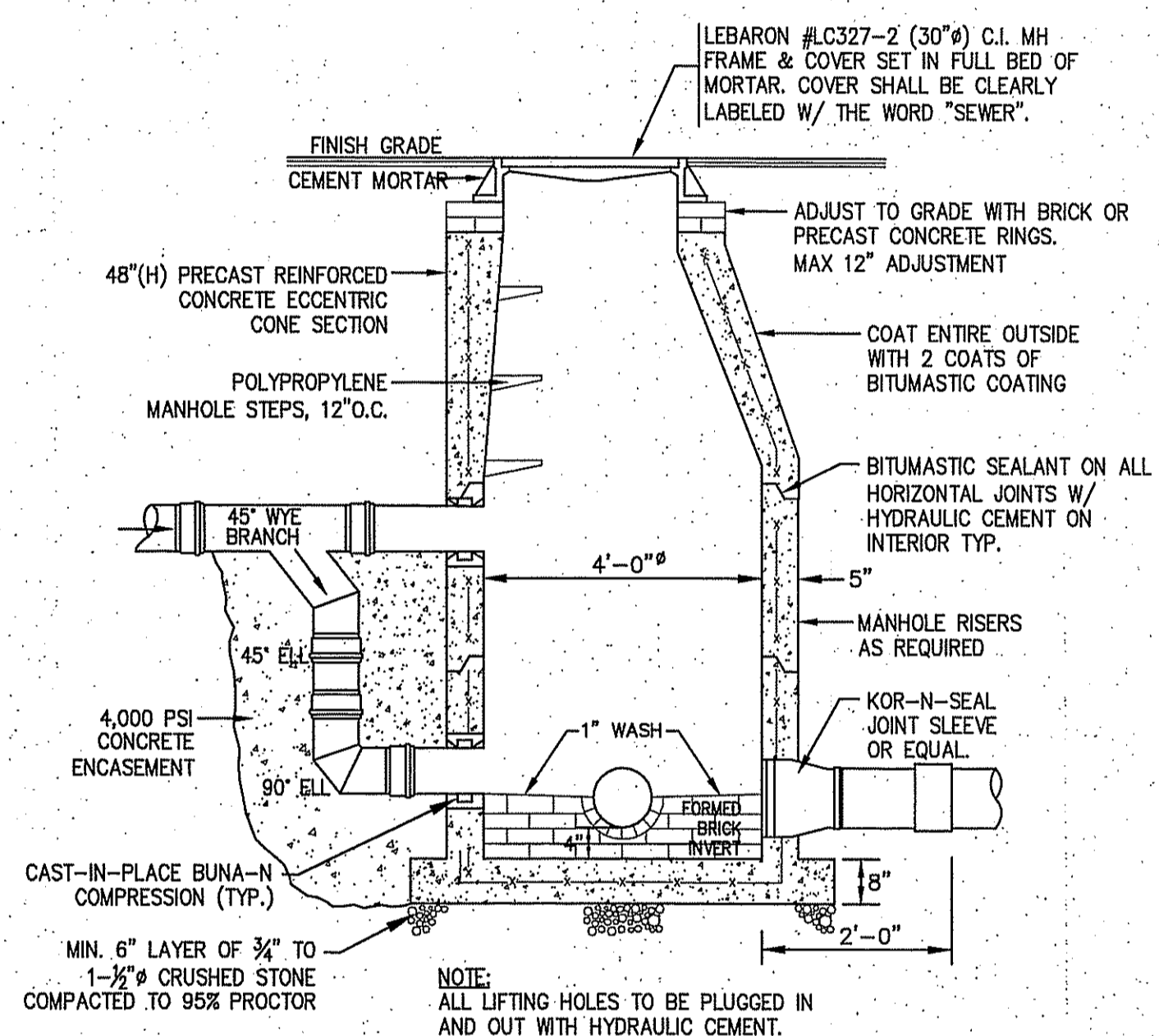
**2 SANITARY SEWER CLEAN-OUT**

C704 N.T.S.



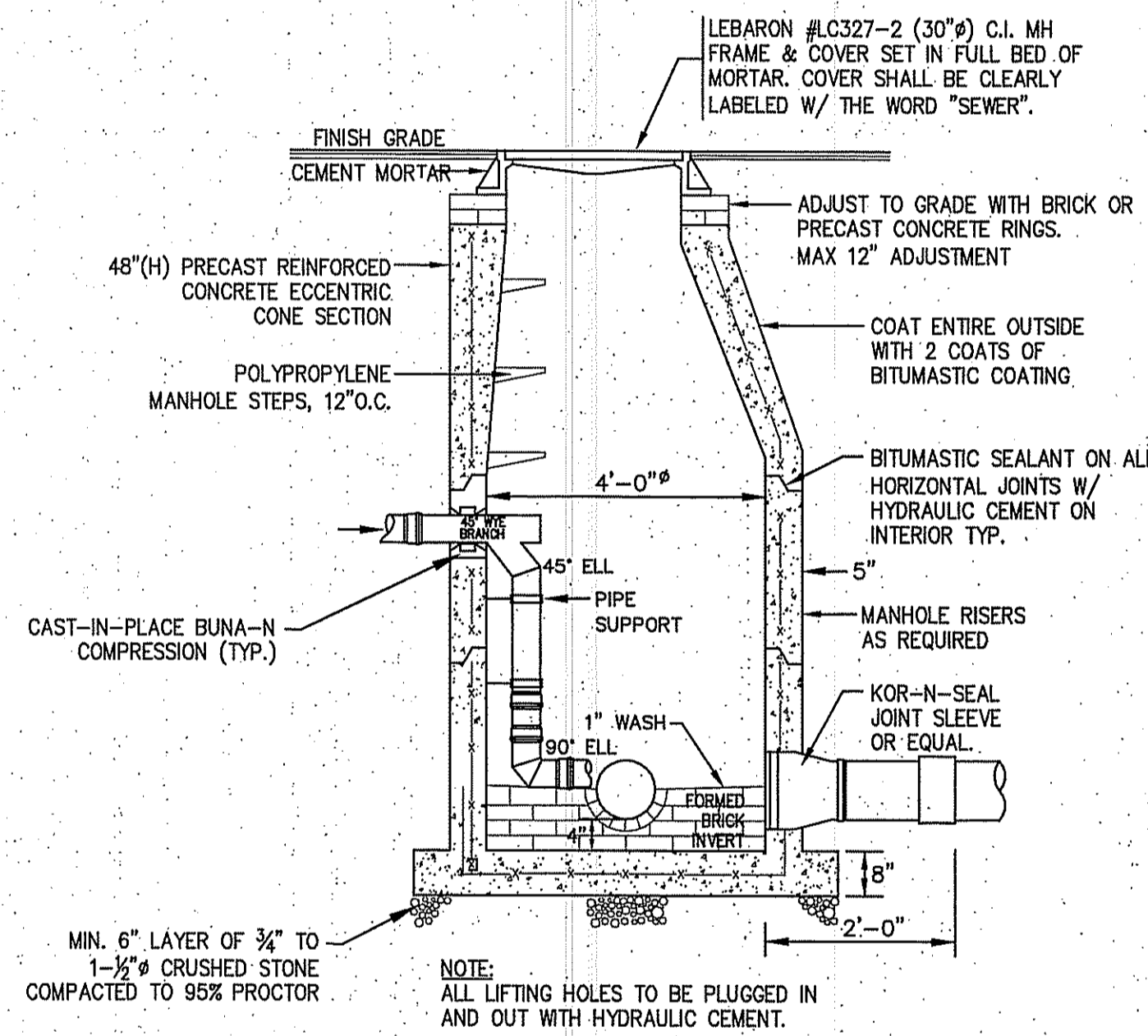
**3 SANITARY SEWER MANHOLE**

C704 N.T.S.



**4 SANITARY SEWER EXTERIOR DROP MANHOLE DETAIL**

C704 N.T.S.

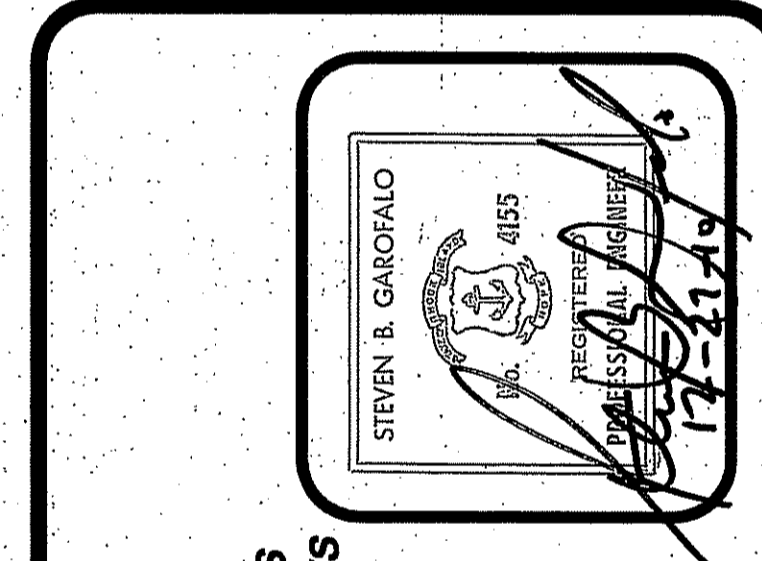


**5 SANITARY SEWER INTERIOR DROP MANHOLE DETAIL**

C704 N.T.S.

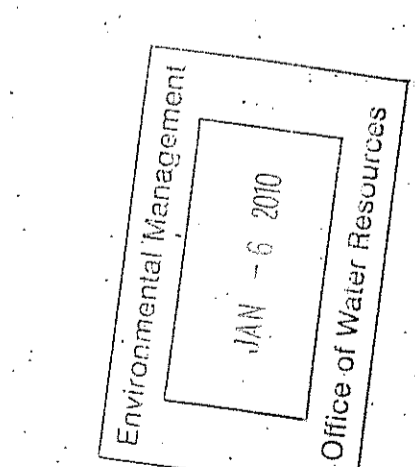
**SITE DETAILS - PLAN 4**  
 FOR  
**STONEHILL MARKETPLACE**  
**PHASE 3B, 3C, 3D**  
 SITUATED ON  
**STONEHILL DRIVE**  
**JOHNSTON, RHODE ISLAND**  
 PREPARED FOR  
**STONEHILL DRIVE, LLC**

NO.	REVISION	BY	DATE



**GAROFALO**  
**GAROFALO & ASSOCIATES, INC.**  
**CIVIL & STRUCTURAL ENGINEERS/SURVEYORS**  
**LAND PLANNERS/ENVIRONMENTAL SCIENTISTS**

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 P.O. BOX 6145  
 PROVIDENCE, R.I. 02940  
 TEL. 401-273-8000



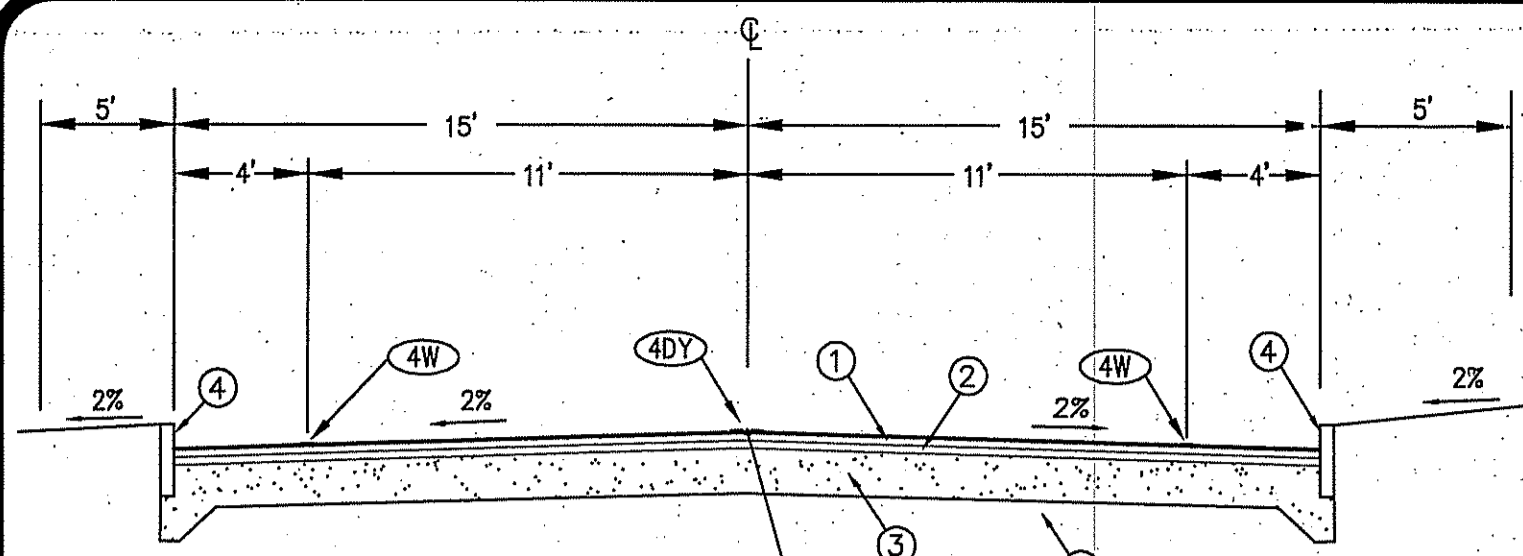
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS  
 APPROVED WITH  
 AS SPECIFIED IN THE L  
 DATED JAN 27 2011  
 NO CHANGES ALLOWED  
 APPROVED PLANS MUST

JOB NO: 5570-07  
 DWG. NO: 3570-DETAILS-NOTES-38CD  
 SCALE: AS SHOWN  
 DATE: APRIL 5, 2010

DRAWN BY: PJD  
 CHECKED: SBG  
 APPROVED: SBG

**C704**

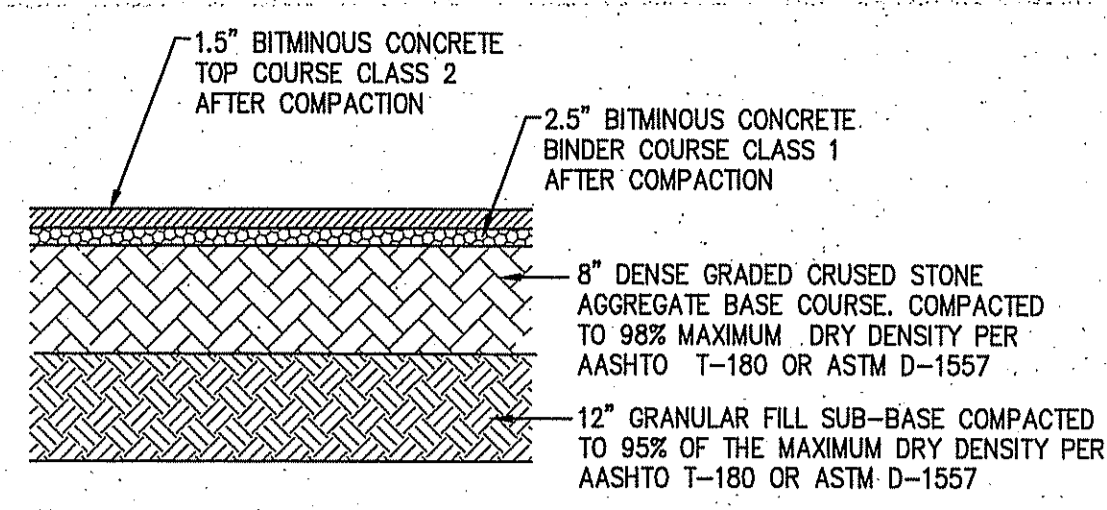




- 1 1.5" TYPE I-II BITUMINOUS CONCRETE SURFACE COURSE.
- 2 2.5" BITUMINOUS CONCRETE BINDER (MODIFIED) COURSE.
- 3 8" DENSE GRADED CRUSHED STONE.
- 4 PRECAST CONCRETE CURBING (R.I. STD. 7.1.0)
- 5 12" MIN. THICKNESS GRANULAR FILL SUBGRADE (OR CHOKE STONE OVER BLAST ROCK FILL)
- 4DY 4" EPOXY RESIN PAVEMENT MARKINGS - DOUBLE YELLOW
- 4W 4" EPOXY RESIN PAVEMENT MARKINGS - WHITE

**TYPICAL ACCESS ROAD SECTION**  
(STA. 61+12 TO 65+32)

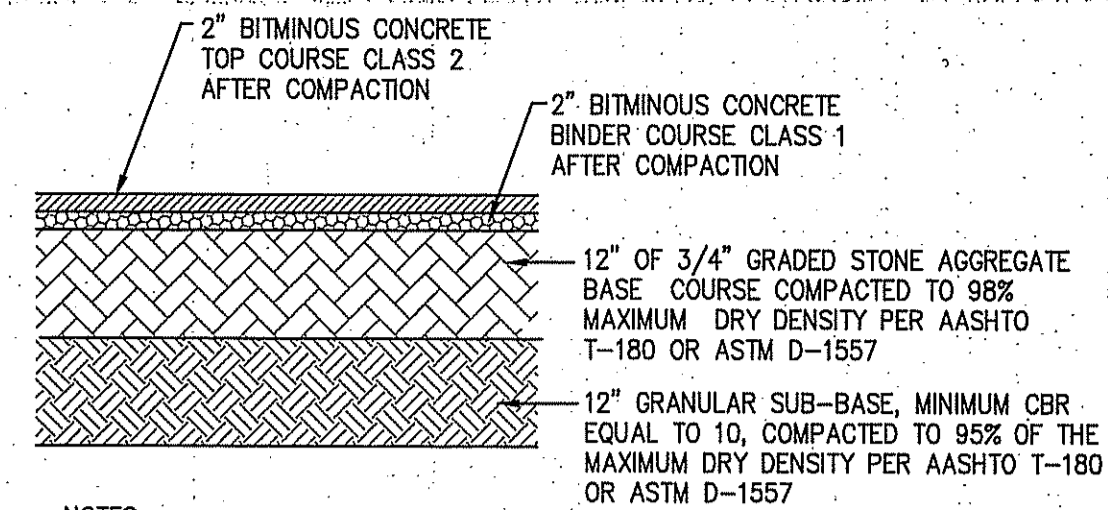
1  
C706 N.T.S.



- NOTES:
1. ALL THICKNESS SHOWN ARE COMPACTED DIMENSIONS.
  2. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  3. SUBMIT MIX DESIGN TO THE CIVIL ENGINEER OF RECORD AT LEAST 30 DAYS PRIOR TO BEGINNING ASPHALT PAVING OPERATIONS. MIX DESIGNS OVER ONE YEAR OLD WILL NOT BE ACCEPTED. MIX DESIGNS SUBMITTAL SHALL FOLLOW THE LATEST EDITION OF THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

**2 ACCESS DRIVE PAVEMENT DETAIL**

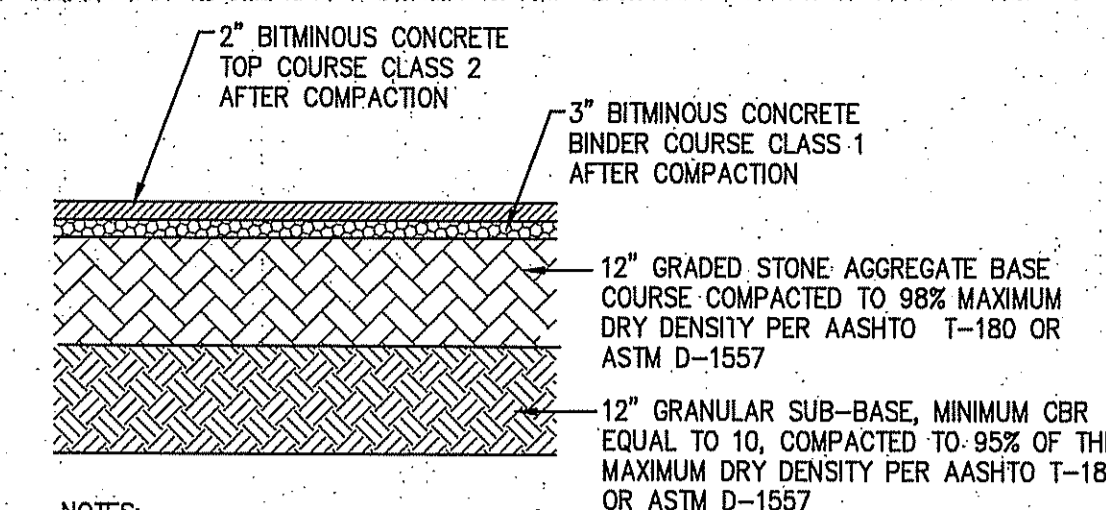
2  
C706 N.T.S.



- NOTES:
1. ALL THICKNESS SHOWN ARE COMPACTED DIMENSIONS.
  2. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  3. SUBMIT MIX DESIGN TO THE CIVIL ENGINEER OF RECORD AT LEAST 30 DAYS PRIOR TO BEGINNING ASPHALT PAVING OPERATIONS. MIX DESIGNS OVER ONE YEAR OLD WILL NOT BE ACCEPTED. MIX DESIGNS SUBMITTAL SHALL FOLLOW THE LATEST EDITION OF THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

**3 STANDARD PAVEMENT DETAIL**

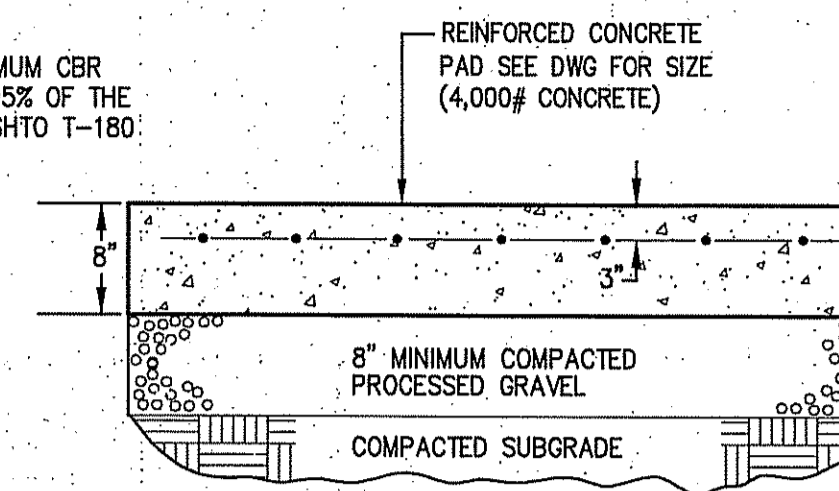
3  
C706 N.T.S.



- NOTES:
1. ALL THICKNESS SHOWN ARE COMPACTED DIMENSIONS.
  2. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  3. SUBMIT MIX DESIGN TO THE CIVIL ENGINEER OF RECORD AT LEAST 30 DAYS PRIOR TO BEGINNING ASPHALT PAVING OPERATIONS. MIX DESIGNS OVER ONE YEAR OLD WILL NOT BE ACCEPTED. MIX DESIGNS SUBMITTAL SHALL FOLLOW THE LATEST EDITION OF THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

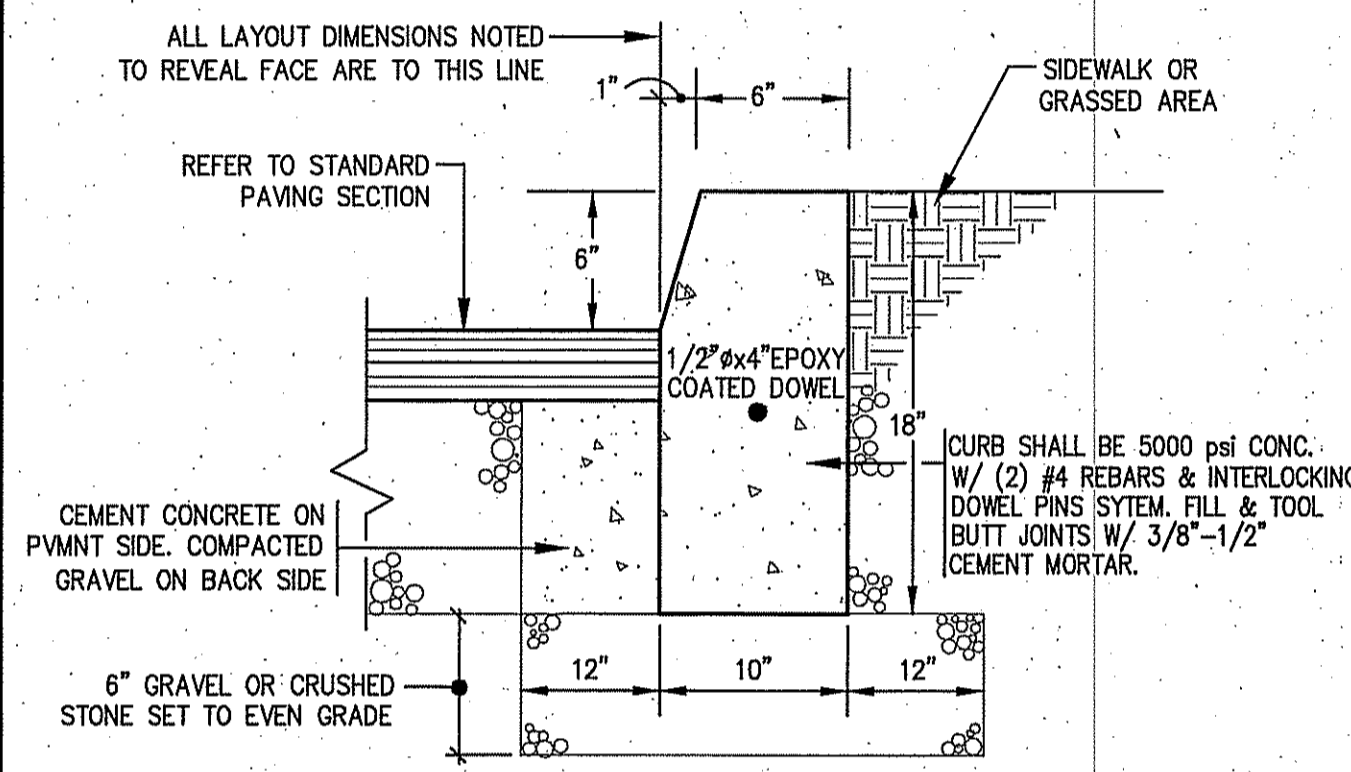
**4 HEAVY DUTY PAVEMENT DETAIL**

4  
C706 N.T.S.



**5 GENERATOR PAD DETAIL**

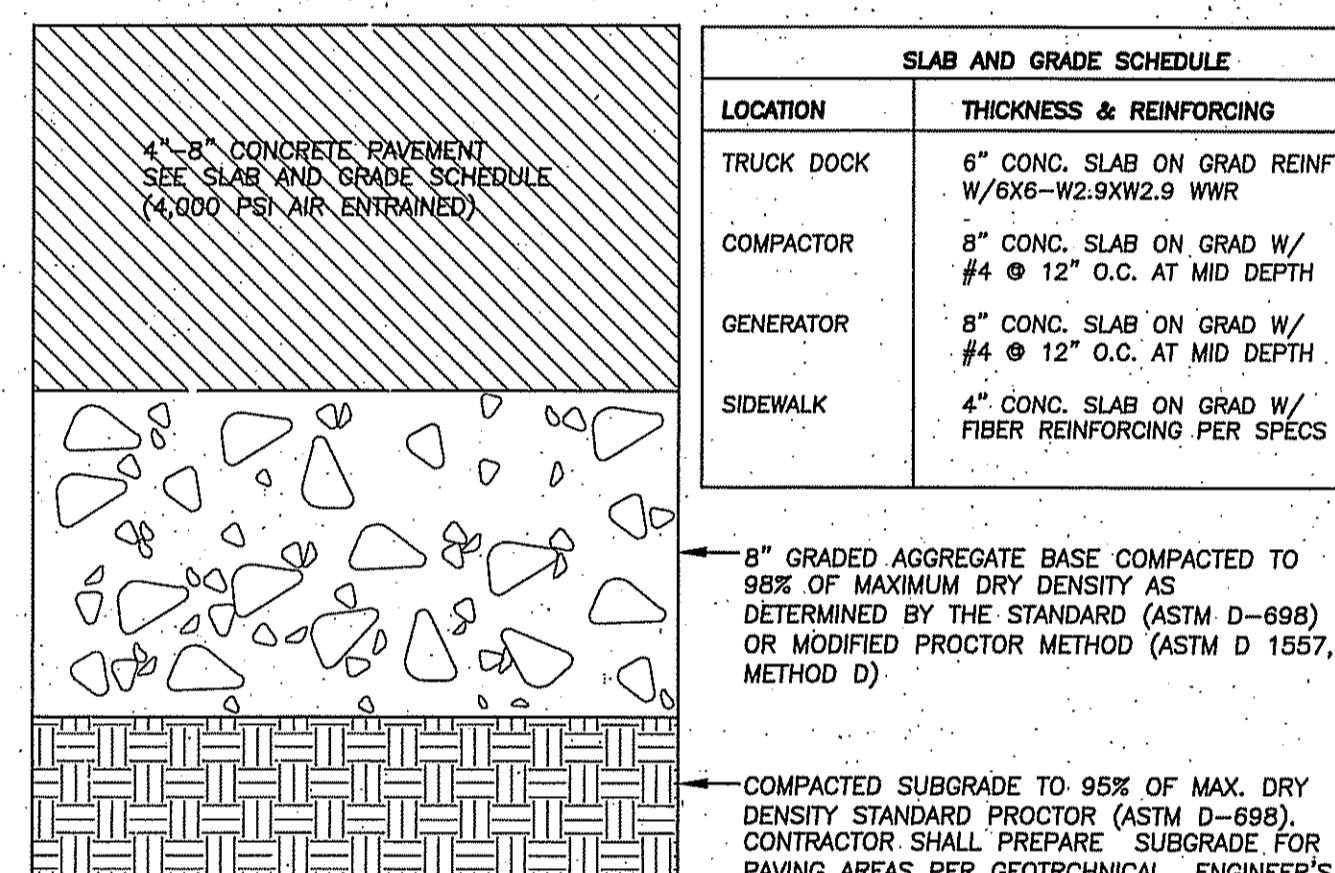
5  
C706 N.T.S.



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
  2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
  3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
  4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160' OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160' RADIUS.
  5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
  6. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURBING IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF BASE COURSE.

**6 DETAIL OF PRECAST CONCRETE CURB**

6  
C706 N.T.S.



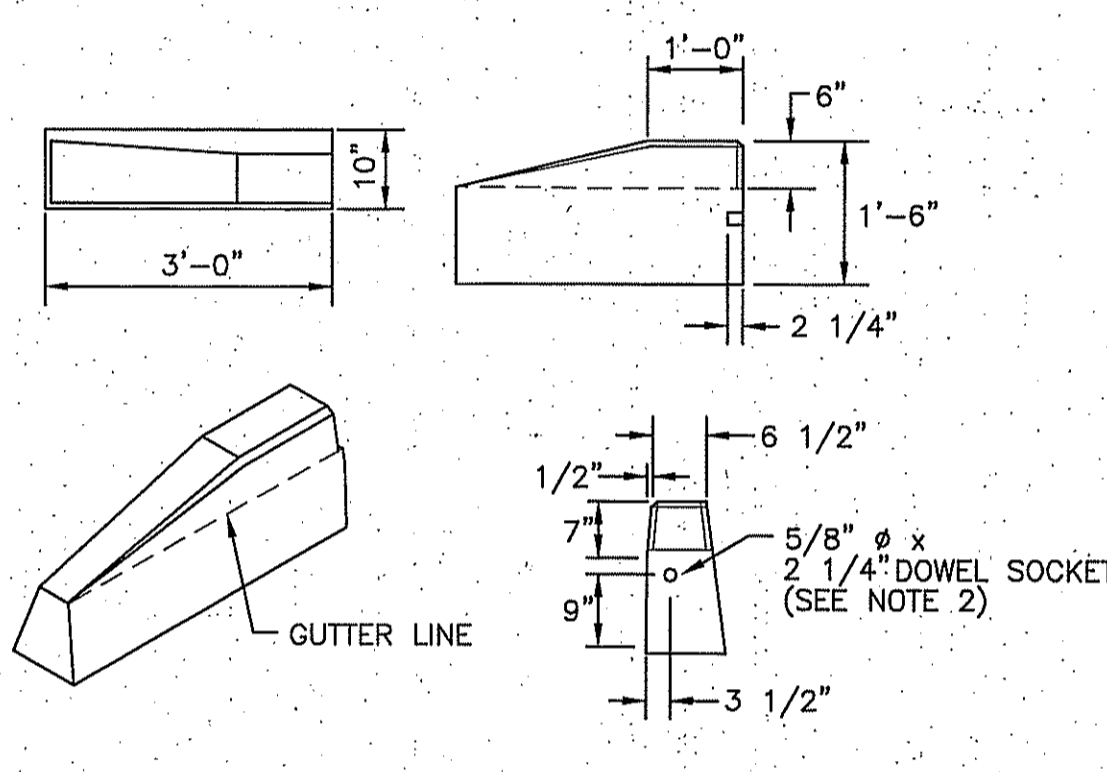
LOCATION	THICKNESS & REINFORCING
TRUCK DOCK	6" CONC. SLAB ON GRAD REINF W/6X6-W2.9XW2.9 WWR
COMPACTOR	8" CONC. SLAB ON GRAD W/ #4 @ 12" O.C. AT MID DEPTH
GENERATOR	8" CONC. SLAB ON GRAD W/ #4 @ 12" O.C. AT MID DEPTH
SIDEWALK	4" CONC. SLAB ON GRAD W/ FIBER REINFORCING PER SPECS

8" GRADED AGGREGATE BASE COMPACTED TO 98% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD (ASTM D-698) OR MODIFIED PROCTOR METHOD (ASTM D 1557, METHOD D)

COMPACTED SUBGRADE TO 95% OF MAX. DRY DENSITY STANDARD PROCTOR (ASTM D-698). CONTRACTOR SHALL PREPARE SUBGRADE FOR PAVING AREAS PER GEOTECHNICAL ENGINEER'S REPORT AND RECOMMENDATIONS.

**7 CONCRETE PAVEMENT SECTION**

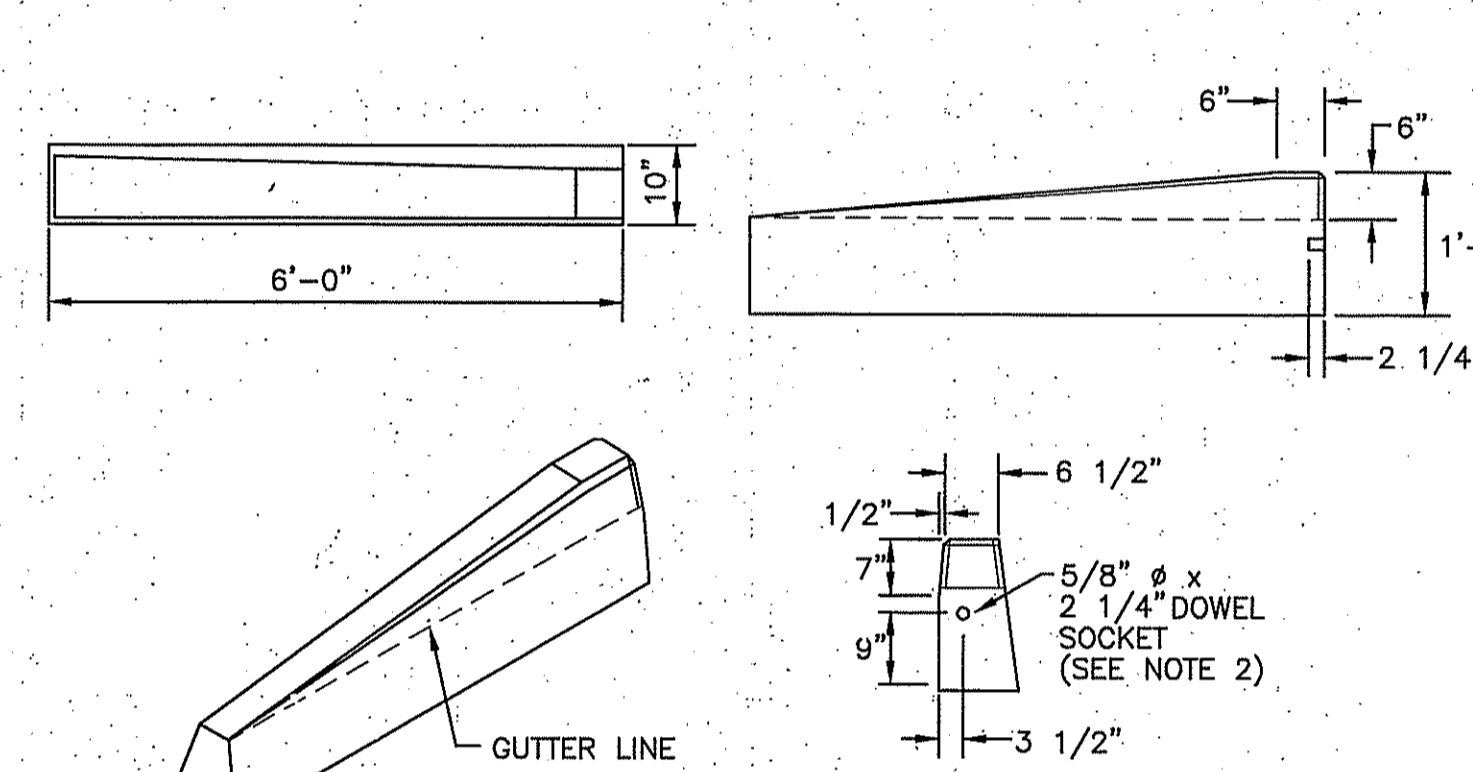
7  
C706 N.T.S.



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
  2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
  3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
  4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

**8 3'-0" PRECAST CONCRETE TRANSITION CURB**

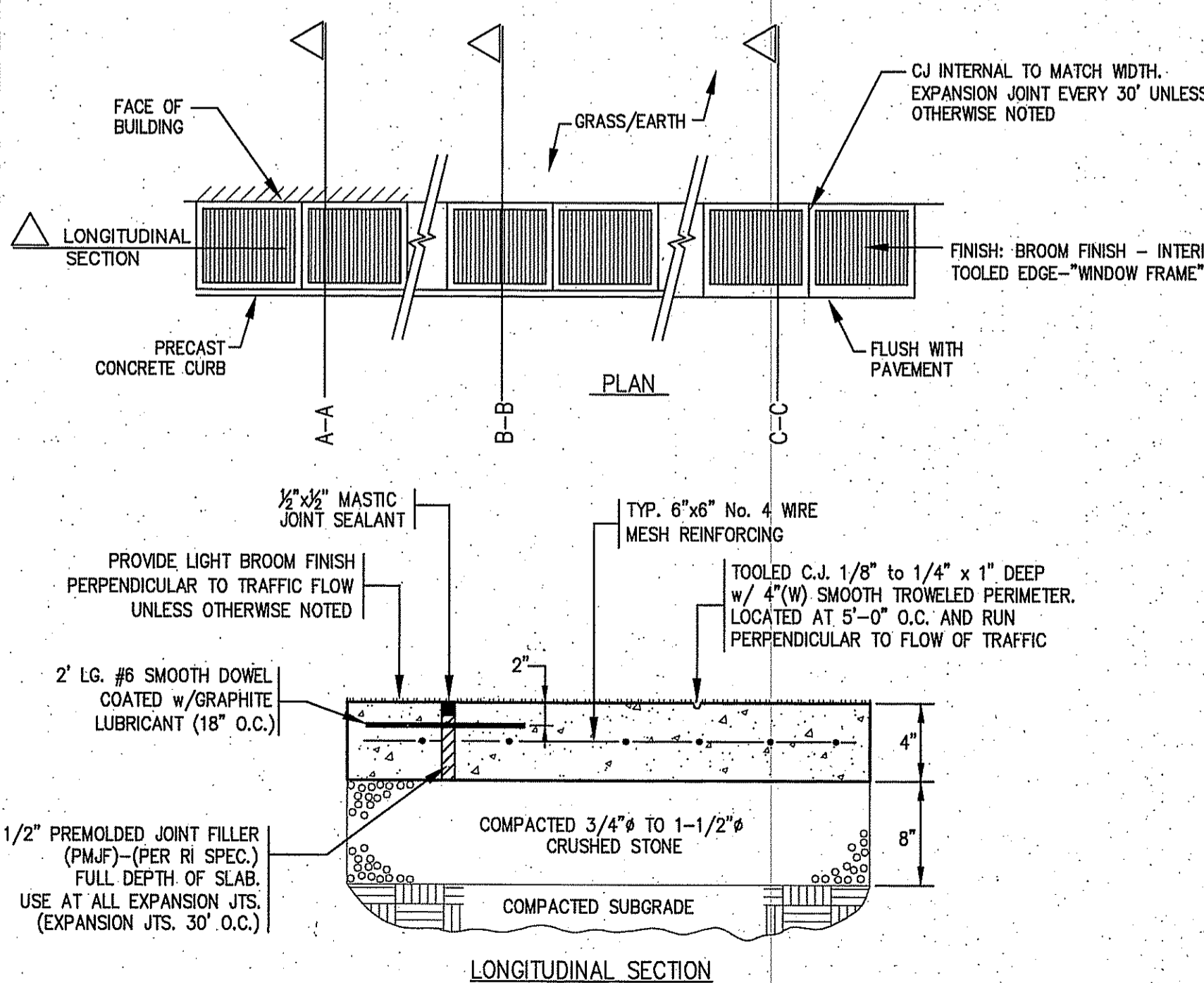
8  
C706 (R.I. STD 7.1.1) N.T.S.



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
  2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
  3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
  4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

**9 6'-0" PRECAST CONCRETE TRANSITION CURB**

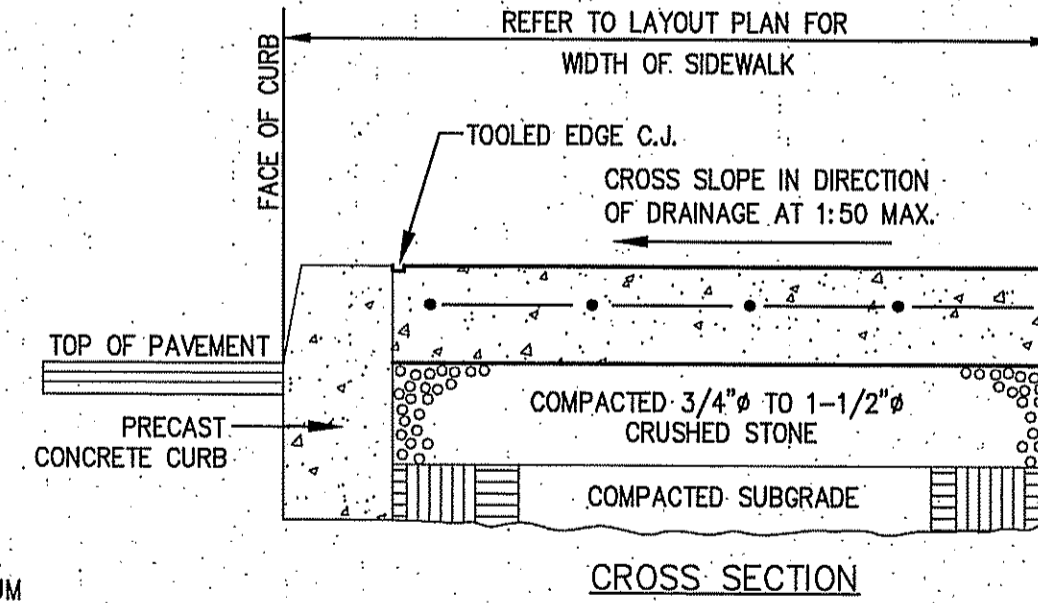
9  
C706 (R.I. STD 7.1.2) N.T.S.



- NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATION.
  2. CONCRETE SHALL BE 4,000 PSI (28 DAY) AIR-ENTRAINED, RIDOT CLASS "XX" CONCRETE.
  3. FOR CURB SETTING DETAIL SEE R.I. STD 7.8.0
  4. REFER TO STRUCTURAL DWG'S FOR CONDITIONS AT DOORS.

**A-A SECTION "A-A" CONCRETE WALKWAY**

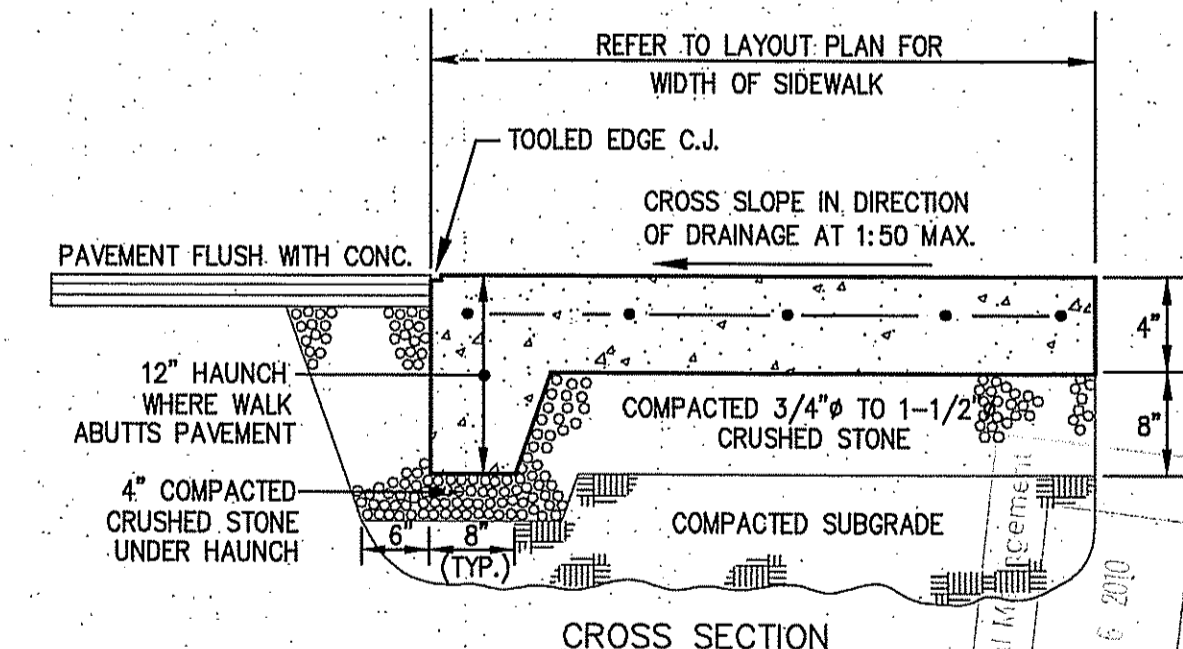
A-A  
N.T.S.



- NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATION.
  2. CONCRETE SHALL BE 4,000 PSI (28 DAY) AIR-ENTRAINED, RIDOT CLASS "XX" CONCRETE.
  3. FOR CURB SETTING DETAIL SEE R.I. STD 7.6.0

**B-B SECTION "B-B" CONCRETE WALKWAY**

B-B  
N.T.S.



- NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATION.
  2. CONCRETE SHALL BE 4,000 PSI (28 DAY) AIR-ENTRAINED, RIDOT CLASS "XX" CONCRETE.

**C-C SECTION "C-C" CONCRETE WALKWAY**

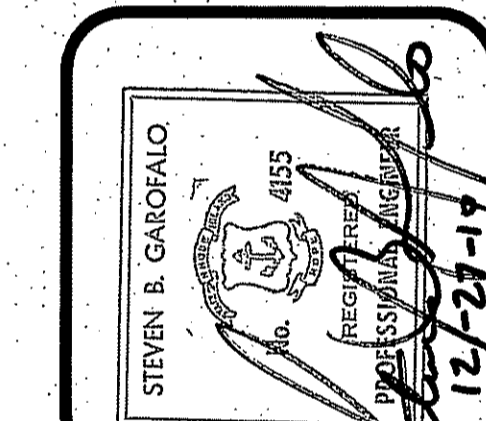
C-C  
N.T.S.

**10 CONCRETE SIDEWALK DETAIL**

10  
C706 N.T.S.

**SITE DETAILS - PLAN 6**  
FOR  
**STONEHILL MARKETPLACE**  
PHASE 3B, 3C, 3D  
SITUATED ON  
**STONEHILL DRIVE**  
**JOHNSTON, RHODE ISLAND**  
PREPARED FOR  
**STONEHILL DRIVE, LLC**

NO.	REVISION	BY	DATE



**GAROFALO**  
GAROFALO & ASSOCIATES, INC.  
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS  
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET  
P.O. BOX 6145  
PROVIDENCE, R.I. 02940  
TEL. 401-273-8000

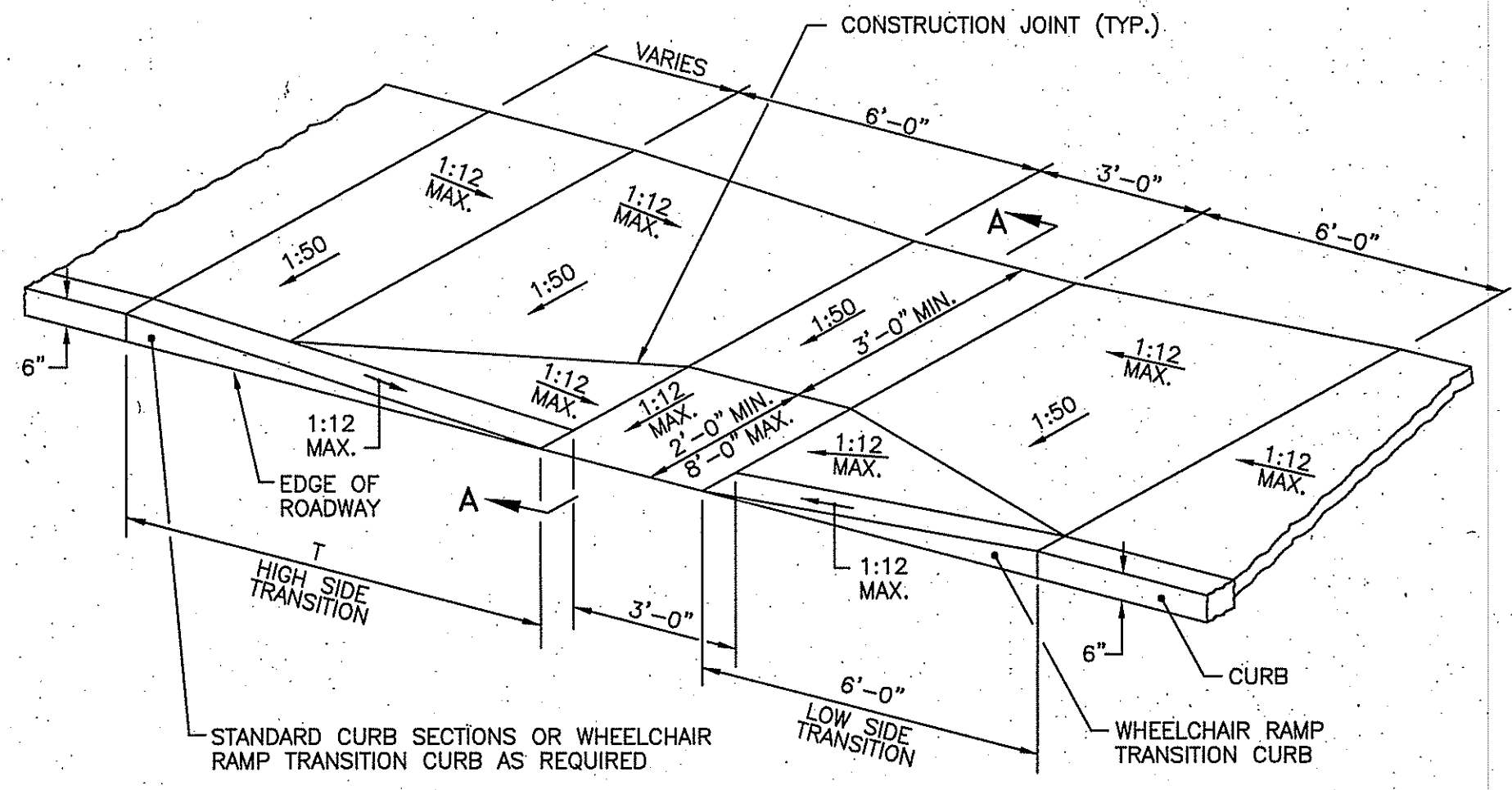
**JOB NO.** 5570-07  
**DWG. NO.** 5570-DETAILS-NOTES-36CD  
**SCALE:** AS SHOWN  
**DATE:** APRIL 5, 2010

**DRAWN BY** PJD  
**CHECKED** SBG  
**APPROVED** SBG

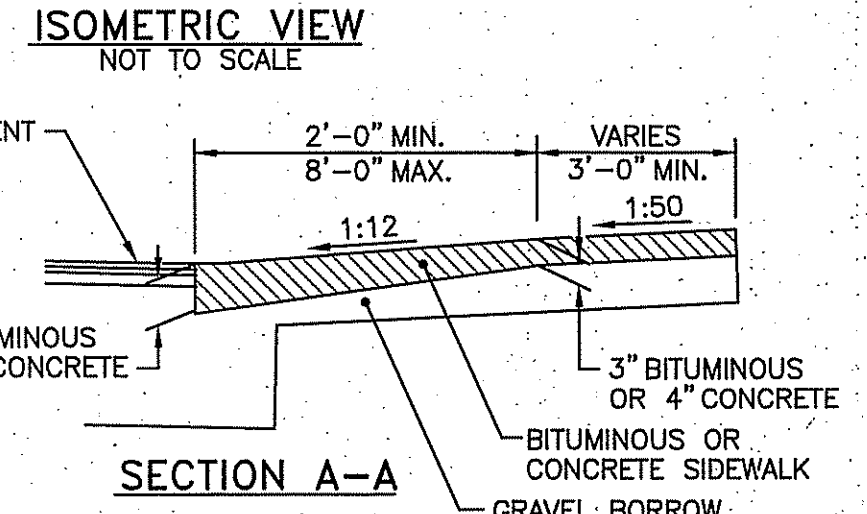
DEPARTMENT OF ENVIRONMENTAL AFFAIRS  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATE: JAN 27 2011  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE USED

**C706**

35 OF 38 SHEET

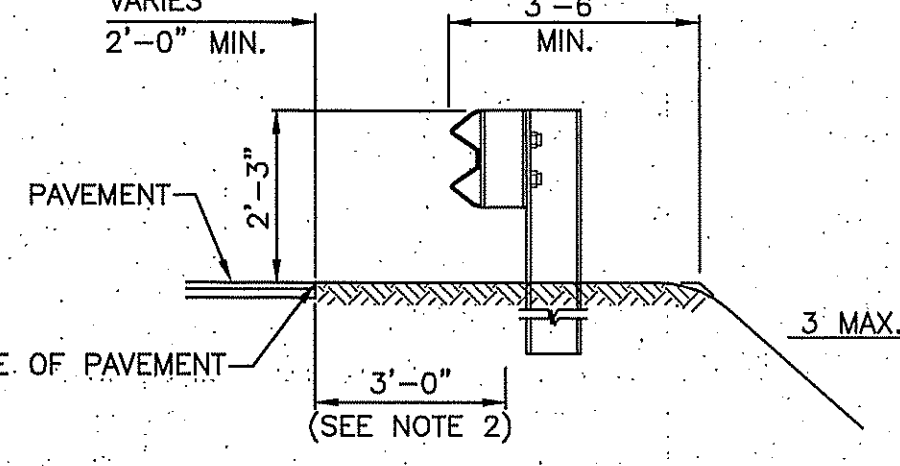
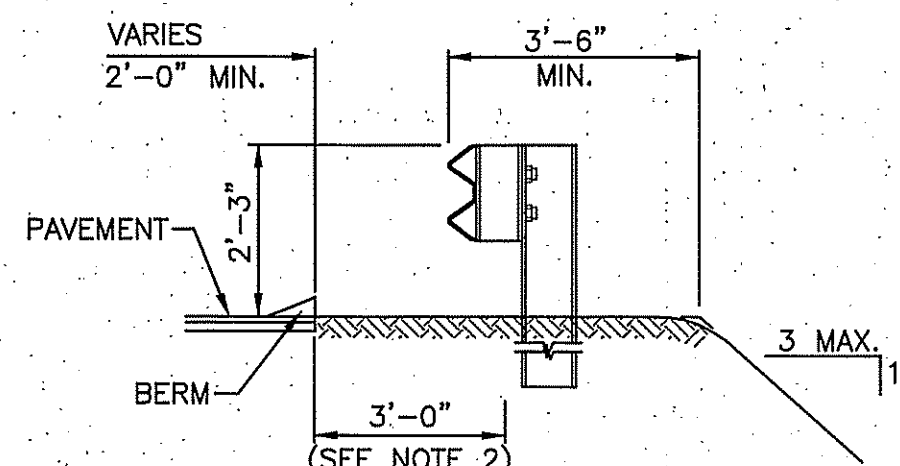
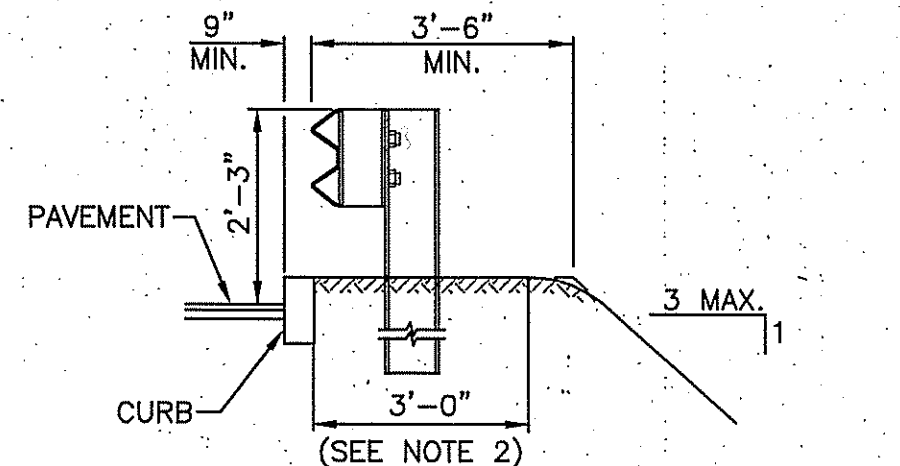


ROADWAY PROFILE GRADE	T (FT.)
0.00	6.0
0.01	7.0
0.02	8.0
0.03	9.5
0.04	11.5
0.05	15.0



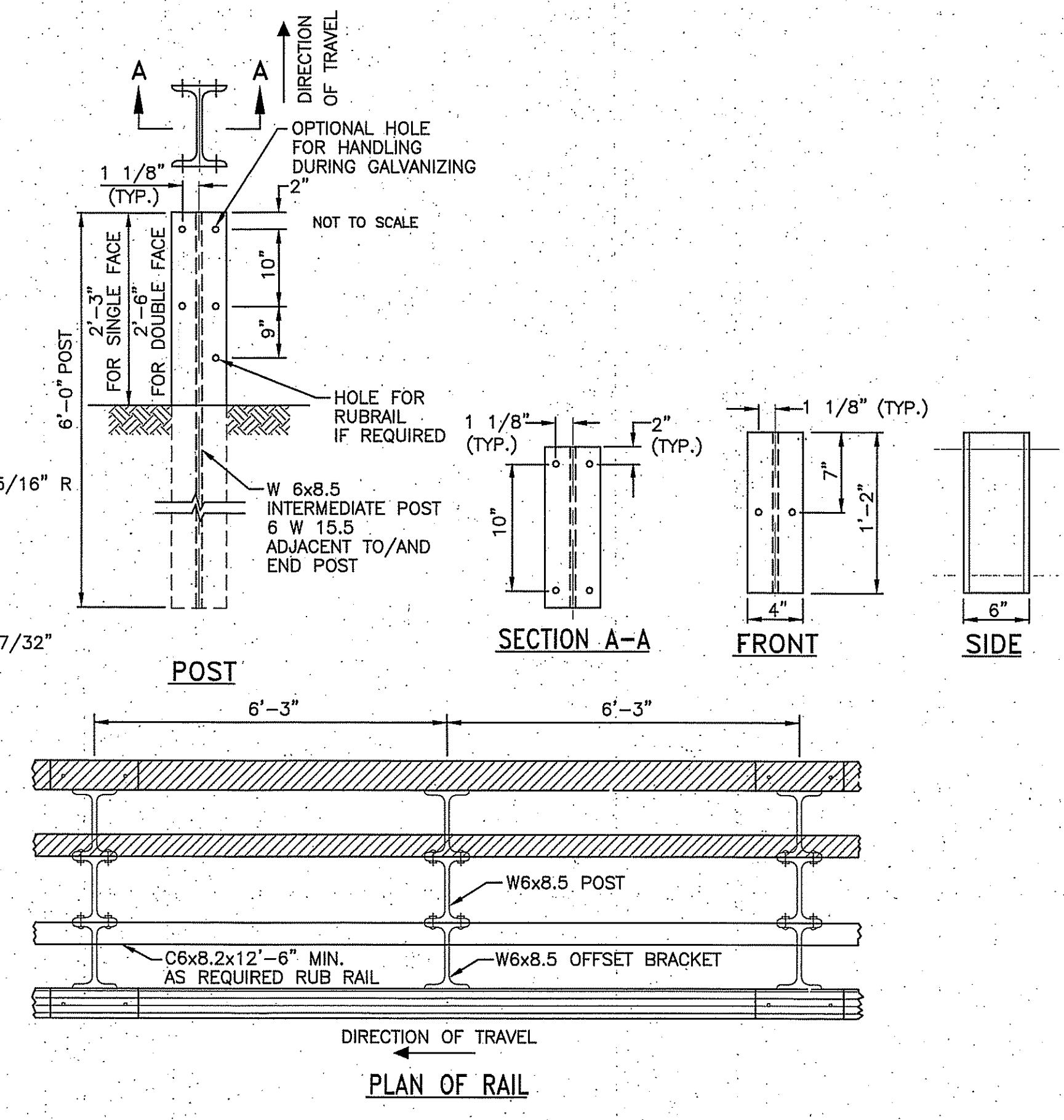
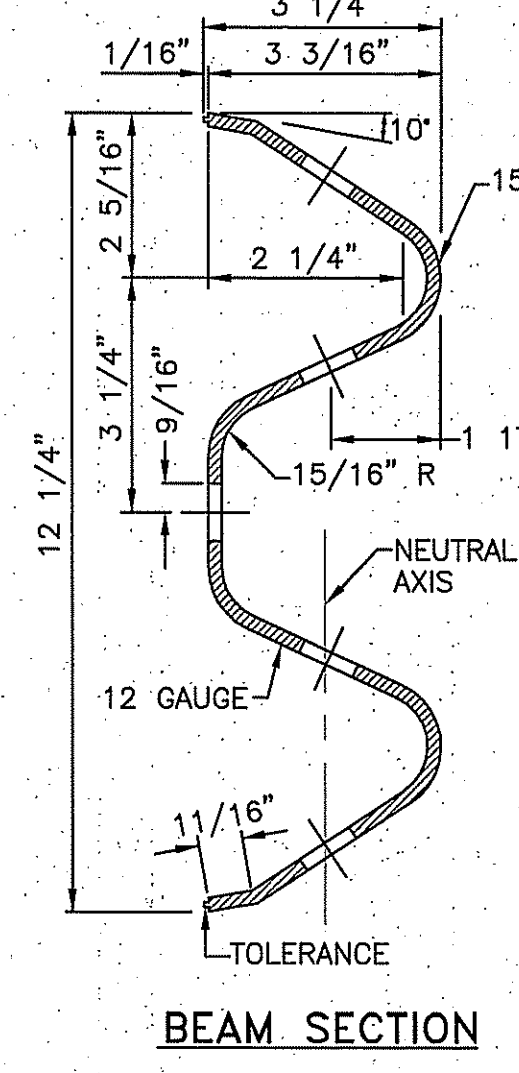
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
  2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
  3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
  4. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
  5. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
  6. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
  7. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3'-0" SHALL BE MAINTAINED.
  8. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT EXCEED 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
  9. WHERE THE ROAD PROFILE EXCEEDS 5% THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
  10. IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
  11. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
  12. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
  13. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
  14. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.

**1 WHEELCHAIR RAMP**  
(R.I. STD 43.3.0) N.T.S.



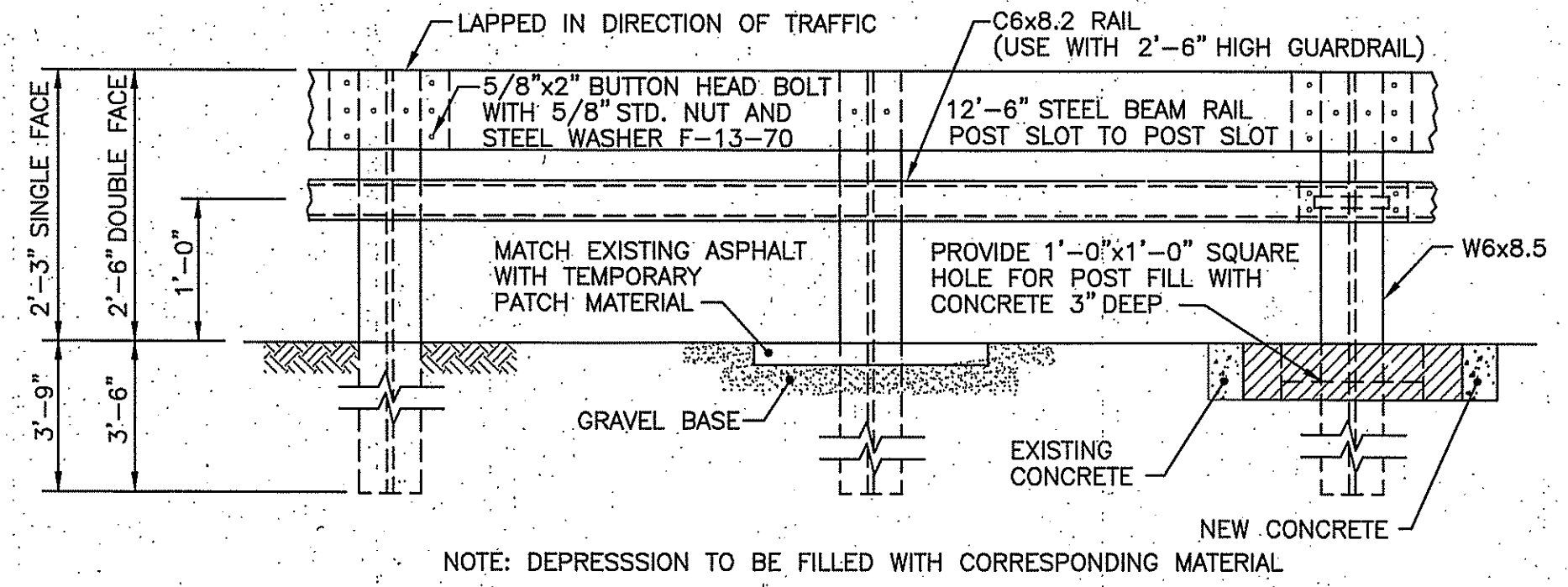
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 901 OF THE R.I. STANDARD SPECIFICATIONS.
  2. TREAT THIS AREA WITH HERBICIDE AFTER THE GUARD RAIL INSTALLATION AS REQUIRED.

**3 TYPICAL GUARDRAIL INSTALLATION**  
(R.I. STD 34.1.0) N.T.S.

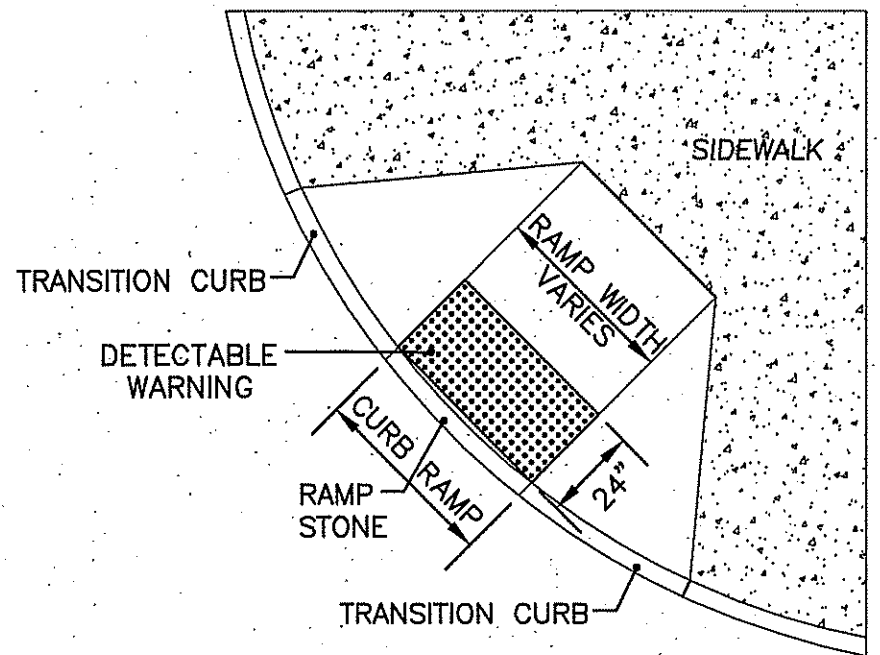


- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 901 OF THE R.I. STANDARD SPECIFICATIONS.
  1. POST AND OFFSET BRACKET TO BE FABRICATED FROM 6"x4" 8 1/2 LBS/FT. STEEL "H" SECTIONS.
  2. POST AND BRACKET BOLT HOLES TO BE OVAL UNLESS OTHERWISE SPECIFIED.
  4. ALL HOLES IN OFFSET BRACKETS SHALL BE 13/16".

**6 STEEL BEAM GUARDRAIL**  
(R.I. STD 34.2.0) N.T.S.

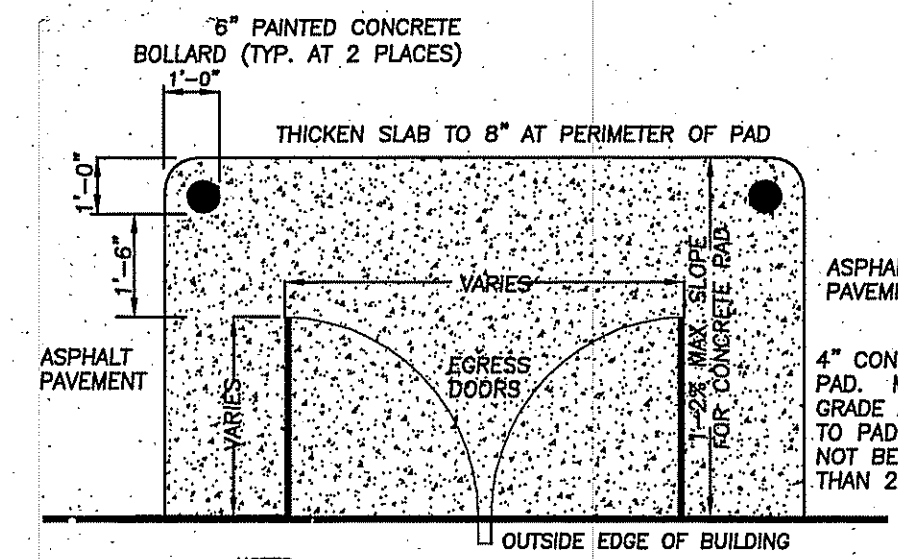


**ELEVATION OF RAIL**



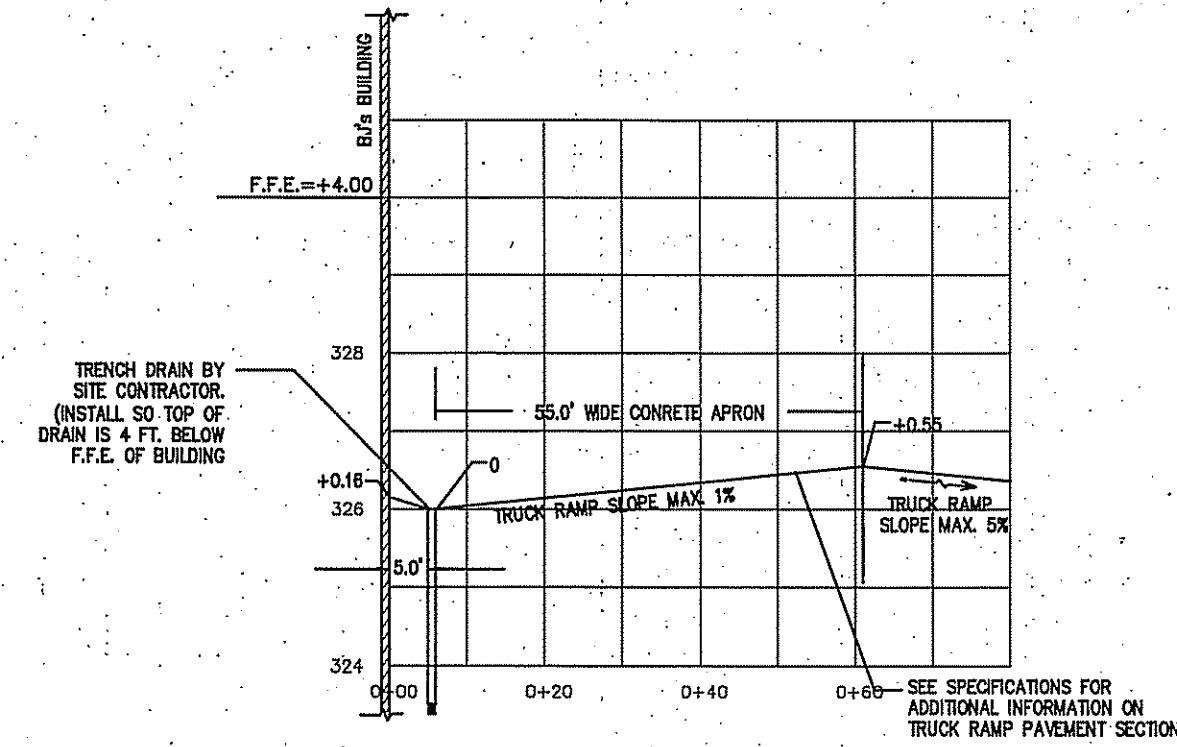
- NOTES:**
1. DETECTABLE WARNING SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 942 OF THE R.I. STANDARD SPECIFICATIONS.

**2 DETECTABLE WARNING SYSTEM**  
(R.I. STD 48.1.0) N.T.S.



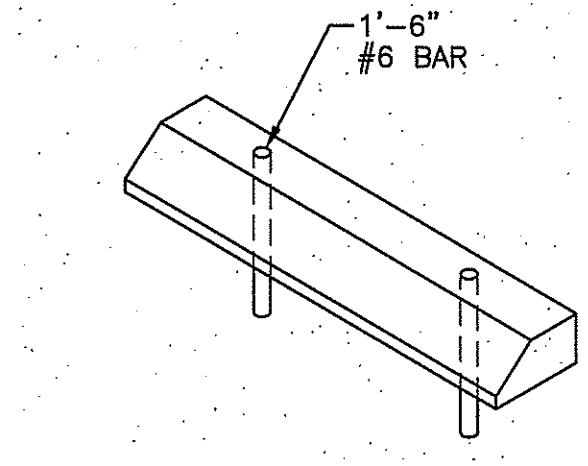
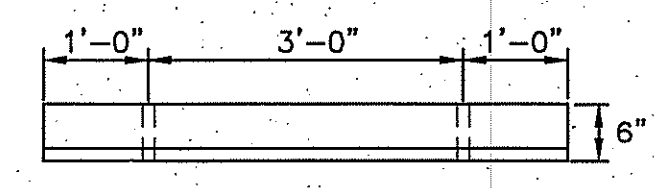
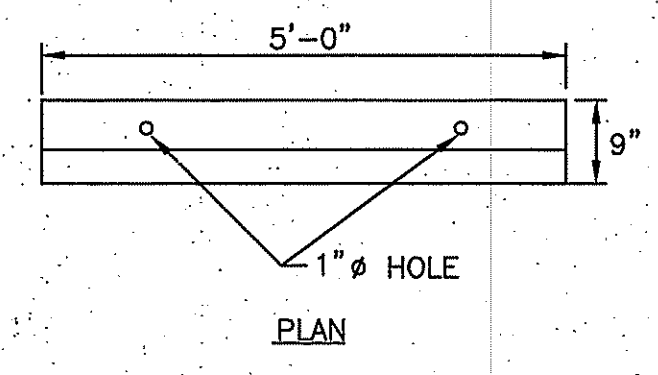
- NOTES:**
1. IT IS RESPONSIBILITY OF THE ENGINEER TO CONFIRM THE DIMENSIONS AND OTHER APPURTENANCES OF THE CONCRETE STOOP. THE FINAL DESIGN SHALL COMPLY WITH ALL APPLICABLE BUILDING AND FIRE CODES.

**4 CONCRETE STOOP DETAIL**  
(R.I. STD 43.3.0) N.T.S.



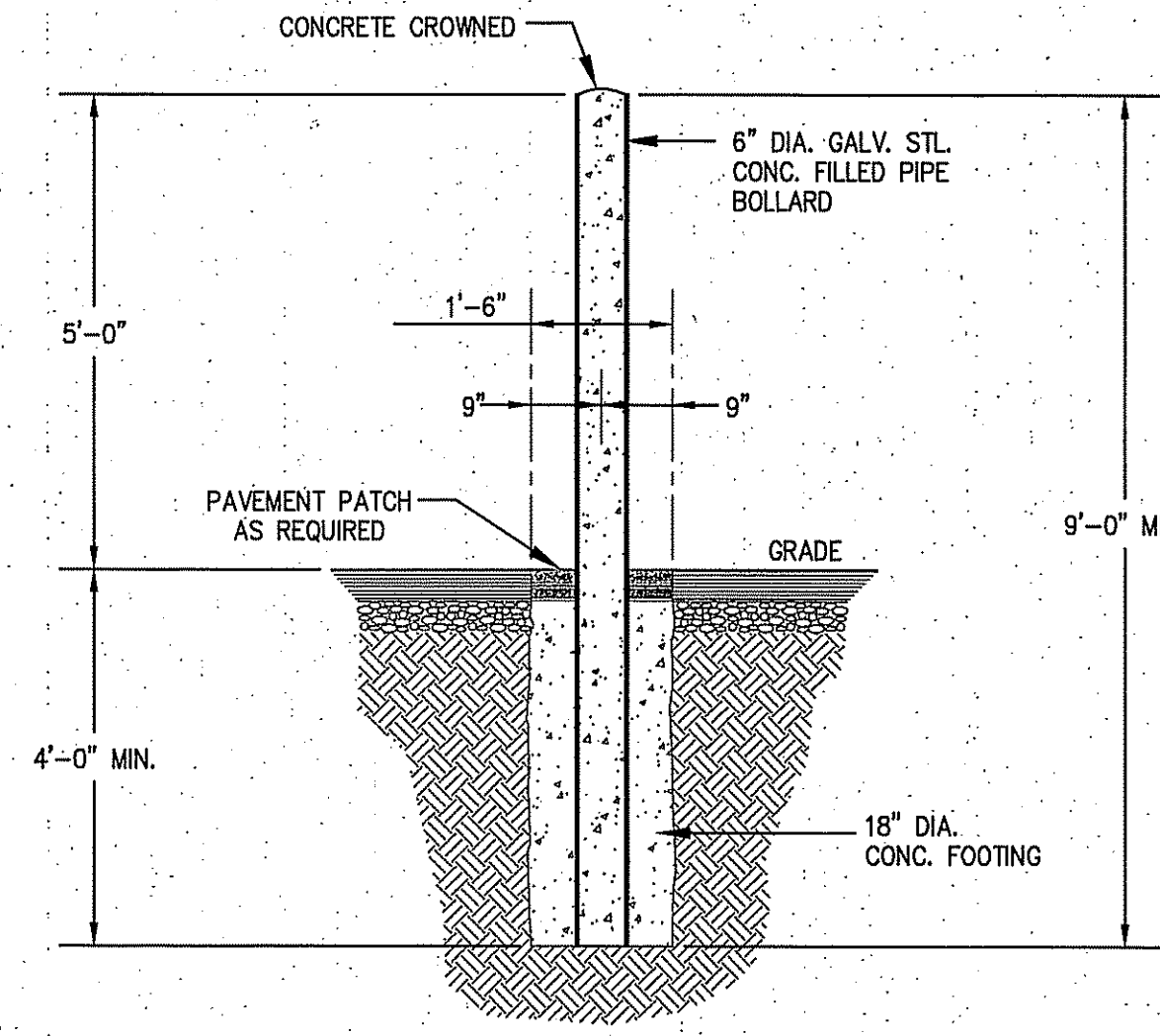
- NOTES:**
1. TRENCH DRAIN MUST BE CONNECTED TO THE SITE STORMWATER MANAGEMENT SYSTEM AND THE SUBSURFACE DRAINAGE SYSTEM. GREASE TRAP MAY BE REQUIRED BY LOCAL CODES. IF WELL DESIGN IS NOT ACCEPTABLE.
  2. THE MOST DESIRABLE GRADING CONFIGURATION IS TO GRADE AWAY FROM THE BUILDING AT 0.5% TO 1.0% SLOPE, AVOIDING THE USE OF A "WELL" ALTOGETHER. TRUCK WELLS ARE THE LEAST DESIRABLE DESIGN AND SHOULD ONLY BE CONSIDERED WHERE SEVERE SITE GRADING PROBLEMS MITIGATE ITS USE.
  3. NOTE: SEE ARCHITECTURAL/STRUCTURAL PLANS FOR CONSTRUCTION DETAILS OF COMPACTOR AND DOLLY

**5 TRUCK RAMP DETAIL**  
(R.I. STD 34.2.0) N.T.S.

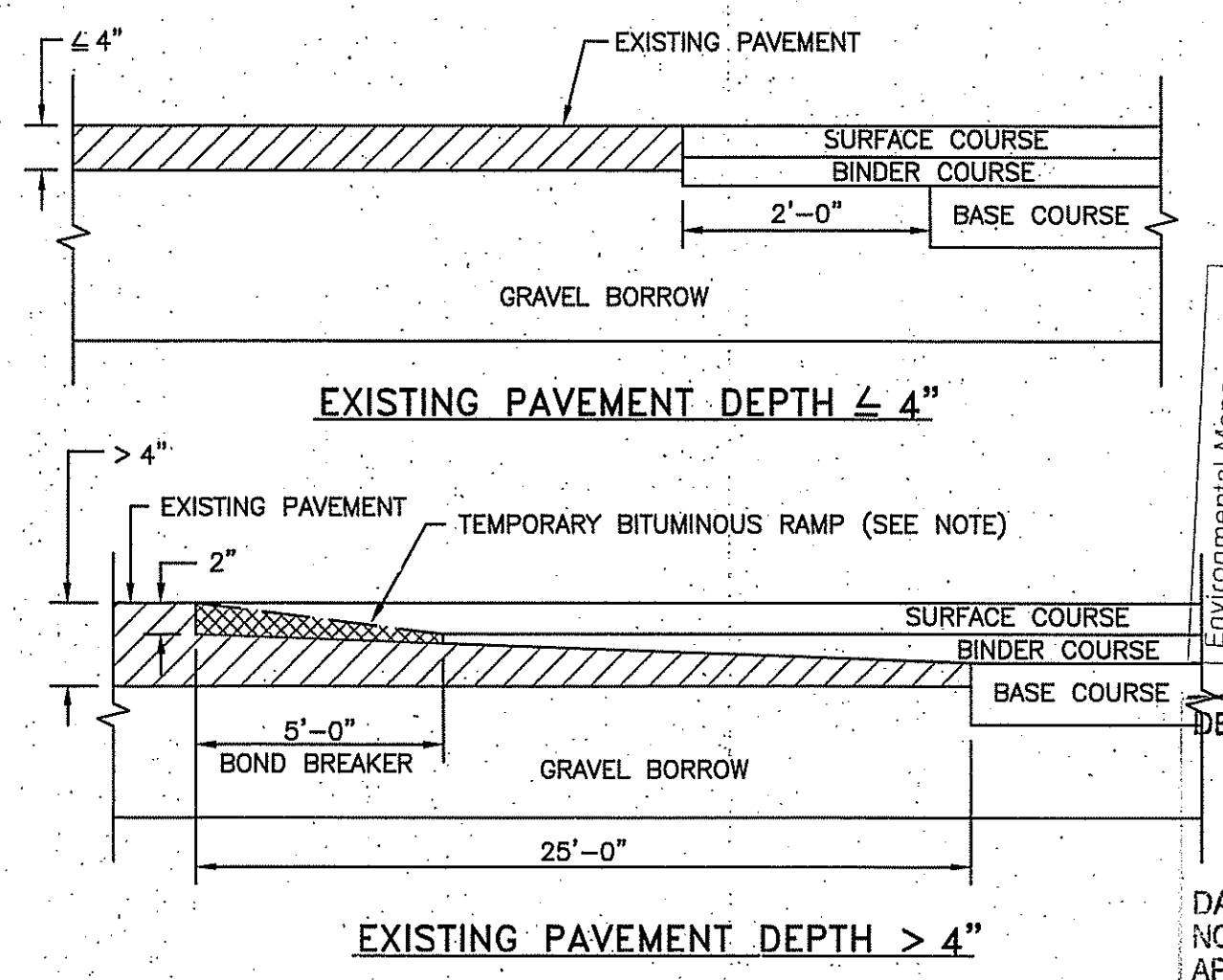


- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
  2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
  3. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.

**7 PRECAST CONCRETE CAR STOPS**  
(R.I. STD 7.2.4) N.T.S.



**8 TYPICAL NGRID BOLLARD DETAIL**  
(R.I. STD 34.1.0) N.T.S.

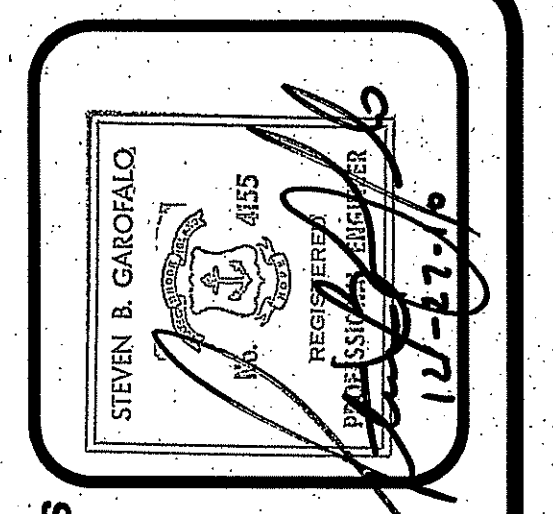


- NOTES:**
1. BOND BREAKER (TAPERED OR EQUIVALENT) WILL BE PLACED FROM THE JOINT AND COVERED WITH THE BINDER COURSE AS THE TEMPORARY RAMP. PRIOR TO PLACING THE SURFACE COURSE, THE BINDER COURSE AND BOND BREAKER WILL BE REMOVED.

**9 TRANSVERSE PAVEMENT CUT AND MATCH**  
(R.I. STD 47.1.1) N.T.S.

**SITE DETAILS - PLAN 7**  
FOR  
**STONEHILL MARKETPLACE**  
PHASE 3B, 3C, 3D  
SITUATED ON  
**STONEHILL DRIVE**  
**JOHNSTON, RHODE ISLAND**  
PREPARED FOR  
**STONEHILL DRIVE, LLC**

NO.	REVISION	BY	DATE



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85 CORLISS STREET  
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TEL. 401-273-6000

**JOB NO.** 0570-01  
**DATE:** APRIL 5, 2010

**DRAWN BY:** PJD  
**CHECKED:** SBG  
**APPROVED:** SBG

**DEPARTMENT OF ENVIRONMENTAL MANAGEMENT**  
OFFICE OF WATER RESOURCES  
FRESHWATER WATER QUALITY DIVISION, 3800  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
FILE AS SHOWN  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE USED AS SHOWN AND OTHER FIELD CONDITIONS USE AT YOUR OWN RISK AND WITHOUT CONSULTATION WITH THE OWNER OR ONE OF ITS DIRECTORS

**C707**



