



**REFERENCE:**

1. PLAN - "ALTA/ACSM LAND TITLE SURVEY ROUTE 7 - DOUGLAS PIKE SMITHFIELD, RHODE ISLAND E.S.A. SITE #1163 BOHLER ENGINEERING, P.C. OUTER LIMITS SURVEY, INC. JOHN L. LIBBY CONSULTING 02-13-03" SCALE: 1"=50' (LAST REVISION DATE: 02/07/03)
2. STATE HIGHWAY PLAT 365
3. STATE HIGHWAY PLAT 2342
4. "CLYDE CONDOMINIUM DOUGLAS PIKE (ROUTE 7) ASSESSOR'S PLAT 46, LOT 75 SITUATED IN SMITHFIELD, RHODE ISLAND PREPARED FOR CLYDE DEVELOPMENT CO., LLC PREPARED BY JOHN P. CAITO CORPORATION JUNE 14, 2005" RECORDED CONDOMINIUM PLAN #13470 JUNE 14, 2005 IN THE TOWN OF SMITHFIELD LAND EVIDENCE RECORDS IN RECORDED CONDOMINIUM BOOK 4 PAGE 25 JULY 27, 2005.
5. PLAN - "PLAN OF LAND DOUGLAS PIKE ASSESSOR'S PLAT 46, LOT 242 SITUATED IN SMITHFIELD, RHODE ISLAND PREPARED BY JOHN P. CAITO CORPORATION MAY 7, 1998"

**STREET INDEX:**

THIS PLAN SHALL BE INDEXED BY THE FOLLOWING STREET:  
DOUGLAS PIKE

**EASEMENT AREAS:**

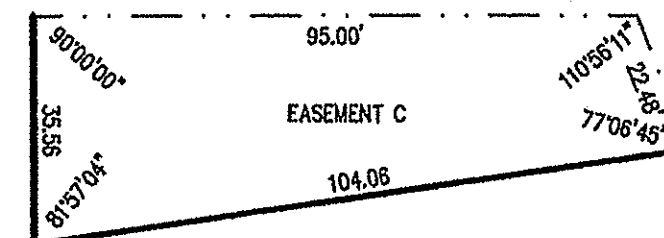
PARCEL	SQUARE FEET	ACRES
EASEMENT A	13,832	0.3175
EASEMENT B	33,595	0.7712
EASEMENT C	2,829	0.0649

**AREA TABLE:**

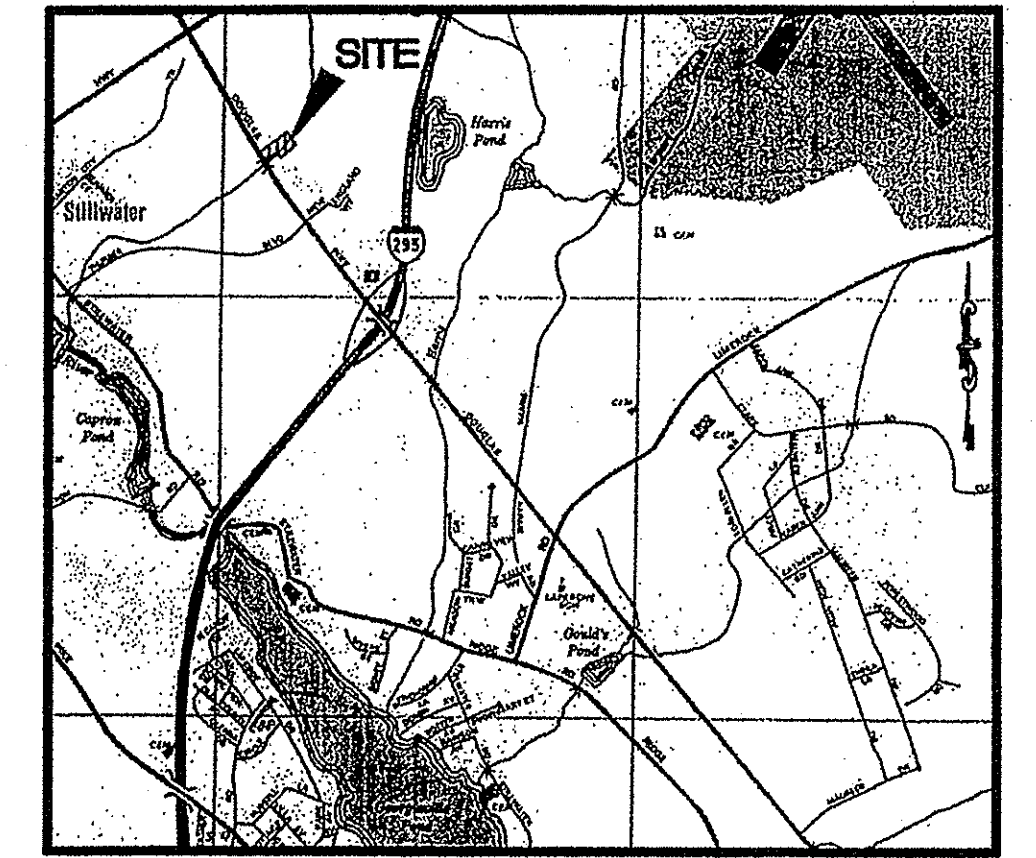
ASSESSOR'S PLAT (AP)	EXISTING AREA	PROPOSED AREA
AP 46, LOT 75 (INCLUDES LAND UNITS 1-3, LIMITED COMMON AREA, WITHDRAWN REAL PROPERTY 1, AND PHASE II WITHDRAWABLE REAL PROPERTY)	873,662 SQ. FT. (20.0565 AC.)	811,172 SQ. FT. (18.6219 AC.)
AP 46, LOT 242	217,802 SQ. FT. (5.0000 AC.)	280,292 SQ. FT. (6.4346 AC.)

**LEGEND:**

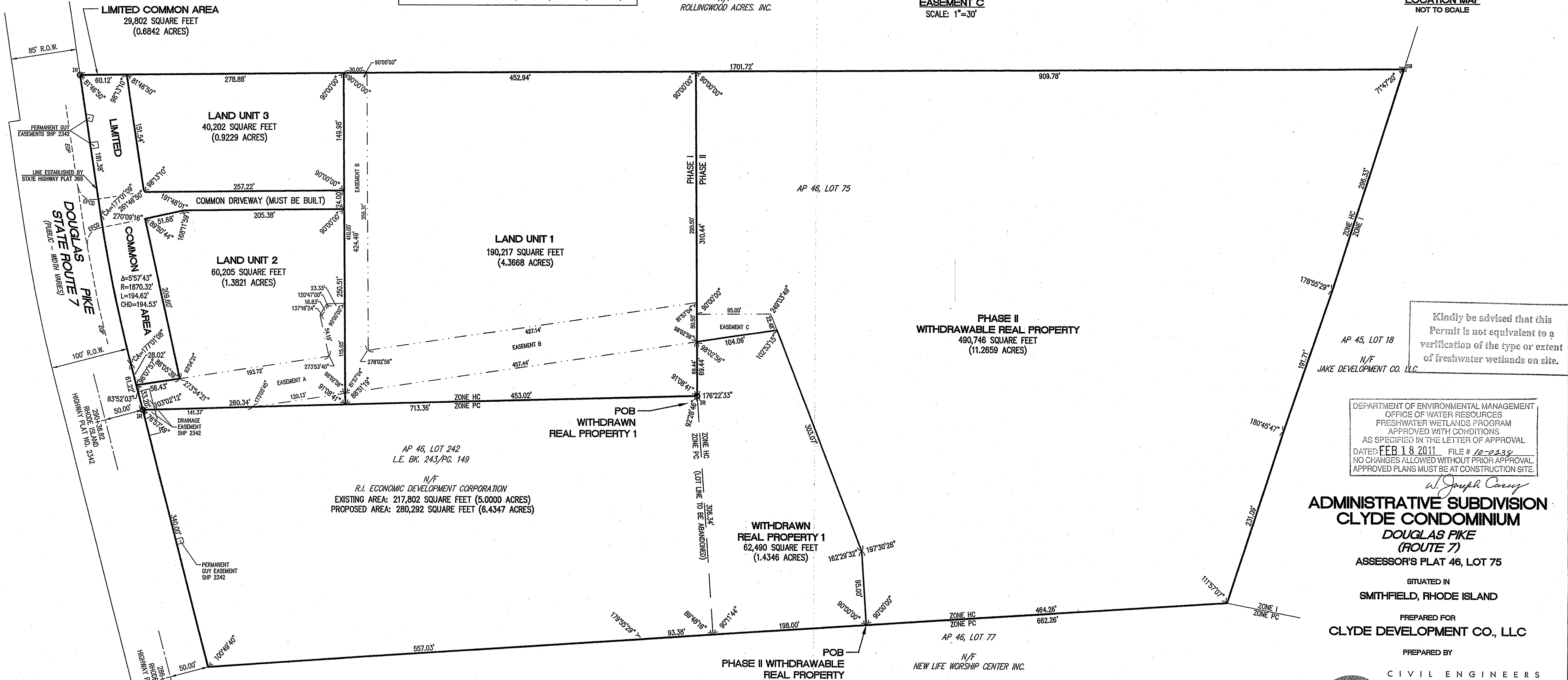
- ▣ STONE BOUND FOUND
- IRON ROD FOUND
- EOP --- EDGE OF EXISTING PAVEMENT
- EPD --- EDGE OF PROPOSED COMMON DRIVEWAY
- SQ. FT. SQUARE FEET
- AC. ACRES



**EASEMENT C**  
SCALE: 1"=30'



**LOCATION MAP**  
NOT TO SCALE



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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 18 2011 FILE # 10-2435  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

*W. Joseph Conroy*  
**ADMINISTRATIVE SUBDIVISION**  
**CLYDE CONDOMINIUM**  
DOUGLAS PIKE (ROUTE 7)  
ASSESSOR'S PLAT 46, LOT 75

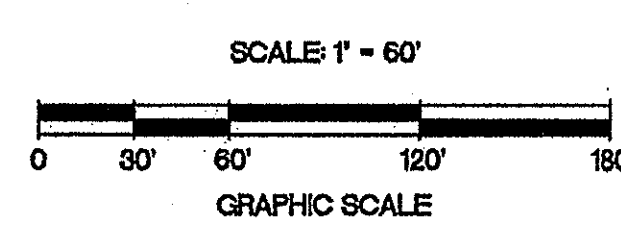
SITUATED IN  
SMITHFIELD, RHODE ISLAND  
PREPARED FOR  
CLYDE DEVELOPMENT CO., LLC  
PREPARED BY



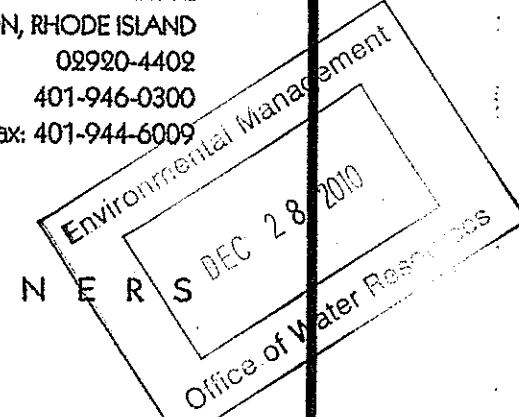
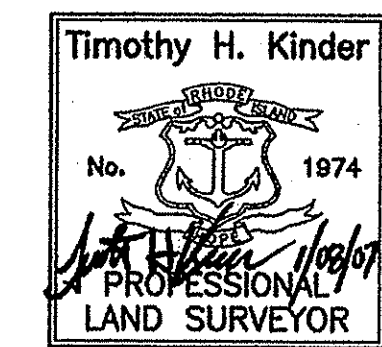
JANUARY 3, 2007

**OWNER/APPLICANT (AP 46, LOT 75):**  
CLYDE DEVELOPMENT CO. LLC  
295 GEORGE WASHINGTON HIGHWAY  
SMITHFIELD, RHODE ISLAND 02917

**OWNER (AP 46, LOT 242):**  
RHODE ISLAND ECONOMIC DEVELOPMENT CORPORATION  
ONE WEST EXCHANGE STREET  
PROVIDENCE, RHODE ISLAND 02903



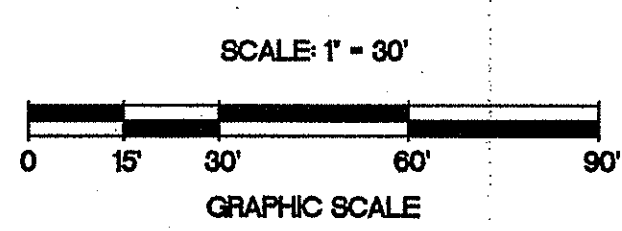
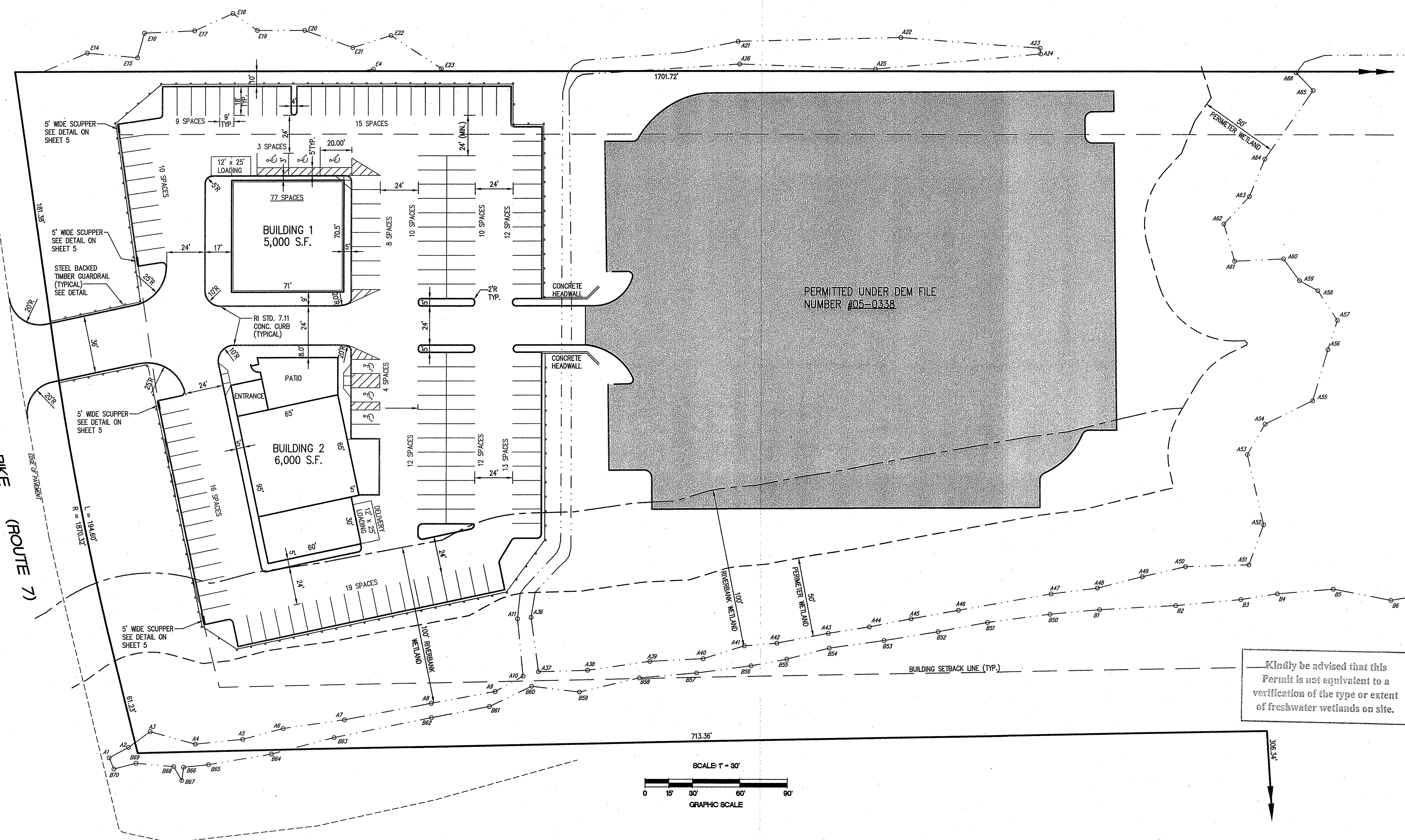
**CERTIFICATION:**  
THIS PLAN CONTAINS ALL OF THE INFORMATION REQUIRED BY R.I.G.L. 34-36.1-2.09.  
THIS SURVEY AND PLAN CONFORM TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.  
BY *Timothy H. Kinder* 1/08/07  
PROFESSIONAL LAND SURVEYOR DATE



3 OF 5\470\7015-2010.DWG (DISK: Z1001)



DOUGLAS PIKE (ROUTE 7)



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**ZONING DATA**

HC HIGHWAY COMMERCIAL	COMMERICAL USE
REFERENCE	RESTAURANT AND ENTERTAINMENT
TABLE 4.3	RETAIL BUSINESS AND SERVICE ESTABLISHMENTS

**DIMENSIONAL REQUIREMENTS ARTICLE 5**

HC HIGHWAY COMMERCIAL	REQUIRED	PROPOSED
MINIMUM LOT AREA (TABLE 1)	60,000 Sq.Ft.	873,660 Sq.Ft.
MINIMUM LOT FRONTAGE (TABLE 1)	300 Ft.	437.21 Ft.
MINIMUM LOT WIDTH (TABLE 1)	300 Ft.	437.21 Ft.
<b>MINIMUM YARD DIMENSIONS (TABLE 1)</b>		
FRONT YARD	PRINCIPAL 60 Ft.	PRINCIPAL 60 Ft.
SIDE YARD	40 Ft.	40 Ft.
REAR YARD	50 Ft.	> 50 Ft.

**OFF-STREET PARKING AND LOADING REQUIREMENTS ARTICLE 7**

USE AND DESCRIPTION	PARKING REQUIRED (CODE)	PARKING PROPOSED	LOADING REQUIRED (CODE)***	LOADING PROPOSED
5000 S.F. • 198 SEATS * EATING AND DRINKING ESTABLISHMENT (7.4.B.8) (10 EMPLOYEES)	76 SPACES	77 SPACES	1 SPACE	1 SPACE
6000 S.F. • 198 SEATS * EATING AND DRINKING ESTABLISHMENT (7.4.B.8) (10 EMPLOYEES)	76 SPACES	76 SPACES	1 SPACE	1 SPACE
<b>TOTAL</b>	<b>152 SPACES</b>	<b>153 SPACES</b>	<b>2 SPACES</b>	<b>2 SPACES</b>

**HANDICAP REQUIREMENTS R.I. STATE BLDG. CODE SBC-16, SEC. 412(5)a**

HANDICAP PARKING CRITERIA	REQUIRED	PROPOSED
151 TO 200 TOTAL SPACES IN LOT	6 SPACES	6 SPACES
SEVEN (7) ACCESSIBLE SPACES REQUIRED	6 SPACES	6 SPACES

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 18 2011 FILE # 10-0338  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

*W. Joseph Conroy*

NO.	DATE	REVISION

JEFFREY C. HANSON  
No. 5238  
PROFESSIONAL ENGINEER

CIVIL ENGINEERS  
JOHN P. AITO CORPORATION  
LAND PLANNERS  
141 JAMES P. MURPHY HIGHWAY  
WEST WARWICK, RHODE ISLAND 02891-2802  
401-815-8600  
fax: 401-815-8608

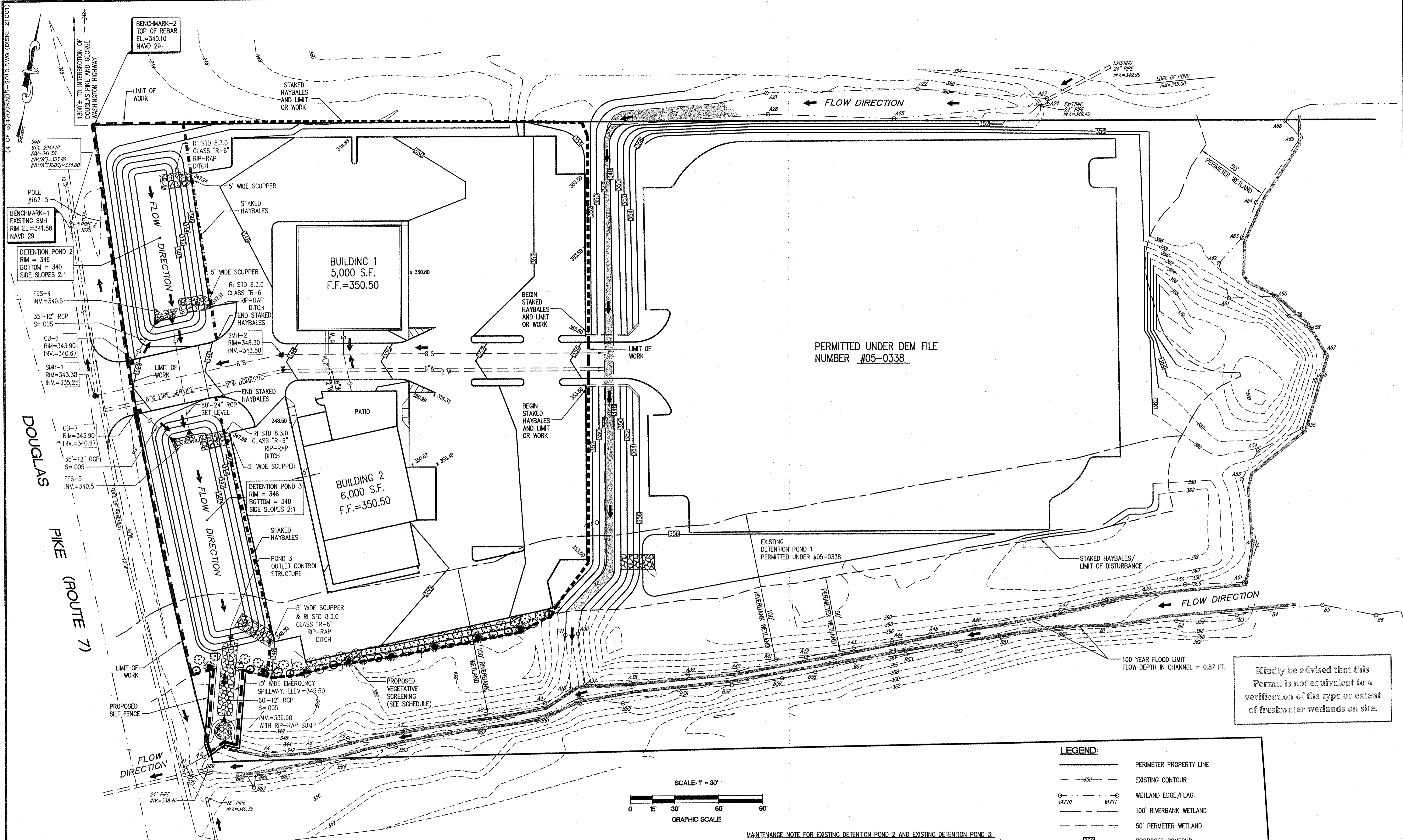


PROJECT NO: 13.470  
DATE: DECEMBER 2010  
SCALE: 1" = 30'  
DESIGNED BY: S.Q.T.  
DRAWN BY: F.T.  
CHECKED BY: J.C.H.

SITE LAYOUT PLAN  
**SITE DEVELOPMENT**  
ASSESSOR'S PLAT 46, LOT 75  
DOUGLAS PIKE (ROUTE 7)  
PREPARED FOR  
**CLYDE DEVELOPMENT CO., LLC**

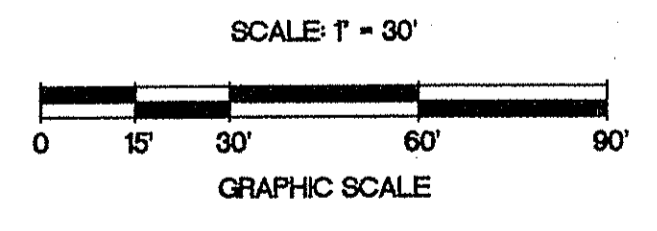
SMITHFIELD  
RHODE ISLAND  
DRAWING NUMBER  
**3**  
SHEET 3 OF 5

© 2010 JOHN P. AITO CORPORATION



PERMITTED UNDER DEM FILE NUMBER #05-0338

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**LEGEND:**

- PERIMETER PROPERTY LINE
- - - - - EXISTING CONTOUR
- WETLAND EDGE/FLAG
- 100' RIVERBANK WETLAND
- 50' PERIMETER WETLAND
- PROPOSED CONTOUR
- EXISTING CATCH BASIN
- EXISTING MANHOLE
- EXISTING DRAIN
- PROPOSED SEWER
- PROPOSED WATER
- STAKED HAYBALE/LIMIT OF WORK
- LIMIT OF WORK
- STAKED HAYBALE
- 100 YEAR FLOOD LIMIT
- ← FLOW DIRECTION

- NOTES:**
- A PORTION OF THE SITE IS LOCATED IN ZONE A, AREAS OF 1% ANNUAL FLOOD (100-YEAR FLOOD), NO BASE FLOOD ELEVATION DETERMINED. THAT PORTION OF THE PROJECT AREA, THE LIMIT OF WORK, IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN (500-YEAR FLOOD). REFERENCE: FIRM FLOOD INSURANCE RATE MAP PROVIDENCE COUNTY, RHODE ISLAND PANEL 167 OF 451 MAP NUMBER 44007C0167G EFFECTIVE DATE MARCH 2, 2009
  - THE FRESHWATER WETLANDS HAVE BEEN VERIFIED UNDER RIDER FRESHWATER WETLANDS APPLICATION # 91-0211D.
  - R-6 RIP-RAP SHALL BE USED AT ALL FLARED END SECTIONS. REFERENCE R.I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2004 EDITION, SECTION M.10.03.2.

**VEGETATIVE SCREENING:**

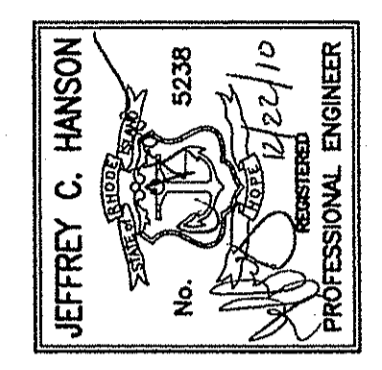
●	RED CEDAR ( <i>Juniperus virginiana</i> )	3' HIGH, 10' O.C.
○	HIGHBUSH BLUEBERRY ( <i>Vaccinium corymbosum</i> )	2-3' HIGH, ROTATED @ 10' O.C.
○	SILKY DOGWOOD ( <i>Cornus amomum</i> )	2-3' HIGH, ROTATED @ 10' O.C.
○	SOUTHERN ARROW-WOOD ( <i>Viburnum dentatum</i> )	2-3' HIGH, ROTATED @ 10' O.C.

- MAINTENANCE NOTE FOR EXISTING DETENTION POND 2 AND EXISTING DETENTION POND 3:**
- THE CONTRACTOR SHALL RESTORE EXISTING DETENTION POND 2 AND EXISTING DETENTION POND 3 TO THE GRADES SHOWN ON THIS PLAN AND AS PREVIOUSLY APPROVED UNDER RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT PERMIT NUMBER 98-0153.
  - THE ORIGINAL CONSTRUCTION OF THESE 2 DETENTION PONDS AND ASSOCIATED STORM WATER INFRASTRUCTURE WERE CERTIFIED BY JOHN P. CAITO CORPORATION ON NOVEMBER 23, 2004 TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE SITE PLANS APPROVED BY THE 98-0153 PERMIT. A COPY OF THE LETTER IS ILLUSTRATED ON SHEET 5.
  - THIS WORK IS ALLOWED UNDER RULE 6.00 - EXEMPT ACTIVITIES AS OUTLINED IN THE STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS GOVERNING THE ADMINISTRATION AND ENFORCEMENT OF THE FRESH WATER WETLANDS ACT\* JUNE 2009.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 18 2011 FILE # 10-1158  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL.  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

*W. Joseph Carey*

NO.	DATE	REVISION



**CAITO CORPORATION**  
LAND PLANNERS  
CIVIL ENGINEERS  
JOHN P. CAITO  
141 JAMES B. MURPHY HIGHWAY  
WEST WARWICK, RHODE ISLAND  
02893-2382  
401-815-8800  
401-815-8806  
fax: 401-815-8806

PROJECT NO: 13.470  
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GRADING AND UTILITY PLAN  
**SITE DEVELOPMENT**  
ASSESSOR'S PLAT 46, LOT 75  
DOUGLAS PIKE (ROUTE 7)  
PREPARED FOR  
**CLYDE DEVELOPMENT CO., LLC**

Environmental Management  
SMITHFIELD  
JAN 28 2011  
Office of Water Resources  
DRAWING NUMBER  
**4**  
SHEET 4 OF 5

GENERAL NOTES:

- 1. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, WITH CORRECTIONS AND ADDENDA, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. THE 2004 REVISION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION, DIVISION OF PUBLIC WORKS. IN ADDITION, THE TOWN OF SMITHFIELD STANDARD SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
2. ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE TOWN ENGINEER. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
3. LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-225-4977) A MINIMUM OF 48 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY, BUT NOT LIMITED TO, THE STATE OF RHODE ISLAND, FEDERAL GOVERNMENT AND THE TOWN OF SMITHFIELD, PRIOR TO COMMENCING ANY WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
6. UNLESS OTHERWISE SPECIFIED, ALL STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, CLASS III, WITH ALL EXTERIOR JOINTS MORTARED.
7. THE INSTALLATION OF THE SANITARY SEWER SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF SMITHFIELD.
8. THE INSTALLATION OF THE WATER UTILITY IMPROVEMENTS SHALL CONFORM TO THE REQUIREMENTS OF THE SMITHFIELD WATER SUPPLY BOARD AND THE AMERICAN WATER WORKS STANDARDS.
9. A PORTION OF THE PARCEL IS LOCATED WITHIN AN AREA OF THE 100 YEAR AND 500 YEAR FLOOD ZONE, AS IDENTIFIED ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF SMITHFIELD, RHODE ISLAND, PROVIDENCE COUNTY, COMMUNITY-PANEL NUMBER 440025 0005 B, MAP REVISED: MARCH 4, 1991, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
10. ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
11. SANITARY SEWER P.V.C. PIPE FITTINGS SHALL MEET ASTM SPECIFICATION D-3034-SDR-35.
12. TOPOGRAPHIC SURVEY BY JOHN P. CAITO CORPORATION. VERTICAL DATUM: MEAN SEA LEVEL (NGVD 29).
13. THE FRESHWATER WETLANDS HAVE BEEN VERIFIED UNDER RIDEM FRESHWATER WETLANDS APPLICATION # 91-02110.
14. FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).

MAINTENANCE SCHEDULE:

- 1. INSPECTION OF THE POND AND ALL INLET AND OUTLET STRUCTURES SHALL BE PERFORMED AT LEAST ON AN ANNUAL BASIS, PREFERABLY DURING A STORM EVENT TO INSPECT FOR PROPER FUNCTIONING OF THE FACILITY.
2. GRASSES MUST BE PLANTED AROUND AND WITHIN THE BASIN IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE THE SLOPES AND PREVENT EROSION. TREE AND SHRUBS SHALL NOT BE PLANTED ON ANY IMPOUNDING EMBANKMENTS, TO PREVENT POTENTIAL SUBSURFACE DISTURBANCE AND POSSIBLE FAILURE OF THE STRUCTURE.
3. SEDIMENTS SHALL BE REMOVED FROM DRAINAGE STRUCTURES AND THE DETENTION BASIN IMMEDIATELY FOLLOWING SITE STABILIZATION AND DURING THE FIRST (INITIAL) YEAR OF OPERATION AND EVERY 10 YEARS THEREAFTER. (SEE SEDIMENT ELEVATIONS TABLE)
4. THE GRASSED AREAS OF THE BASIN SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION PROBLEMS. PROBLEM AREAS SHALL BE RESEEDED IMMEDIATELY TO STABILIZE EXPOSED SOILS, THEREBY PREVENTING EROSION AND POTENTIAL CLOGGING OF OUTFLOW DEVICES.
5. SIDE SLOPES AND EMBANKMENTS OF THE BASIN SHALL BE MOWED AT LEAST ONCE DURING THE GROWING SEASON (PREFERABLY AFTER AUGUST 15TH), TO PREVENT UNWANTED WOODY GROWTH. MOWING CAN BE MORE FREQUENT IF A MORE GROOMED APPEARANCE IS DESIRED AND THE BASIN IS NOT MANAGED FOR WILDLIFE HABITAT. ALL TRASH AND LITTER SHALL BE REMOVED FROM THE BASINS DURING MOWING OPERATIONS.
6. ALL COSTS INCURRED FOR MAINTENANCE, CLEANING, AND INSPECTION ARE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR RESPONSIBLE PARTY. IN CERTAIN CASES, THE APPROPRIATE DEM PROGRAM MAY REQUIRE DOCUMENTATION OF MAINTENANCE.
7. ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF THE DEM OIL POLLUTION CONTROL PROGRAM AT 277-2284, AS PER OIL POLLUTION CONTROL REGULATIONS. DURING NON-WORKING HOURS, NOTIFICATION OF SPILLS CAN BE MADE TO THE DEM DIVISION OF ENFORCEMENT AT 277-3070, THE 24-HOUR EMERGENCY RESPONSE PHONE NUMBER.
8. ALL TRASH AND LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER FACILITY INCLUDING INLET AND OUTLET STRUCTURES. THIS MUST BE ACCOMPLISHED AT LEAST TWICE PER YEAR, PREFERABLY SPRING AND FALL.
9. REPAIRS OR REPLACEMENT OF INLET/OUTLET STRUCTURES, RIP-RAP CHANNELS, FENCES, OR OTHER ELEMENTS OF THE FACILITY SHALL BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT THEN REPAIR/REPLACEMENT MUST BE DONE IMMEDIATELY.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM:

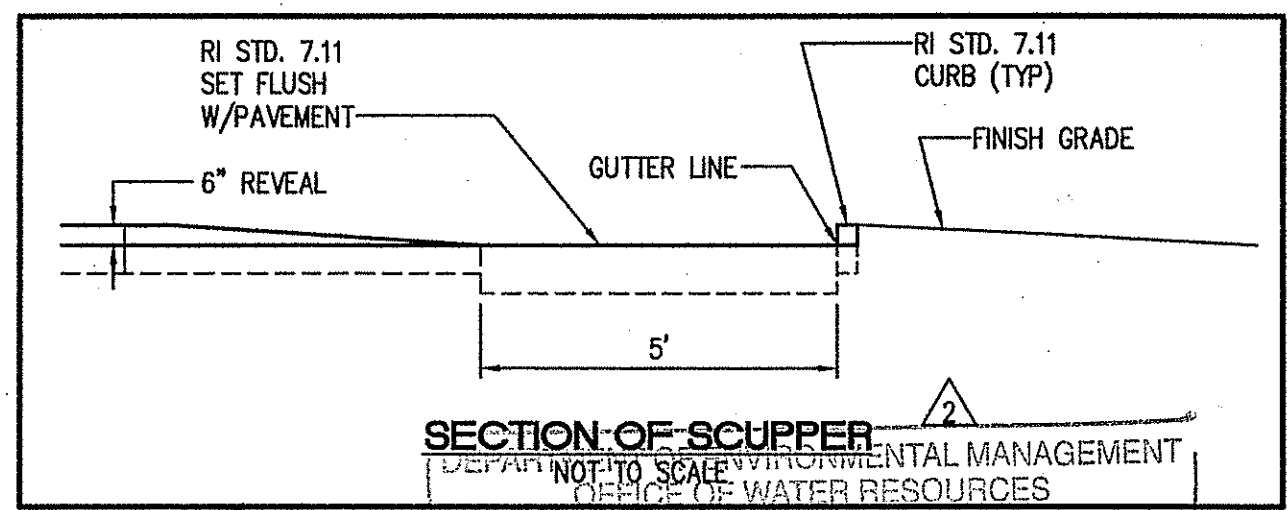
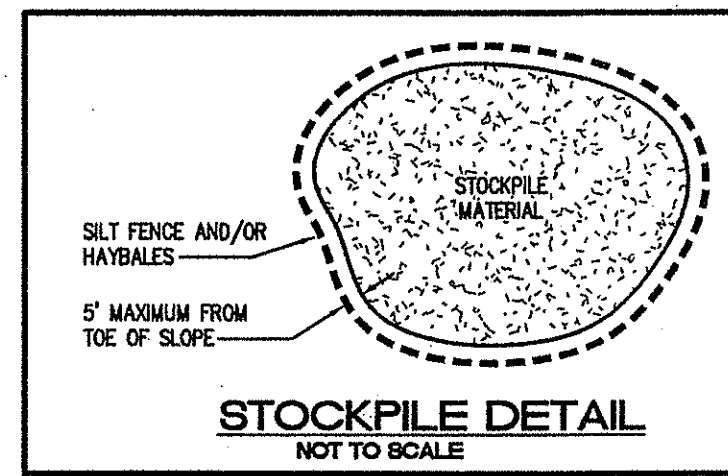
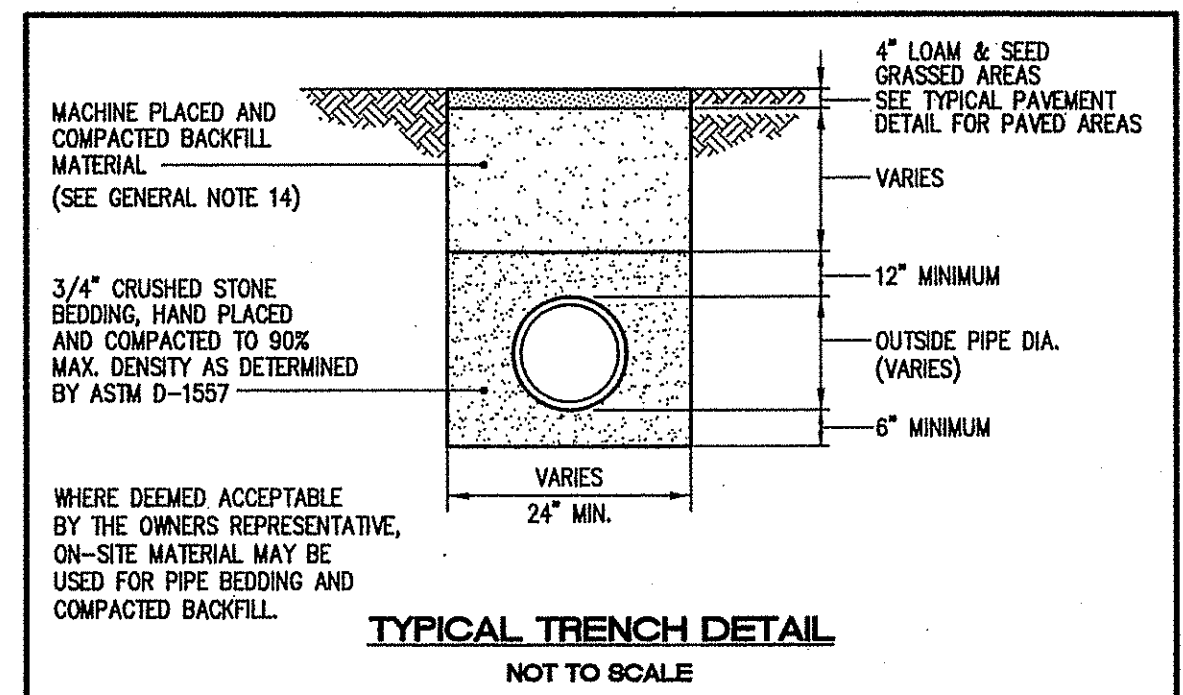
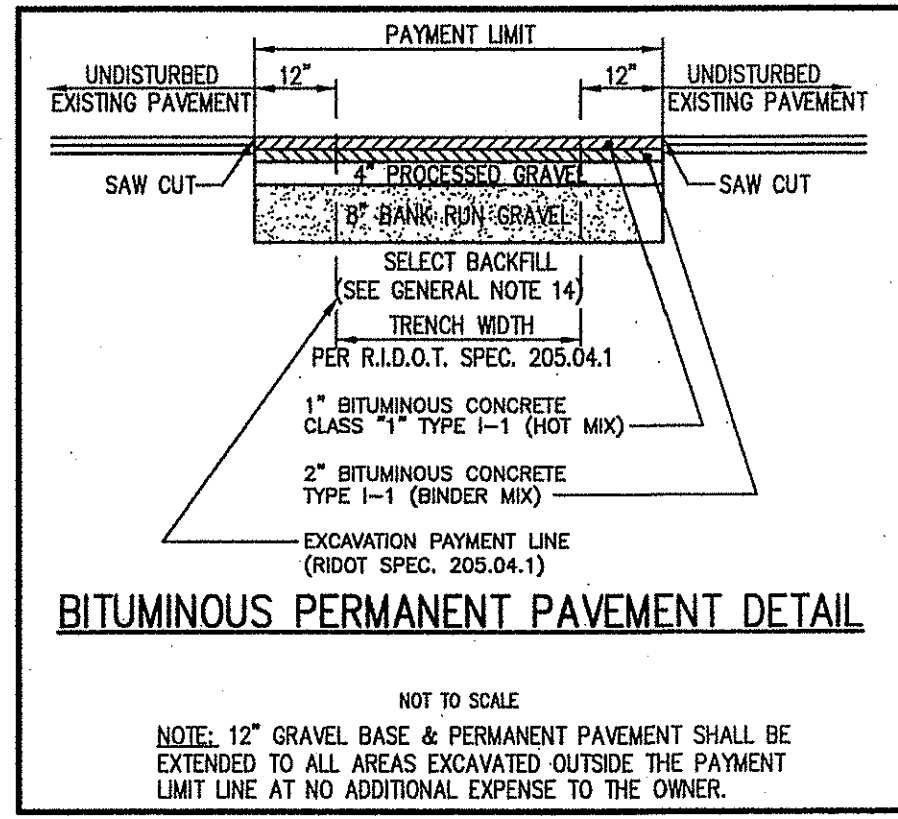
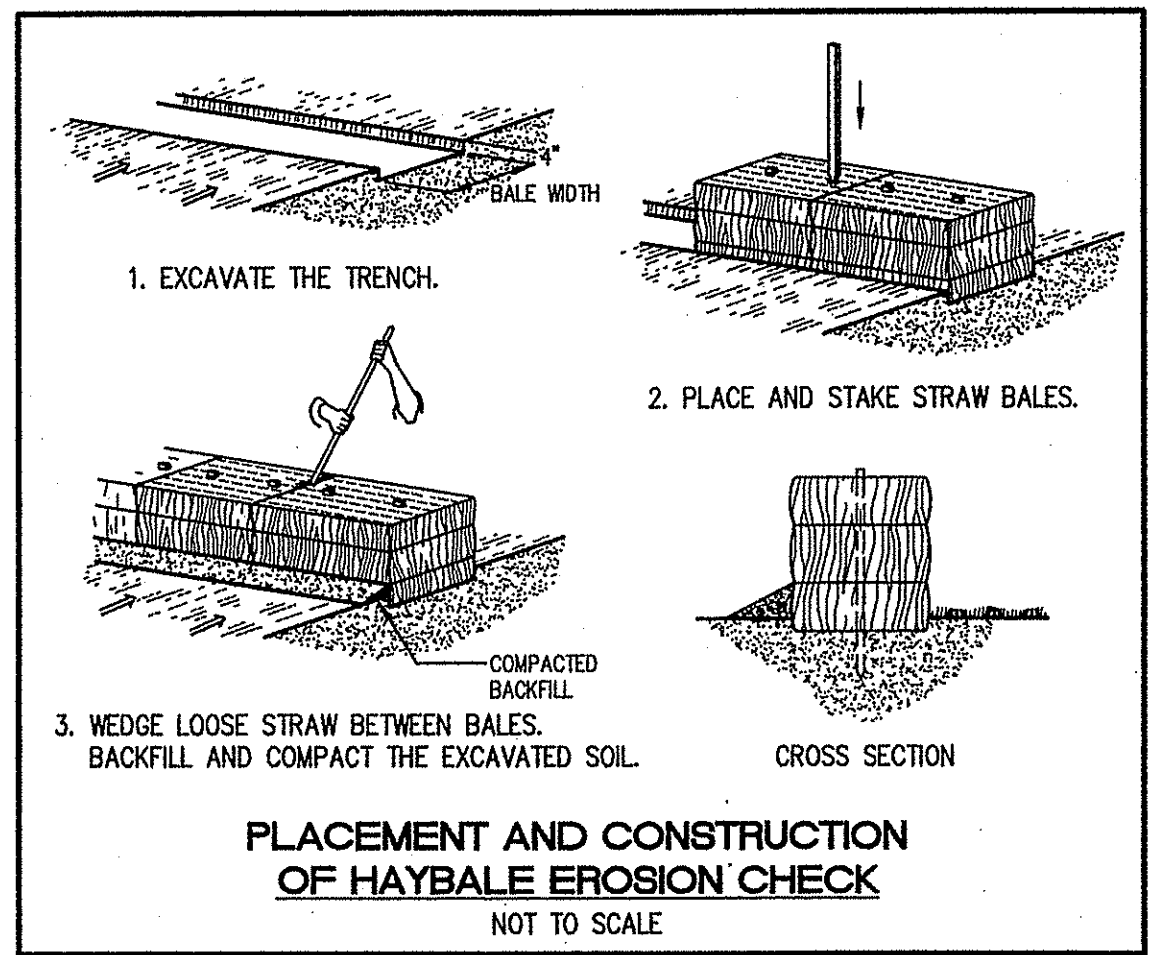
- 1. DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS THE INACTIVE WINTER SEASONS.
2. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
3. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
4. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN-PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
5. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND STANDARD SPECIFICATION M.20.01.
6. THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
7. THE DESIGN MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDDED SHALL BE COMPRISED OF THE FOLLOWING:
TYPE % BY WEIGHT
CREEPING RED FESCUE 70
ASTORIA BENTGRASS 5
BIRDFOOT TREFFOIL 15
PERENNIAL RYEGRASS 10
APPLICATION RATE 100 LBS/ACRE
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
8. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR, AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
9. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
10. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
11. STOCKPILES OF TOPSOIL AND EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILE SHALL ALSO BE SEEDDED AND/OR STABILIZED, AND COMPLETELY ENCLOSED WITH STAKED HAYBALES AND/OR SILT FENCE. (SEE DETAIL)
12. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
13. TREES TO BE RETAINED SHALL BE FENCED OR ROPED OFF TO PROTECT THEM FROM CONSTRUCTION EQUIPMENT.
14. ALL PROPOSED PLANTINGS MUST BE ACCOMPLISHED AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION, AND AT LEAST PRIOR TO ANY ON-SITE OCCUPANCY.
15. ALL PROPOSED PLANTINGS MUST BE MAINTAINED BY THE PROPERTY OWNER TO ENSURE SURVIVAL.
16. SHOULD ANY OR ALL OF THE PROPOSED PLANTS FAIL TO SURVIVE AT LEAST ONE (1) FULL GROWING SEASON FROM THE TIME THEY HAVE BEEN PLANTED, THE OWNER SHALL BE FULLY RESPONSIBLE FOR REPLACING AND MAINTAINING THE SAME PLANT SPECIES FOR ONE (1) ADDITIONAL GROWING SEASON.
17. ALL DISTURBED AREAS MUST BE SEEDDED OR PLANTED WITHIN THE CONSTRUCTION SEASON.
18. TEMPORARY SEEDING MUST BE DONE WITHIN ONE (1) MONTH AFTER DISTURBANCE.
19. ALL DISTURBED AREAS MUST BE PERMANENTLY SEEDDED OR PLANTED BEFORE OCTOBER 1ST, IF NOT THEY MUST BE TEMPORARILY SEEDDED.

SEDIMENTATION CONTROL PROGRAM:

- 1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
2. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUN-OFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
3. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
4. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORMWATER FLOWAGE.
5. ADDITIONAL HAYBALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
6. SEDIMENTATION TRAPS SHALL BE PROVIDED AT ALL DRAINAGE STRUCTURES DURING CONSTRUCTION.
7. EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT THE SITE PRIOR TO THE START OF CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. Sumps are to be cleaned immediately following installation of permanent pavement.
A) THE INSTALLATION OF A CONTINUOUS LINE OF STAKED HAYBALES IN ALL LOCATIONS SHOWN ON THE APPROVED SITE PLANS AND WHERE OTHERWISE NECESSARY TO PREVENT SEDIMENTS FROM ENTERING DOWNSTREAM WATERCOURSES AND STORMWATER DRAINAGE SYSTEMS.
B) ALL DISTURBED AREAS ARE TO BE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER PRIOR TO THE COMPLETION OF THE PROJECT. AREAS EXPOSED FOR EXTENDED PERIODS ARE TO BE COMPLETELY COVERED WITH SPREAD HAY MULCH.
C) CATCH BASINS WILL BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. Sumps are to be cleaned immediately following installation of permanent pavement.
D) OUTFALLS ARE TO BE PROTECTED BY HAYBALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH APPROVED GROUND COVER.
E) ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
8. THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.

CAITO CORPORATION logo and contact information for John P. Caio, P.E., President, including address at 55 Shagpe Drive Cranston, Rhode Island 02909 and phone numbers.

SEDIMENT ELEVATIONS table with columns: BOTTOM ELEV. (FT.), MAXIMUM SEDIMENT (10 YR. CAPACITY), MAXIMUM SEDIMENT DEPTH (FT.). Rows for POND-2 & 3 showing values 340.00, 340.23, and 0.23.



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

SECTION OF SCUPPER... FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED FEB 18 2011 FILE # 10-02558. NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL. APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Diagram and specifications for Precast Concrete Curb, 2'-0" Normal. Includes a plan view showing a gutter line and a 1/2 inch x 3/4 inch epoxy coated dowel. A circular curb detail shows a 160-degree radius and a 2-inch radius. Includes a table for Rhode Island Department of Transportation specifications.

Diagram and specifications for Precast Concrete 2'-0" Radius Corner. Includes a plan view showing a gutter line and a 1/2 inch x 3/4 inch epoxy coated dowel. Includes a table for Rhode Island Department of Transportation specifications.

Diagram and specifications for Steel Backed Timber Guardrail. Includes a post connection plan and section A-A showing the connection between a steel rail and a timber post. Includes a table for Rhode Island Department of Transportation specifications.

Professional Engineer information for Jeffrey C. Hanson, License No. 5208. Includes contact information for Aito Corporation, Civil Engineers, and Land Planners. Project No. 13470, Date December 2010, Scale 1" = 30', and Drawing Number 5.