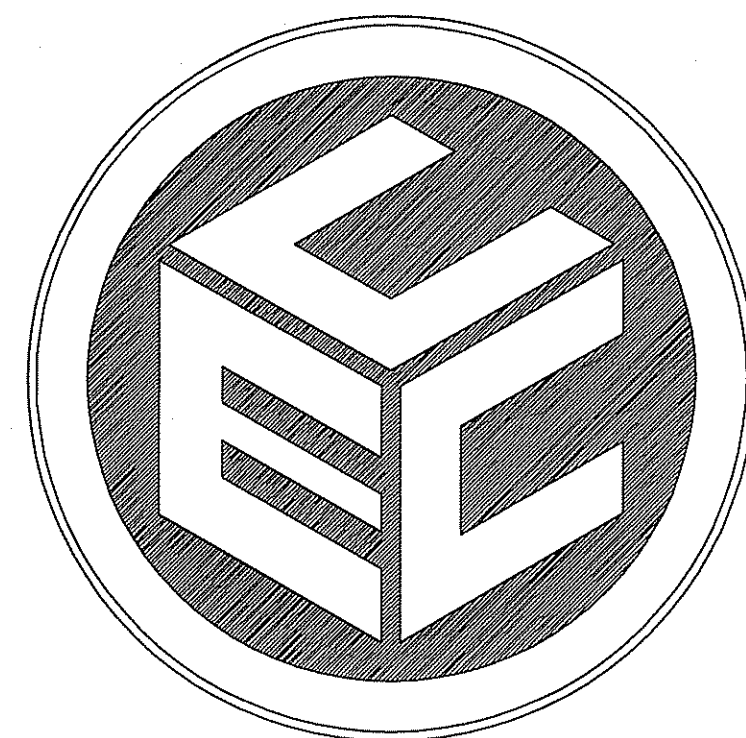


COMPREHENSIVE PERMIT
 MASTER/PRELIMINARY SUBMISSION
 FOR
 RODMAN COMMONS
 A.P. 40-3 LOT 13
 20 UNIT BUILDING ADDITION
 AT
 80 SAMUEL RODMAN STREET
 IN
 SOUTH KINGSTOWN, RHODE ISLAND

APPLICANT:
 RODMAN COMMONS, INC.
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

OWNER:
 LACASA DEVELOPMENT CORPORATION
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

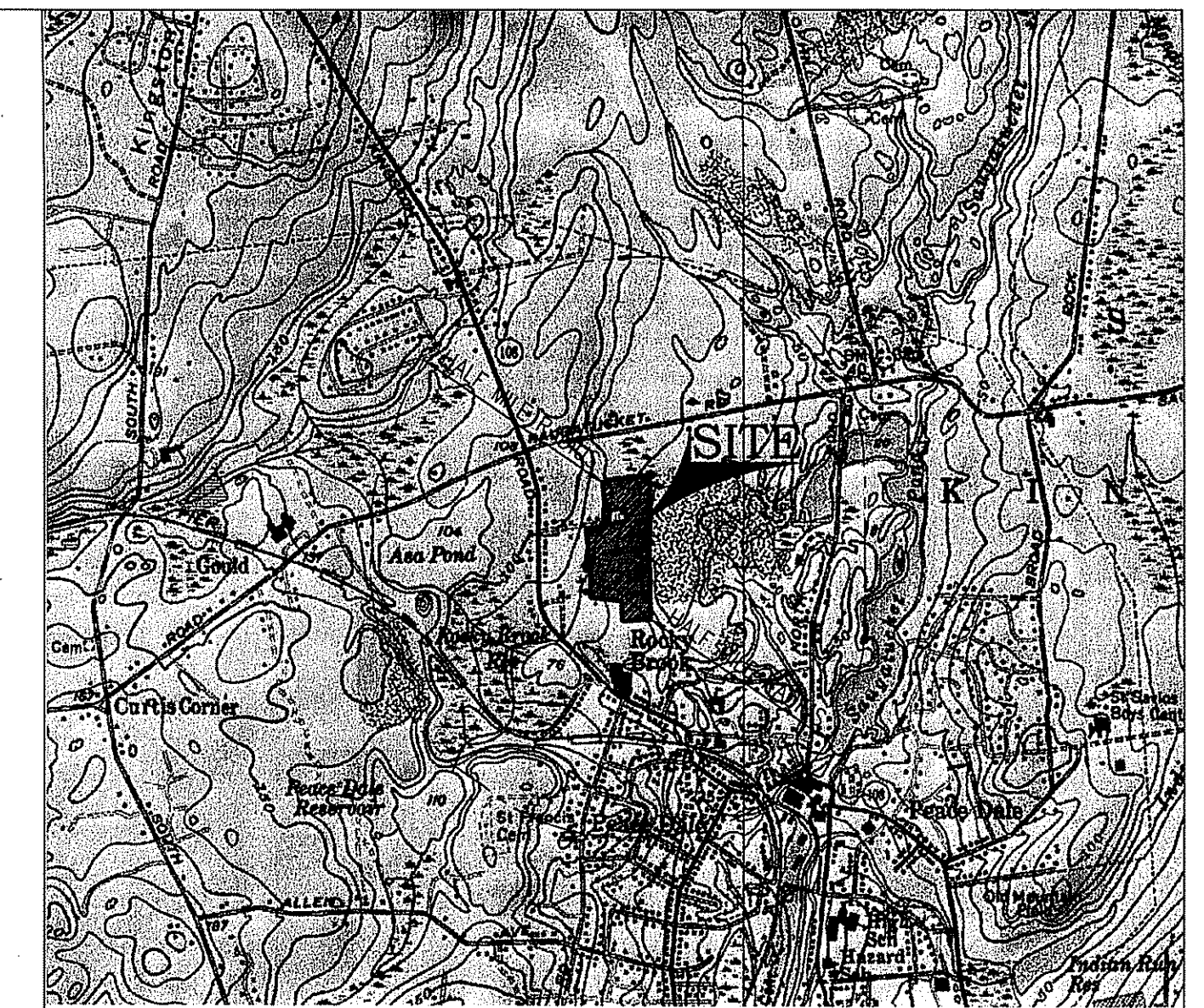
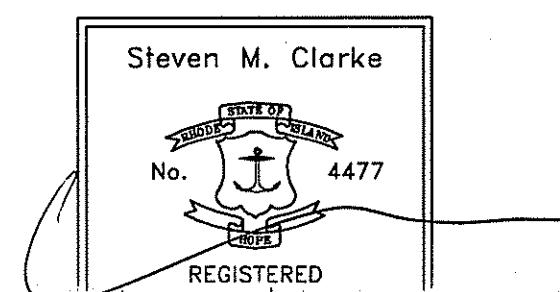
Kindly be advised that this
 Permit is not equivalent to a
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 of freshwater wetlands on site.



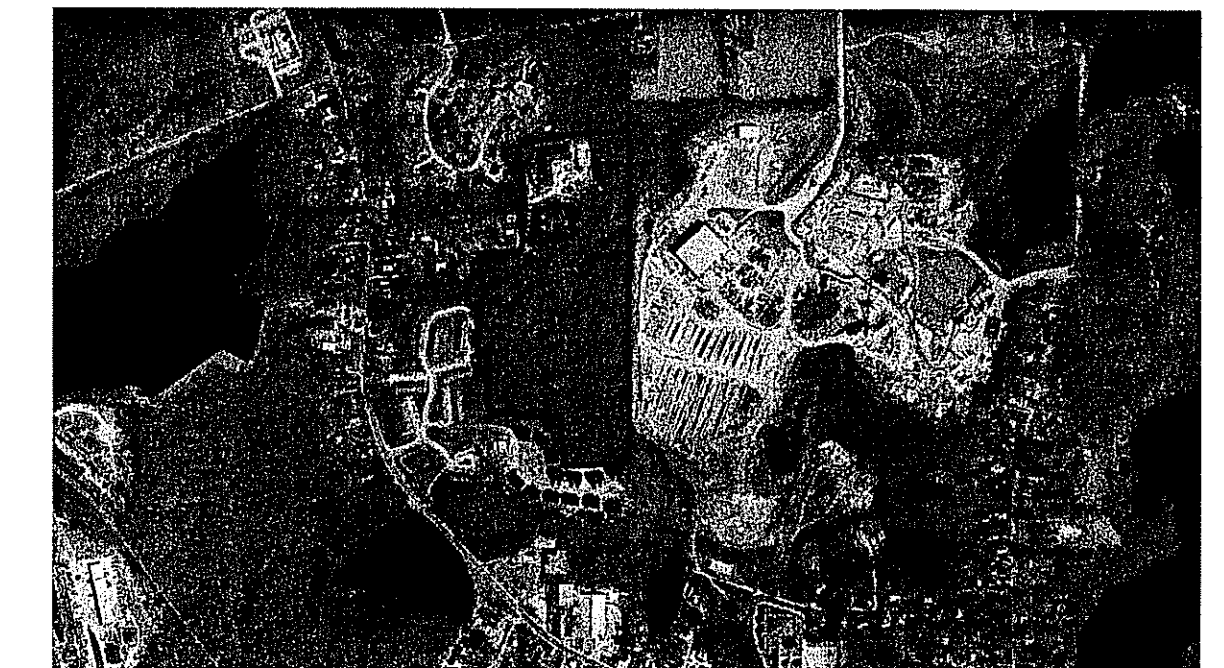
COMMONWEALTH
 ENGINEERS & CONSULTANTS, INC.

400 SMITH STREET
 PROVIDENCE, RI 02908

OCTOBER 15, 2010



USGS LOCUS MAP
 SCALE: 1"=2,000'



AERIAL OVERLAY
 SCALE: 1"=1,000'

LIST OF DRAWINGS

1. TITLE
2. 200' RADIUS/ABUTTERS PLAN
3. EXISTING CONDITIONS & SOILS PLAN
4. SITE DEMOLITION PLAN
5. SITE IMPROVEMENT PLAN
6. LANDSCAPE PLAN
7. CONSTRUCTION DETAILS
8. CONSTRUCTION DETAILS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED DEC - 6 2010 FILE # 02-0223
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PLAT: 40-3 LOT: 13 (23.79 ACRES)
 DEED REFERENCE: BOOK 1155 PAGE 0059
 ZONING CLASSIFICATION: R-20
 YARD DIMENSIONS:

	REQUIRED	EXISTING	PROPOSED
FRONT:	35 FT	109.4 FT	109.4 FT
SIDE:	15 FT	103.2 FT	103.2 FT
REAR:	35 FT	52.5 FT	52.5 FT

EXISTING USE:
 50 AFFORDABLE ELDERLY HOUSING UNITS

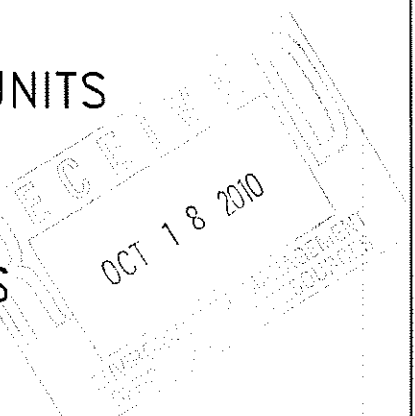
PROPOSED USE:
 20 UNIT BUILDING ADDITION -
 AFFORDABLE ELDERLY HOUSING UNITS

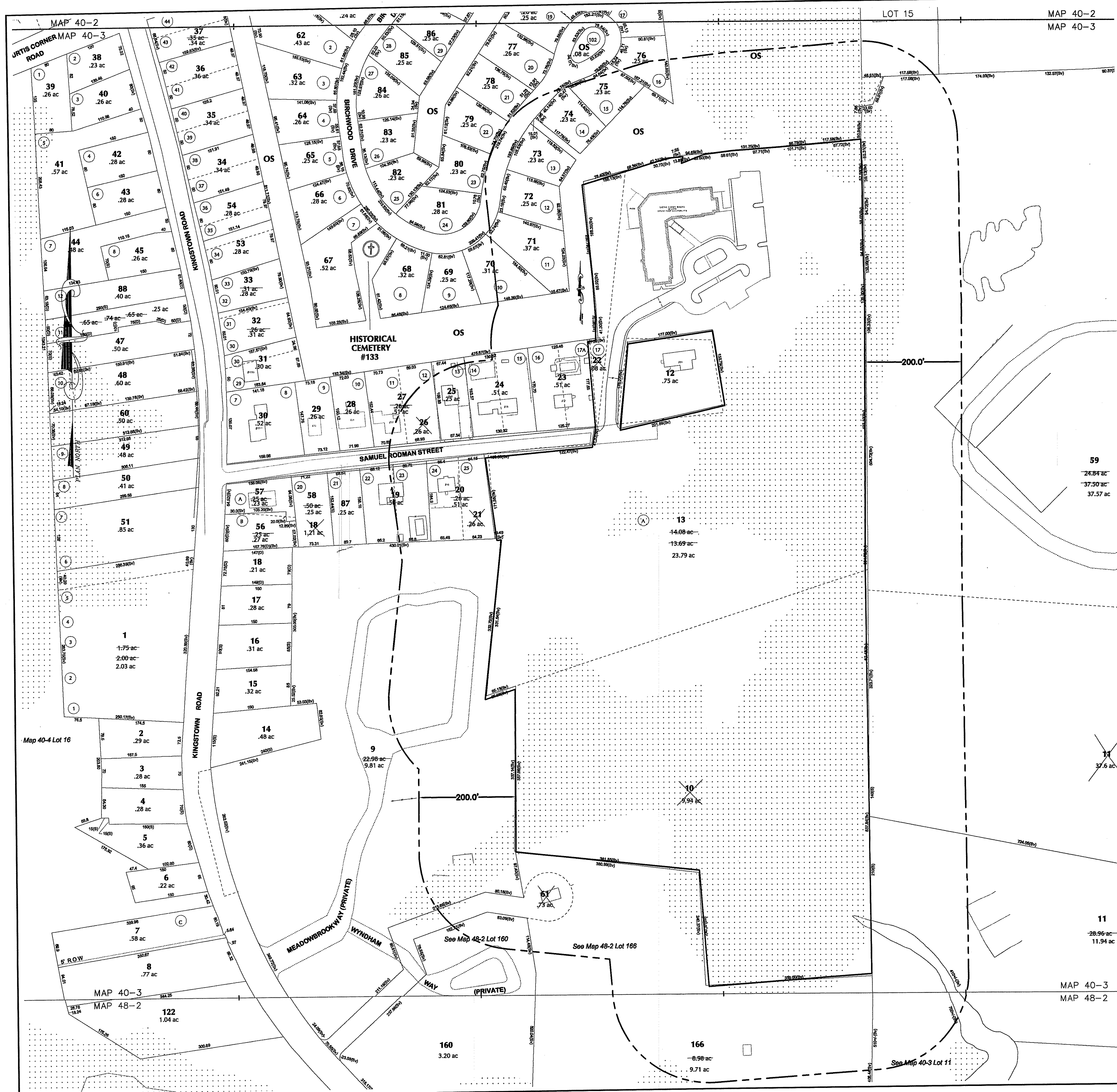
PARKING:
 EXISTING: 50 SPACES INCLUDING 6 HANDICAP SPACES
 PROPOSED: 20 ADDITIONAL SPACES (1 SPACE PER UNIT)
 PROPOSED: TOTAL 70 PARKING SPACES TO BE PROVIDED

RELIEF REQUESTED FROM ZONING ORDINANCE:

SECTION 101 - DENSITY
 SECTION 301 - USE CODE 12.3
 SECTION 401 - MAXIMUM STRUCTURE HEIGHT
 SECTION 708 - MINIMUM WIDTH ACCESS DRIVE

PROJECT NO. 02023.01

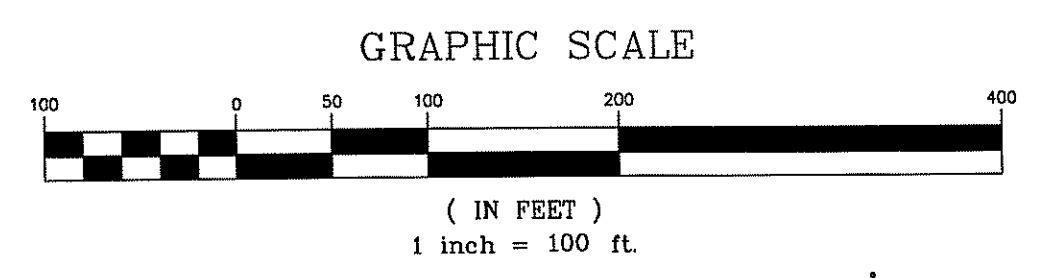




RODMAN COMMONS 200 FOOT RADIUS ABUTTERS - OCT. 8, 2010

MAP	LOT	LOCATION	ABUTTER
40-2	15	1114 SAUGATUCKET ROAD	FAELLA, CHARLES A. ETUX
40-3	9	20 MEADOWBROOK WAY	MEADOWBROOK APARTMENTS LP
40-3	11	NORTH ROAD	SOUTH COUNTY SAND & GRAVEL
40-3	12	84 SAMUEL RODMAN ST	JENKINS, DENISE T A/K/A
40-3	13	80 SAMUEL RODMAN ST	LACASA DEVELOPMENT CORPORATION
40-3	19	31 SAMUEL RODMAN ST	CORRAO, SCOTT W & CANDICE L
40-3	20	45 SAMUEL RODMAN ST	KRAUSKAS, KATHLEEN A
40-3	23	72 SAMUEL RODMAN ST	ROUNSEVILLE, CHESTER H JR
40-3	24	58 SAMUEL RODMAN ST	ANGRISANI, CARMINE J
40-3	25	48 SAMUEL RODMAN ST	GOODELL, JOHN D & LINDA
40-3	27	32 SAMUEL RODMAN ST	ANGRISANI, EVA M
40-3	59	170 FIORE INDUSTRIAL DR	SOUTH COUNTY SAND & GRAVEL
40-3	70	83 BIRCHWOOD DR	NOEL-HIRST, LINDA J
40-3	71	87 BIRCHWOOD DR	BIDEAUX, ALFRED R & AUDREY L
40-3	72	93 BIRCHWOOD DR	COVIGER, TODD E & MARY E
40-3	73	103 BIRCHWOOD DR	PICKART, STANLEY J ETUX
40-3	74	115 BIRCHWOOD DR	BRUNO, LOUIS A ETUX PATRICIA A
40-3	75	125 BIRCHWOOD DR	MANCINI, MARIE C REVOCABLE TRUST &
40-3	76	131 BIRCHWOOD DR	KENNEY, JAMES T
40-3	77	120 BIRCHWOOD DR	FARLESS, JEFFREY K ET UX
40-3	78	110 BIRCHWOOD DR	OLIVER, MICHAEL R & LEIGH A
40-3	79	104 BIRCHWOOD DR	PEASLEY, KURT W & TRACY A
40-3	80	96 BIRCHWOOD DR	VILLANIS, KERRY & JOHN
48-2	160	25 WYNDHAM WAY	WYNDHAM ASSOCIATES LP
48-2	166-1	2 SUSAN CIRCLE	KELLER, MICHAEL & KIM
48-2	166-10	20 SUSAN CIRCLE	BERTRAND, CHAD
48-2	166-11	22 SUSAN CIRCLE	DUNCAN, STEVEN R
48-2	166-12	24 SUSAN CIRCLE	ARSENIAN, ANDREW & STUART,
48-2	166-13	82 ROCKY BROOK WAY	YABROUDY, DOROTHY M
48-2	166-14	84 ROCKY BROOK WAY	JOHNSON, PEDER L
48-2	166-15	86 ROCKY BROOK WAY	MACUELE, LYNN
48-2	166-16	88 ROCKY BROOK WAY	MARTEN, RANDI J
48-2	166-17	92 ROCKY BROOK WAY	MURTHY, NARAYAN S
48-2	166-18	94 ROCKY BROOK WAY	IMPAGLIAZZO, JOHN J
48-2	166-19	96 ROCKY BROOK WAY	CIPRESSI, LINDA
48-2	166-2	4 SUSAN CIRCLE	GENTILE, JOHN J JR ETALS
48-2	166-20	98 ROCKY BROOK WAY	SHANAHAN, KENNETH W
48-2	166-21	100 ROCKY BROOK WAY	MIDWOOD, LOIS P LIVING TRUST
48-2	166-22	106 ROCKY BROOK WAY	GRAHAM, CHRISTINE
48-2	166-23	108 ROCKY BROOK WAY	GEE, DAVID C
48-2	166-24	110 ROCKY BROOK WAY	TRAVERS, HEIDI E
48-2	166-25	114 ROCKY BROOK WAY	GRUCZKA, TOMAS W & MARCILLE,
48-2	166-26	116 ROCKY BROOK WAY	OLIVER, THOMAS S JR
48-2	166-27	118 ROCKY BROOK WAY	DOLAN, THOMAS & MARONEY,
48-2	166-28	120 ROCKY BROOK WAY	MARRAPESSE, MICHAEL D &
48-2	166-29	119 ROCKY BROOK WAY	XU, YAN
48-2	166-3	6 SUSAN CIRCLE	CHARLAND, MATTHEW W
48-2	166-30	117 ROCKY BROOK WAY	KAYE, ALDA L
48-2	166-31	115 ROCKY BROOK WAY	HALL, DIANE PALLANTE
48-2	166-32	113 ROCKY BROOK WAY	LEBLANC, THOMAS R & JANE T
48-2	166-33	109 ROCKY BROOK WAY	LUND, STEIN K & KRISTY
48-2	166-34	107 ROCKY BROOK WAY	SULLIVAN, STEPHEN F & MARCIA G
48-2	166-35	105 ROCKY BROOK WAY	WADBROOK, KYLE P
48-2	166-36	103 ROCKY BROOK WAY	PACKER, THOMAS M & JOANNE C
48-2	166-37	97 ROCKY BROOK WAY	BOOTHMAN, TERRY R
48-2	166-38	95 ROCKY BROOK WAY	WORONICK, KATIE N/K/A
48-2	166-39	93 ROCKY BROOK WAY	PARK, NANSOOK
48-2	166-4	8 SUSAN CIRCLE	STEBENNE, NICHOLAS R
48-2	166-40	91 ROCKY BROOK WAY	HOUHAN, PAIGE E
48-2	166-41	87 ROCKY BROOK WAY	YAPPOLO, ROBERT A & MARIA
48-2	166-42	85 ROCKY BROOK WAY	PATNAUDE, JOHN R
48-2	166-43	83 ROCKY BROOK WAY	GROVES, KELLY ANN
48-2	166-44	81 ROCKY BROOK WAY	BANAS, KIMBERLY
48-2	166-45	79 ROCKY BROOK WAY	MCCORMICK, VALERIE A
48-2	166-46	77 ROCKY BROOK WAY	ZOGLO, ANTHONY J II &
48-2	166-47	75 ROCKY BROOK WAY	MAY, KAREN A & ROBERT J
48-2	166-48	73 ROCKY BROOK WAY	CHURAS, KARA L
48-2	166-49	71 ROCKY BROOK WAY	CONCA, ELAINE M
48-2	166-5	10 SUSAN CIRCLE	DELAPORTE, JACQUES H
48-2	166-50	69 ROCKY BROOK WAY	KOCH, MARGARET E
48-2	166-51	67 ROCKY BROOK WAY	BROWN, SARA ELIZABETH
48-2	166-52	65 ROCKY BROOK WAY	POPE, DAVID C
48-2	166-53	63 ROCKY BROOK WAY	SANTILLI, PETER A
48-2	166-54	61 ROCKY BROOK WAY	GRAY, DEREK F
48-2	166-55	59 ROCKY BROOK WAY	MAYS, ANN C
48-2	166-56	57 ROCKY BROOK WAY	MONROE, TAMMY R
48-2	166-57	55 ROCKY BROOK WAY	SWANICK, DAVID J JR
48-2	166-58	53 ROCKY BROOK WAY	GUARIELLO, KEVIN
48-2	166-59	51 ROCKY BROOK WAY	SCHULER, LOIS
48-2	166-6	12 SUSAN CIRCLE	MURRAY, CATHERINE D
48-2	166-60	49 ROCKY BROOK WAY	CHURAS, JOHN F ETUX KIM M
48-2	166-61	123 ROCKY BROOK WAY	MEADOWBROOK COMMONS
48-2	166-7	14 SUSAN CIRCLE	ROBITAILLE, IOLA G & CARL S
48-2	166-8	16 SUSAN CIRCLE	AGIN, LEE A
48-2	166-9	18 SUSAN CIRCLE	KNIGHT, MARGARET E

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATE: DEC - 6 2010 FILE # 10-0204
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

200' RADIUS/ABUTTERS PLAN

Steven M. Clarke
No. 4477
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS			
No.	DATE	DRWN	CHKD

COMPREHENSIVE PERMIT
MASTER/PRELIMINARY SUBMISSION
FOR
RODMAN COMMONS
A.P. 40-3 LOT 13
20 UNIT BUILDING ADDITION
AT
80 SAMUEL RODMAN STREET
IN
SOUTH KINGSTOWN, RHODE ISLAND

SCALE: 1"=100'	SHEET NO: 2 of 8
DRAWN BY: JP	DESIGN BY: N/A
DATE: 10/15/10	CHECKED BY: JAR
PROJECT NO.: 02023.01	

APPLICANT:
RODMAN COMMONS, INC.
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

OWNER:
LACASA DEVELOPMENT CORPORATION
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

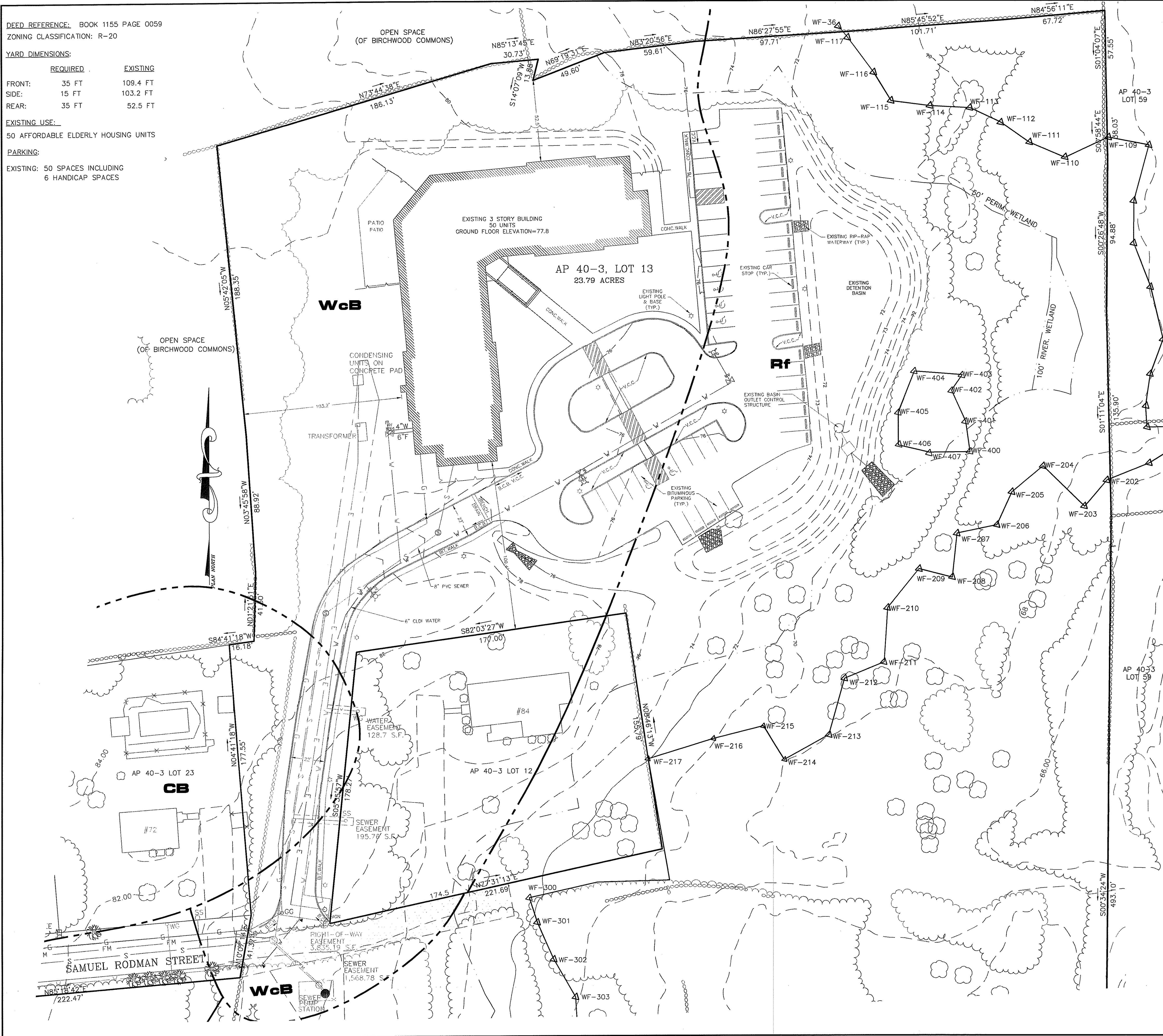
DEED REFERENCE: BOOK 1155 PAGE 0059
 ZONING CLASSIFICATION: R-20

YARD DIMENSIONS:

	REQUIRED	EXISTING
FRONT:	35 FT	109.4 FT
SIDE:	15 FT	103.2 FT
REAR:	35 FT	52.5 FT

EXISTING USE:
 50 AFFORDABLE ELDERLY HOUSING UNITS

PARKING:
 EXISTING: 50 SPACES INCLUDING
 6 HANDICAP SPACES



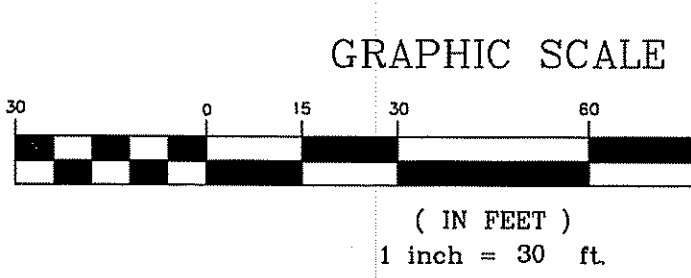
- REFERENCES:**
- AS-BUILT PLAN No. 1 & No. 2 OF LACASA APARTMENTS AT RODMAN COMMONS PREPARED BY COMMONWEALTH LAND SURVEYORS, INC. DATED: DECEMBER 6, 2006 REVISED JANUARY 25, 2007
 - FINAL PLAN OF LACASA APARTMENTS AT RODMAN COMMONS PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS DATED SEPTEMBER 20, 2004
 - ORIGINAL RIDEM WETLAND VERIFICATION DATED 3/12/03 NO. 03-0019; ORIGINAL INSIGNIFICANT ALTERATION PERMIT NO. 04-0274 DATED 7/27/04.
 - TOWN OF SOUTH KINGSTOWN ZBR DECISION, DATED MAY 19, 2004, RECORDED ON JUNE 3, 2004, BOOK 1137, PAGES 29-42.
 - EASEMENT AGREEMENT AND RESTRICTIVE COVENANTS ON PRIVATE UTILITY USE OF PRIVATE RIGHT-OF-WAY FOR SOUTH KINGSTOWN TAX ASSESSORS MAP 40-3 LOT 12, RECORDED ON NOVEMBER 14, 2006 IN BOOK L1261 PAGE 382.

- PLAN NOTES:**
- TOPOGRAPHIC INFORMATION IS BASED UPON AERIAL PHOTOGRAMMETRY, 1929 NGVD & FIELD SURVEY (SEE REFERENCE 1 ON THE EXISTING CONDITIONS PLAN).
 - WETLAND EDGE DELINEATION WAS PERFORMED IN THE FIELD BY MASON & ASSOCIATES, INC. 771 PLAINFIELD PIKE, NORTH SCITUATE, RHODE ISLAND 02857 AND RE-CONFIRMED BY COMMONWEALTH ENGINEERS & CONSULTANTS INC. IN SEPTEMBER OF 2010.
 - WETLAND FLAG LOCATIONS WERE FIELD SURVEYED BY COMMONWEALTH LAND SURVEYORS, 1182 SOUTH MAIN STREET, ATTLEBORO, MA, AND MEETS THE CRITERIA FOR A CLASS III SURVEY, AS DEFINED BY THE RI BOARD OF PROFESSIONAL LAND SURVEYORS.

FLOOD PLAIN NOTE:
 THE SITE IS LOCATED IN ZONE "B" AND DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AS DETERMINED FROM F.E.M.A. FLOOD INSURANCE RATE MAPS.

- SOIL LEGEND**
- CB CANTON-URBAN LAND COMPLEX
 - Rf RIDGEBURY, WHITMAN AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
 - WcB WAPPING VERY STONY SILT LOAM 0 TO 8 PERCENT SLOPES

- LEGEND**
- PERIMETER
 - FENCE
 - STONEMASS
 - WETLAND EDGE
 - WETLAND BUFFER
 - SOIL BOUNDARY
 - TREELINE
 - TREE
 - LIGHT POLE
 - UTILITY POLE
 - ELECTRIC LINE
 - SEWER MANHOLE
 - SEWER LINE
 - SEWER FORCE MAIN
 - WATER LINE
 - HYDRANT
 - GATE VALVE
 - GAS LINE
 - CONTOUR LINE
 - VERTICAL CONCRETE CURB
 - BITUMINOUS CONCRETE BERM
 - RETAINING WALL



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: **DEC - 6 2010** FILE # **10-0204**
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

APPLICANT:
 RODMAN COMMONS, INC.
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

OWNER:
 LACASA DEVELOPMENT CORPORATION
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

EXISTING CONDITIONS & SOILS PLAN

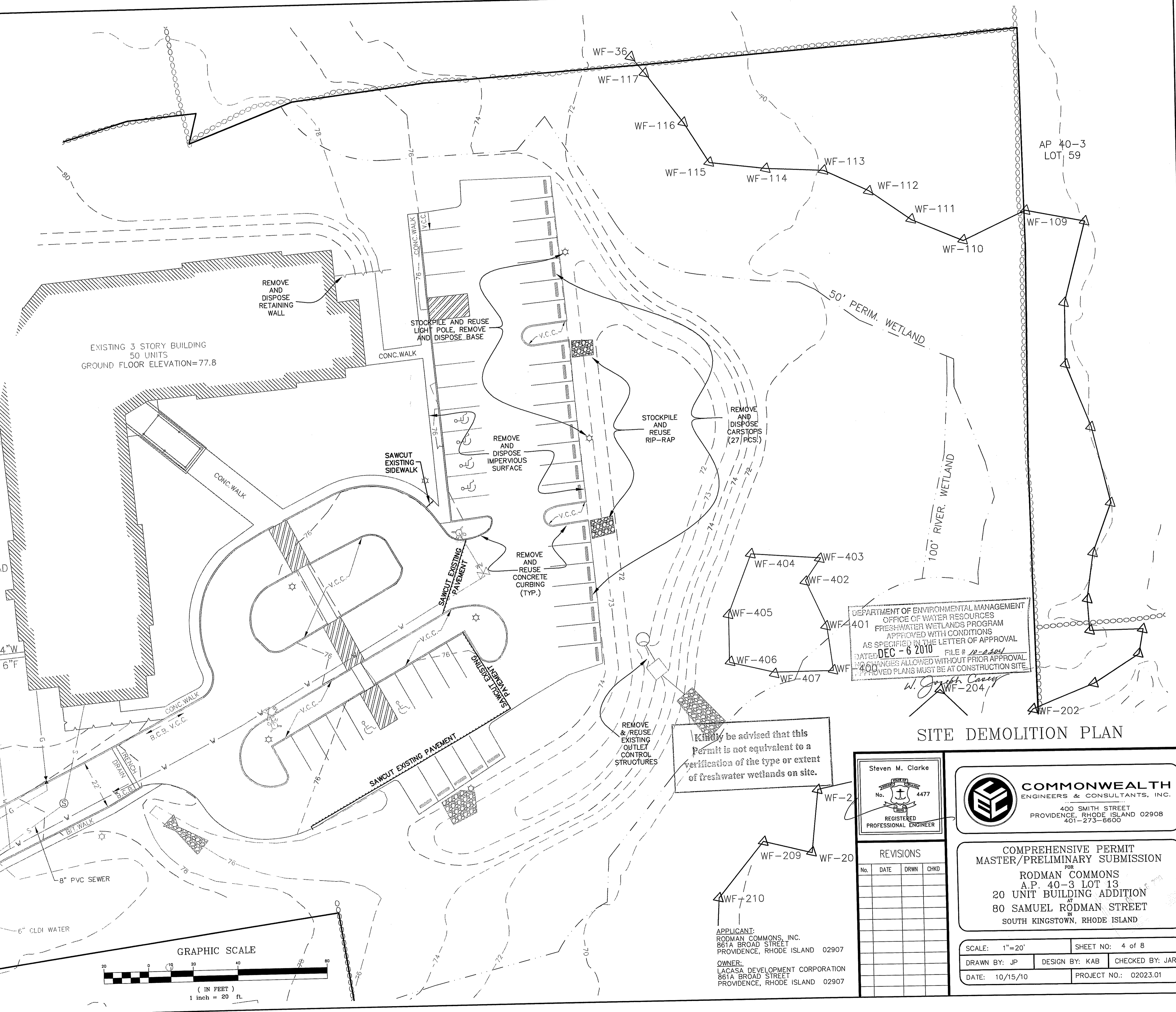
	<p>COMMONWEALTH ENGINEERS & CONSULTANTS, INC. 400 SMITH STREET PROVIDENCE, RHODE ISLAND 02908 401-273-6600</p>								
		<p>COMPREHENSIVE PERMIT MASTER/PRELIMINARY SUBMISSION FOR RODMAN COMMONS A.P. 40-3 LOT 13 20 UNIT BUILDING ADDITION AT 80 SAMUEL RODMAN STREET IN SOUTH KINGSTOWN, RHODE ISLAND</p>							
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>DRWN</th> <th>CHKD</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		No.	DATE	DRWN	CHKD				
No.	DATE	DRWN	CHKD						
<p>SCALE: 1"=30' SHEET NO: 3 of 8 DRAWN BY: JP DESIGN BY: N/A CHECKED BY: JAR DATE: 10/15/10 PROJECT NO.: 02023.01</p>									

LEGEND

- PERIMETER
- FENCE
- STONEWALL
- WETLAND EDGE
- WETLAND BUFFER
- TREELINE
- TREE
- LIGHT POLE
- UTILITY POLE
- ELECTRIC LINE
- SEWER MANHOLE
- SEWER LINE
- SEWER FORCE MAIN
- WATER LINE
- HYDRANT
- GATE VALVE
- GAS LINE
- CONTOUR LINE
- VERTICAL CONCRETE CURB
- BITUMINOUS CONCRETE BERM
- RETAINING WALL

SITE CONSTRUCTION NOTES:

1. THE LOCATION AND ELEVATION FOR ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED UTILITIES AND EXISTING UTILITIES. ANY DISCREPANCIES IN THE LOCATION OF ANY UTILITY SHOWN OR ENCOUNTERED DURING CONSTRUCTION SHALL BE REPORTED TO COMMONWEALTH ENGINEERS & CONSULTANTS, INC. 400 SMITH STREET, PROVIDENCE, RHODE ISLAND 02908; (401) 273-6600.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ADJUTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL APPROPRIATE TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
5. ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
6. FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THE MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.
8. SANITARY SEWER, GAS, WATER, AND OTHER UTILITY SERVICES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
9. ANY DISTURBANCE TO EXISTING PAVEMENT, SIDEWALK, FENCE, WALLS, LANDSCAPING, ETC. CAUSED BY THE CONTRACTOR OTHER THAN WHAT IS SHOWN ON THE PLANS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE DEVELOPER.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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 FRESHWATER WETLANDS PROGRAM
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 ANY CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

W. Joseph Casey
 WF-204

Kindly be advised that this permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

SITE DEMOLITION PLAN

Steven M. Clarke
 No. 4477
 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

COMPREHENSIVE PERMIT MASTER/PRELIMINARY SUBMISSION FOR
 RODMAN COMMONS
 A.P. 40-3 LOT 13
 20 UNIT BUILDING ADDITION
 AT
 80 SAMUEL RODMAN STREET
 IN
 SOUTH KINGSTOWN, RHODE ISLAND

REVISIONS			
No.	DATE	DRWN	CHKD

SCALE: 1"=20'

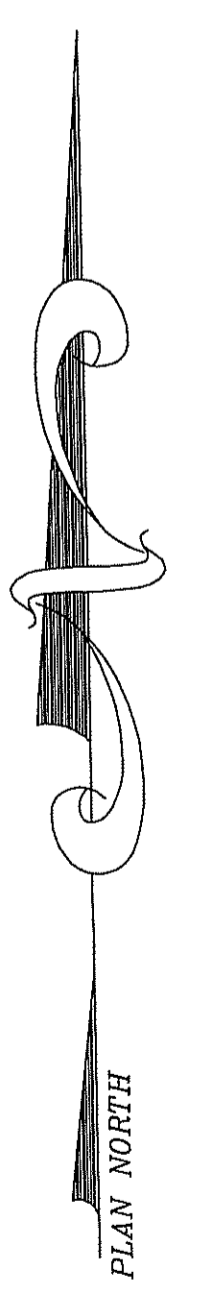
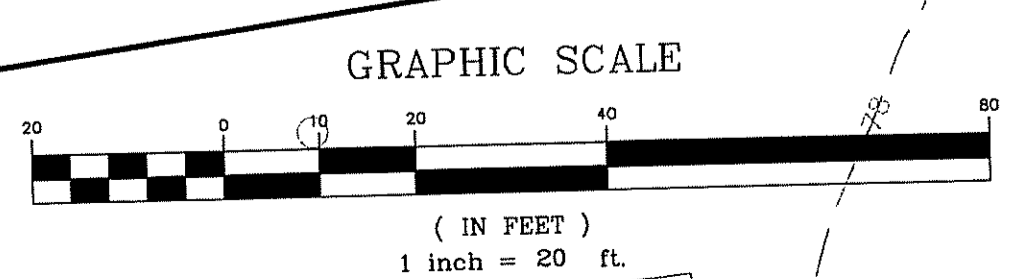
DRAWN BY: JP DESIGN BY: KAB CHECKED BY: JAR

DATE: 10/15/10 PROJECT NO.: 02023.01

SHEET NO: 4 of 8

APPLICANT:
 RODMAN COMMONS, INC.
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

OWNER:
 LACASA DEVELOPMENT CORPORATION
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907



COMMONWEALTH ENGINEERS & CONSULTANTS, INC. 400 SMITH STREET PROVIDENCE, RHODE ISLAND 02908 (401) 273-6600

LEGEND

- PERIMETER
- FENCE
- STONE WALL
- WETLAND EDGE
- WETLAND BUFFER
- TREELINE
- TREE
- LIGHT POLE
- UTILITY POLE
- ELECTRIC LINE
- SEWER MANHOLE
- SEWER LINE
- SEWER FORCE MAIN
- WATER LINE
- HYDRANT
- GATE VALVE
- GAS LINE
- CONTOUR LINE
- VERTICAL CONCRETE CURB
- BITUMINOUS CONCRETE BERM
- RETAINING WALL
- PROPOSED CONTOUR
- PROPOSED HAY BALE LINE

PLAT: 40-3 LOT: 13 (23.79 ACRES)
 DEED REFERENCE: BOOK 1155 PAGE 0059
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 PROPOSED: TOTAL 70 PARKING SPACES TO BE PROVIDED

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RELIEF REQUESTED FROM ZONING ORDINANCE:

- SECTION 101 - DENSITY
- SECTION 301 - USE CODE 12.3
- SECTION 401 - MAXIMUM STRUCTURE HEIGHT
- SECTION 708 - MINIMUM WIDTH ACCESS DRIVE

SITE CONSTRUCTION NOTES:

1. THE LOCATION AND ELEVATION FOR ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED UTILITIES AND EXISTING UTILITIES. ANY DISCREPANCIES IN THE LOCATION OF ANY UTILITY SHOWN OR ENCOUNTERED DURING CONSTRUCTION SHALL BE REPORTED TO COMMONWEALTH ENGINEERS & CONSULTANTS, INC. 400 SMITH STREET, PROVIDENCE, RHODE ISLAND 02908; (401) 273-6600.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 72 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ADJUTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL APPROPRIATE TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
5. ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
6. FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THE MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.
8. SANITARY SEWER, GAS, WATER, AND OTHER UTILITY SERVICES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
9. ANY DISTURBANCE TO EXISTING PAVEMENT, SIDEWALK, FENCE, WALLS, LANDSCAPING, ETC. CAUSED BY THE CONTRACTOR OTHER THAN WHAT IS SHOWN ON THE PLANS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE DEVELOPER.

CONDENSING UNITS ON CONCRETE PAD

TRANSFORMER

EXISTING 3 STORY BUILDING
 50 UNITS
 GROUND FLOOR ELEVATION=77.8

PROPOSED 3 STORY
 20-UNIT
 BUILDING ADDITION
 5,580 SF FOOTPRINT
 GROUND FLOOR ELEVATION=77.8

AP 40-3
 LOT 59

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED DEC - 6 2010
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

SITE IMPROVEMENT PLAN

Steven M. Clarke
 No. 4477
 REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH
 ENGINEERS & CONSULTANTS, INC.
 400 SMITH STREET
 PROVIDENCE, RHODE ISLAND 02908
 401-273-6600

REVISIONS

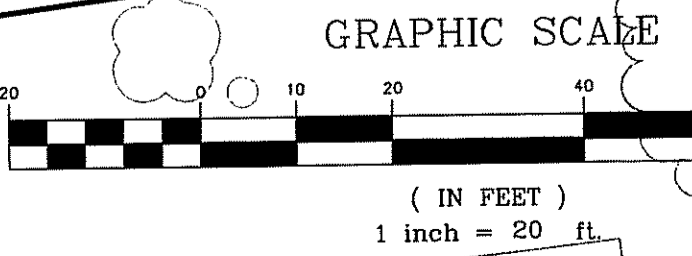
No.	DATE	DRWN	CHKD

COMPREHENSIVE PERMIT
 MASTER/PRELIMINARY SUBMISSION
 FOR
 RODMAN COMMONS
 A.P. 40-3 LOT 13
 20 UNIT BUILDING ADDITION
 AT
 80 SAMUEL RODMAN STREET
 IN
 SOUTH KINGSTOWN, RHODE ISLAND

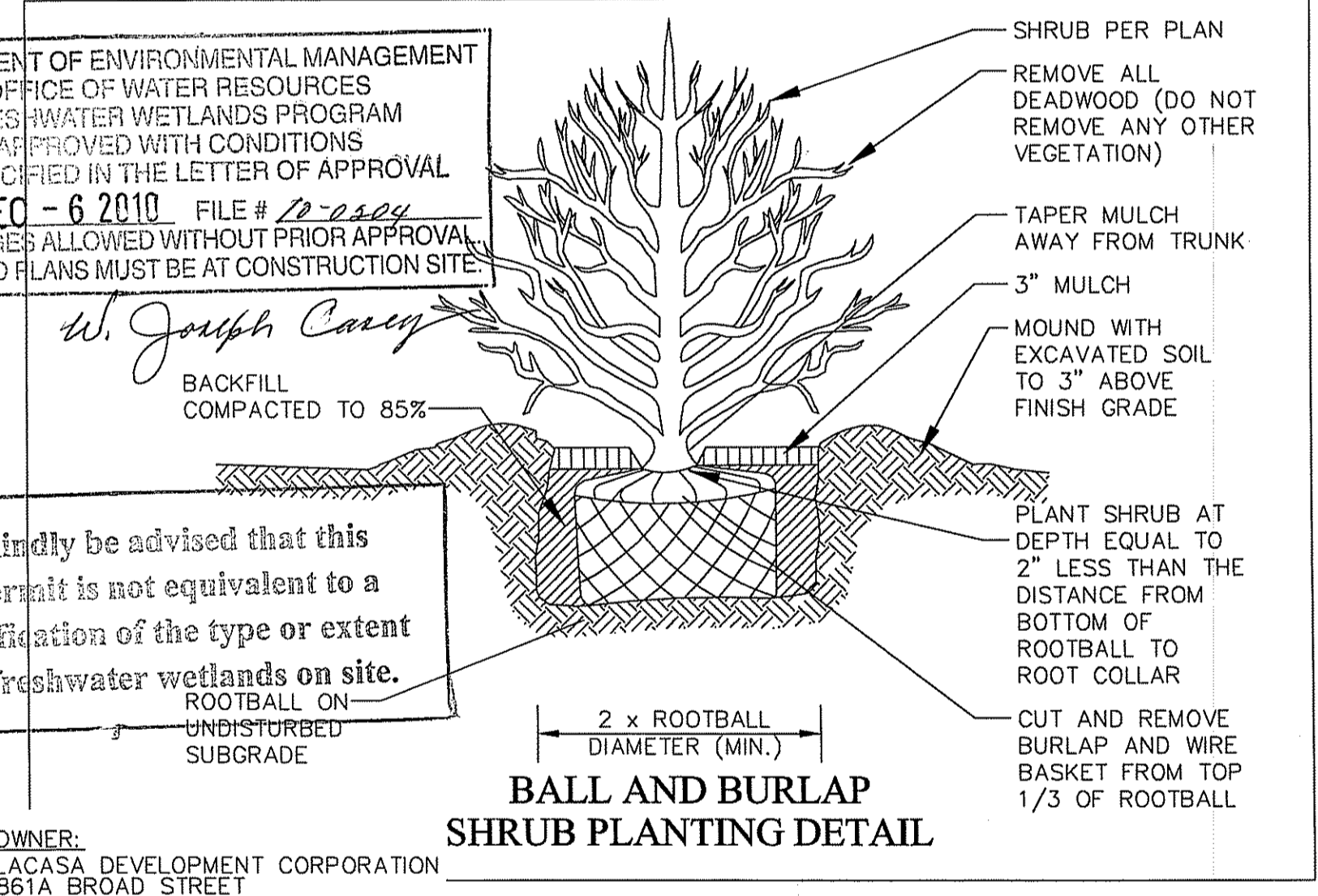
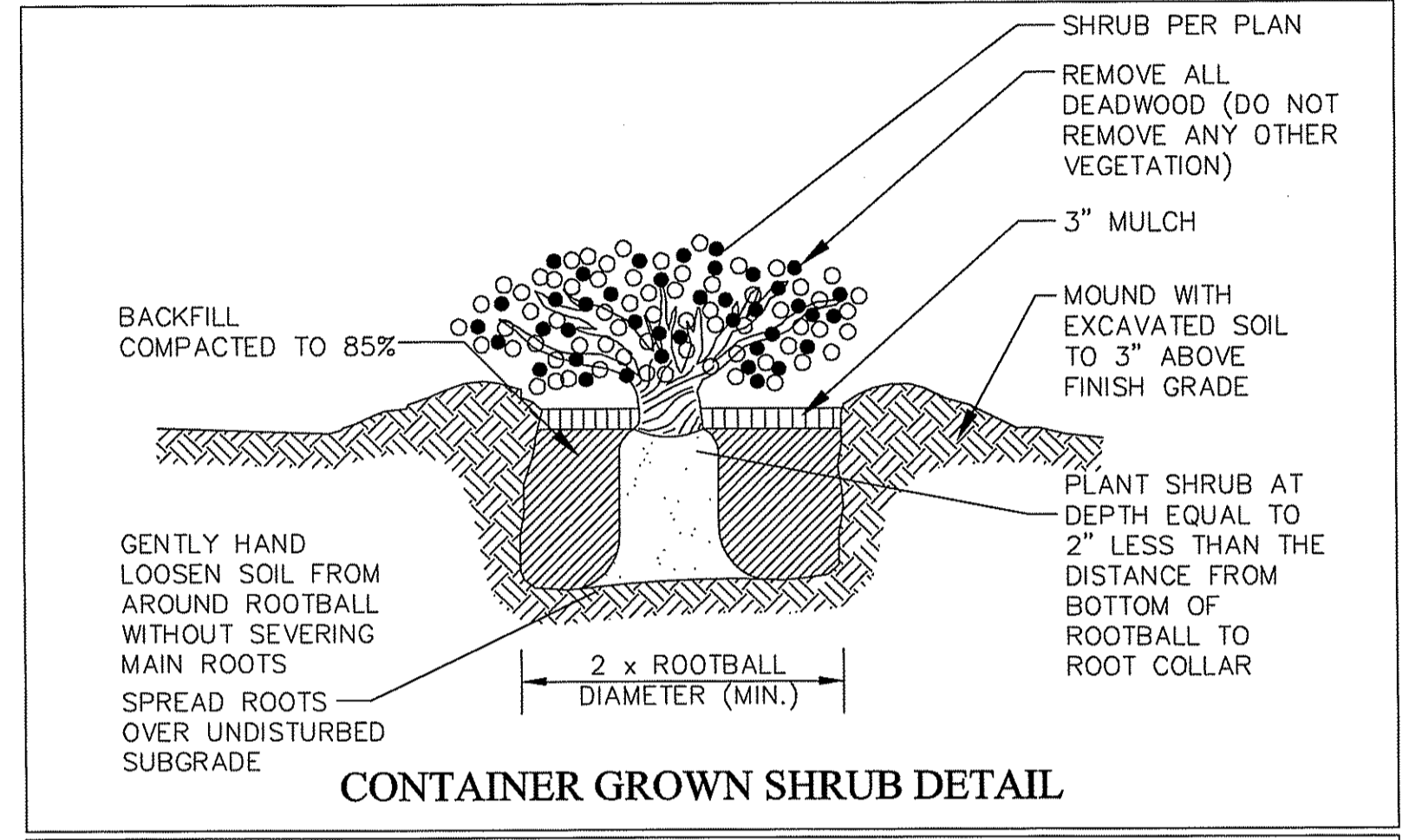
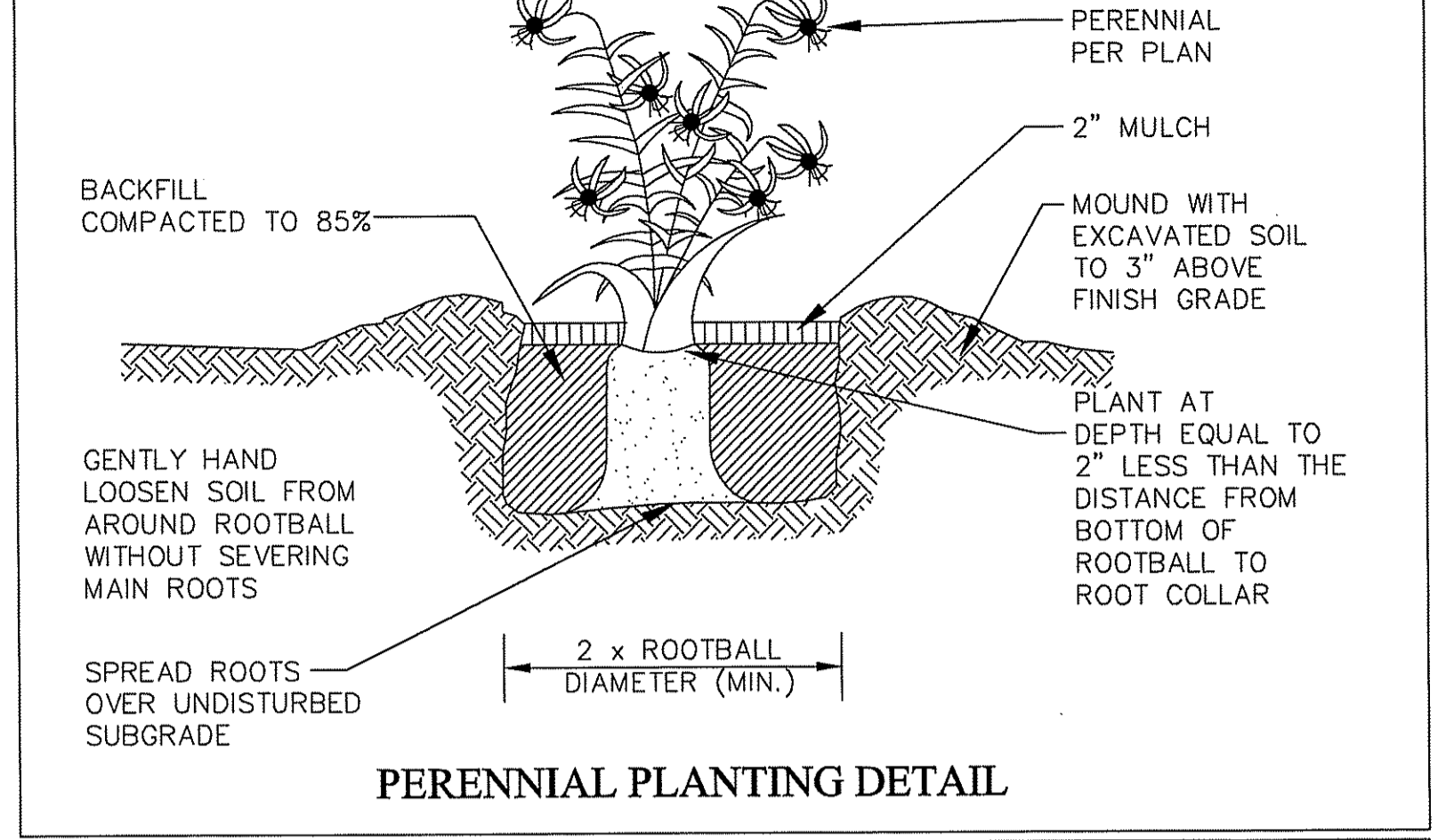
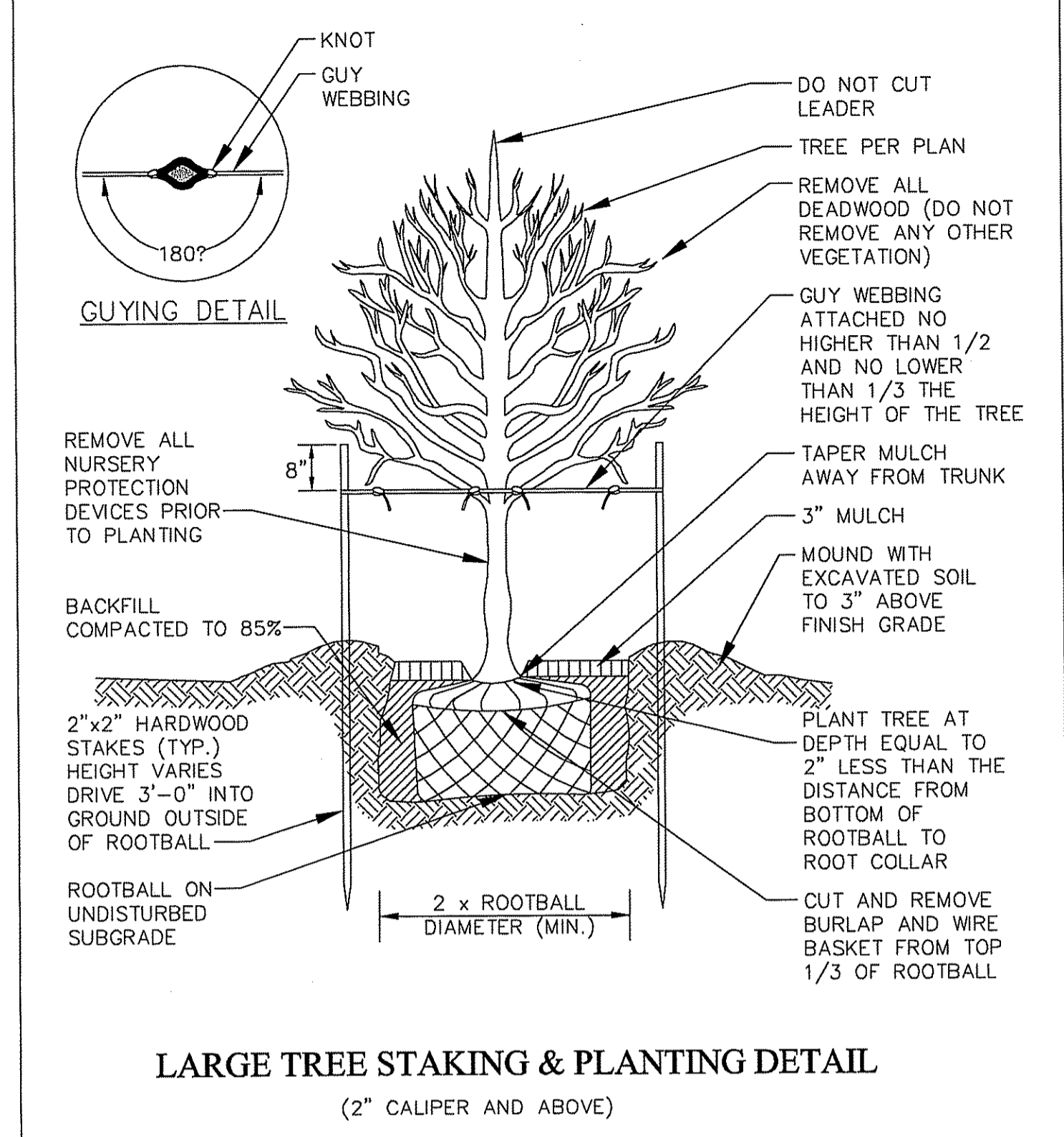
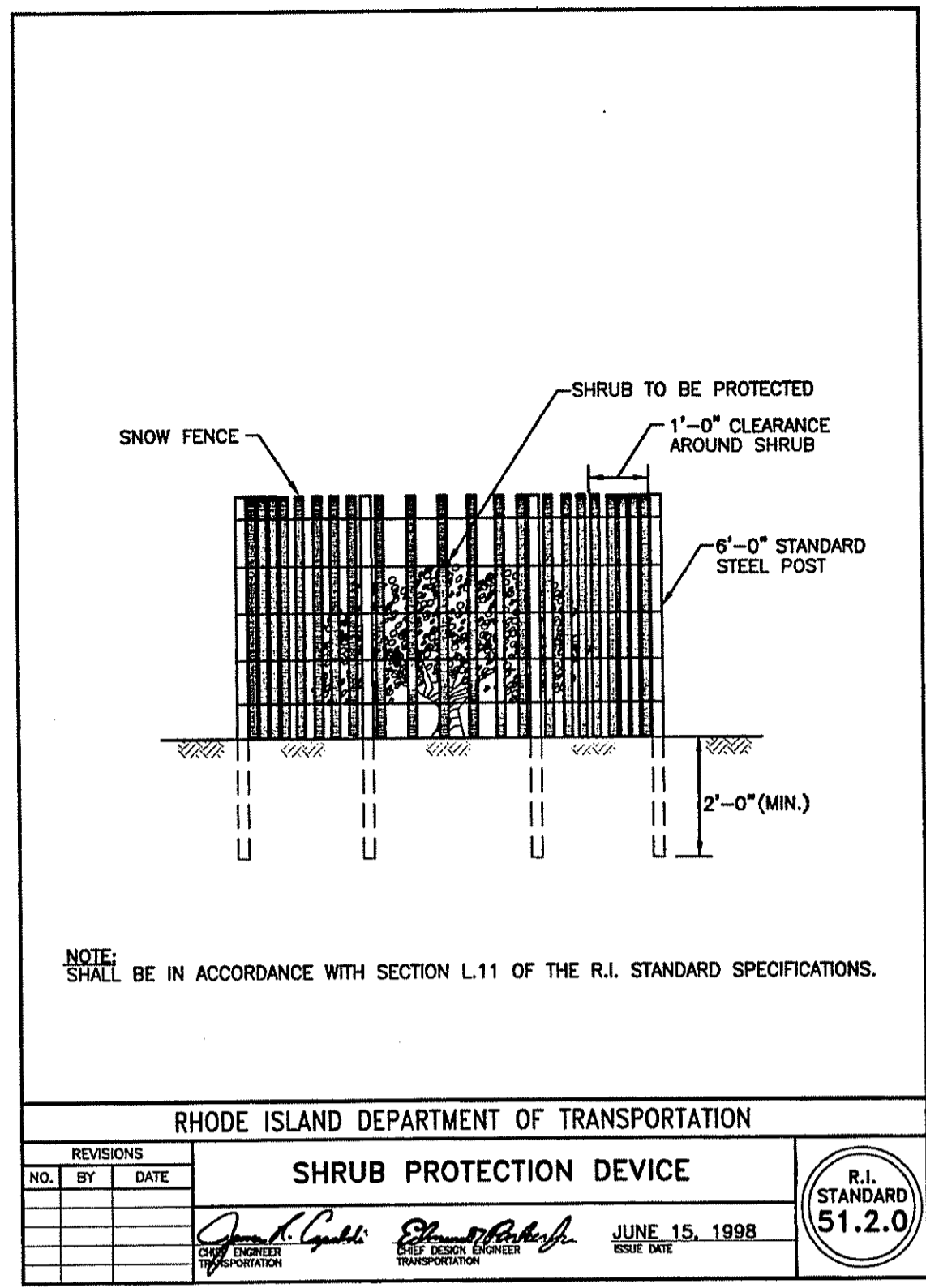
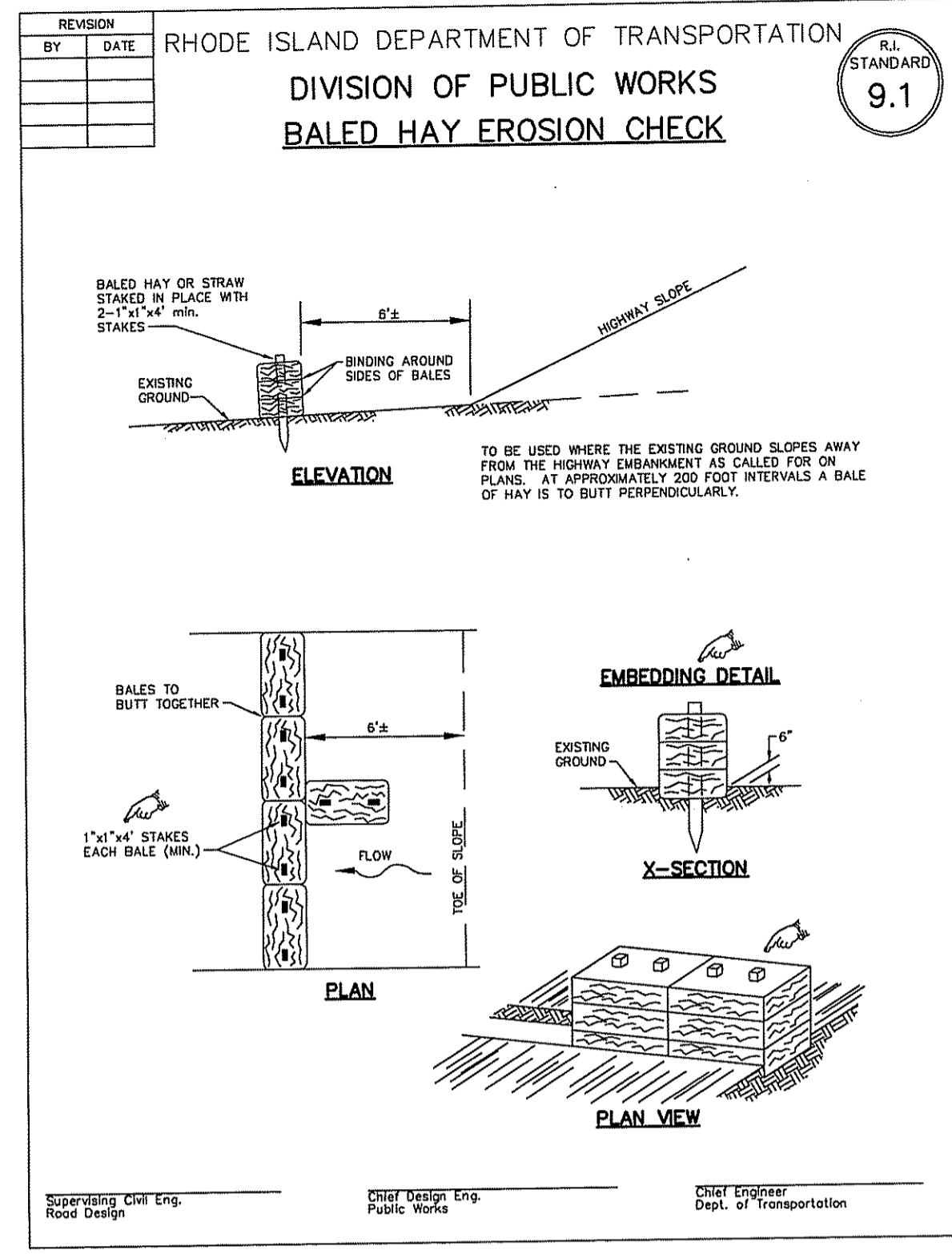
SCALE: 1"=20'	SHEET NO: 5 of 8
DRAWN BY: KAB	DESIGN BY: KAB
CHECKED BY: JAR	PROJECT NO.: 02023.01
DATE: 10/15/10	

APPLICANT:
 RODMAN COMMONS, INC.
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907

OWNER:
 LACASA DEVELOPMENT CORPORATION
 861A BROAD STREET
 PROVIDENCE, RHODE ISLAND 02907



C:\Users\jmc\Documents\Projects\Rodman Commons\Site Improvement Plan.dwg (10/15/10)



GENERAL NOTES

- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND THE MUNICIPALITY PRIOR TO COMMENCING ANY WORK.
- IT SHALL ALSO BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ADJUTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
- BEFORE STARTING ANY CONSTRUCTION THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ANY HYDRANTS, WATER MAINS, BLOWOFF ASSEMBLIES, FITTINGS, AND VALVES WITH THE LOCAL WATER DEPARTMENT AS TO TYPE AND MANUFACTURER.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE MUNICIPAL ENGINEERING DEPARTMENT AND ALL UTILITY INSTALLATIONS AND INSPECTIONS WITH THE APPROPRIATE UTILITY COMPANY. A 48 HOUR ADVANCE NOTICE IS REQUIRED BEFORE WORK COMMENCEMENT.
- ALL WORK PERFORMED HEREIN SHALL BE COVERED BY THE "R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (REVISION OF 1997)" WITH ALL CORRECTIONS AND ADDENDA AND THE 1974 R.I. STANDARD DETAILS WITH ALL CORRECTIONS AND ADDENDA AND THE TOWN OF SOUTH KINGSTOWN STANDARD SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE-OFF IN COMPUTING ANY ESTIMATES.
- EMBANKMENT SLOPES AND ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND SEEDED, SEE EROSION CONTROL PROGRAM.
- UNLESS OTHERWISE SPECIFIED, ALL STORM DRAINS SHALL BE REINFORCED CONCRETE CLASS III PIPE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION INDICATED ON THESE PLANS. THAT INCLUDES ANY CONSTRUCTION TO BRING UTILITIES TO SITE, ANY REPAIRS, ANY TRENCHING REQUIRED, HYDRANTS, ANY AND ALL CONSTRUCTION FOR ACCEPTANCE OF ROADS AND EASEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
- IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
- ALL WATER MAINS SHALL BE DEFLECTED ALONG A CURVE WITH A MINIMUM RADIUS OF 250' AT ANY LOCATION WHERE THIS IS NOT POSSIBLE, PROPER BENDS AND FITTINGS SHALL BE USED.
- ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS, AND OTHER REFUSE SHALL BE DISCARDED OFF SITE, IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

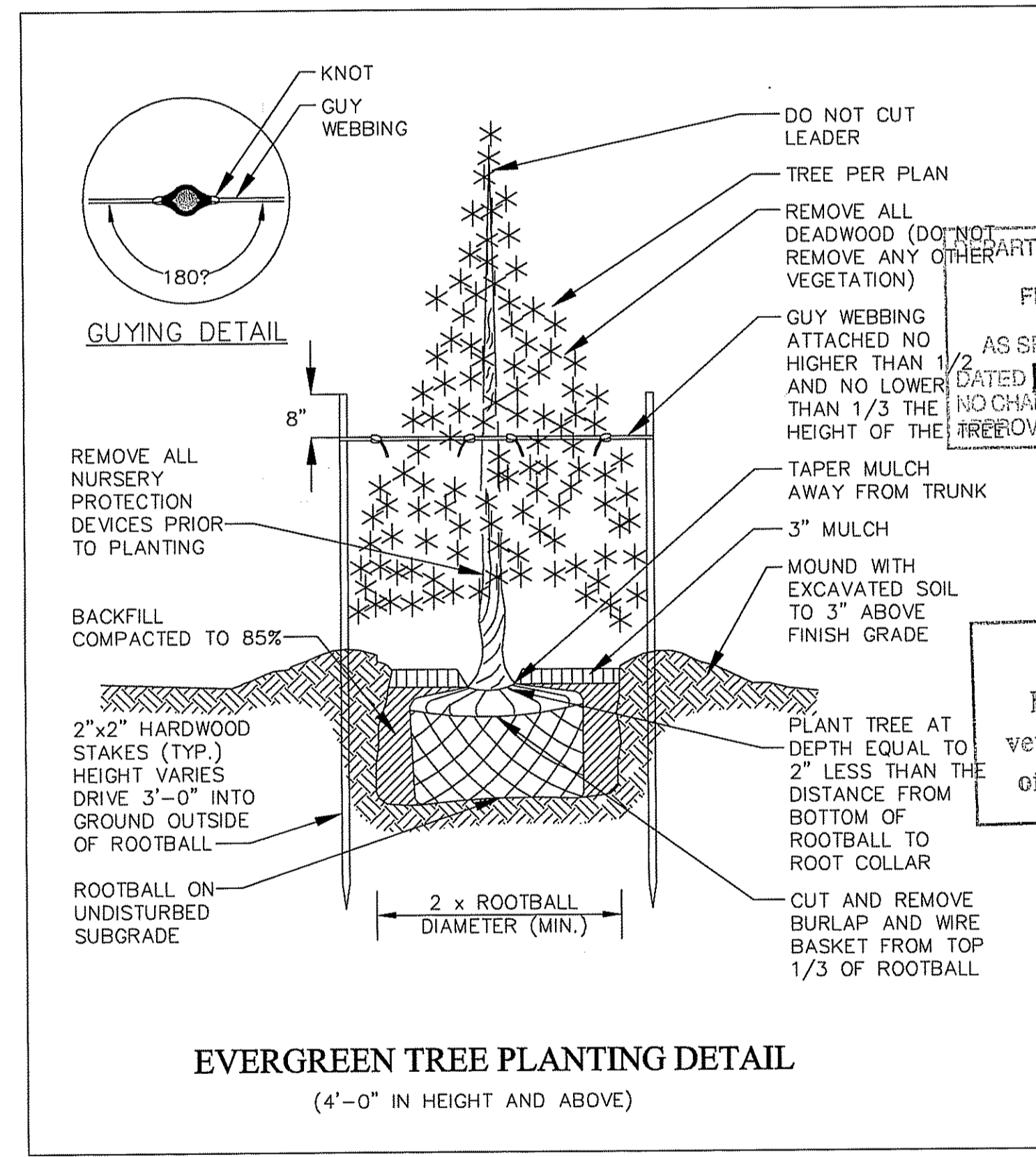
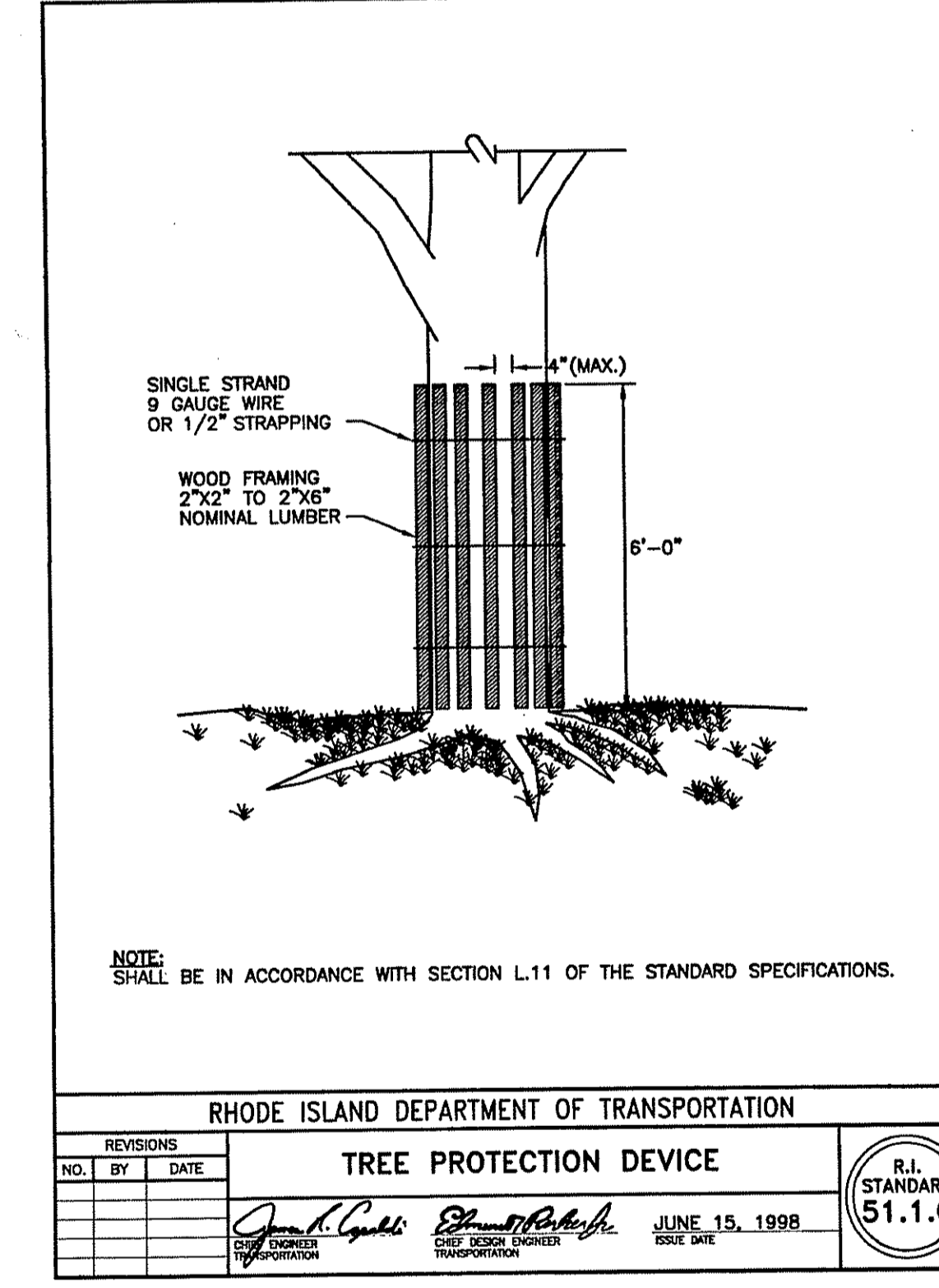
ORDER OF PROCEDURE:

- IMMEDIATELY UPON COMPLETION OF THE CLEARING OPERATION AND PRIOR TO ANY ROUGH GRADING, TEMPORARY HAYBALES AND SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION AS PER THE PLANS (I.E. ALONG ROADWAYS, STREAM BANKS, CRITICAL AREAS, ETC.).
- ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
- IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL.
- TEMPORARY HAYBALES AND SANDBAGS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AN APPROVED.
- HAYBALES LOCATED AT DRAINAGE OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR COVER HAS BEEN

EROSION CONTROL & SOIL STABILIZATION PROGRAM

- DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
- ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEED OR PROTECTED BY THAT DATE, FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STD SPECIFICATION M. 20.
- THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING PERMANENT SEEDING MIXTURES:

A. MOWED AREA (ALL FLATS OR SLOPES LESS THAN 3:1)		
MIXTURE:	% BY WEIGHT:	SEEDING DATES:
RED FESCUE	75	APRIL 1 - JUNE 15
KENTUCKY BLUEGRASS	15	AUGUST 15 - OCTOBER 15
COLONIAL BENTGRASS	5	
PERENNIAL RYEGRASS	5	
TOTAL:	100 lbs./Ac.	
B. UNMOWED AREA OR INFREQUENTLY MOWED (FLAT SLOPES GREATER THAN 3:1)		
MIXTURE:	% BY WEIGHT:	SEEDING DATES:
RED FESCUE	75	APRIL 1 - JUNE 15
COLONIAL BENTGRASS	5	AUGUST 15 - OCTOBER 15
PERENNIAL RYEGRASS	5	
BIRDFOOT TREFOIL	15	
TOTAL:	100 lbs./Ac.	



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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AS SPECIFIED IN THE LETTER OF APPROVAL
DATED DEC - 6 2010 FILE # 12-2204
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
IF APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

W. Joseph Carey

Kindly be advised that this permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

OWNER:
LACASA DEVELOPMENT CORPORATION
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907
APPLICANT:
RODMAN COMMONS, INC.
861A BROAD STREET
PROVIDENCE, RHODE ISLAND 02907

- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000 - 4,000 lbs./Ac.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP MINIMIZE THE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

MIXTURE:	lbs./1,000 S.F.	lbs./Ac.	SEEDING DATES:
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 - 6/1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	3/1 - 6/1
SUDAN GRASS	0.7 - 1.0	30 - 40	5/15 - 8/15
MILLET	0.7 - 1.0	30 - 40	5/15 - 8/15
WINTER RYE	3.0	120	4/15 - 6/15
OATS	0.5 - 5.0	86 - 120	3/1 - 6/15
WEEPING COVERGRASS	0.5 - 5.0	5 - 20	5/1 - 7/1
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOPE WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STD SPECIFICATIONS SECTION 202.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS, THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEED AND/OR STABILIZED.
- ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHALL BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS. REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.
- THE DRAINAGE SYSTEM SHALL RECEIVE ONE FINAL CLEANING PRIOR TO ACCEPTANCE TO THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.

DETENTION BASIN MAINTENANCE:

- INSPECTION OF THE POND AND ALL INLET AND OUTLET STRUCTURES SHOULD BE PERFORMED AT LEAST TWICE PER YEAR, PREFERABLY DURING A STORM EVENT TO INSPECT FOR PROPER FUNCTIONING OF THE FACILITY.
- SEDIMENTS SHOULD BE REMOVED FROM THE BASIN DURING THE FIRST (INITIAL) YEAR OF OPERATION AND EVERY YEAR THEREAFTER.
- THE GRASSED AREAS OF THE BASIN SHOULD BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION PROBLEMS. PROBLEM AREAS SHOULD BE RESEED IMMEDIATELY TO STABILIZE EXPOSED SOILS, THEREBY PREVENTING EROSION AND POTENTIAL CLOGGING OF OUTLET DEVICES. THE BASIN SHALL BE MOWED AT LEAST ONCE PER GROWING SEASON.
- INSPECTIONS SHALL BE ACCOMPLISHED SEVERAL TIMES DURING THE FIRST SIX (6) MONTHS OF OPERATION, ESPECIALLY AFTER RAINFALL EVENTS, TO CHECK FOR CLOGGING OR TOO RAPID A RELEASE.
- THE PARTY RESPONSIBLE FOR MAINTENANCE OF THE BASIN IS: WOMEN'S DEVELOPMENT CORP., 861A BROAD ST., PROVIDENCE, RI 02907

GRASSED & RIPRAP SWALE MAINTENANCE:

- INSPECTION OF THE SWALES SHOULD BE PERFORMED AT LEAST TWICE PER YEAR, PREFERABLY DURING A STORM EVENT, TO INSPECT FOR PROPER FUNCTIONING. ALL TRASH AND OTHER LITTER MUST BE REMOVED DURING INSPECTIONS.
- THE PARTY RESPONSIBLE FOR MAINTENANCE OF THE SWALES IS: WOMEN'S DEVELOPMENT CORP.

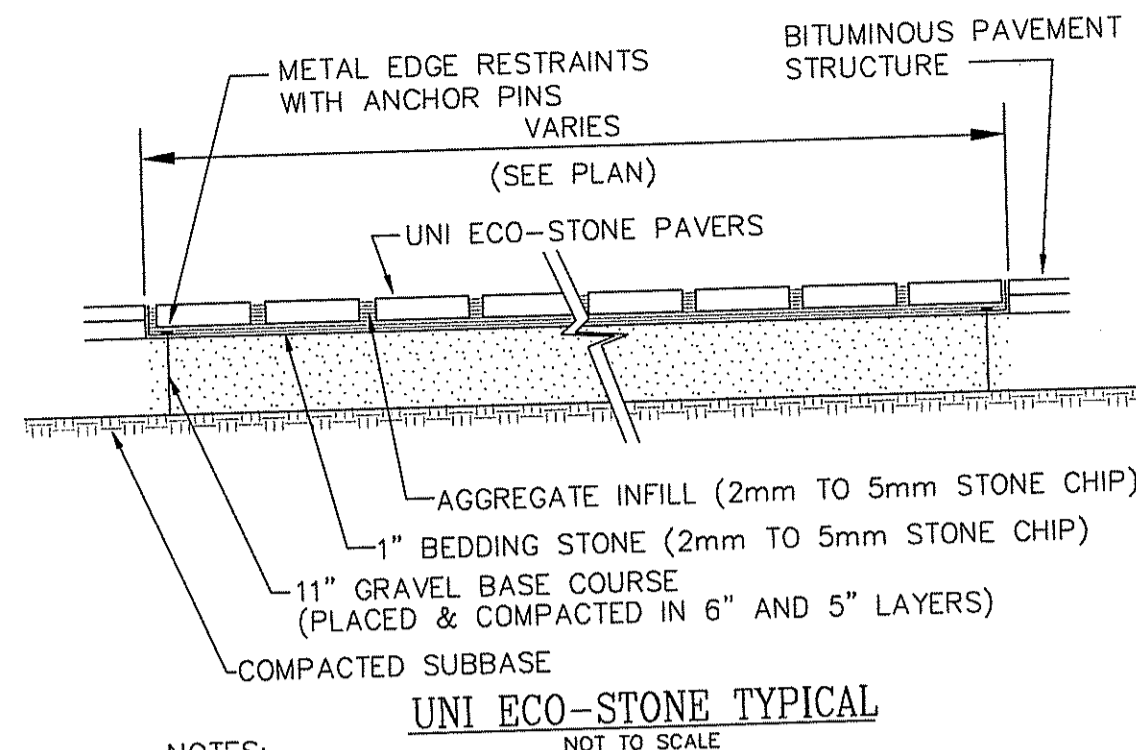
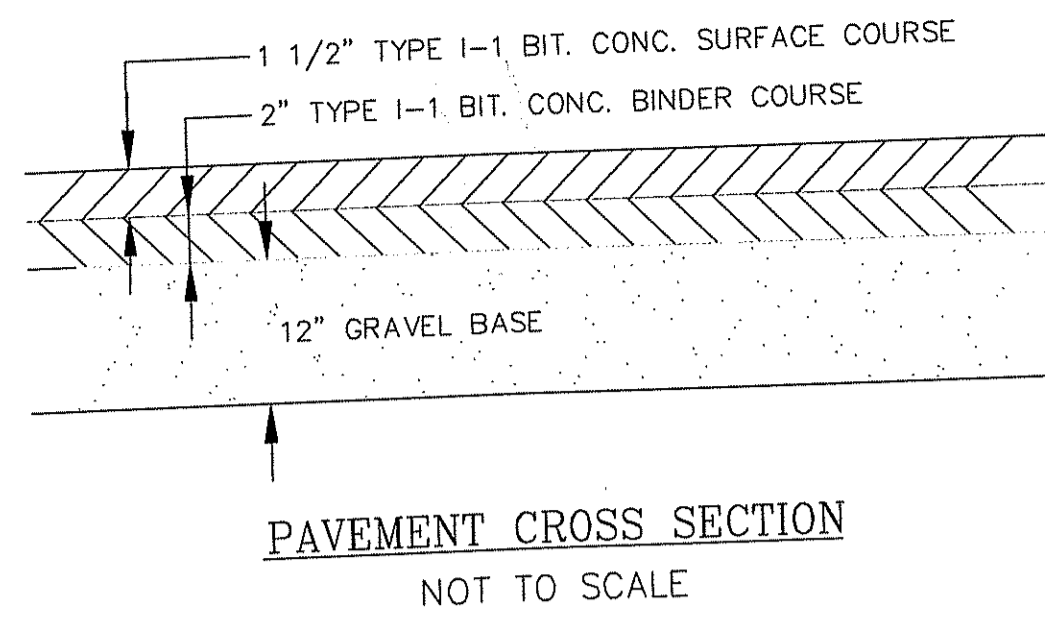
Steven M. Clarke
No. 4477
REGISTERED PROFESSIONAL ENGINEER

REVISIONS			
No.	DATE	DRWN	CHKD

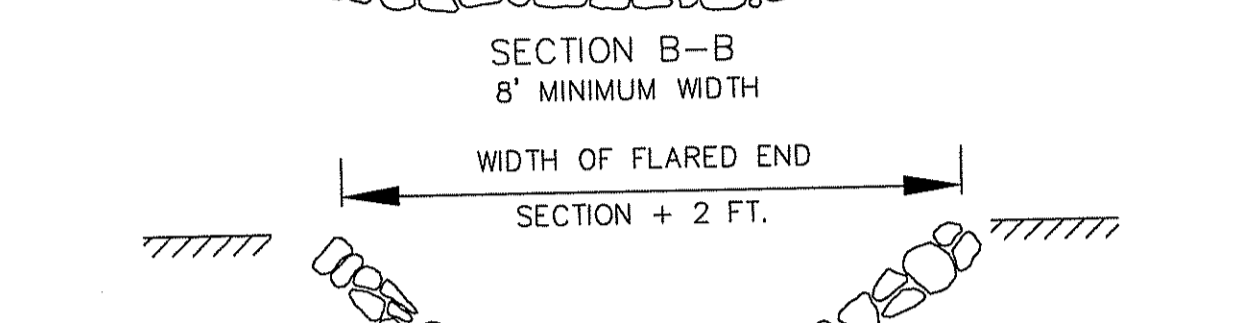
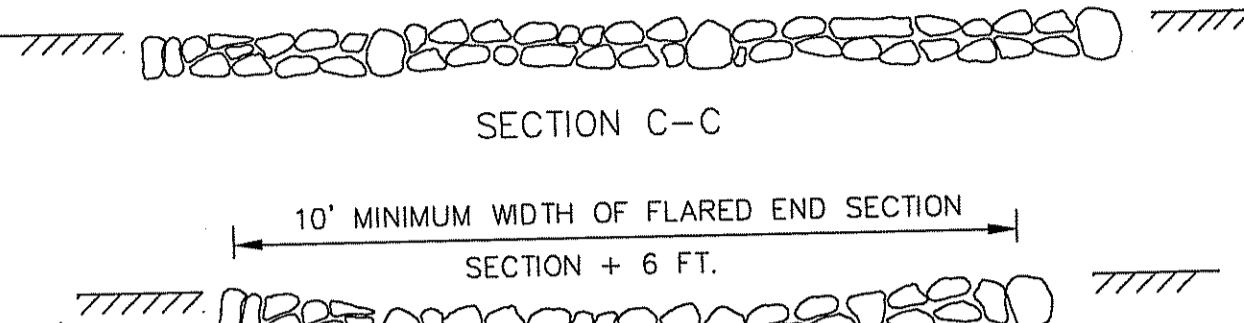
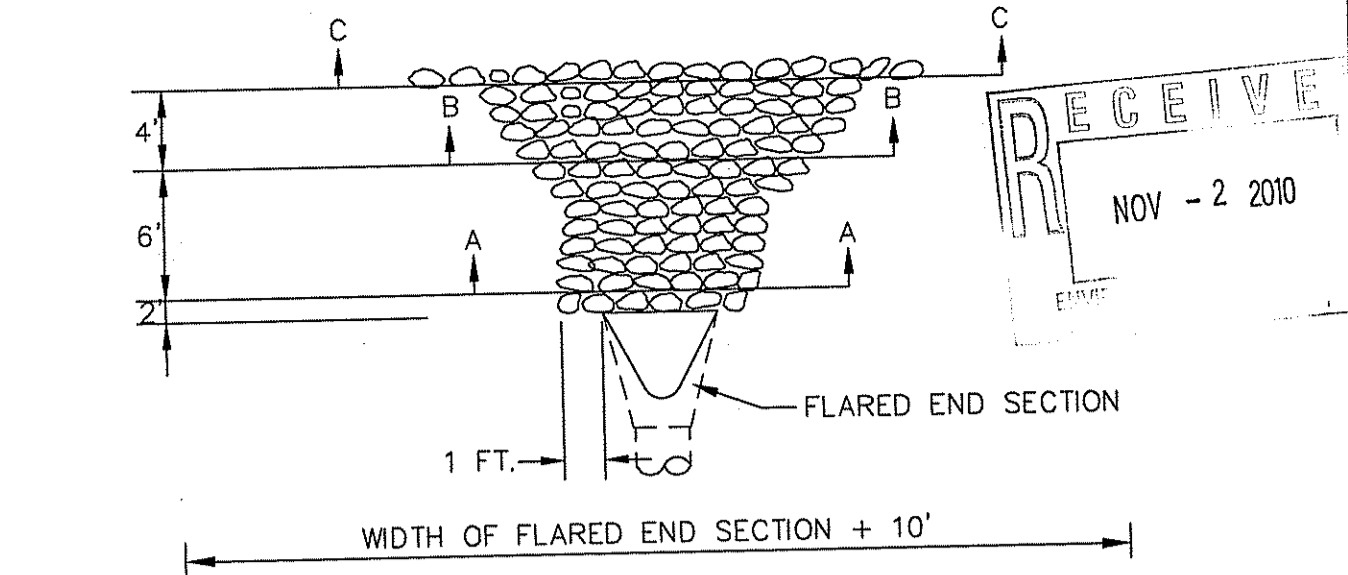
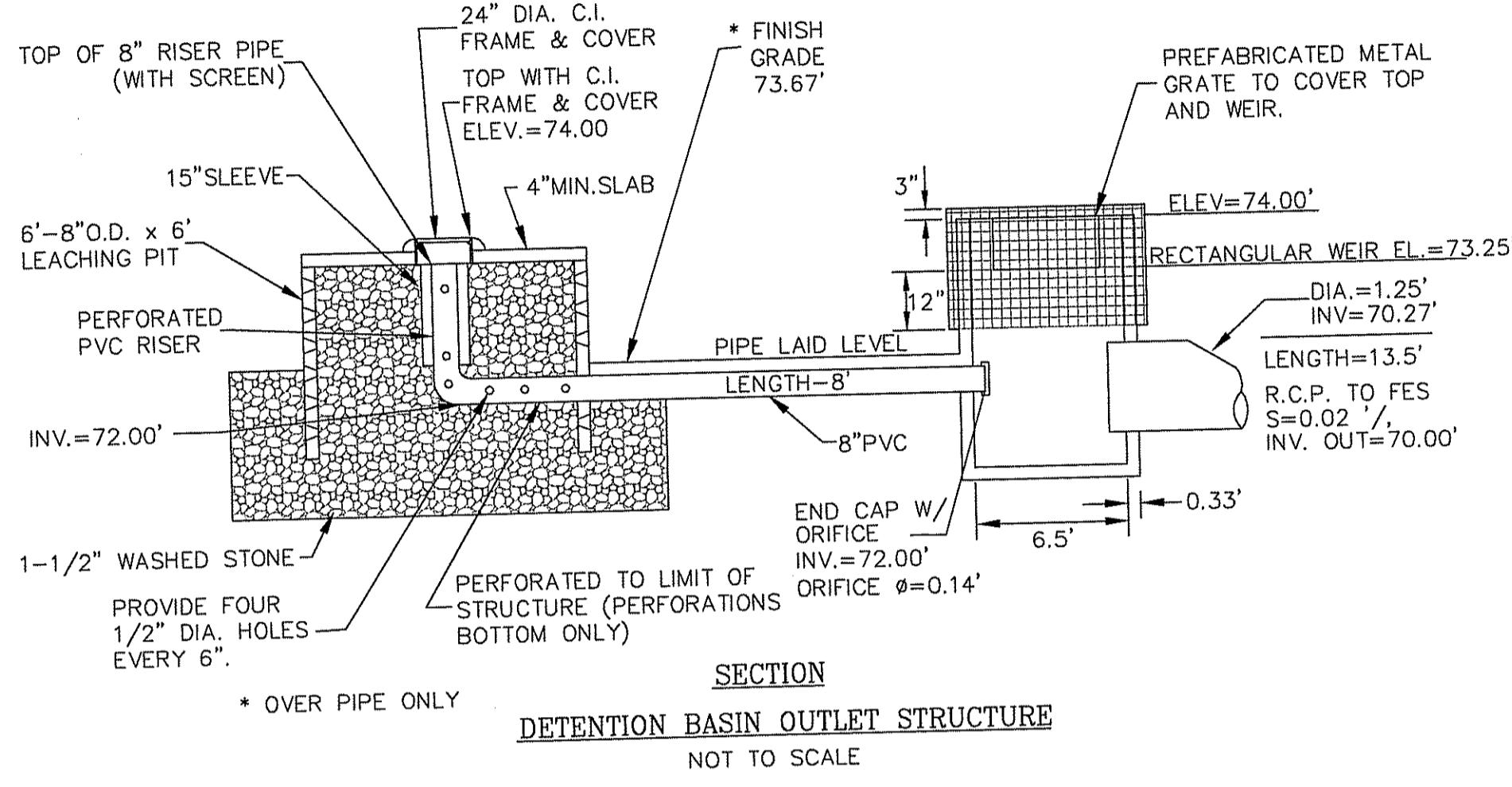
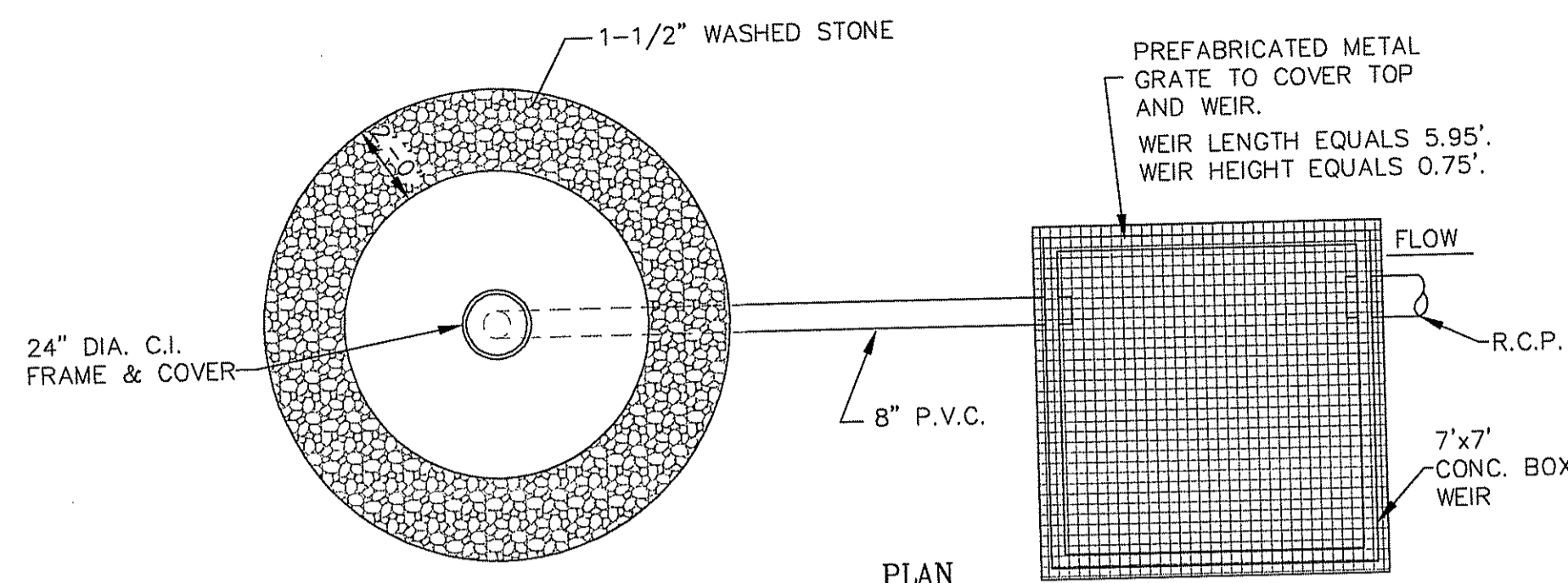
COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-8600

COMPREHENSIVE PERMIT
MASTER/PRELIMINARY SUBMISSION
FOR
RODMAN COMMONS
A.P. 40-3 LOT 13
20 UNIT BUILDING ADDITION
AT
80 SAMUEL RODMAN STREET
IN
SOUTH KINGSTOWN, RHODE ISLAND

SCALE: 1"=20'	SHEET NO: 7 of 8
DRAWN BY: KAB	DESIGN BY: KAB
CHECKED BY: JAR	DATE: 10/15/10
PROJECT NO.: 02023.01	

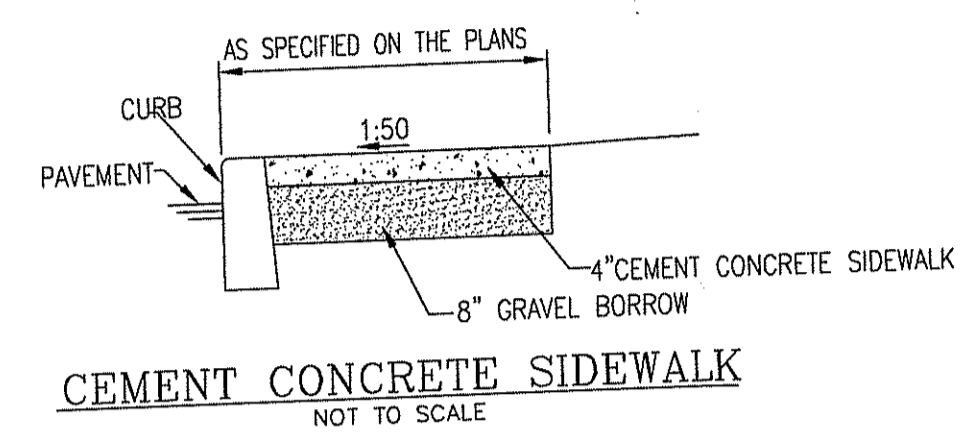


- NOTES:
- UNI ECO-STONE PAVERS OR EQUAL ACCEPTABLE TO ENGINEER AND OWNER
 - INSTALLATION PER MANUFACTURERS RECOMMENDATION
 - SAMPLE SUBMITTAL OF PAVERS REQUIRED FOR OWNER TO SELECT PAVEMENT STONE COLORS.
 - SHOP DRAWING SUBMITTAL REQUIRED

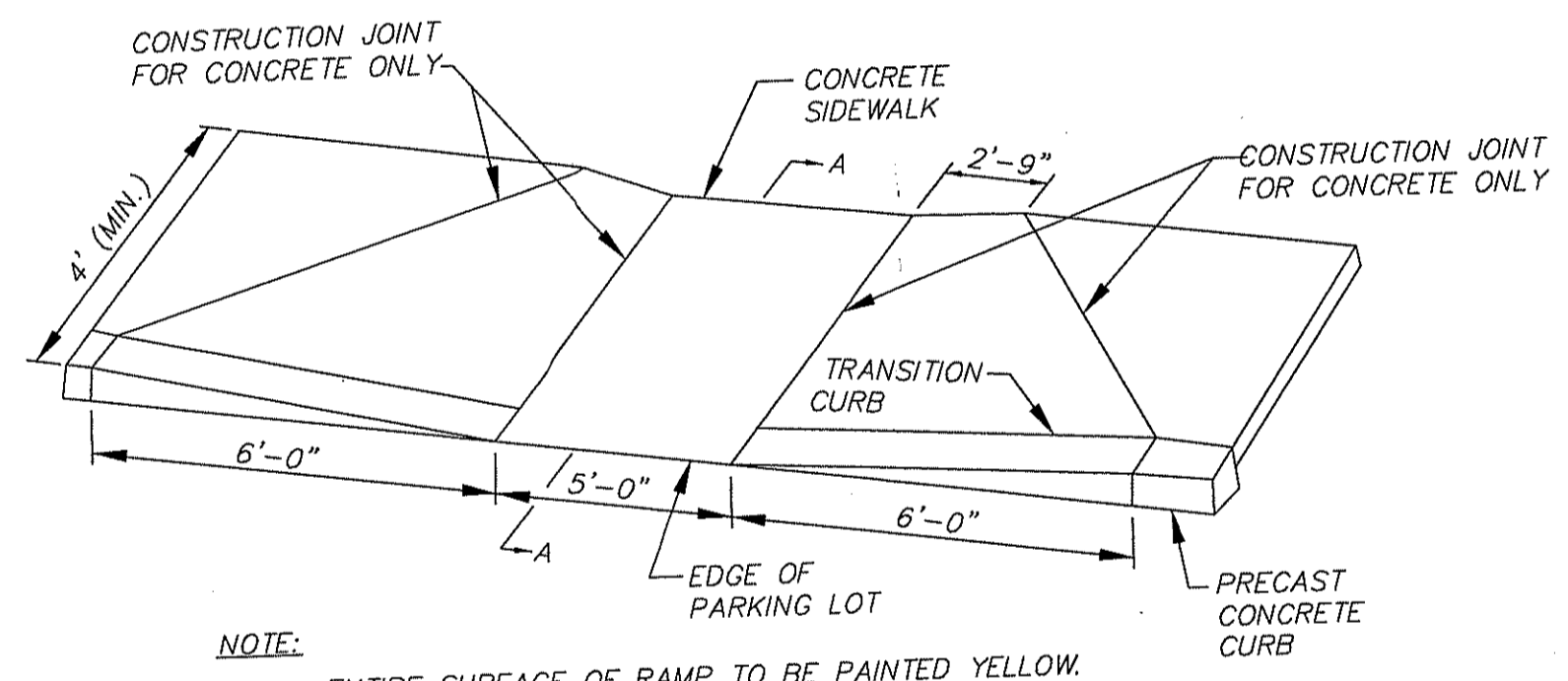
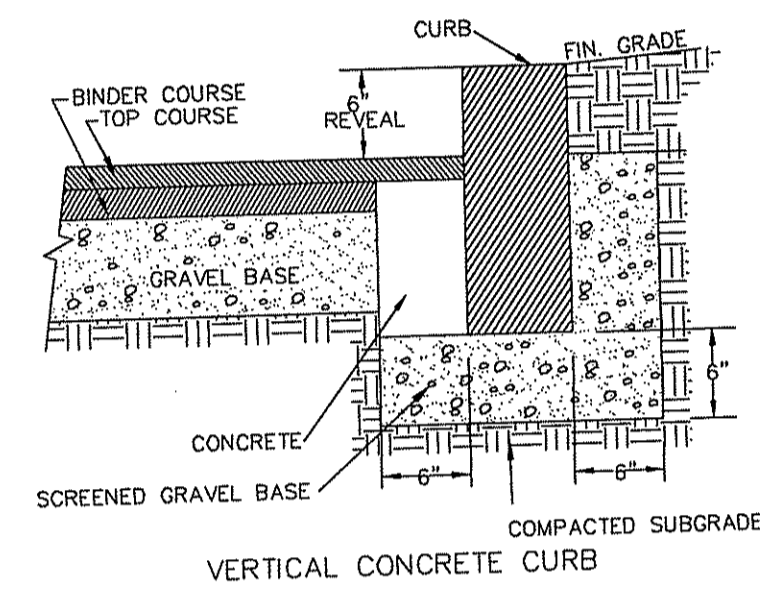


- NOTES:
- CLASS OF RIP-RAP AND BEDDING TO BE SPECIFIED IN CONTRACT DOCUMENTS.
 - DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS
 - UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.

ROCK FILL RIP-RAP @ FLARED END SECTIONS
NOT TO SCALE

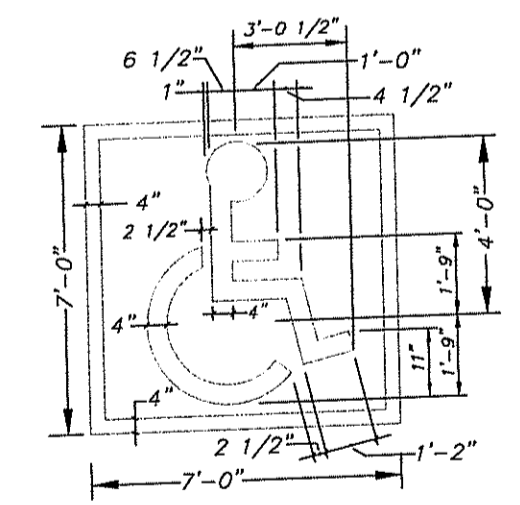


- NOTES:
- CONCRETE SCORING PATTERN TO BE APPROVED BY OWNER.
 - UNLESS SPECIFIED ON PROJECT DRAWINGS, CONTROL JOINTS SHALL OCCUR AT THE SAME DIMENSION AS THE SIDEWALK WIDTH.
 - UNLESS SPECIFIED OTHERWISE, ISOLATION JOINTS SHALL OCCUR AT THE FOLLOWING LOCATIONS:
 - BETWEEN CURB AND WALK
 - INTERSECTION OF WALKS
 - BETWEEN WALK AND BUILDING WALLS
 - BETWEEN WALK AND ALL STRUCTURES, I.E., WALLS AND PLANTERS
 - ON CONTINUOUS WALKS, ISOLATION JOINTS SHALL BE AT A MAXIMUM OF (30') THIRTY FEET APART.
 - CONCRETE WALKS AND DRIVEWAYS SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATIONS.
 - CONCRETE SHALL BE 5% AIR ENTRAINED, 4000 PSI WITH 3/4" STONE.
 - SAME REQUIREMENTS WITHOUT CURB.

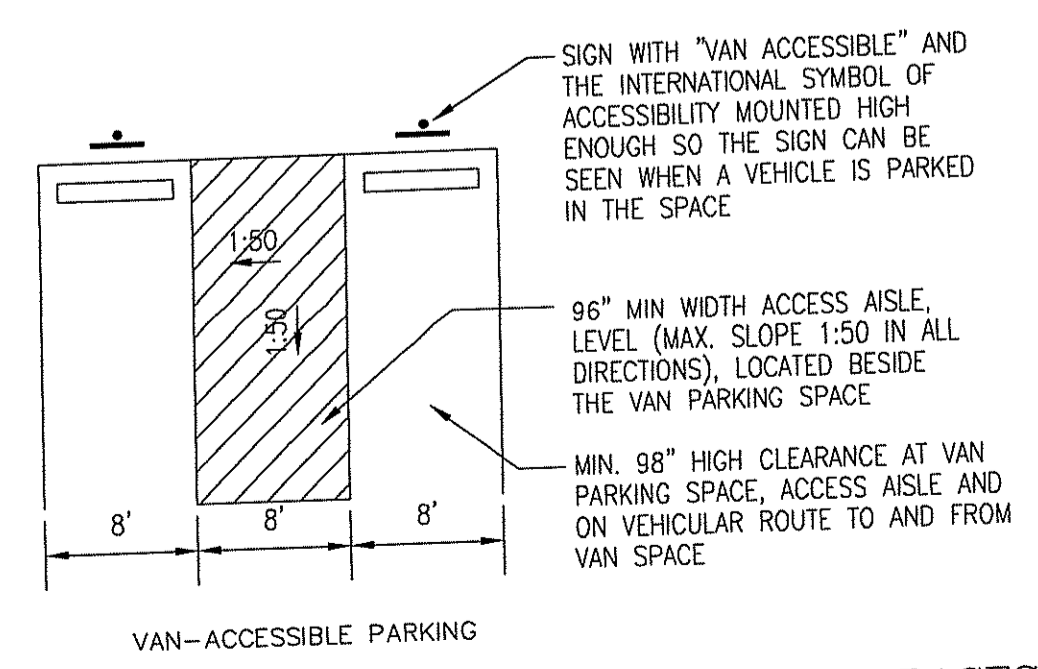


- NOTE:
- ENTIRE SURFACE OF RAMP TO BE PAINTED YELLOW.
 - INSTALL TACTILE CONCRETE WARNING SYSTEM WITH TOOL AS MANUFACTURED BY "INCRETE" ON RAMP AND FLARED SECTION PER ADA REQUIREMENTS OR APPROVED EQUAL.

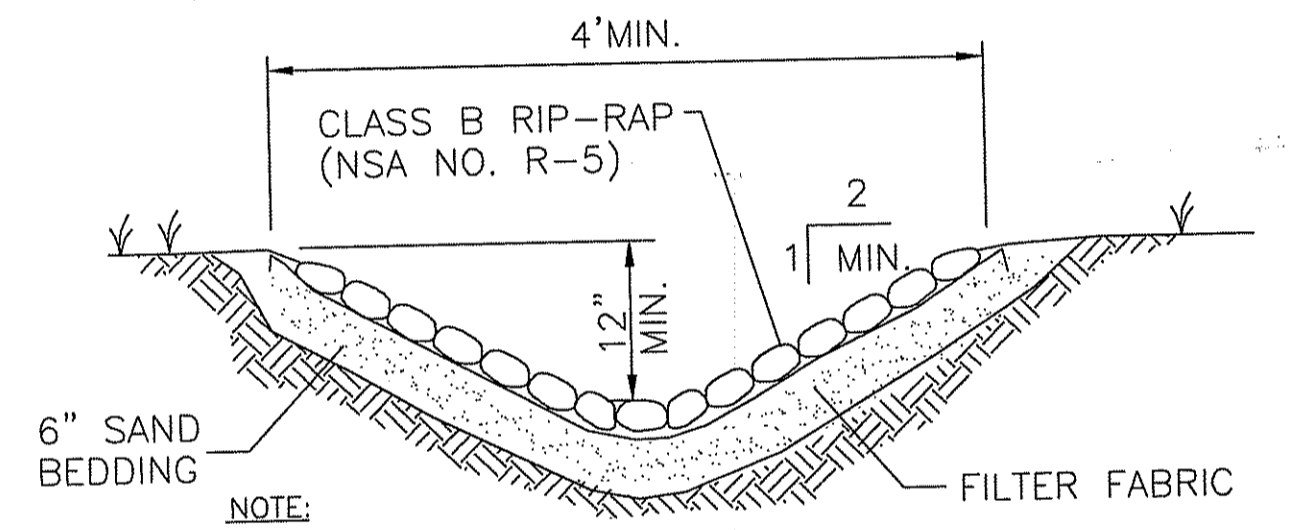
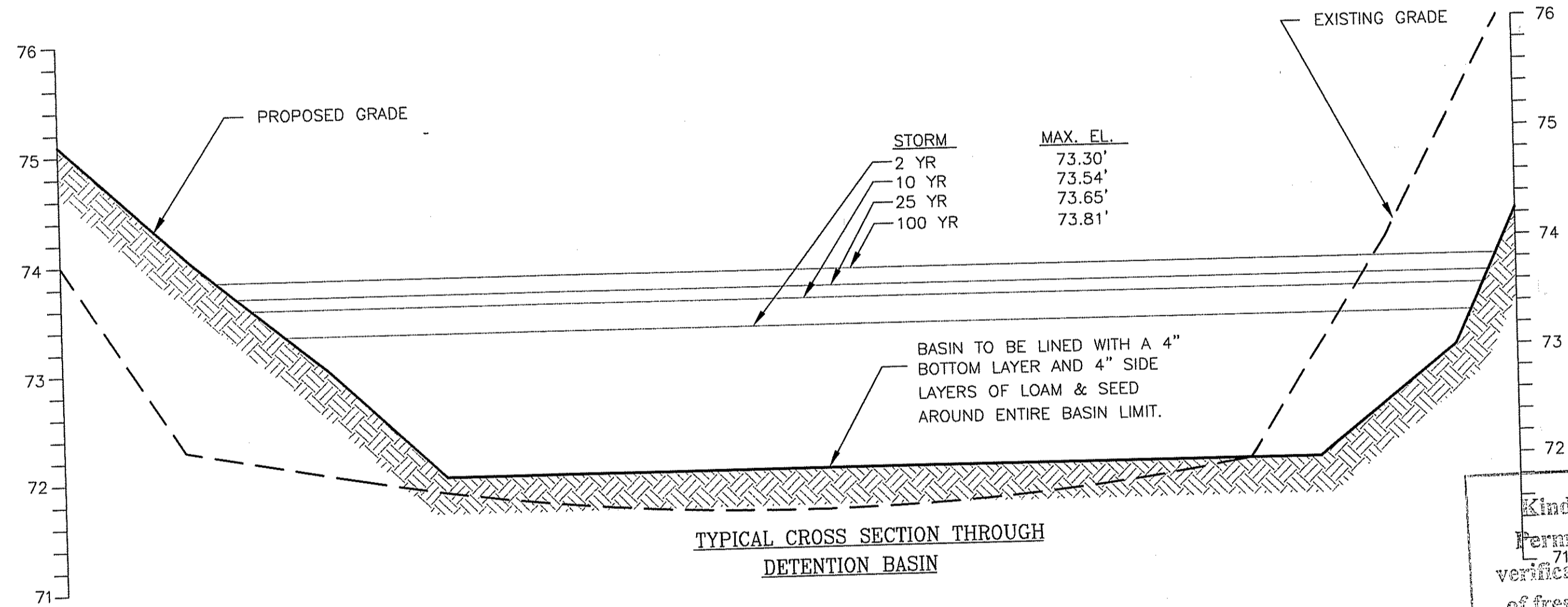
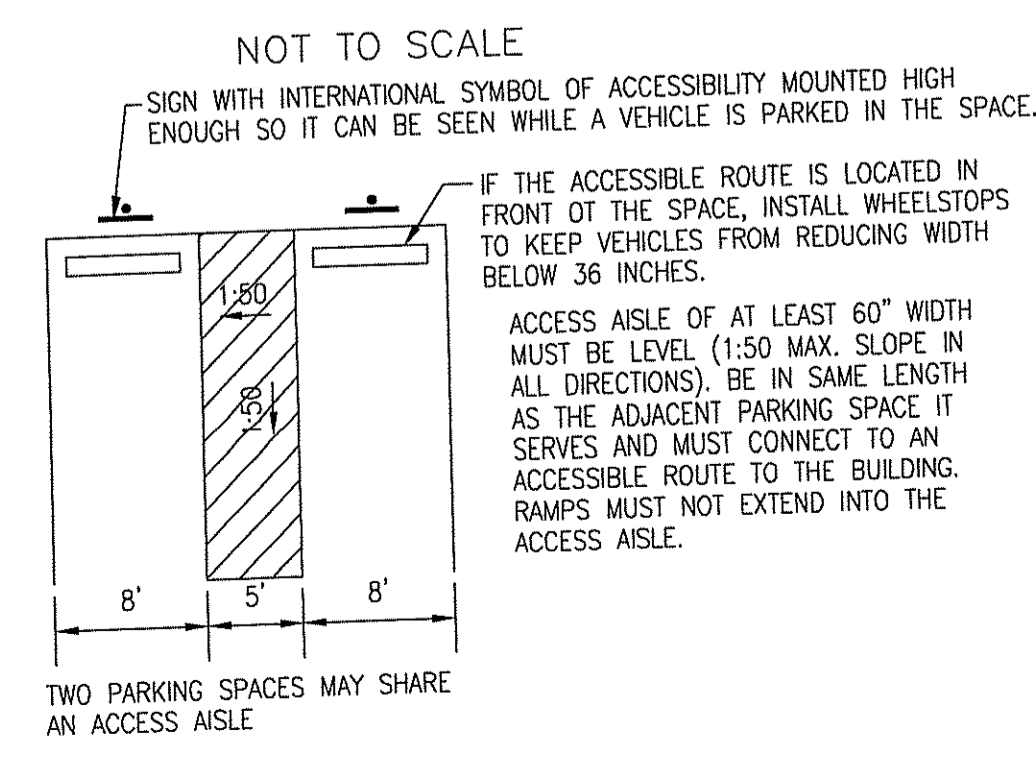
HANDICAP RAMP
NOT TO SCALE



- NOTE:
- SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL. SYMBOLS ARE REQUIRED TO CONTRAST WITH BACKGROUND. (COLOR NO. 105090 IN FEDERAL STANDARD 595a) DOUBLE COAT. (TYPICAL)
- HANDICAPPED PARKING SYMBOL**
NOT TO SCALE



HANDICAP PARKING SPACES
NOT TO SCALE



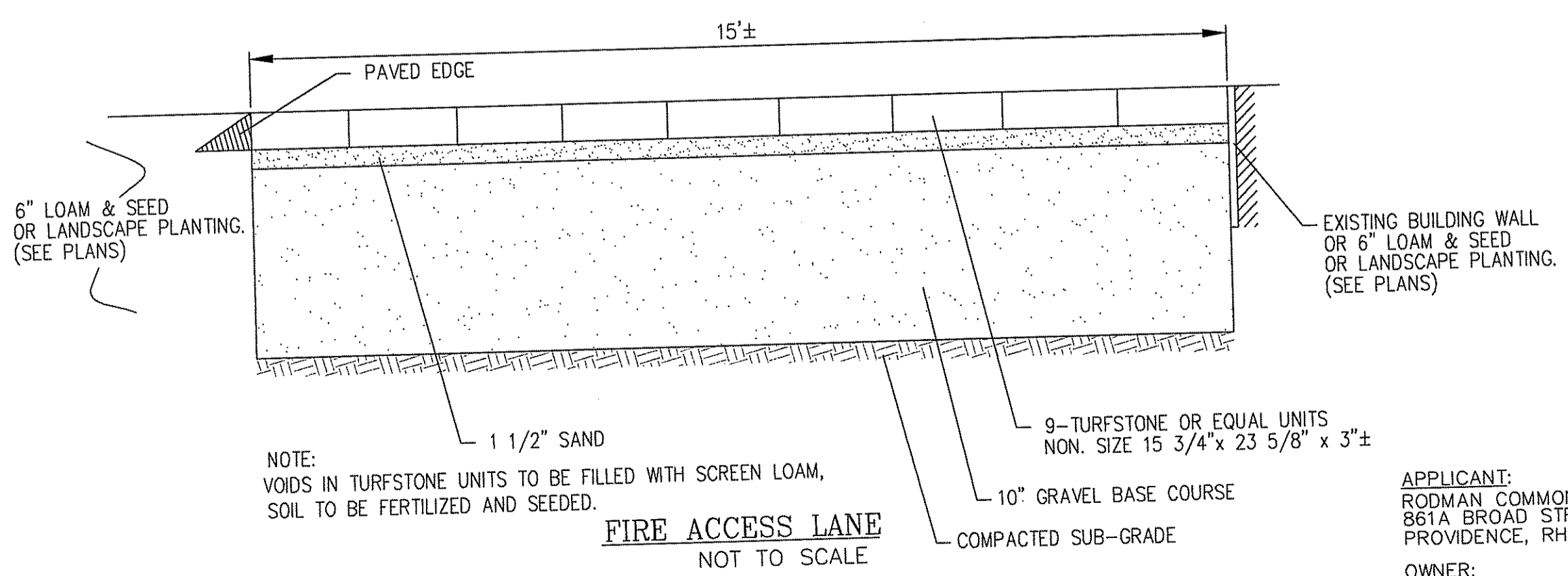
- NOTE:
- STONE FOR RIP-RAP SHALL MEET THE REQUIREMENTS OF SECTION M.10.03 OF THE R.I. STD. SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION REVISED 1997.
 - FILTER FABRIC TO BE MIRAFI 180 N OR EQUAL

RIP-RAP SHAPE DETAIL

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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CONSTRUCTION DETAILS



- NOTE:
- VOIDS IN TURFSTONE UNITS TO BE FILLED WITH SCREEN LOAM, SOIL TO BE FERTILIZED AND SEED.
 - 9-TURFSTONE OR EQUAL UNITS NON. SIZE 15 3/4" x 23 5/8" x 3"±
 - 10" GRAVEL BASE COURSE
 - COMPACTED SUB-GRADE

FIRE ACCESS LANE
NOT TO SCALE

Steven M. Clarke
No. 4477
REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH ENGINEERS & CONSULTANTS, INC.
400 SMITH STREET
PROVIDENCE, RHODE ISLAND 02908
401-273-6600

REVISIONS

No.	DATE	DRWN	CHKD
1.	10/27/10	KAB	SMC

COMPREHENSIVE PERMIT MASTER/PRELIMINARY SUBMISSION FOR
RODMAN COMMONS
A.P. 40-3 LOT 13
20 UNIT BUILDING ADDITION
AT
80 SAMUEL RODMAN STREET
SOUTH KINGSTOWN, RHODE ISLAND

SCALE: 1"=20' SHEET NO: 8 of 8
DRAWN BY: KAB DESIGN BY: KAB CHECKED BY: JAR
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