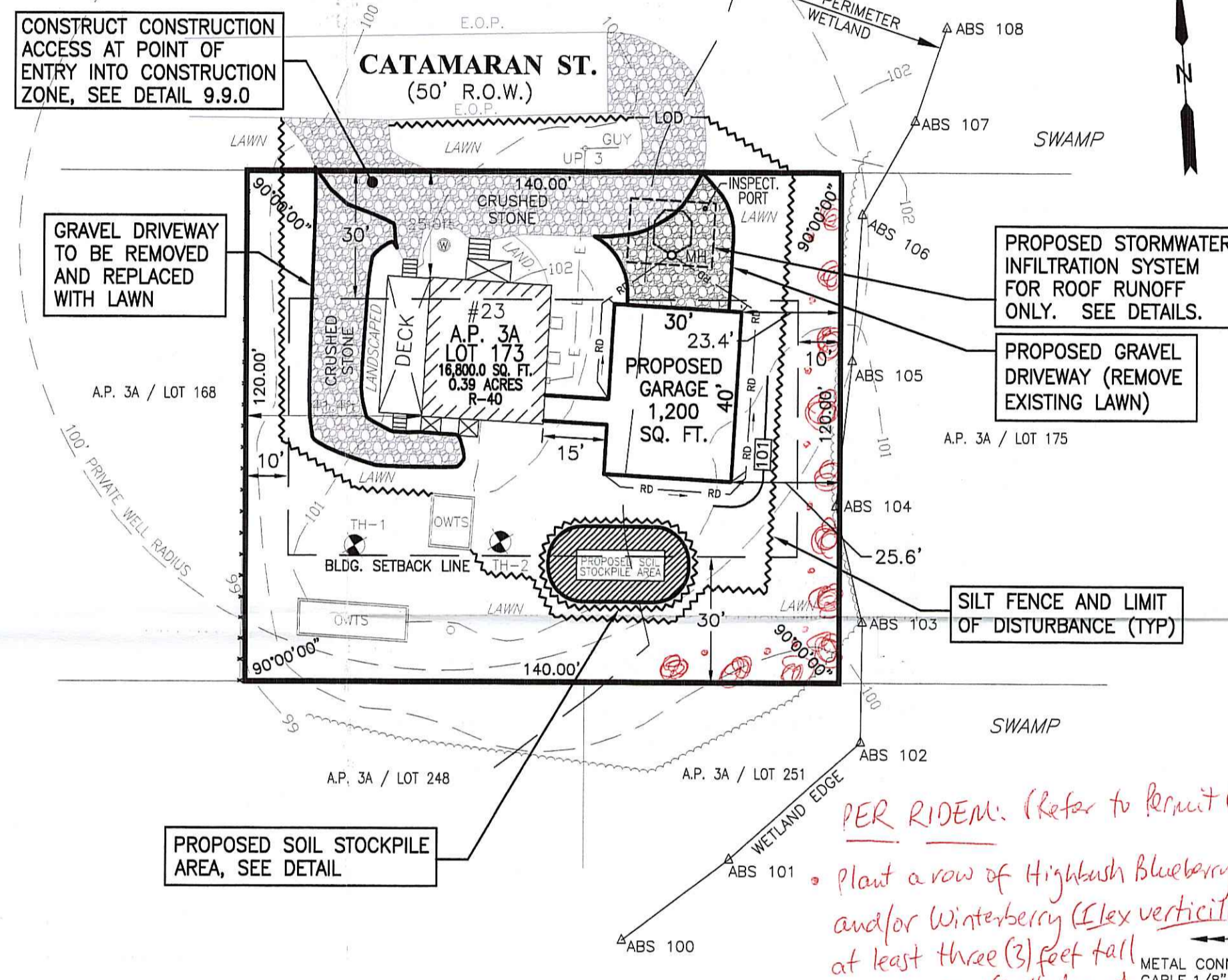




LOCUS MAP
SCALE: AS SHOWN

GENERAL NOTES:

- PROPERTY LINE SURVEY, TOPOGRAPHY, AND UTILITY LOCATIONS DETERMINED BY K. ANDREWS ASSOCIATES.
- FRESHWATER WETLAND EDGE DELINEATED BY APPLIED BIO-SYSTEMS, INC.
- FEMA FLOOD INSURANCE RATE MAP, NEWPORT COUNTY, RHODE ISLAND, PANEL 67 OF 226, #440500067H, APRIL 5, 2010 INDICATES PROPOSED GARAGE/ACTIVITIES ARE SITUATED IN A ZONE X WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOPSOIL AND GRASS SEED UNLESS OTHERWISE NOTED.
- ALL EXCAVATION AND PLACEMENT OF FILL SHALL BE IN ACCORDANCE WITH R.I.D.O.T. STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE". ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON BEST AVAILABLE INFORMATION AND REPRESENT APPROXIMATE LOCATIONS. UTILITY LOCATIONS SHOWN ON THE PLANS SHALL NOT BE RELIED UPON BY THE CONTRACTOR. NO DRAINAGE STRUCTURE OR FACILITY SHALL BE DISTURBED WITHOUT PROPER PERMITS UNLESS SPECIFICALLY INDICATED ON THESE DRAWINGS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ANY REQUIRED UTILITY RELOCATIONS SHALL BE COORDINATED BY CONTRACTOR.
- SPECIFICATIONS & DETAILS TO GOVERN THIS PROJECT ARE THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION 2004 EDITION (AS AMENDED) & LOCAL STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- ALL REQUIRED AUTHORIZATION/PERMITS TO PERFORM WORK MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- ALL DISTURBED AREAS/STRUCTURES SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN, INCLUDING CURBS, PAVEMENTS, ETC.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- ALL ELEVATIONS ON SUBJECT PROPERTY ARE BASED ON AN ASSUMED DATUM.
- ALL CONSTRUCTION IS SUBJECT TO THE INSPECTION AND APPROVAL BY VARIOUS AGENCIES. PROPER NOTIFICATION SHALL BE GIVEN PRIOR TO THE COMMENCEMENT OF ANY WORK.
- MANHOLE FRAME & COVER SHALL BE ADJUSTED TO FINISH GRADE WITH RED BRICK AND/OR MORTAR.



SITE PLAN
SCALE: 1"=30'

IMPERVIOUS COVERAGE:

HOUSE (28'x32')	896 SQ. FT. (EXISTING)
FRONT PORCH (4'x10')	40 SQ. FT. (EXISTING)
GARAGE (30'x40')	1,200 SQ. FT. (PROPOSED)
GARAGE/HOUSE CORRIDOR (6'x15')	90 SQ. FT. (PROPOSED)
	2,226 SQ. FT.
IMPERVIOUS % = 2,226 SQ. FT. / 16,800 SQ. FT. = 13.3%	

STORMWATER CONTROL REQUIRED:

COVER TYPE CHANGE	AREA	FROM	TO	RUNOFF NET CHANGE
GARAGE & CORRIDOR	1,290 SQ. FT.	LAWN <5% GRAVEL	ROOF >5% GRAVEL	95% - 15% = +80%
DRIVEWAY ADDED	603 SQ. FT.	LAWN <5% GRAVEL	ROOF >5% GRAVEL	60% - 15% = +45%
DRIVEWAY REMOVED	1,008 SQ. FT.	LAWN <5% GRAVEL	LAWN <5% GRAVEL	15% - 60% = -45%
25-YEAR, 24-HOUR STORM PRODUCES 5.7 INCHES (0.475 FEET) OF RAIN.				
VOLUME REQUIRED = 1,290 S.F. X 0.80% X 0.475 FT.		= +490 CUB. FT.		
VOLUME REQUIRED = 603 S.F. X 0.45% X 0.475 FT.		= +129 CUB. FT.		
VOLUME CREDITED = 1,008 X 0.45% X 0.475 FT.		= -215 CUB. FT.		
TOTAL		= +404 CUB. FT.		

ABBREVIATIONS

A.P.	ASSESSORS PLAT
APPROX	APPROXIMATE
EL.	ELEVATION
ELEV.	ELEVATION
FEET	FEET
HORZ	HORIZONTAL
I.D.	INSIDE DIAMETER
INV.	INVERT
MJ	MECHANICAL JOINT
MINS	MINIMUM
OWTS	SEPTIC SYSTEM
SMH	SANITARY MANHOLE
STA.	STATION
TB	THRUST BLOCK
TYP	TYPICAL
UP	UTILITY POLE
VERT	VERTICAL
W/	WITH

LINETYPE LEGEND

---	SUBJECT PROPERTY LINE
---	ABUTTING PROPERTY LINE
---	BUILDING SETBACK LINE
---	EDGE OF EXISTING CURB
---	EXIST. ELEVATION CONTOUR LINE
---	PROPOSED ELEVATION CONTOUR
---	EXIST. GAS LINE
---	EXIST. STORM DRAIN LINE
---	EXIST. SANITARY SEWER LINE
---	EXIST. WATER LINE
---	PROP. ROOF DRAIN PIPE
---	PROPOSED STORM DRAIN LINE
---	PROPOSED WATER LINE
---	WETLAND EDGE
---	50-PERIMETER WETLAND SILT FENCE & LIMIT OF DISTURBANCE
---	LIMIT OF DISTURBANCE

ZONING:

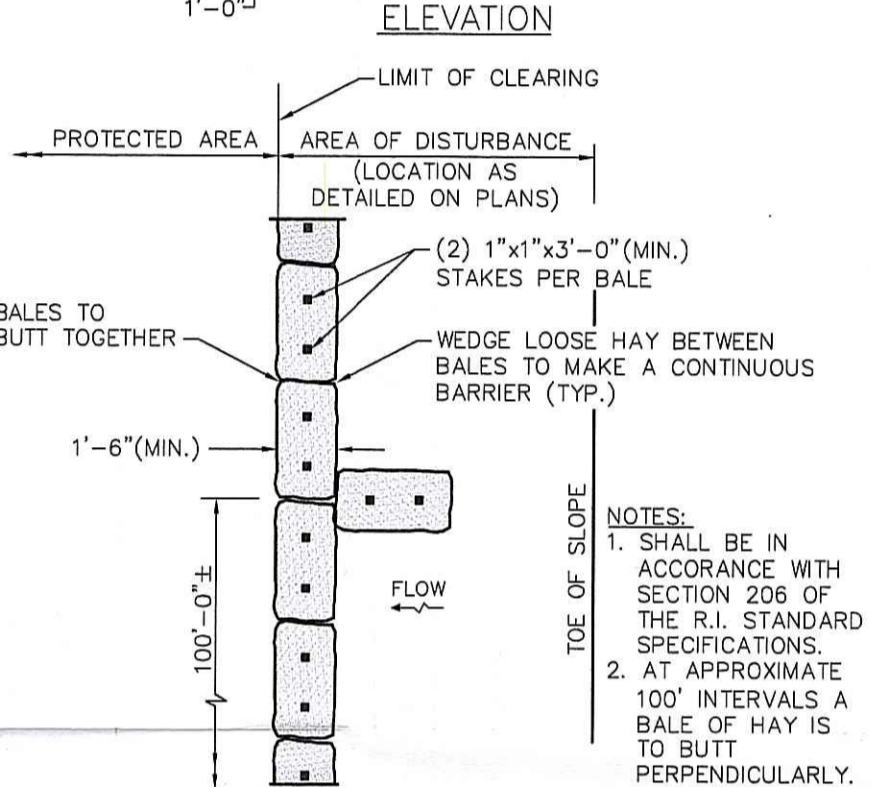
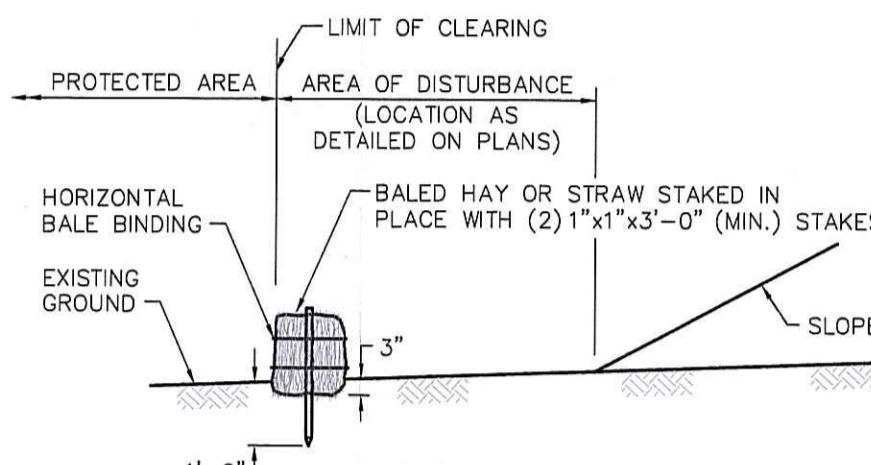
ZONE	R-40
MINIMUM LOT SIZE	40,000 SQ. FT.
FRONTAGE	100 FT.
BLDG. LOT COVER.	25% (R-20)
IMPERVIOUS COVER	15% (H.W.T. DISTRICT)
BLDG. HEIGHT PRINC.	35 FT.
BLDG. HEIGHT ACCESS.	25 FT.
FRONT YARD CORNER YARD	30 FT.
REAR YARD	20 FT.
REAR YARD	10 FT.
REAR YARD	30 FT.

NOTE: TABLE 3.2 OF THE ZONING ORDINANCE STATES R-20 DIMENSIONAL REQUIREMENTS SHALL BE USED FOR LOTS LESS THAN 20,000 SQ. FT. SUBJECT LOT IS LESS THAN 20,000 SQ. FT.

NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

SOIL STOCKPILE AREA DETAIL WITH DOUBLE EROSION PROTECTION



BALED HAY EROSION CHECK
R.I. STANDARD 9.1.0

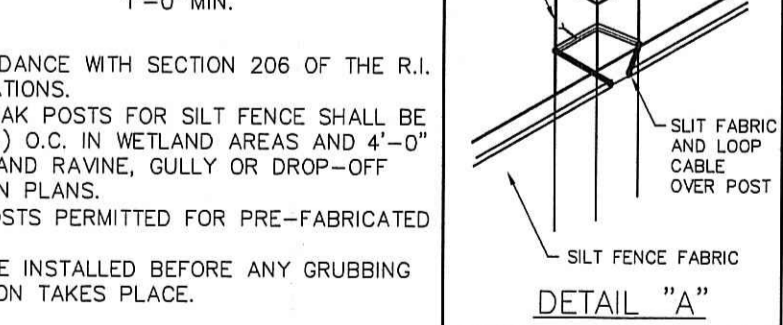


ATRIUM GRATE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 18 2011 FILE # 10-0225
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.



KIRK D. ANDREWS
No. 1684
PROFESSIONAL LAND SURVEYOR



SILT FENCE DETAIL
R.I. STANDARD 9.2.0

"THIS SURVEY AND PLAN CONFORM TO A CLASS "1" STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS"

BY: KIRK D. ANDREWS PLS NO. 1684 DATED:

NARRATIVE:

PROJECT DESCRIPTION: THE DEVELOPMENT CONSISTS OF CONSTRUCTING A 1,200 SQ. FT. GARAGE AND ASSOCIATED AMENITIES SUCH AS THE STORMWATER INFILTRATION SYSTEM AND DRIVEWAY.

TOTAL LAND DISTURBANCE = 0.27 ACRES

BASE FLOOD ELEVATION: FEMA FLOOD INSURANCE RATE MAP, NEWPORT COUNTY, RHODE ISLAND, PANEL 67 OF 226, #440500067H, APRIL 5, 2010 INDICATES PROPOSED GARAGE/ACTIVITIES ARE SITUATED IN A ZONE X WHICH IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

PROPOSED DRAINAGE SYSTEM: STORMWATER RUNOFF FROM PROPOSED ACTIVITIES WILL BE MITIGATED TO PRE-PROJECT CONDITIONS BY PIPING THE ROOF RUNOFF FROM THE PROPOSED GARAGE TO A PROPOSED SUBSURFACE INFILTRATION SYSTEM LOCATED IN PROPOSED DRIVEWAY. SYSTEM IS SIZED FOR THE 25-YEAR, 24-HOUR, TYPE III STORM.

EMERGENCY PHONE NUMBERS: CONTACT HOME OWNER CARL WINSOR AT 255-2982 FOR IMMEDIATE ATTENTION.

SOIL EROSION AND SEDIMENT CONTROL MEASURES: DOWN GRADIENT AREAS OF ALL DISTURBED AREAS SHALL BE PROTECTED WITH SILT FENCE AND/OR HAYBALES AS SHOWN ON THE PLANS/DETAILS. ALL SOIL STOCK PILE AREAS SHALL BE PROTECTED FROM SOIL EROSION AS SHOWN ON THE DETAIL. STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE WITH GRASS SEED OR A 2 INCH LAYER OF WOOD MULCH.

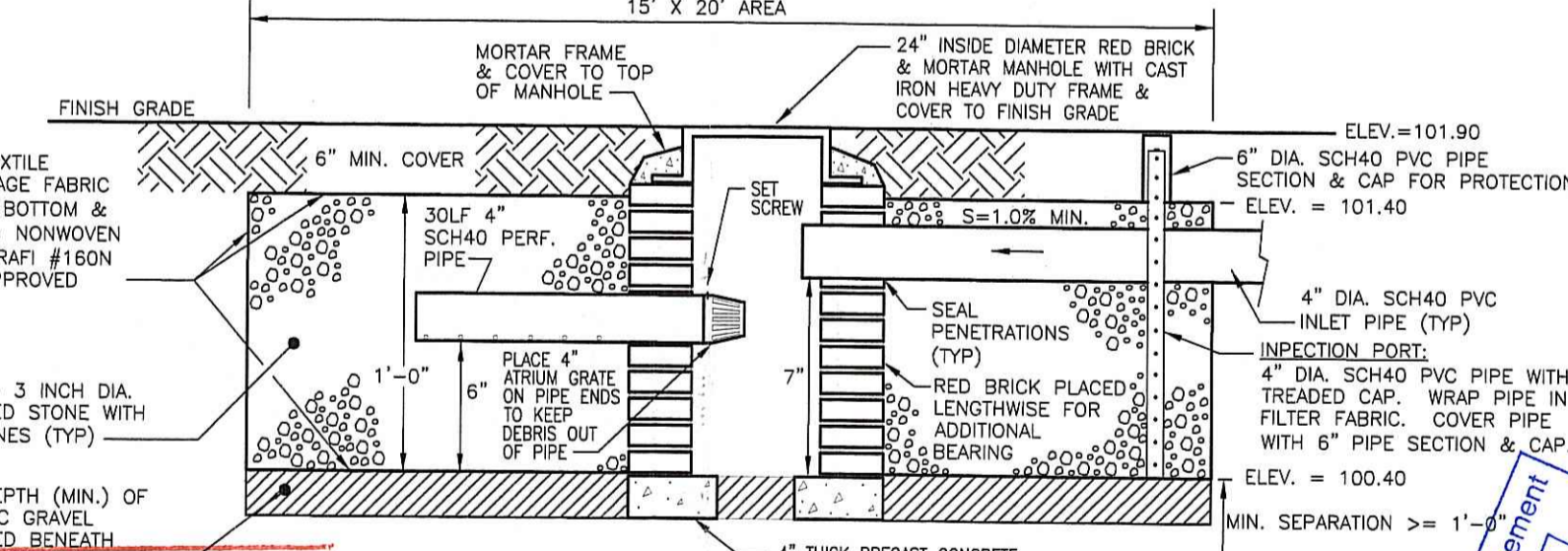
SCHEDULE: WORK IS ANTICIPATED TO COMMENCE IN SPRING 2011 AND BE COMPLETED BY FALL 2011.

SEQUENCE OF LAND DISTURBING ACTIVITIES:

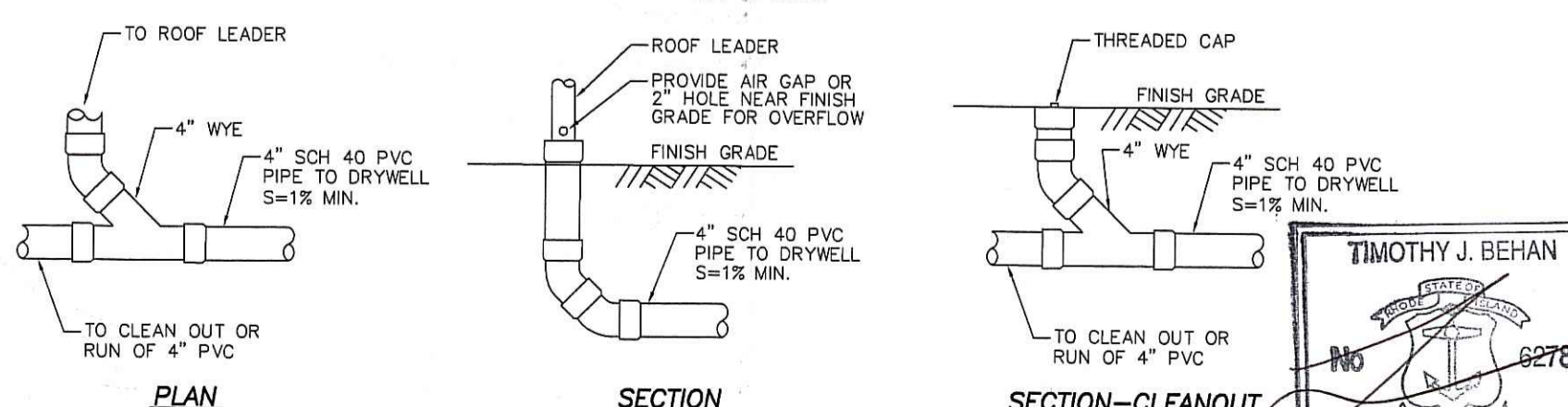
- SURVEY AND STAKE LIMIT OF DISTURBANCE FOR PLACEMENT OF SEDIMENTATION CONTROL DEVICES.
- PLACE PERIMETER SEDIMENTATION CONTROL DEVICES (HAYBALE OR SILT FENCE) AS SHOWN ON THE PLANS. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION CONTROL DEVICES.
- CONSTRUCT CONSTRUCTION ENTRANCE DEVICES 9.9.0.
- BEGIN CONSTRUCTION OF GARAGE AND DRIVEWAYS (EXCAVATING AND GRADING, ETC.). ALL STRIPPED SOILS WHICH ARE STOCKPILED SHALL BE STOCKPILED IN THE APPROVED AREA. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION DEVICES, REFER TO DETAIL.
- CONSTRUCT STORMWATER INFILTRATION SYSTEM.
- FINISH CONSTRUCTION OF GARAGE AND DRIVEWAY.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDING WITH GRASS OR MULCHED WITH A 2 INCH LAYER OF MULCH.
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES WHEN SITE IS STABILIZED.

HOUSE DRYWELL SYSTEM NOTES AND MAINTENANCE NOTES:

- ROOF TOP RUNOFF FROM PROPOSED GARAGE SHALL BE PIPED TO THE INFILTRATION SYSTEM.
- PIPE SHALL BE SDR 35 PVC OR EQUAL UNLESS PIPE IS SUBJECT TO VEHICULAR TRAFFIC, THEN THE PIPE SHALL BE SCH.40 PVC AND PLACED IN A 3/4" CRUSHED STONE BEDDING WHICH IS 6" DEEP BELOW THE PIPE AND BEDDING TO EXTEND TO THE CROWN OF THE PIPE.
- IT IS RECOMMENDED THE HOUSE GUTTERS BE EQUIPPED WITH LEAF GUARD / DEBRIS PROTECTION DEVICES TO PROMOTE LONGEVITY OF THE INFILTRATION SYSTEM.
- PROVIDE CLEANOUTS TO GRADE AT ALL BENDS 45' OR GREATER AND AT INTERVALS NOT EXCEEDING 75 FEET.
 - THE HOME OWNER IS RESPONSIBLE FOR AND SHALL MAINTAIN THE DRYWELL SYSTEM.
 - A RHODE ISLAND REGISTERED PROFESSIONAL ENGINEER SHALL DESIGN ANY SUBSEQUENT REPAIRS TO SYSTEM.
 - EVERY SPRING AND FALL OPEN MANHOLE COVERS AND INSPECT INTERIOR OF DRYWELL MANHOLE. DAMAGED AREA(S) SHALL BE REPAIRED IMMEDIATELY. CLEAN OUT AND DISPOSE ANY DEBRIS WHICH MAY BE PRESENT. ENSURE ELBOW AREA IS CLEAN.
 - INSPECT HOUSE GUTTERS IN THE SPRING AND FALL TO ENSURE THEY ARE NOT CLOGGED AND ALLOW FREE FLOW DISCHARGES TO THE DRY WELL SYSTEM. CLEAN ANY CLOGGED GUTTERS IMMEDIATELY.
 - IF WATER IS FOUND TO BE STANDING IN AN OBSERVATION WELL PIPE MORE THAN (3) DAYS AFTER A RAINFALL EVENT, A REGISTERED PROFESSIONAL ENGINEER SHALL INSPECT SYSTEM FOR REPAIR.



HOUSE DRYWELL SYSTEM (TYPICAL DETAIL)



HOUSE DRYWELL SYSTEM - MISC. DETAILS

SOIL EROSION CONTROL PROGRAM:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES SET FORTH IN LOCAL LAND DEVELOPMENT AND SUBDIVISION REGULATIONS, ZONING ORDINANCE AND RIDEM FRESHWATER WETLAND PERMIT STIPULATIONS.
 - EXTREME CARE SHALL BE EXERCISED AS TO PREVENT ANY MATERIALS FROM ENTERING WETLANDS, THE ROADWAYS, ROADWAY DRAINAGE SYSTEMS, AND ADJACENT PROPERTY.
 - STAKED HAY BALES OR SILT FENCE SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND AS REQUIRED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTIES, WETLANDS AND THE ROADWAY DRAINAGE SYSTEM.
 - DENuded SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
 - ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDING OR PROTECTED BY THAT DATE.
- SEED MIX: (RIDOT STANDARD)**
- | | |
|---------------------|-------------|
| CREeping RED FESCUE | 75 LBS/ACRE |
| KENTUCKY BLUE GRASS | 15 LBS/ACRE |
| COLONIAL BENT GRASS | 5 LBS/ACRE |
| PERENNIAL RYE GRASS | 5 LBS/ACRE |
- TEMPORARY TREATMENTS SHALL CONSIST OF HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE RIDEM, TOWN, ENGINEER OR OWNER AT NO ADDITIONAL COST.
 - HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
 - ALL NEW HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
 - STOCKPILES SHALL HAVE NO SLOPE GREATER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCE. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS OF TIME SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
 - DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
 - ADDITIONAL HAY BALES/SILT FENCE OR OTHER TREATMENTS SHALL BE PROVIDED AS DIRECTED BY ENGINEER, RIDEM OR LOCAL REPRESENTATIVES AT NO ADDITIONAL COST.
 - THE CONTRACTOR SHALL REFERENCE THE "RI EROSION AND SEDIMENT CONTROL HANDBOOK" AS PREPARED BY THE US DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, (AS REVISED) AS A GUIDE.
 - THE CONTRACTOR SHALL INSPECT THE SOIL EROSION CONTROL DEVICES AFTER EVERY RAIN STORM EVENT AND EVERY SEVEN DAYS DURING DRY PERIODS. ANY SOIL MIGRATION PAST THESE DEVICES SHALL BE REMOVED AND THE SOIL EROSION CONTROL DEVICES SHALL BE RE-ESTABLISHED TO PREVENT SOIL EROSION. ALL ACCUMULATED SEDIMENT IN FRONT OF THE DEVICES SHALL BE REMOVED AFTER EVERY RAIN STORM EVENT.
 - DISTURBED AREAS SHALL BE PROTECTED AGAINST SOIL EROSION BY PLACEMENT OF HAY BALES AND/OR SILT FENCE ON THE DOWN GRADIENT SIDE OF THE DISTURBED AREA(S). SHOULD THE VOLUME AND/OR RATE OF STORMWATER RUNOFF BE TOO GREAT FOR A SINGLE DEVICE, THEN MULTIPLE DEVICES ARE REQUIRED SUCH AS SILT FENCE BACKED-UP WITH HAYBALES.
 - DISTURBED SOILS SHALL BE STABILIZED AS SOON AS PRACTICABLE AS DETERMINED BY TOWN, RIDEM, OWNER AND/OR ENGINEER.
 - TEMPORARY VEGETATION AND/OR MULCHING SHALL BE USED TO PROTECT EXPOSED LAND AREAS DURING DEVELOPMENT.
 - PERMANENT (FINAL) VEGETATION SHALL BE PLANTED AND SUPPLEMENTAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE.
 - DURING GRADING OPERATIONS, APPROPRIATE MEASURES FOR DUST CONTROL SHALL BE EXERCISED BY USE OF SPRAY WATER APPLIED TO EXPOSED SOIL AREAS OR APPROVED EQUAL.

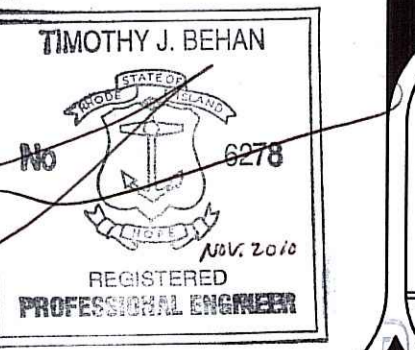
PREPARED FOR
CARLTON H JR & DEBORAH A WINSOR
LOCATION
A.P. 3A / LOT 173
23 CATAMARAN STREET
JAMESTOWN, RI

Checked By:	T.J.B.		
Drawn By:	T.J.B.		
Date:	NOV. 2010		
Scale:	AS SHOWN		
NO.	REVISION	BY	DATE

K ANDREWS ASSOCIATES
LAND SURVEYING AND SITE PLANNING
1050 MAIN STREET, SUITE 31
EAST GREENWICH, RHODE ISLAND 02818
PHONE: (401) 359-2681

TJB ENGINEERING, LLC
CIVIL ENGINEERING
PERMITTING * LAND PLANNING
SUBDIVISIONS * WASTEWATER
1050 MAIN STREET SUITE 31
EAST GREENWICH, RI 02818
PHONE: 401-996-1677

Environmental Management
NOV 23 2010
Office of Water Resources



TIMOTHY J. BEHAN
No. 0278
REGISTERED PROFESSIONAL ENGINEER

Sheet 1 of 1 sheets

NOV 23 2010