

DESIGN DESIGN (SEE ATTACHED CALCULATIONS):  
 WQV (HOUSE) = XXXX CF  
 TWO (2) DRYWELLS PROVIDE = XXXCF  
 WQV (GARAGE) = XXXX CF  
 ONE (1) DRYWELL PROVIDES = XXXCF

DRYWELL ELEVATION TABLE

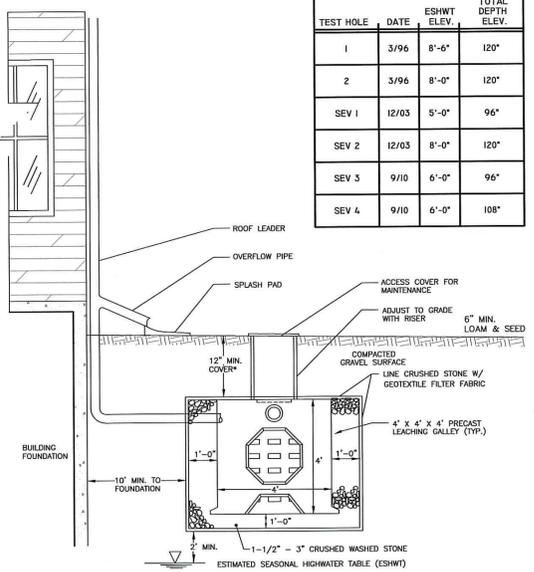
DRYWELL	#1	#2	#3
FINAL GRADE ELEV.	50.0	50.0	47.0
TOP OF GALLEY ELEV.	49.0	49.0	45.0
BOTTOM OF GALLEY ELEV.	45.0	45.0	42.0
BOTTOM OF STONE	44.0	44.0	41.0
ESHWT ELEV.*	41.5	42.0	38.5

\* ESTIMATED SEASONAL HIGH WATER TABLE (ESHWT) ELEVATIONS BASED ON TEST HOLE/WATER TABLE DATA FROM OWTS APPLICATION NO. 9413-2139, SEE TEST HOLE DATA BELOW.

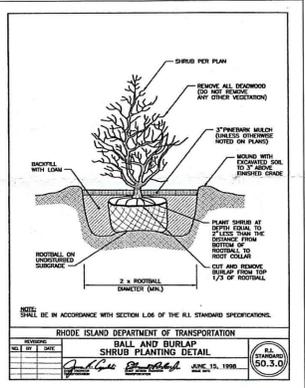
SOIL TYPE:  
 ENTIRE SITE CONSISTS OF CcC, CANTON AND CHARLTON FINE SANDY LOAMS, ERY ROCKY, 3 TO 15% SLOPE, HYDROLOGIC GROUP B.

TEST HOLE DATA

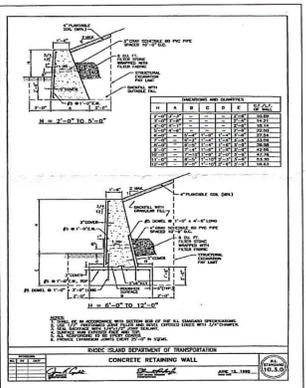
TEST HOLE	DATE	ESHWT ELEV.	TOTAL DEPTH ELEV.
1	3/96	8'-6"	120"
2	3/96	8'-0"	120"
SEV 1	12/03	5'-0"	96"
SEV 2	12/03	8'-0"	120"
SEV 3	9/10	6'-0"	96"
SEV 4	9/10	6'-0"	108"



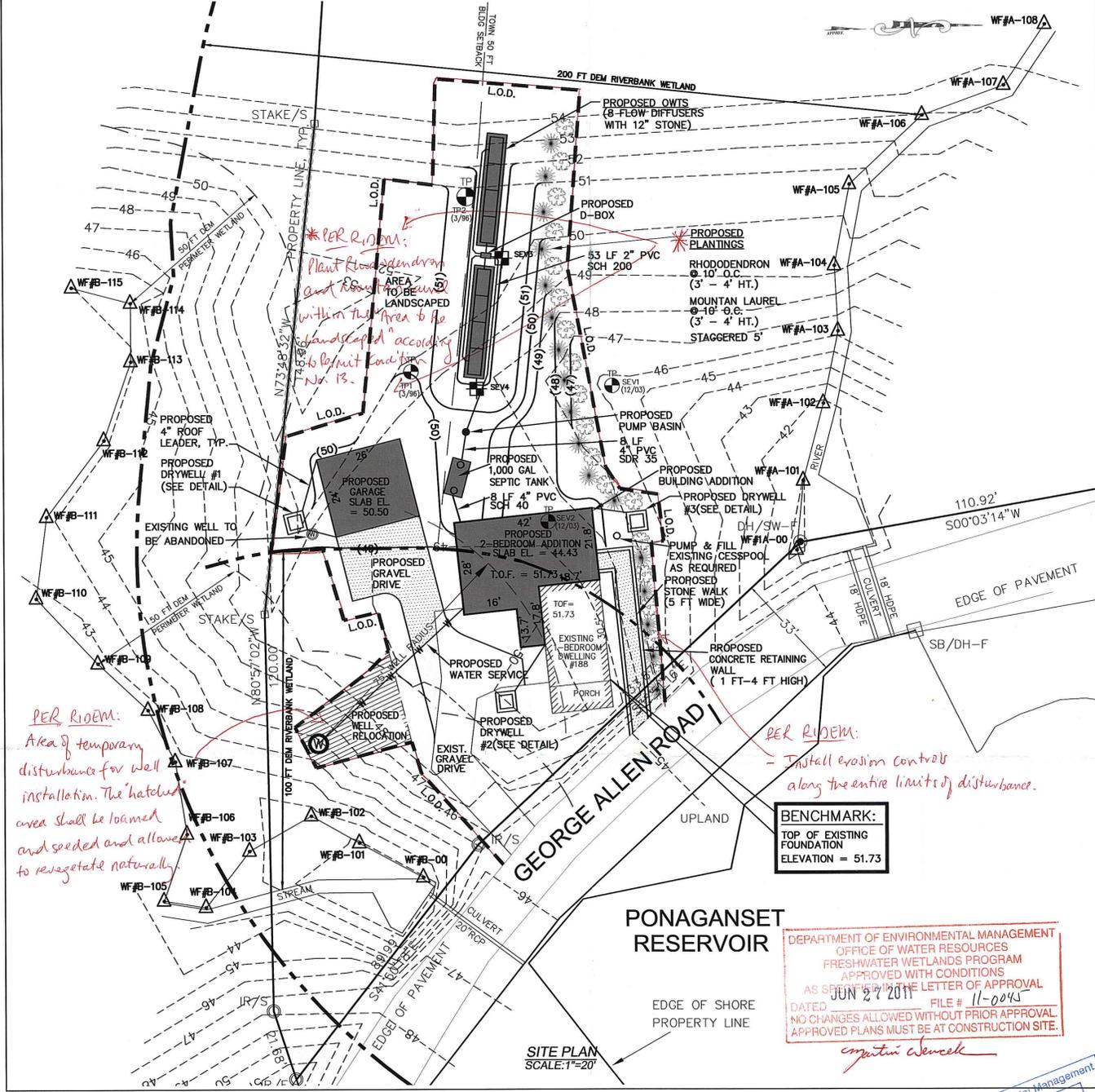
DRYWELL DETAIL NOT TO SCALE



SHRUB PLANTING DETAIL NOT TO SCALE



RETAINING WALL DETAIL NOT TO SCALE



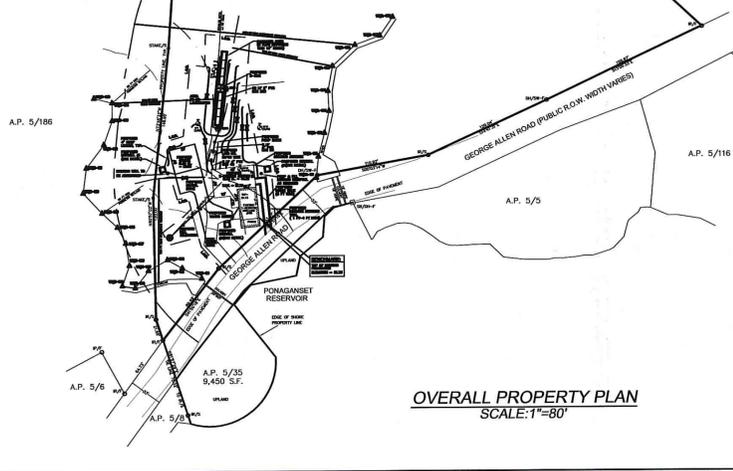
SITE PLAN SCALE: 1"=20'

LOCUS MAP 1"=500'

LEGEND

- STONE WALL
- PROPERTY LINE
- FOUND DRILL HOLE
- FOUND IRON PIPE
- FOUND IRON PIPE
- UTILITY POLE
- EXISTING WELL
- OLD TEST HOLE
- SEV SOIL EVALUATION TEST HOLE
- AC ACRES
- TOF TOP OF FOUNDATION
- SF SQUARE FEET
- AP TAX ASSESSOR'S PLAT
- N/F NOW OR FORMERLY
- EXISTING CONTOUR
- (BS) PROPOSED CONTOUR
- BBx0 SPOT GRADE
- EX CB EXISTING CATCH BASIN
- WG WATER GATE
- EXISTING FENCE
- OWTS ON-SITE WASTEWATER TREATMENT SYSTEM
- ESHWT ESTIMATED SEASONAL HIGH WATER TABLE
- WFA-4 WETLAND FLAG
- DEM PERMETER/RIVER WETLANDS
- LIMIT OF DISTURBANCE (L.O.D.)
- PROPOSED MOUNTAIN LAUREL (3' - 4' HT.)
- PROPOSED RHODODENDRON (3' - 4' HT.)

N/F DAVID & MARY SWEET  
 AP 5 LOT 35  
 (ZONE A-4)  
 7.975 ACRES



OVERALL PROPERTY PLAN SCALE: 1"=80'

GENERAL NOTES:

- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES AND TO MAINTAIN THE INTEGRITY OF THE SAME. ANY DAMAGE TO AND THE COST OF REPAIR OF UTILITIES, ROADS, STRUCTURES AND SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
- ALL WORKMANSHIP AND MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST RHODE ISLAND STANDARDS, SPECIFICATIONS AND DETAILS PUBLISHED FOR ROAD AND BRIDGE CONSTRUCTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES, THE MUNICIPAL PUBLIC WORKS DEPARTMENT, THE DEPARTMENT AND THE DEPARTMENT OF TRANSPORTATION FOR VERIFICATION OF APPROVED LOCATIONS SHOWN HEREON PRIOR TO START OF CONSTRUCTION. IF ANY DISCREPANCIES ARE NOTED, THE CONTRACTOR SHALL CONTACT THIS ENGINEER IMMEDIATELY FOR A RESOLUTION.
- THE LOCATION OF ALL EXISTING UTILITIES IS APPROXIMATE ONLY AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO CONTACT DIG-SAFE AND UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY, UTILITY COMPANIES AND ALL OTHER REQUIRED PARTIES AND SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
- CONTRACTOR SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION AND SHALL CLARIFY ANY QUESTIONS BEFOREHAND. CONSTRUCTION APPROVALS SHALL INCLUDE, BUT NOT LIMITED TO, THE APPROVALS FROM THE LOCAL MUNICIPALITY, THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ANY OTHER AGENCY HAVING APPROVAL JURISDICTION OVER THE PROJECT.

EROSION CONTROL PROGRAM

- PRIOR TO START OF CONSTRUCTION, HAYBALES, SILT FENCES AND ALL OTHER SPECIFIED EROSION CONTROL MEASURES SHALL BE IN PLACE.
- CRITICAL AREAS SUCH AS WETLANDS, HAYBALES, SILT FENCES AND STREAMS SHALL BE PROTECTED AS PER PLAN, AND IN THE PRESENCE OF WETLANDS THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO.
- THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.
- SEDIMENT SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASONS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (GULFLOP, JUTE, FIBERGLASS NETTING, EXCELOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY HIS DESIGNEE.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS./ACRE.

SHORT TERM MAINTENANCE PLAN

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDING, PROTECTING AND MAINTAINING ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR CURRENTLY EXISTING. THE CONTRACTOR SHALL REGULARLY INSPECT ALL SEEDED AREAS TO SEE THAT AN ADEQUATE COVER IS MAINTAINED.
- THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN A PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE.
- ALL HAYBALES, TEMPORARY TREATMENTS (HAY, STRAW, ETC.) AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE GROUND COVER IS ESTABLISHED.
- THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER.
- THE HAYBALES OR SILT FENCE SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM EVENT FOR UNDERMINING OR DEGRADATION. THE CONTRACTOR SHALL REPAIR OR REPLACE THE HAYBALES AS NECESSARY. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAYBALES BECOMES FILLED WITH SEDIMENTS.
- THE CONTRACTOR SHALL INSPECT RIP-RAP AREAS AFTER EACH STORM AND REPAIR AS NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN THE DRAINAGE SYSTEM THROUGHOUT CONSTRUCTION. THE ACCUMULATED SEDIMENTS IN THE CATCH BASINS SHALL BE REMOVED AND DRAINAGE PIPES FLUSHED BY THE CONTRACTOR AT THE END OF CONSTRUCTION.
- THE CONSTRUCTION SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- THE CONSTRUCTION OF THE DRAINAGE SYSTEM SHALL BE SUPERVISED BY DESIGN ENGINEER. A REPORT AND AS-BUILT PLAN SHALL BE MADE AVAILABLE TO THE TOWN ENGINEER UPON REQUEST.

REFERENCE NOTES:

- PROPERTY LINE AND TOPOGRAPHY BASED ON CLASS 1 SURVEY PERFORMED BY SURBER & ASSOCIATES, DECEMBER, 2008. CONTRACTOR TO VERIFY PROPERTY LINE LOCATION AND BENCHMARK ELEVATION PRIOR TO ANY CONSTRUCTION.
- WETLANDS DELINEATED BY ECOTONESS, INC., PO BOX 1131, EAST GREENWICH, RHODE ISLAND, TELEPHONE # 401-256-5959.
- THE EXISTING LOT IS LOCATED IN FLOOD ZONE "X" (AREAS OUTSIDE THE 0.2% CHANCE FLOODPLAIN) AS DETERMINED ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.).
- OWNER INFO: DAVID & MARY SWEET, 37 HARTFORD PIKE, NORTH SCITUATE, RI 02857 PHONE NO: 401-356-1653.

BENCHMARK:  
 TOP OF EXISTING FOUNDATION  
 ELEVATION = 51.73

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JUN 27 2011 FILE # 11-0045  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE.  
*Cynthia Weseck*

Environmental Management  
 JUN - 6 2011  
 Office of Water Resources

RECEIVED  
 JUN - 6 2011  
 By: \_\_\_\_\_

PRELIMINARY DETERMINATION WETLANDS PLAN

SUSAN B. CAPASSO  
 No. 7443  
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)  
*Susan B. Capasso*  
 6/6/11

Project:  
**DAVID A. SWEET**  
**AP 5 LOT 35**  
**188 GEORGE ALLEN ROAD**  
**GLOCESTER, RHODE ISLAND**  
 Prepared By:  
**SUSAN B. CAPASSO, P.E.**  
 PO BOX 621  
 NORTH SCITUATE, RHODE ISLAND 02857  
 401-261-8870  
 MARCH, 2011 ~ REVISED JUNE 2011