

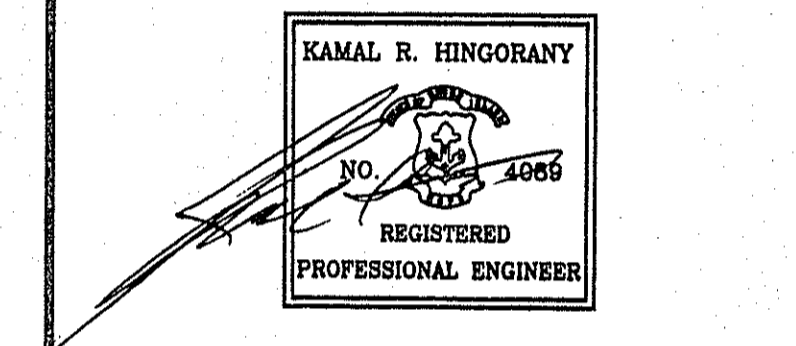
**SHEET TITLE SUBDIVISION OF
 WATUPPA PLANTATION
 (PRELIMINARY PLAN)
 COVER SHEET**

PROJECT OWNER
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878

OWNER OF RECORD
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878

LOCATION
 WATUPPA AVE.
 TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
 PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES	KH
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANNING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH

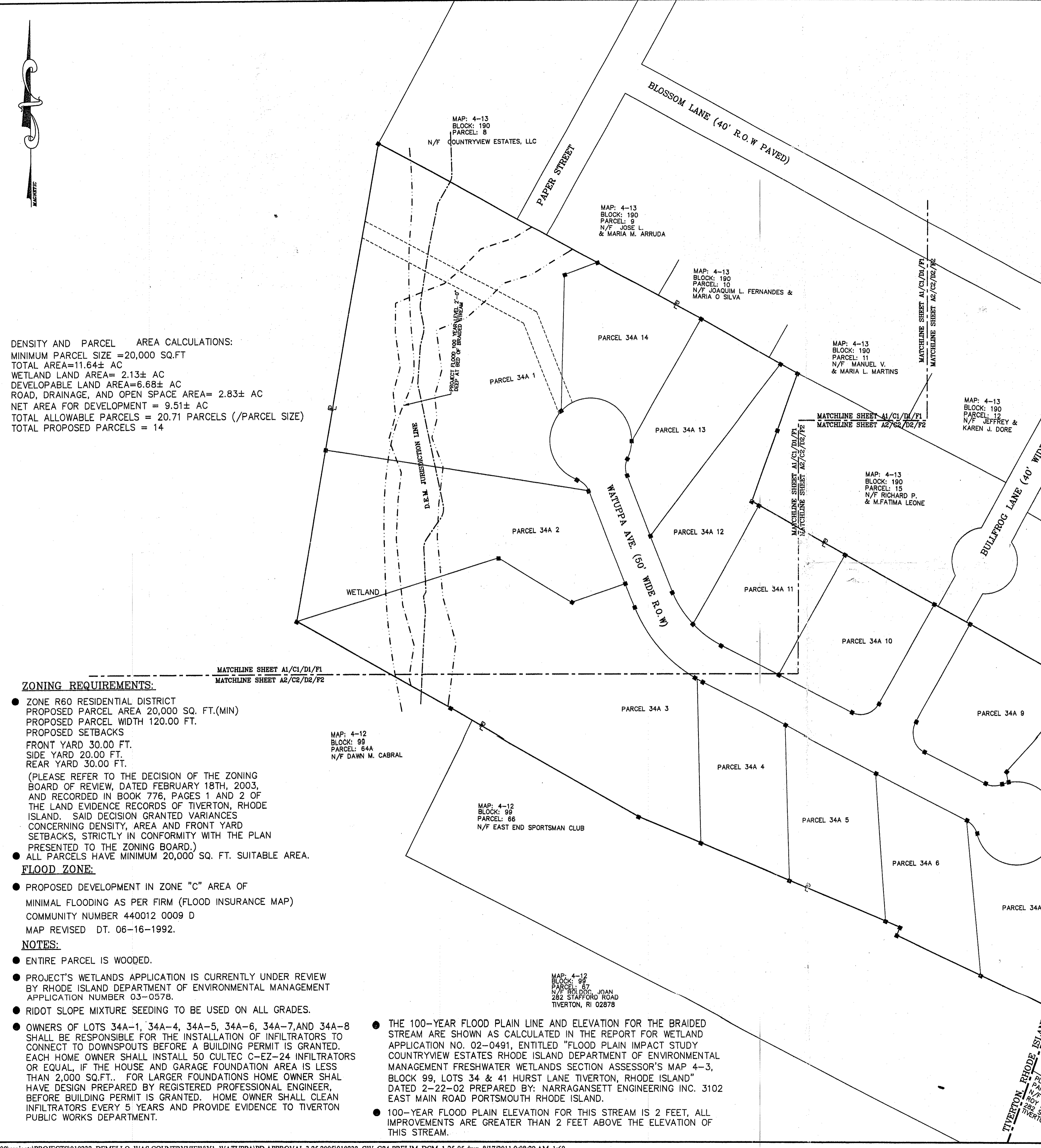
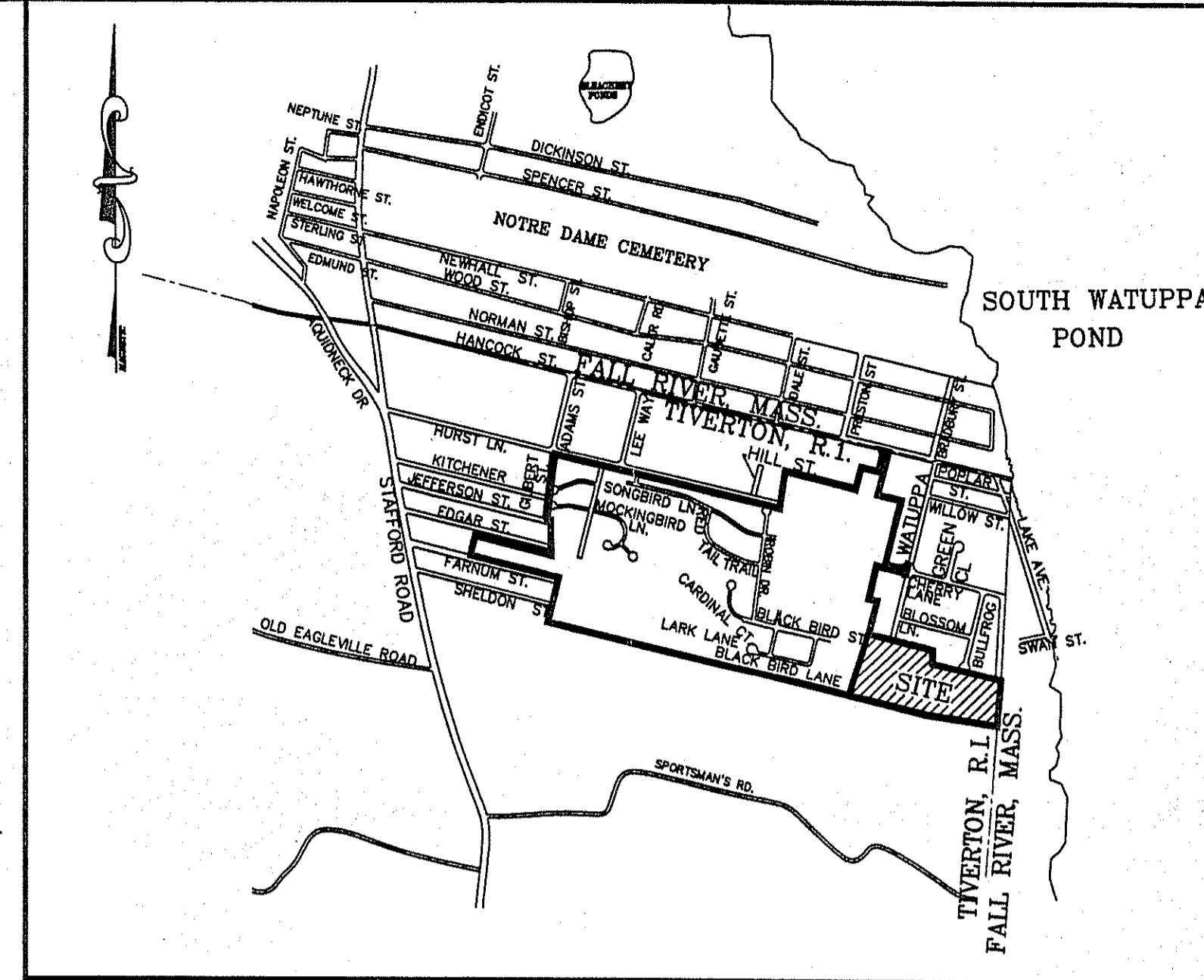
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JAN 2 2012 FILE #
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on the site.

Environmental Management
 AUG 14 2011
 Office of Water Resources

See Revised Sheet 14 of 18
 SHT 1 OF 18-COVER SHEET

SHEET	SCALE
1 OF 18	1"=60'



DENSITY AND PARCEL AREA CALCULATIONS:
 MINIMUM PARCEL SIZE = 20,000 SQ.FT
 TOTAL AREA = 11.64± AC
 WETLAND LAND AREA = 2.13± AC
 DEVELOPABLE LAND AREA = 6.68± AC
 ROAD, DRAINAGE, AND OPEN SPACE AREA = 2.83± AC
 NET AREA FOR DEVELOPMENT = 9.51± AC
 TOTAL ALLOWABLE PARCELS = 20.71 PARCELS (/PARCEL SIZE)
 TOTAL PROPOSED PARCELS = 14

ZONING REQUIREMENTS:

- ZONE R60 RESIDENTIAL DISTRICT
 PROPOSED PARCEL AREA 20,000 SQ. FT.(MIN)
 PROPOSED PARCEL WIDTH 120.00 FT.
 PROPOSED SETBACKS
 FRONT YARD 30.00 FT.
 SIDE YARD 20.00 FT.
 REAR YARD 30.00 FT.
 (PLEASE REFER TO THE DECISION OF THE ZONING BOARD OF REVIEW, DATED FEBRUARY 18TH, 2003, AND RECORDED IN BOOK 776, PAGES 1 AND 2 OF THE LAND EVIDENCE RECORDS OF TIVERTON, RHODE ISLAND. SAID DECISION GRANTED VARIANCES CONCERNING DENSITY, AREA AND FRONT YARD SETBACKS, STRICTLY IN CONFORMITY WITH THE PLAN PRESENTED TO THE ZONING BOARD.)
- ALL PARCELS HAVE MINIMUM 20,000 SQ. FT. SUITABLE AREA.

FLOOD ZONE:

- PROPOSED DEVELOPMENT IN ZONE "C" AREA OF MINIMAL FLOODING AS PER FIRM (FLOOD INSURANCE MAP) COMMUNITY NUMBER 440012 0009 D
 MAP REVISED DT. 06-16-1992.

NOTES:

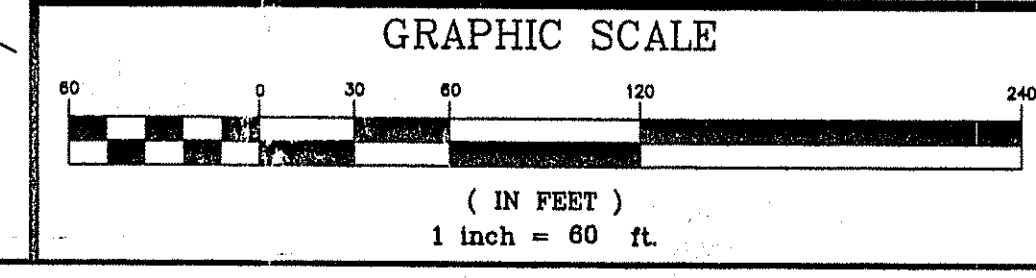
- ENTIRE PARCEL IS WOODED.
- PROJECT'S WETLANDS APPLICATION IS CURRENTLY UNDER REVIEW BY RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT APPLICATION NUMBER 03-0578.
- RIDOT SLOPE MIXTURE SEEDING TO BE USED ON ALL GRADES.
- OWNERS OF LOTS 34A-1, 34A-4, 34A-5, 34A-6, 34A-7, AND 34A-8 SHALL BE RESPONSIBLE FOR THE INSTALLATION OF INFILTRATORS TO CONNECT TO DOWNSPOUTS BEFORE A BUILDING PERMIT IS GRANTED. EACH HOME OWNER SHALL INSTALL 50 CULTEC C-EZ-24 INFILTRATORS OR EQUAL, IF THE HOUSE AND GARAGE FOUNDATION AREA IS LESS THAN 2,000 SQ.FT.. FOR LARGER FOUNDATIONS HOME OWNER SHALL HAVE DESIGN PREPARED BY REGISTERED PROFESSIONAL ENGINEER, BEFORE BUILDING PERMIT IS GRANTED. HOME OWNER SHALL CLEAN INFILTRATORS EVERY 5 YEARS AND PROVIDE EVIDENCE TO TIVERTON PUBLIC WORKS DEPARTMENT.

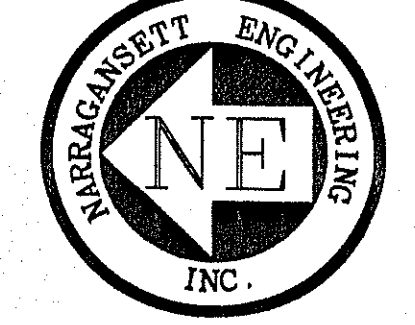
- THE 100-YEAR FLOOD PLAIN LINE AND ELEVATION FOR THE BRAIDED STREAM ARE SHOWN AS CALCULATED IN THE REPORT FOR WETLAND APPLICATION NO. 02-0491, ENTITLED "FLOOD PLAIN IMPACT STUDY COUNTRYVIEW ESTATES RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT FRESHWATER WETLANDS SECTION ASSESSOR'S MAP 4-3, BLOCK 99, LOTS 34 & 41 HURST LANE TIVERTON, RHODE ISLAND" DATED 2-22-02 PREPARED BY: NARRAGANSETT ENGINEERING INC. 3102 EAST MAIN ROAD PORTSMOUTH RHODE ISLAND.
- 100-YEAR FLOOD PLAIN ELEVATION FOR THIS STREAM IS 2 FEET, ALL IMPROVEMENTS ARE GREATER THAN 2 FEET ABOVE THE ELEVATION OF THIS STREAM.

PARCEL #	TOTAL AREA(SQ.FT.)	SUITABLE AREA(SQ.FT.)
34A 1*	70,503±	31,271±
34A 2	50,529±	24,185±
34A 3	81,183±	20,736±
34A 4	20,632±	20,632±
34A 5	20,277±	20,277±
34A 6	20,128±	20,128±
34A 7	20,471±	20,471±
34A 8	21,176±	21,176±
34A 9	21,910±	21,910±
34A 10	20,621±	20,621±
34A 11	20,593±	20,593±
34A 12	20,410±	20,410±
34A 13	21,664±	21,664±
34A 14	22,098±	21,829±

* 25,881± SQ. FT. CONTIGUOUS SUITABLE AREA ON SOUTH SIDE OF LOT.
 TOTAL PARCEL AREA = 11.64± ACRES

LEGEND:
 — P — PROPERTY LINE
 - - - D.E.M. JURISDICTION LINE
 - - - PROPOSED BOUND
 - - - STATE LINE





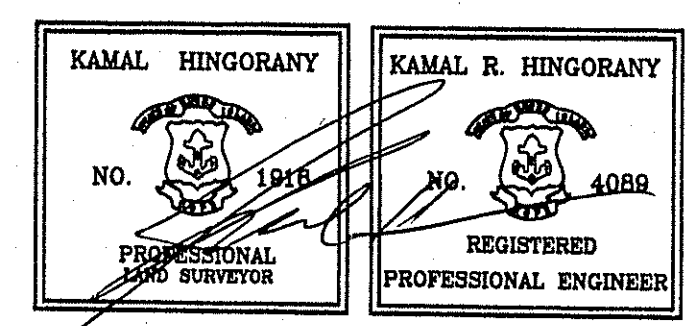
SHEET TITLE **SUBDIVISION OF WATUPPA PLANTATION (PRELIMINARY PLAN) SUBDIVISION SHEET**

PROJECT OWNER
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878

OWNER OF RECORD
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878

LOCATION
 WATUPPA AVE.
 TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
 PARCEL: 34A



THIS SURVEY & PLAN CONFORMS TO A CLASS 1 STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS
 DATE: 8/23/17

PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES	KH
STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03			
2	02-03-04	REVISED AS PER PLANING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JAN 20 2012 FILE #
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SHT 2 OF 18 PRE. SUBDIVISION SHEET

SHEET SCALE
 A1 2 OF 18 1"=30'

NOTES:

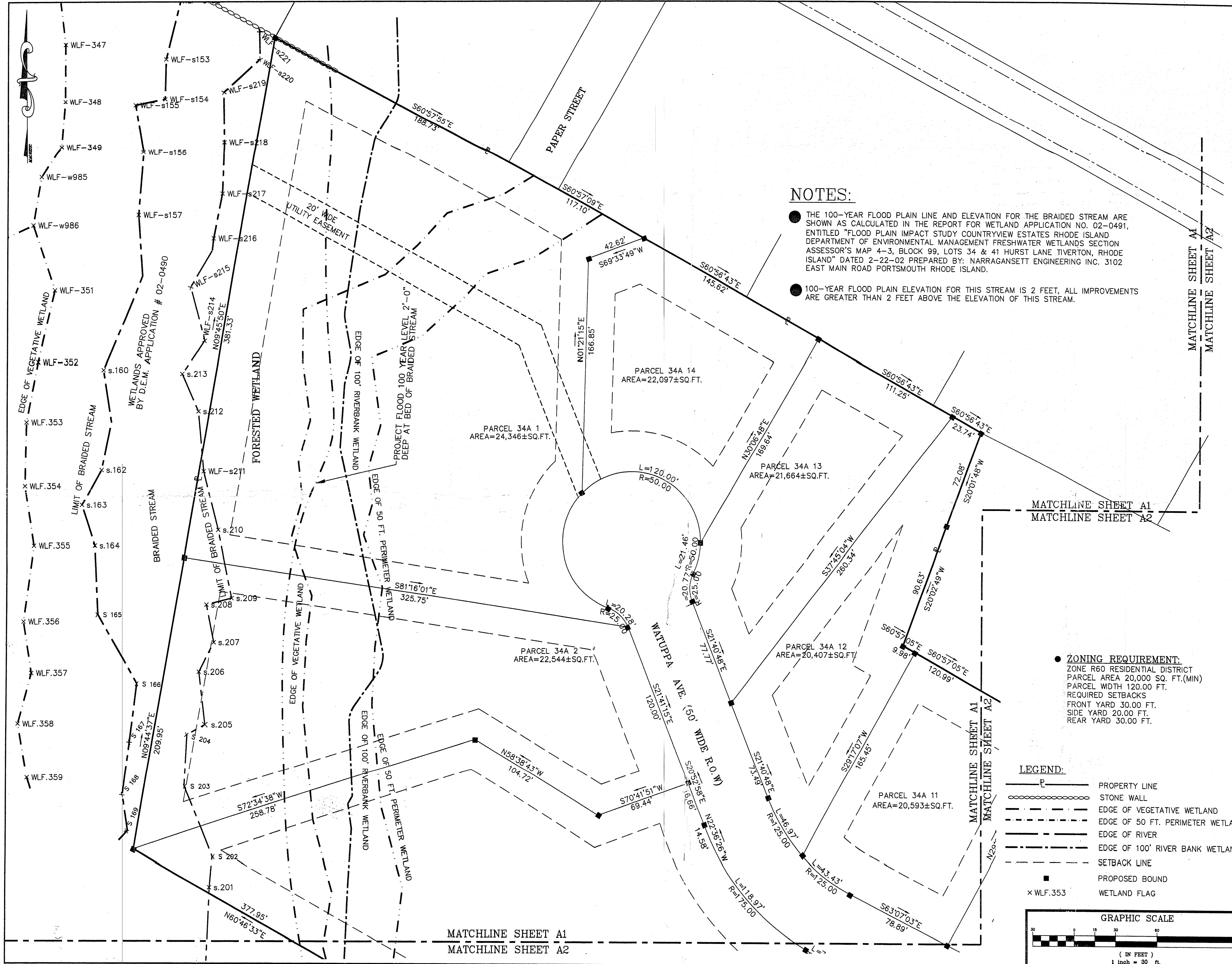
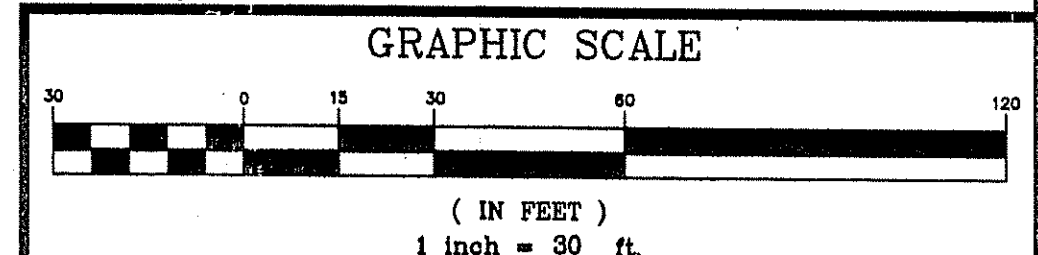
- THE 100-YEAR FLOOD PLAIN LINE AND ELEVATION FOR THE BRAIDED STREAM ARE SHOWN AS CALCULATED IN THE REPORT FOR WETLAND APPLICATION NO. 02-0491, ENTITLED "FLOOD PLAIN IMPACT STUDY COUNTRYVIEW ESTATES RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT FRESHWATER WETLANDS SECTION ASSESSOR'S MAP 4-3, BLOCK 99, LOTS 34 & 41 HURST LANE TIVERTON, RHODE ISLAND" DATED 2-22-02 PREPARED BY: NARRAGANSETT ENGINEERING INC. 3102 EAST MAIN ROAD PORTSMOUTH RHODE ISLAND.
- 100-YEAR FLOOD PLAIN ELEVATION FOR THIS STREAM IS 2 FEET, ALL IMPROVEMENTS ARE GREATER THAN 2 FEET ABOVE THE ELEVATION OF THIS STREAM.

MATCHLINE SHEET A1
 MATCHLINE SHEET A2

- **ZONING REQUIREMENT:**
 ZONE R60 RESIDENTIAL DISTRICT
 PARCEL AREA 20,000 SQ. FT.(MIN)
 PARCEL WIDTH 120.00 FT.
 REQUIRED SETBACKS
 FRONT YARD 30.00 FT.
 SIDE YARD 20.00 FT.
 REAR YARD 30.00 FT.

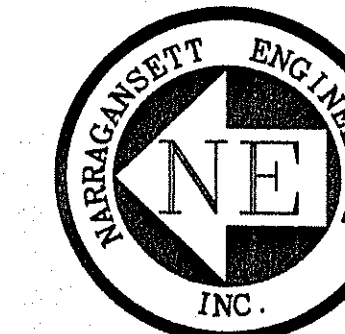
LEGEND:

- PROPERTY LINE
- STONE WALL
- - - EDGE OF VEGETATIVE WETLAND
- - - EDGE OF 50 FT. PERIMETER WETLAND
- - - EDGE OF RIVER
- - - EDGE OF 100' RIVER BANK WETLAND
- - - SETBACK LINE
- PROPOSED BOUND
- x WLF.353 WETLAND FLAG



NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narenginc@aol.com



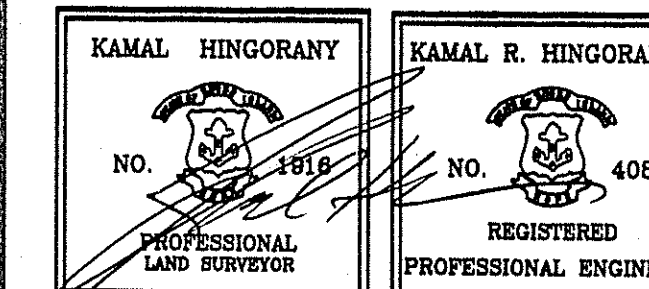
**SHEET TITLE SUBDIVISION OF
WATUPPA PLANTATION
(PRELIMINARY PLAN)
SUBDIVISION SHEET**

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
PARCEL: 34A



THIS SURVEY & PLAN CONFORMS TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS

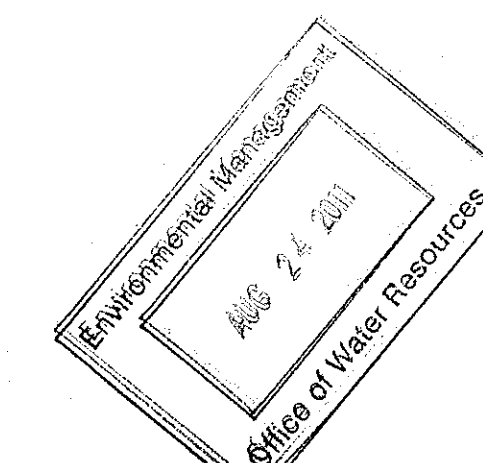
DATE: 8/23/11

PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS.	KH
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANNING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

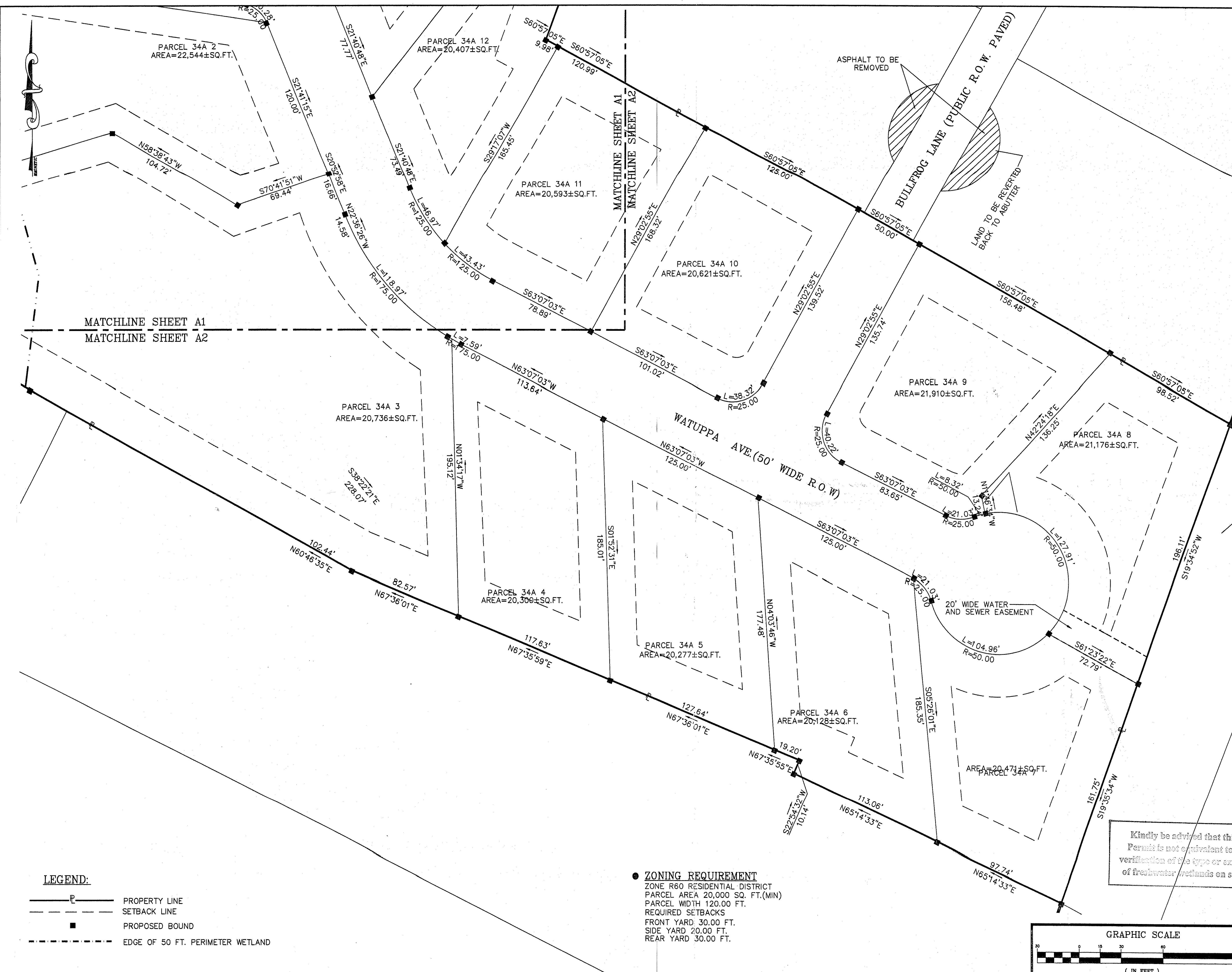
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 20 2012 FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wenzel



SHT 3 OF 18 A2 PRE. SUBDIV. SHEET

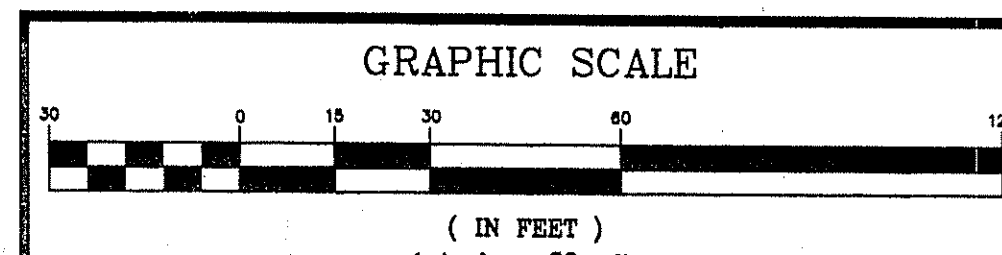
SHEET	SCALE
A2 3 OF 18	1" = 30'



LEGEND:
 — P — PROPERTY LINE
 - - - - - SETBACK LINE
 ■ PROPOSED BOUND
 - - - - - EDGE OF 50 FT. PERIMETER WETLAND

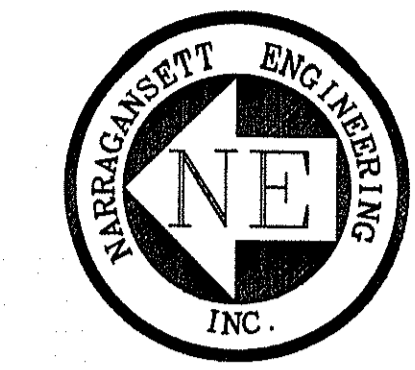
● ZONING REQUIREMENT
 ZONE R60 RESIDENTIAL DISTRICT
 PARCEL AREA 20,000 SQ. FT.(MIN)
 PARCEL WIDTH 120.00 FT.
 REQUIRED SETBACKS
 FRONT YARD 30.00 FT.
 SIDE YARD 20.00 FT.
 REAR YARD 30.00 FT.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narenginc@aol.com



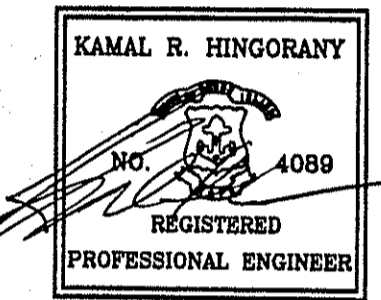
SHEET TITLE
SUBDIVISION OF
WATUPPA PLANTATION
(PRELIMINARY PLAN)
MATCHLINE SHEET GRADING

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

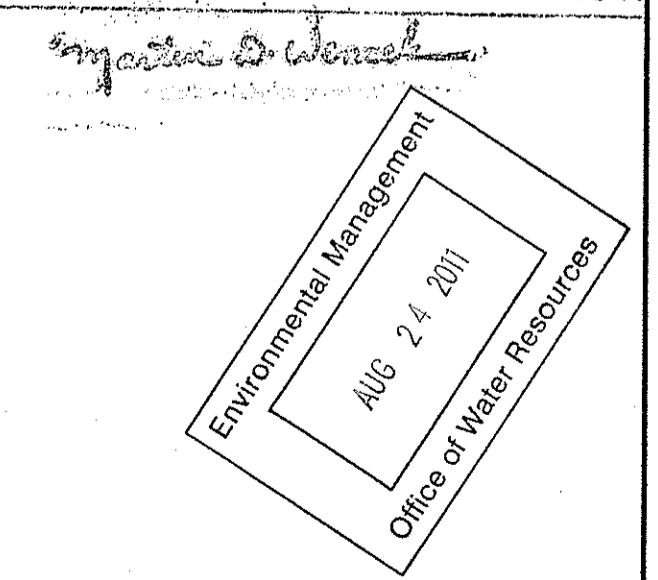
MAP: 4-15 BLOCK: 99
PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03	KH
2	02-03-04	REVISED AS PER PLANING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 20 2012 FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



SHT 4 OF 18 MATCHLINE SHEET(GRADING)

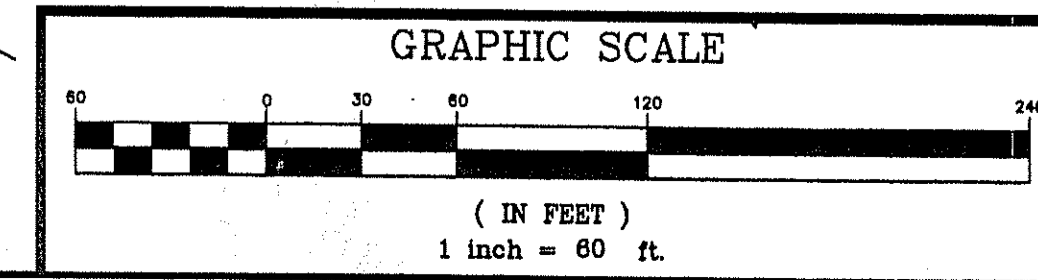
SHEET	SCALE
4 OF 18	1" = 60'

- LEGEND:**
- P — PROPERTY LINE
 - O — STONE WALL
 - - - - - EDGE OF VEGETATIVE WETLAND
 - - - - - EDGE OF 50 FT. PERIMETER WETLAND
 - - - - - EDGE OF 100' RIVER BANK WETLAND
 - - - - - EDGE OF RIVER
 - - - - - EDGE OF PAVEMENT
 - - - - - EXISTING CONTOUR
 - - - - - 80 - PROPOSED CONTOUR
 - PROPOSED BOUND
 - ⊙ PROPOSED CATCH BASIN
 - SMH PROPOSED SANITARY MANHOLE
 - x WLF.353 WETLAND FLAG
 - ▨ PROPOSED DWELLING+ DRIVEWAY
 - - - - - STATE LINE
 - - - - - 100 YEAR BRAIDED RIVER FLOOD LINE



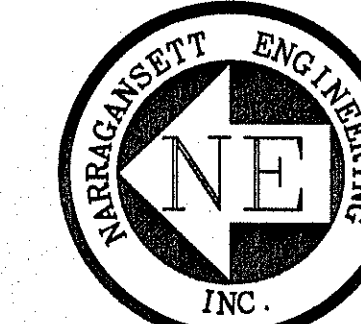
NOTE:
OWNERS OF LOTS 34A-1, 34A-4, 34A-5, 34A-6, 34A-7, AND 34A-8 SHALL BE RESPONSIBLE FOR THE INSTALLATION OF INFILTRATORS TO CONNECT TO DOWNSPOUTS BEFORE A BUILDING PERMIT IS GRANTED. EACH HOME OWNER SHALL INSTALL 50 CULTEC C-EZ-24 INFILTRATORS OR EQUAL, IF THE HOUSE AND GARAGE FOUNDATION AREA IS LESS THAN 2,000 SQ.FT. FOR LARGER FOUNDATIONS HOME OWNER SHALL HAVE DESIGN PREPARED BY REGISTERED PROFESSIONAL ENGINEER (P.E.), BEFORE BUILDING PERMIT IS GRANTED. HOME OWNER SHALL CLEAN INFILTRATORS EVERY 5 YEARS AND PROVIDE EVIDENCE TO TIVERTON PUBLIC WORKS DEPARTMENT. MANUFACTURER STATES NO MAINTENANCE OR REPAIR IS REQUIRED FOR INFILTRATOR SYSTEMS. ROOF LEADERS TO BE TIED TO INFILTRATOR SYSTEM.

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narenginc@aol.com



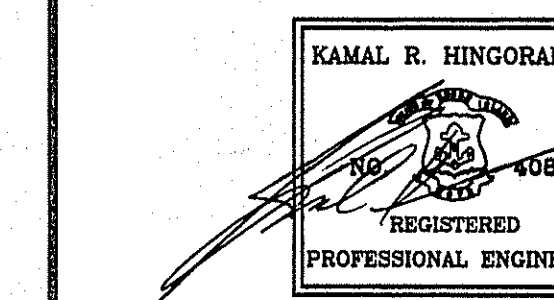
**SHEET TITLE SUBDIVISION OF
WATUPPA PLANTATION
(PRELIMINARY PLAN)
GRADING PLAN**

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878
C/O D. LOGAN
624-8452

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
HURST LANE,
TIVERTON, RI. 02878

**MAP: 4-15 BLOCK: 99
PARCEL(S): 34A**

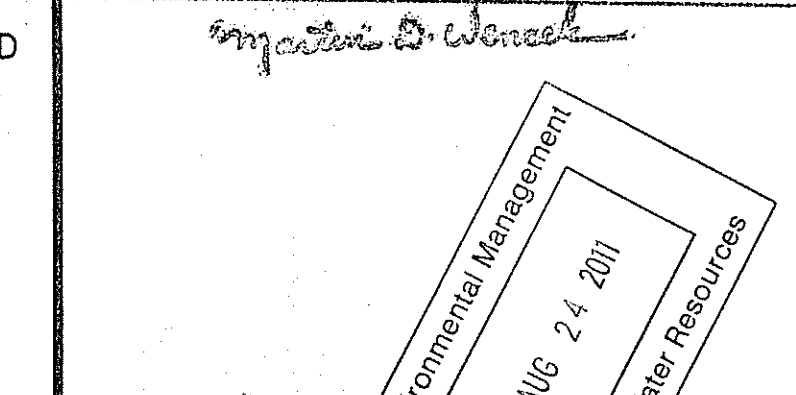


PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03	KH
2	02-03-04	REVISED AS PER PLANING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH

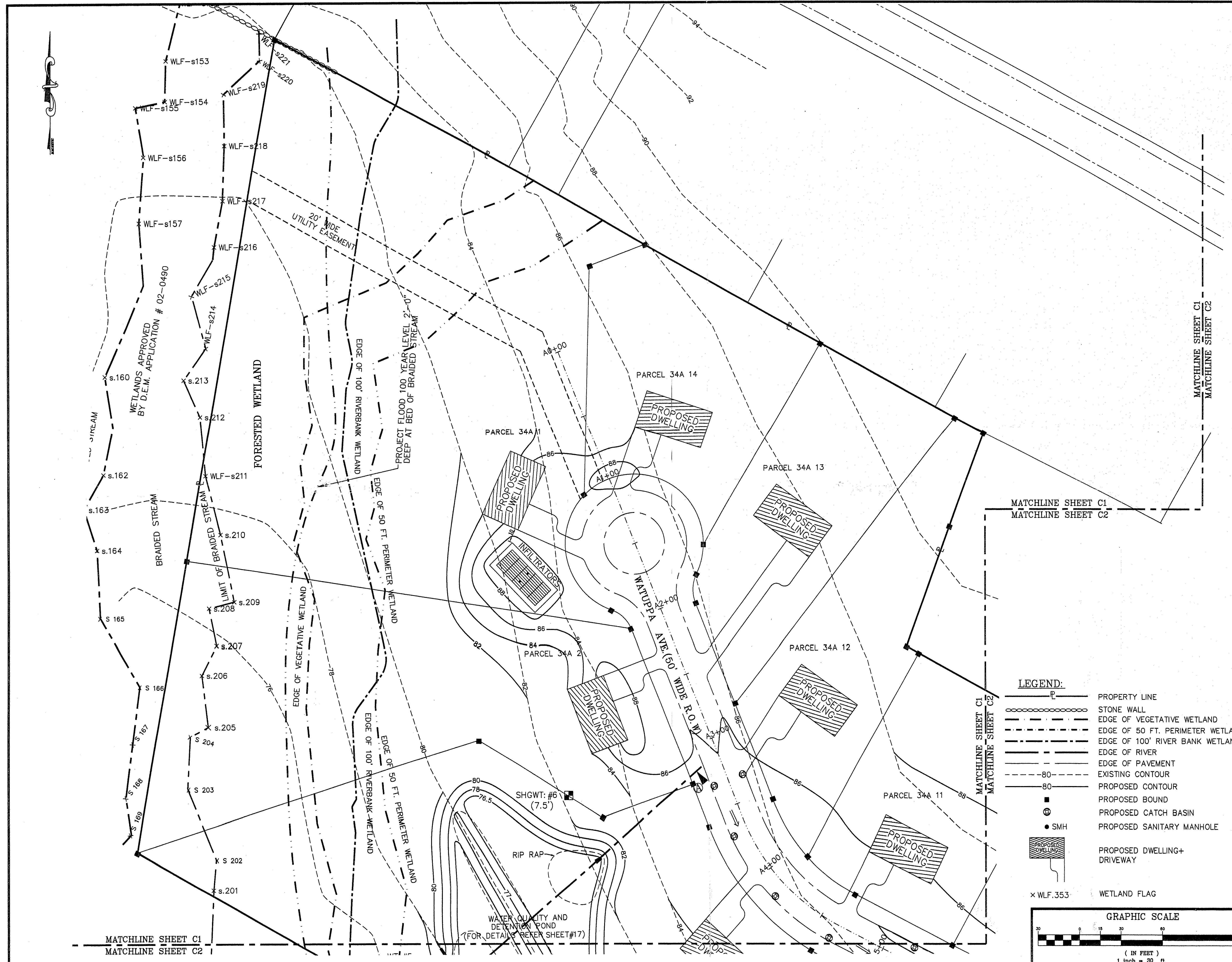
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED **JAN 20 2012** FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



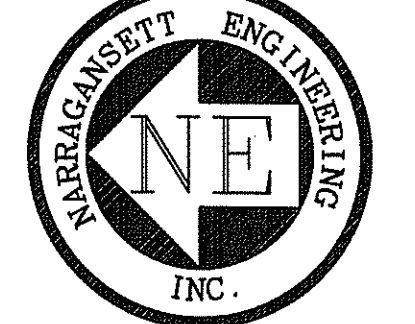
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

SHT 5 OF 18 C1 PROPOSED GRADING

SHEET	SCALE
C1 5 OF 18	1" = 30'



NARRAGANSETT ENGINEERING, INC.
 3102 EAST MAIN ROAD,
 PORTSMOUTH, RI 02871
 TEL : (401) 683-6630
 FAX : (401) 683-6638
 E-MAIL : narenginc@aol.com



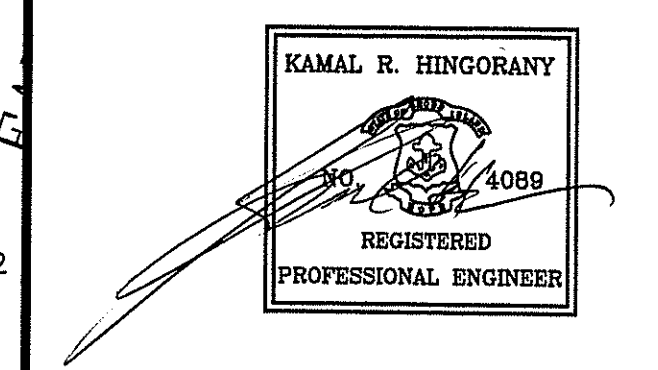
SHEET TITLE SUBDIVISION OF
**WATUPPA PLANTATION
 (PRELIMINARY PLAN)
 GRADING PLAN**

PROJECT OWNER
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878

OWNER OF RECORD
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878

LOCATION
 WATUPPA AVE.
 TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
 PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

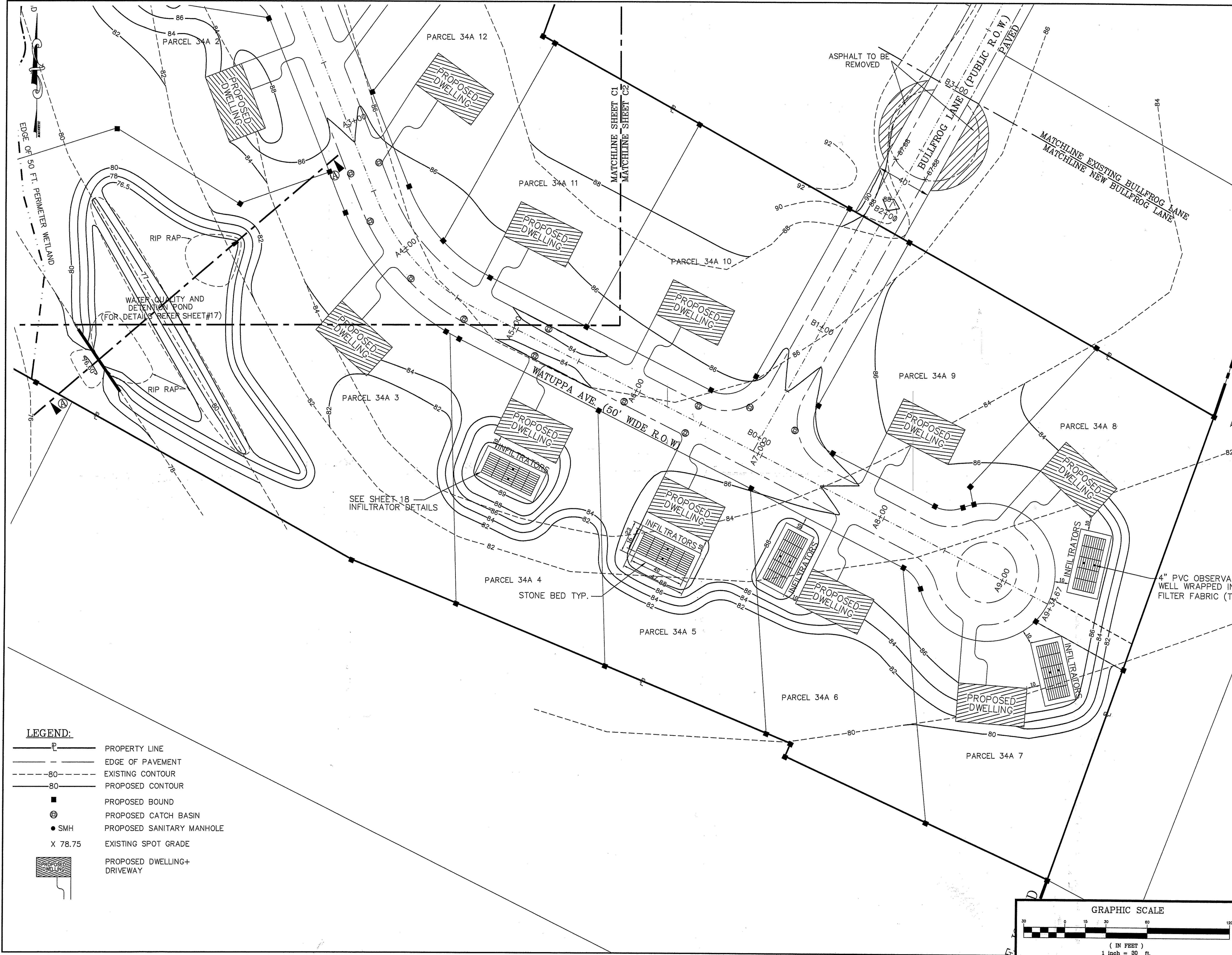
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03	KH
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMON WEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANNING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JAN 20 2012 FILE #
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

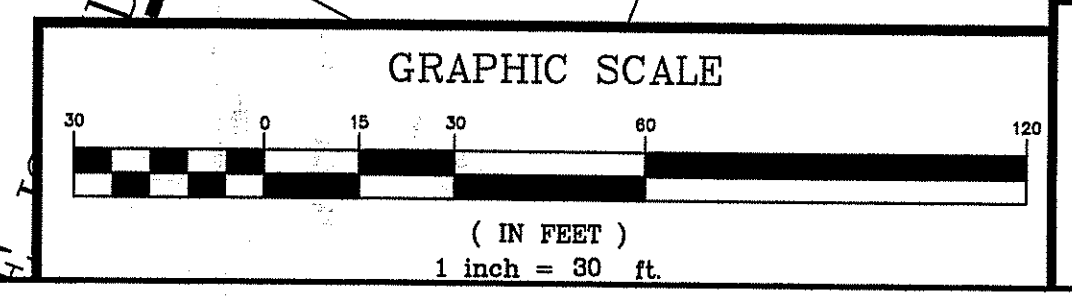
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

SHT 6 OF 18 C2 PROPOSED GRADING

SHEET	SCALE
C2 6 OF 18	1" = 30'

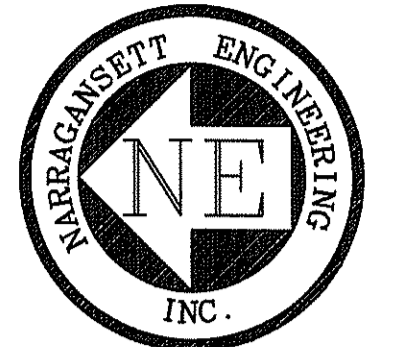


- LEGEND:**
- P — PROPERTY LINE
 - — — EDGE OF PAVEMENT
 - - - - -80- - - EXISTING CONTOUR
 - - - - -80- - - PROPOSED CONTOUR
 - PROPOSED BOUND
 - ⊕ PROPOSED CATCH BASIN
 - SMH PROPOSED SANITARY MANHOLE
 - X 78.75 EXISTING SPOT GRADE
 - [Hatched Box] PROPOSED DWELLING+ DRIVEWAY



NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narenginc@aol.com



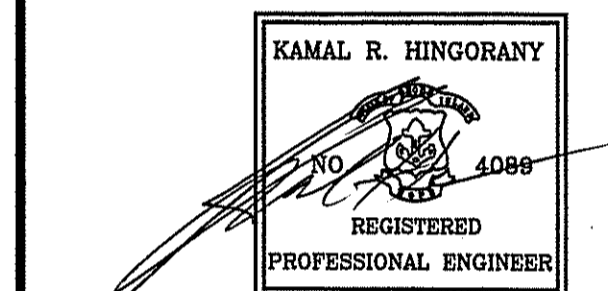
SHEET TITLE
SUBDIVISION OF
WATUPPA PLANTATION
(PRELIMINARY PLAN)
MATCHLINE SHEET UTILITY

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

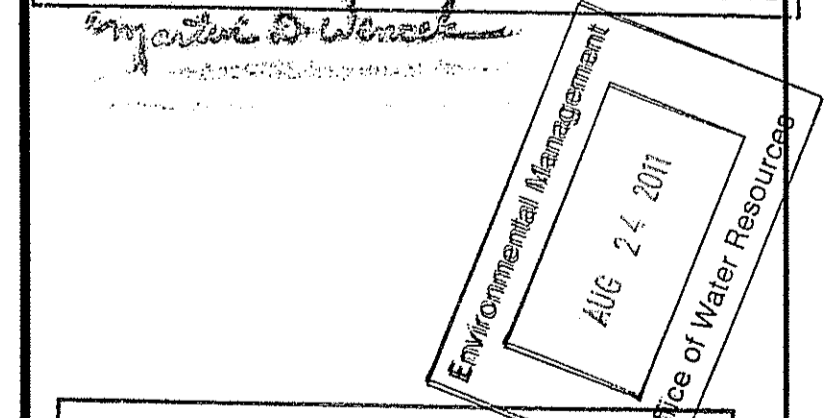
MAP: 4-15 BLOCK: 99
PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES	KH
STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03			
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANNING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 20 2012 FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



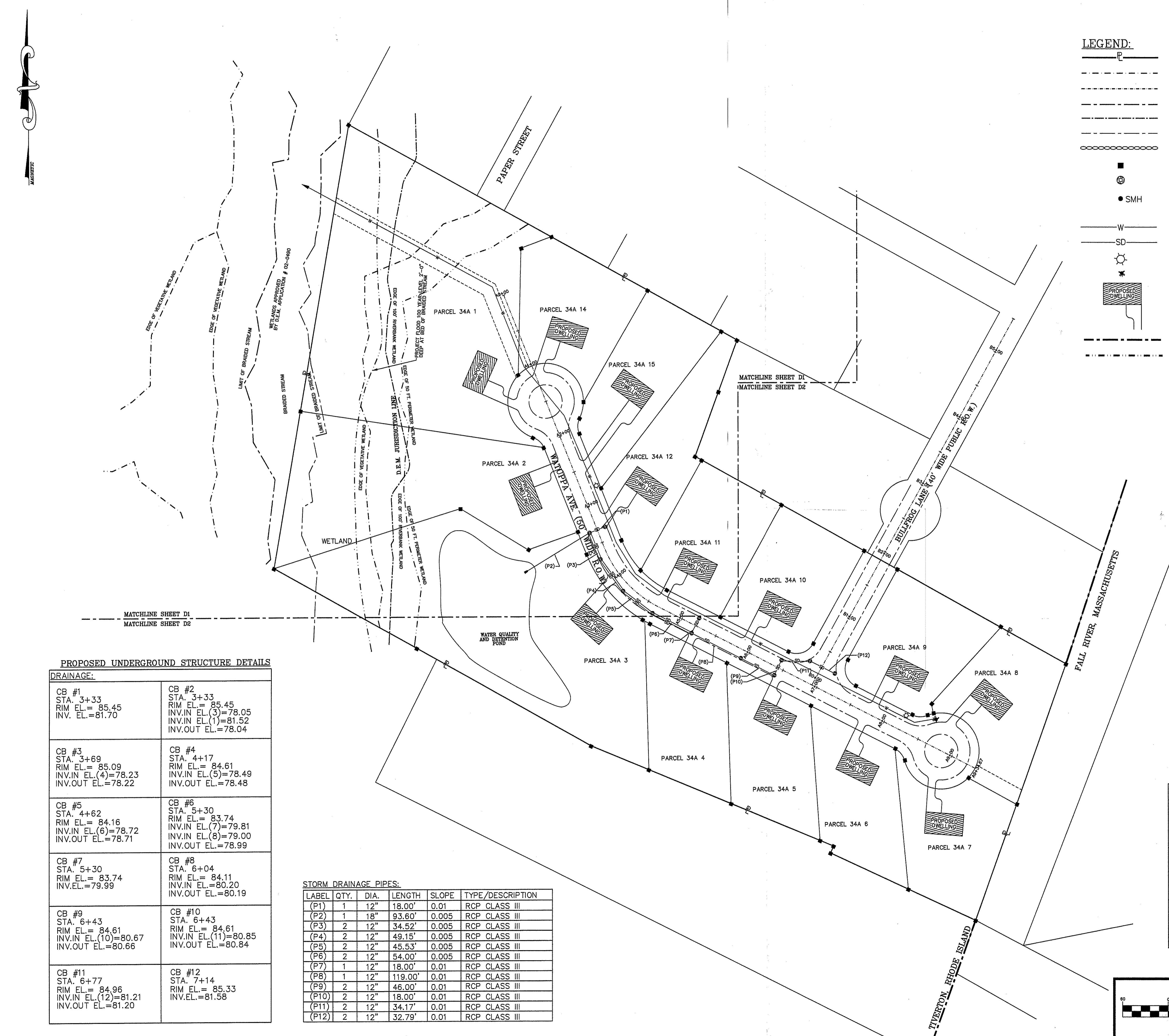
Kindly be advised that this
Permit is not equivalent to a
verification of the type or extent
of freshwater wetlands on site.

SHT 7 OF 18 MATCHLINE SHEET

D	SHEET	SCALE
D	7 OF 18	1" = 60'

LEGEND:

- PROPERTY LINE
- EDGE OF VEGETATIVE WETLAND
- EDGE OF 50 FT. PERIMETER WETLAND
- EDGE OF RIVER
- EDGE OF 100' RIVER BANK WETLAND
- EDGE OF PAVEMENT
- STONE WALL
- PROPOSED BOUND
- PROPOSED CATCH BASIN
- PROPOSED SANITARY MANHOLE
- PROPOSED WATER LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED STREET LIGHT
- PROPOSED HYDRANT
- PROPOSED DWELLING+ DRIVEWAY
- STATE LINE
- 100 YEAR BRAIDED RIVER FLOOD LIINE



PROPOSED UNDERGROUND STRUCTURE DETAILS

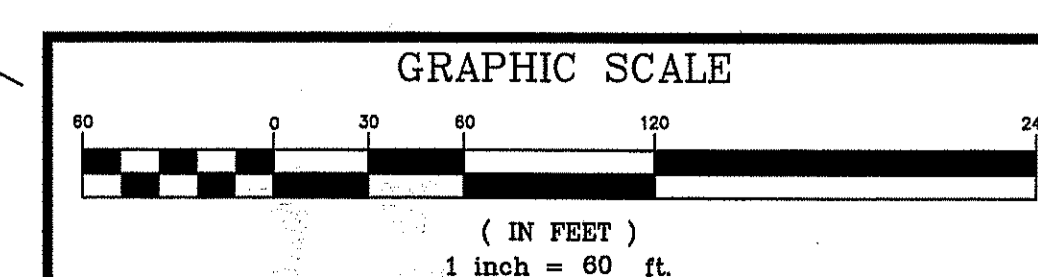
DRAINAGE:	
CB #1 STA. 3+33 RIM EL.= 85.45 INV. EL.=81.70	CB #2 STA. 3+33 RIM EL.= 85.45 INV.IN EL.(3)=78.05 INV.IN EL.(1)=81.52 INV.OUT EL.=78.04
CB #3 STA. 3+69 RIM EL.= 85.09 INV.IN EL.(4)=78.23 INV.OUT EL.=78.22	CB #4 STA. 4+17 RIM EL.= 84.61 INV.IN EL.(5)=78.49 INV.OUT EL.=78.48
CB #5 STA. 4+62 RIM EL.= 84.16 INV.IN EL.(6)=78.72 INV.OUT EL.=78.71	CB #6 STA. 5+30 RIM EL.= 83.74 INV.IN EL.(7)=79.81 INV.IN EL.(8)=79.00 INV.OUT EL.=78.99
CB #7 STA. 5+30 RIM EL.= 83.74 INV.EL.=79.99	CB #8 STA. 6+04 RIM EL.= 84.11 INV.IN EL.=80.20 INV.OUT EL.=80.19
CB #9 STA. 6+43 RIM EL.= 84.61 INV.IN EL.(10)=80.67 INV.OUT EL.=80.66	CB #10 STA. 6+43 RIM EL.= 84.61 INV.IN EL.(11)=80.85 INV.OUT EL.=80.84
CB #11 STA. 6+77 RIM EL.= 84.96 INV.IN EL.(12)=81.21 INV.OUT EL.=81.20	CB #12 STA. 7+14 RIM EL.= 85.33 INV.EL.=81.58

STORM DRAINAGE PIPES:

LABEL	QTY.	DIA.	LENGTH	SLOPE	TYPE/DESCRIPTION
(P1)	1	12"	18.00'	0.01	RCP CLASS III
(P2)	1	18"	93.60'	0.005	RCP CLASS III
(P3)	2	12"	34.52'	0.005	RCP CLASS III
(P4)	2	12"	49.15'	0.005	RCP CLASS III
(P5)	2	12"	45.53'	0.005	RCP CLASS III
(P6)	2	12"	54.00'	0.005	RCP CLASS III
(P7)	1	12"	18.00'	0.01	RCP CLASS III
(P8)	1	12"	119.00'	0.01	RCP CLASS III
(P9)	2	12"	46.00'	0.01	RCP CLASS III
(P10)	2	12"	18.00'	0.01	RCP CLASS III
(P11)	2	12"	34.17'	0.01	RCP CLASS III
(P12)	2	12"	32.79'	0.01	RCP CLASS III

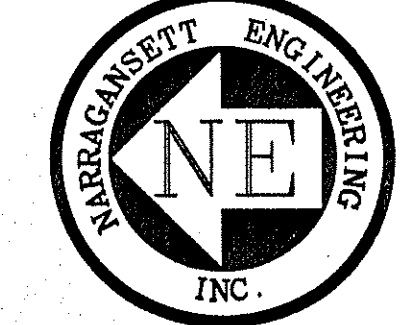
SANITARY:

SMH#1 STA. 1+50 RIM EL.= 87.62 INV. EL.=84.12	SMH#2 STA. 3+38 RIM EL.= 85.74 INV. EL.=78.40
SMH#3 STA. 4+10 RIM EL.= 85.01 INV. EL.=79.13	SMH#4 STA. 5+00 RIM EL.= 84.16 INV. EL.=80.02
SMH#5 STA. 7+49 RIM EL.= 86.00 INV. EL.=82.52	SMH#6 STA. 8+85 RIM EL.= 87.36 INV. EL.=83.38



NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narenginc@aol.com



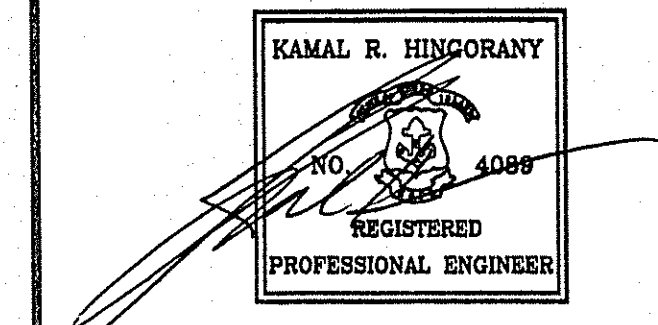
SUBDIVISION OF WATUPPA PLANTATION (PRELIMINARY PLAN) UTILITY PLAN

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

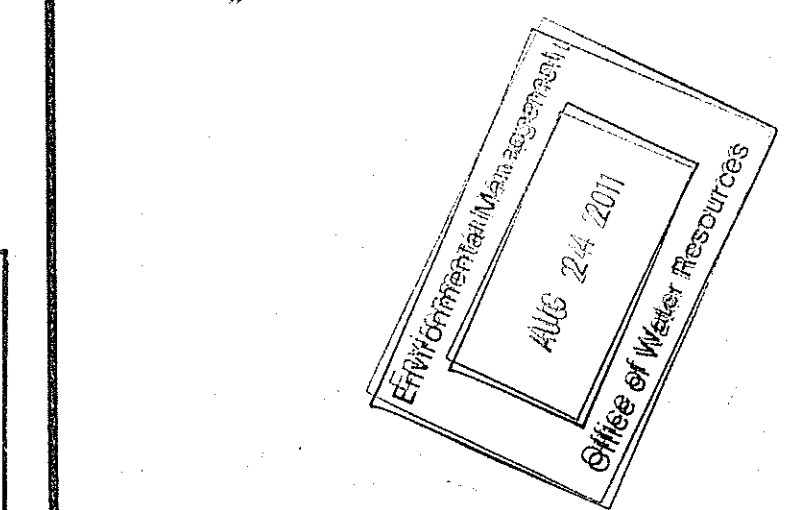
MAP: 4-15 BLOCK: 99
PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

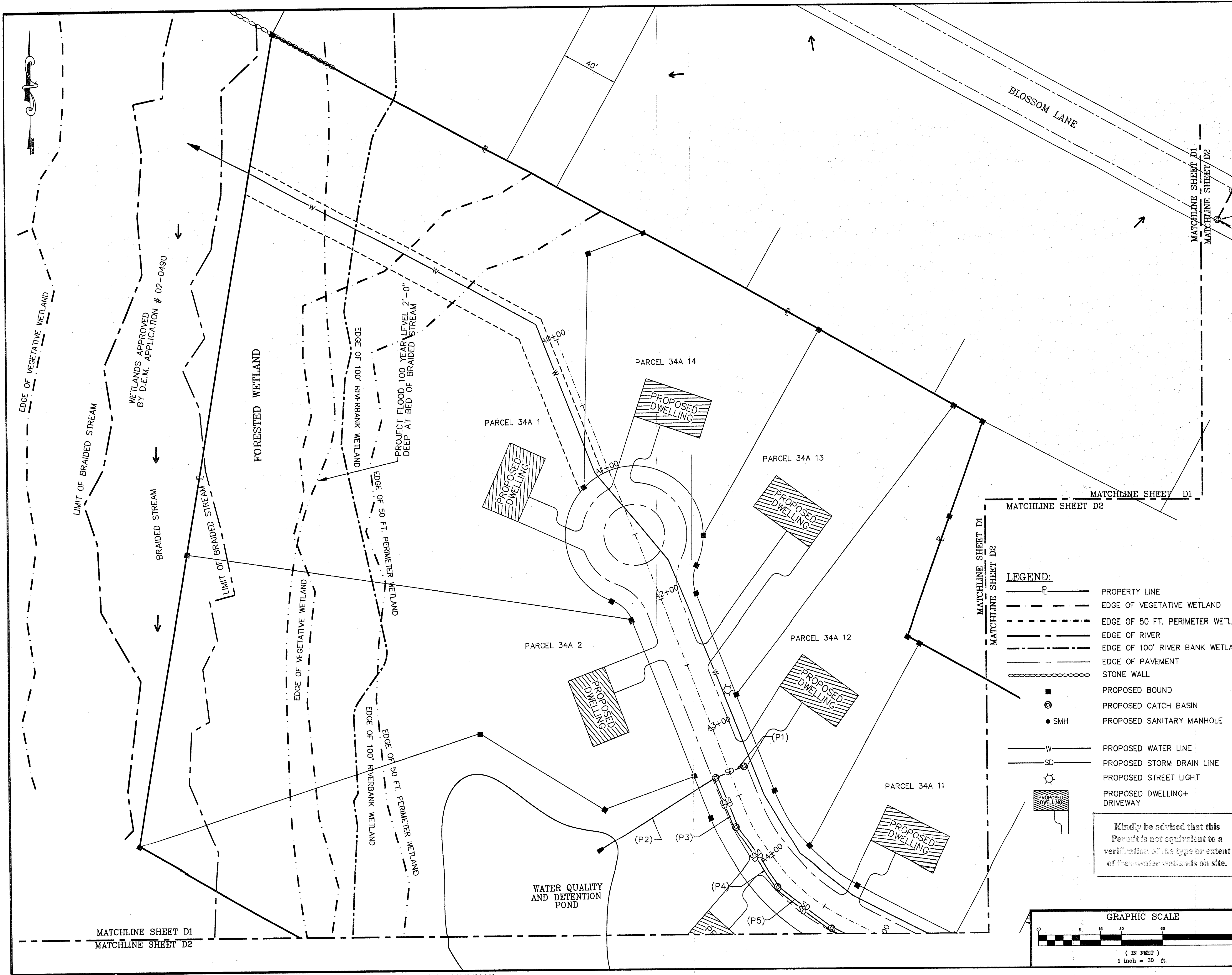
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03	KH
2	02-03-04	REVISED AS PER PLANING BOARD & COMMONWEALTH ENGINEERING	KH
3	03-08-04	REVISED AS PER CWE	KH
4	09-27-04	REVISED PER PLANING BOARD	KH
5	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 20 2012 FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



SHT 8 OF 18 D1 PROPOSED UTILITY

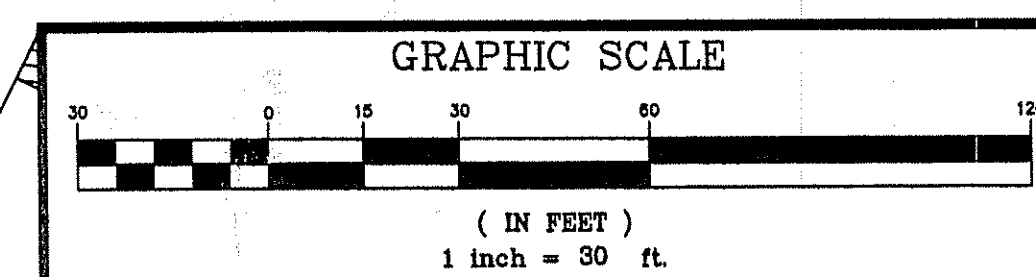
SHEET	SCALE
D1 8 OF 18	1"=30'



LEGEND:

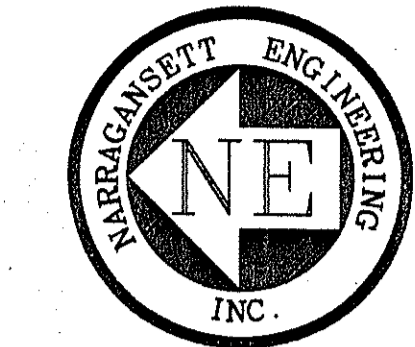
- P — PROPERTY LINE
- - - - - EDGE OF VEGETATIVE WETLAND
- - - - - EDGE OF 50 FT. PERIMETER WETLAND
- - - - - EDGE OF RIVER
- - - - - EDGE OF 100' RIVER BANK WETLAND
- - - - - EDGE OF PAVEMENT
- ○ ○ ○ ○ STONE WALL
- PROPOSED BOUND
- ⊕ PROPOSED CATCH BASIN
- SMH PROPOSED SANITARY MANHOLE
- W — PROPOSED WATER LINE
- SD — PROPOSED STORM DRAIN LINE
- ☀ PROPOSED STREET LIGHT
- ▨ PROPOSED DWELLING+ DRIVEWAY

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narenginc@aol.com



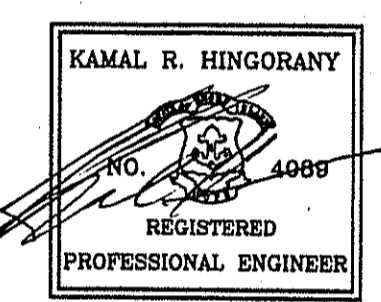
**SHEET TITLE SUBDIVISION OF
WATUPPA PLANTATION
(PRELIMINARY PLAN)
UTILITY PLAN**

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

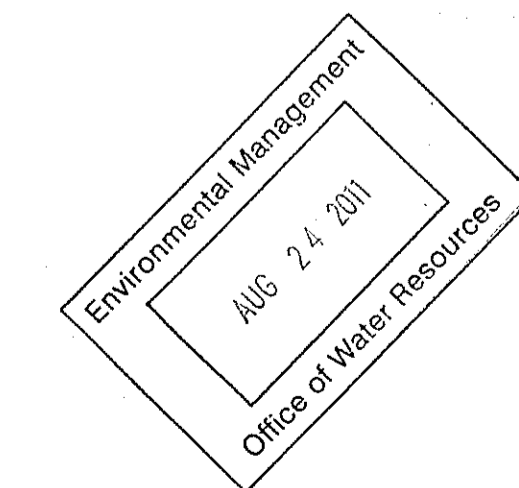
MAP: 4-15 BLOCK: 99
PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

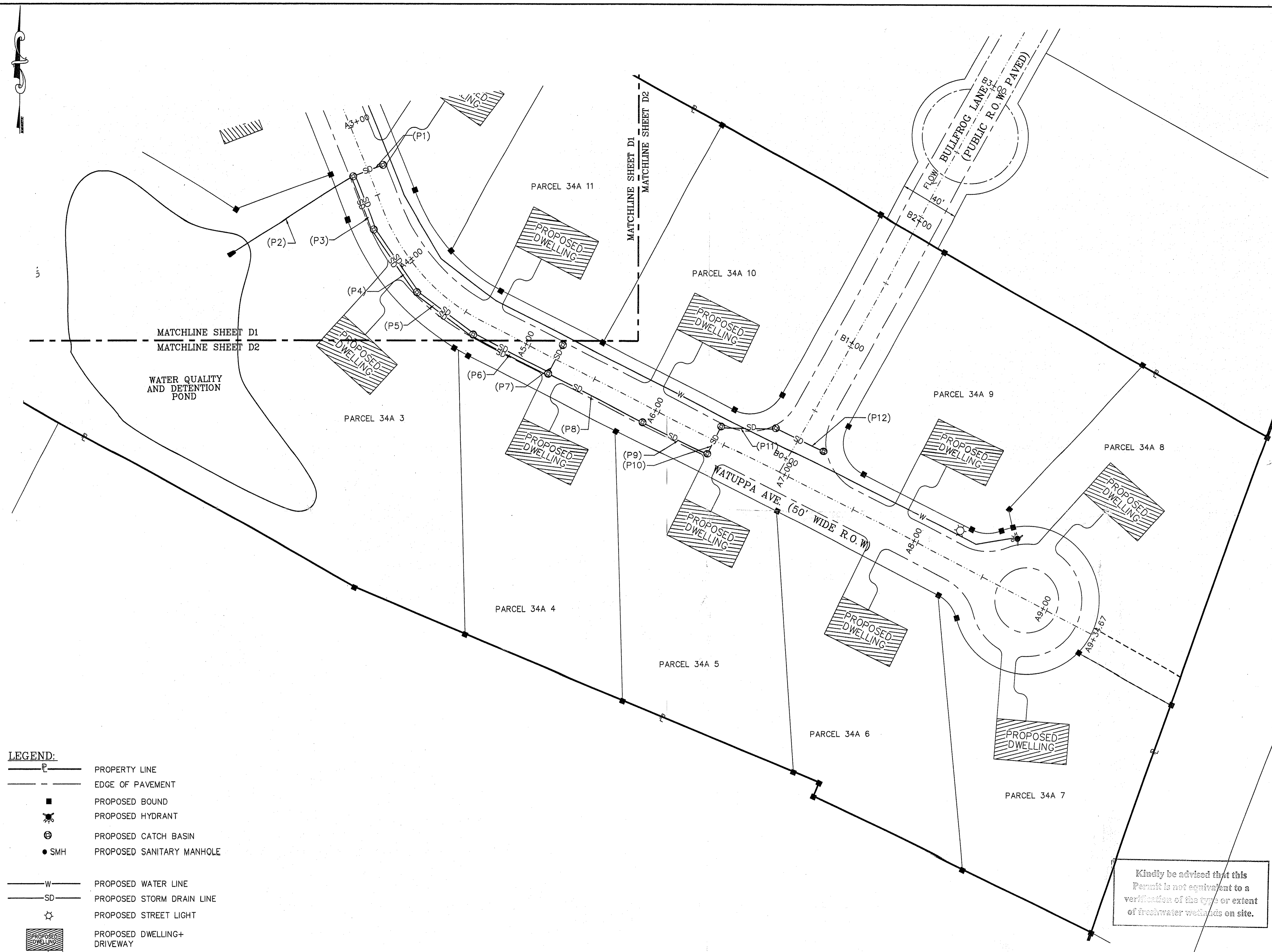
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS.	KH
2	02-03-04	REVISED AS PER PLANING BOARD & COMMON WEALTH ENGINEERING	KH
3	03-08-04	REVISED PER CWE	KH
4	09-27-04	REVISED PER PLANING BOARD	KH
5	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 20 2012 FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



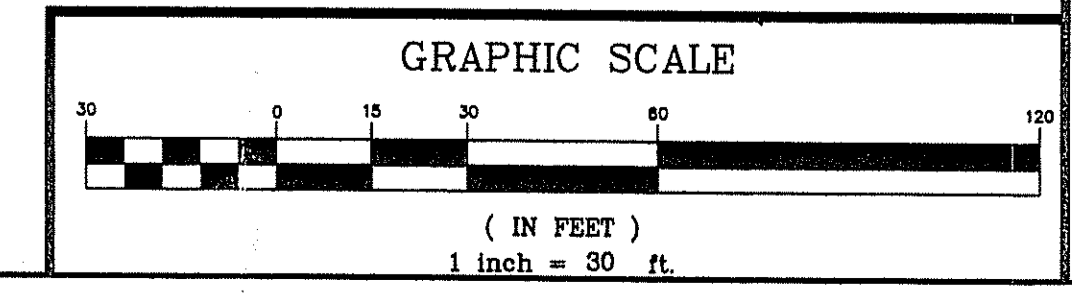
SHT 9 OF 18 D2 PROPOSED UTILITY

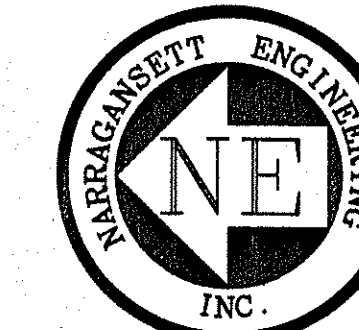
SHEET	SCALE
D2 9 OF 18	1" = 30'



- LEGEND:**
- P — PROPERTY LINE
 - — — EDGE OF PAVEMENT
 - PROPOSED BOUND
 - ⊗ PROPOSED HYDRANT
 - ⊕ PROPOSED CATCH BASIN
 - SMH PROPOSED SANITARY MANHOLE
 - W — PROPOSED WATER LINE
 - SD — PROPOSED STORM DRAIN LINE
 - ⊙ PROPOSED STREET LIGHT
 - ▨ PROPOSED DWELLING+ DRIVEWAY

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.





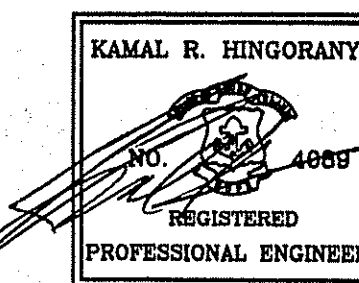
SHEET TITLE **SUBDIVISION OF WATUPPA PLANTATION (PRELIMINARY PLAN) PROFILE**

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
PARCEL: 34A

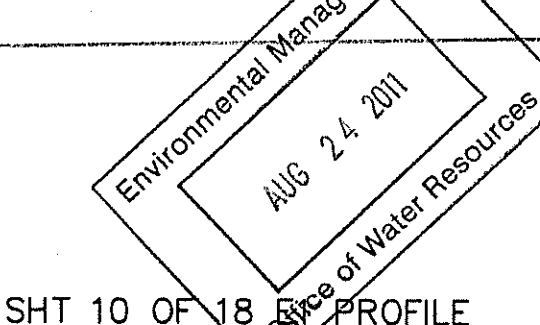


PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS.	KH
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMONWEALTH ENGINEERING	KH
3	03-08-04	REVISED PER CWE	KH
4	09-27-04	REVISED PER PLANNING BOARD	KH
5	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL.
DATED **JAN 20 2012** FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



SHT 10 OF 18 PROFILE

SHEET	SCALE
E1 10 OF 18	1" = 40'

PROPOSED UNDERGROUND STRUCTURE DETAILS

DRAINAGE:	
CB #1 STA. 3+33 RIM EL.= 85.45 INV. EL.=81.70	CB #2 STA. 3+33 RIM EL.= 85.45 INV.IN EL.(3)=78.05 INV.IN EL.(1)=81.52 INV.OUT EL.=78.04
CB #3 STA. 3+69 RIM EL.= 85.09 INV.IN EL.(4)=78.23 INV.OUT EL.=78.22	CB #4 STA. 4+17 RIM EL.= 84.61 INV.IN EL.(5)=78.49 INV.OUT EL.=78.48
CB #5 STA. 4+62 RIM EL.= 84.16 INV.IN EL.(6)=78.72 INV.OUT EL.=78.71	CB #6 STA. 5+30 RIM EL.= 83.74 INV.IN EL.(7)=79.81 INV.IN EL.(8)=79.00 INV.OUT EL.=78.99
CB #7 STA. 5+30 RIM EL.= 83.74 INV.EL.=79.99	CB #8 STA. 6+04 RIM EL.= 84.11 INV.IN EL.=80.20 INV.OUT EL.=80.19
CB #9 STA. 6+43 RIM EL.= 84.61 INV.IN EL.(10)=80.67 INV.OUT EL.=80.66	CB #10 STA. 6+43 RIM EL.= 84.61 INV.IN EL.(11)=80.85 INV.OUT EL.=80.84
CB #11 STA. 6+77 RIM EL.= 84.96 INV.IN EL.(12)=81.21 INV.OUT EL.=81.20	CB #12 STA. 7+14 RIM EL.= 85.33 INV.EL.=81.58
FROM CB #2 TO POND INV. EL.= 77.57 BOTTOM OF POND=76.50	

STORM DRAINAGE PIPES:

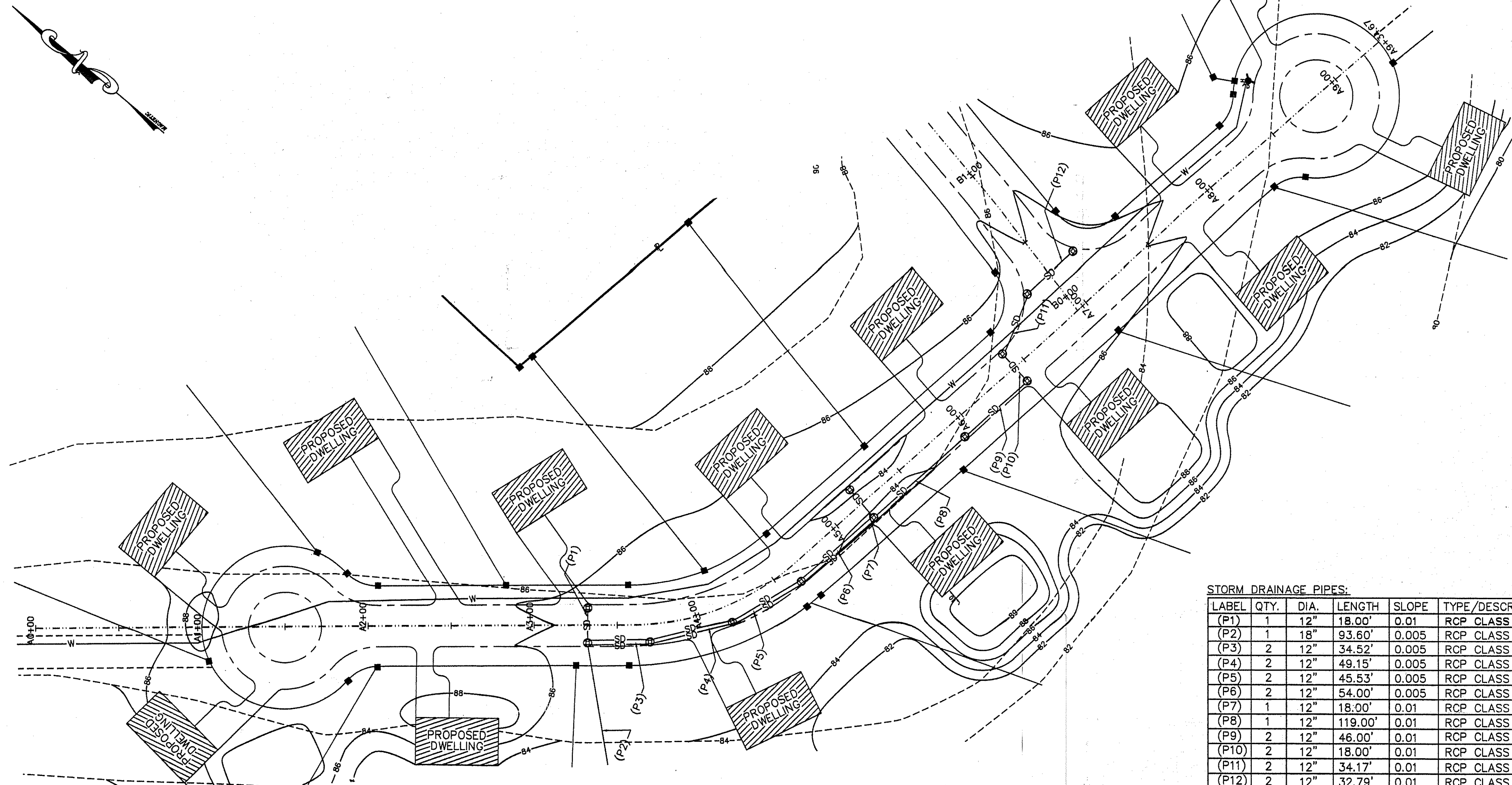
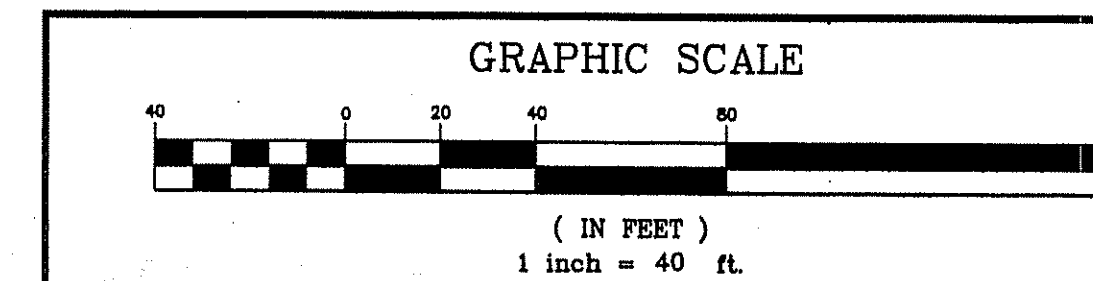
LABEL	QTY.	DIA.	LENGTH	SLOPE	TYPE/DESCRIPTION
(P1)	1	12"	18.00'	0.01	RCP CLASS III
(P2)	1	18"	93.60'	0.005	RCP CLASS III
(P3)	2	12"	34.52'	0.005	RCP CLASS III
(P4)	2	12"	49.15'	0.005	RCP CLASS III
(P5)	2	12"	45.53'	0.005	RCP CLASS III
(P6)	2	12"	54.00'	0.005	RCP CLASS III
(P7)	1	12"	18.00'	0.01	RCP CLASS III
(P8)	1	12"	119.00'	0.01	RCP CLASS III
(P9)	2	12"	46.00'	0.01	RCP CLASS III
(P10)	2	12"	18.00'	0.01	RCP CLASS III
(P11)	2	12"	34.17'	0.01	RCP CLASS III
(P12)	2	12"	32.79'	0.01	RCP CLASS III

SANITARY:

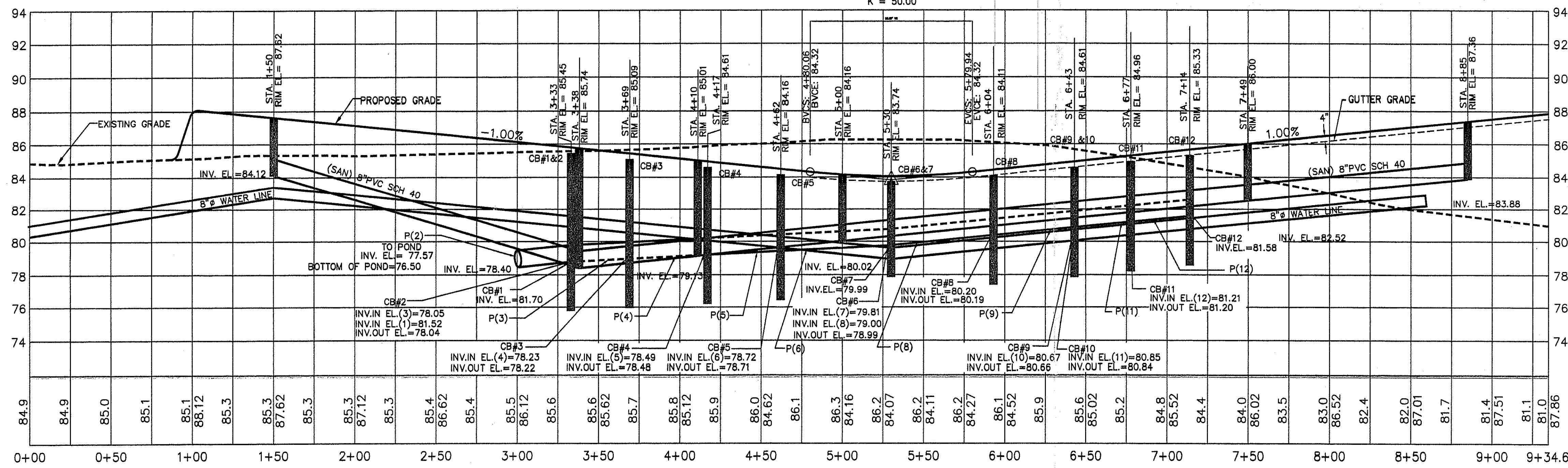
SMH#1 STA. 1+50 RIM EL.= 87.62 INV. EL.=84.12	SMH#2 STA. 3+38 RIM EL.= 85.74 INV. EL.=78.40
SMH#3 STA. 4+10 RIM EL.= 85.01 INV. EL.=79.13	SMH#4 STA. 5+00 RIM EL.= 84.16 INV. EL.=80.02
SMH#5 STA. 7+49 RIM EL.= 86.00 INV. EL.=82.52	SMH#6 STA. 8+85 RIM EL.= 87.36 INV. EL.=83.38

LEGEND:

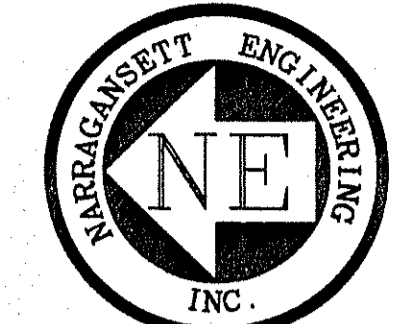
- P — PROPERTY LINE
- - - 100 - - - EXISTING CONTOUR
- - - 100 - - - PROPOSED CONTOUR
- PROPOSED BOUND
- - - EDGE OF PAVEMENT
- SD - PROPOSED STORM DRAIN LINE
- ⊙ PROPOSED CATCH BASIN
- SMH PROPOSED SANITARY MANHOLE
- W - PROPOSED WATER LINE
- ▨ PROPOSED DWELLING+DRIVEWAY
- ⊛ PROPOSED HYDRANT



LOW POINT ELEV = 84.07
LOW POINT STA = 5+30.02
PVI STA = 5+30
PVI ELEV = 83.82
A.D. = 2.00
K = 50.00



WATUPPA AVENUE
PROFILE SCALE
HORIZ. 1" = 40'
VERT 1" = 4'



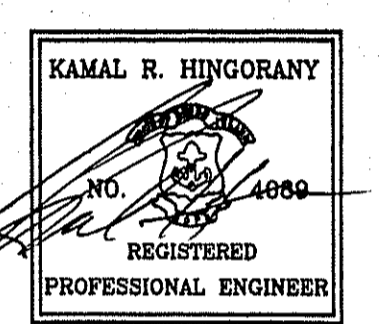
SHEET TITLE SUBDIVISION OF
WATUPPA PLANTATION
(PRELIMINARY PLAN)
PROFILE

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03	KH
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMONWEALTH ENGINEERING	KH
3	03-08-04	REVISED PER CWE	KH
4	09-27-04	REVISED PER PLANNING BOARD	KH
5	01-27-05	REVISED AS PER D.E.M.	KH

REVIEWER COMMENTS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 20 2012 FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

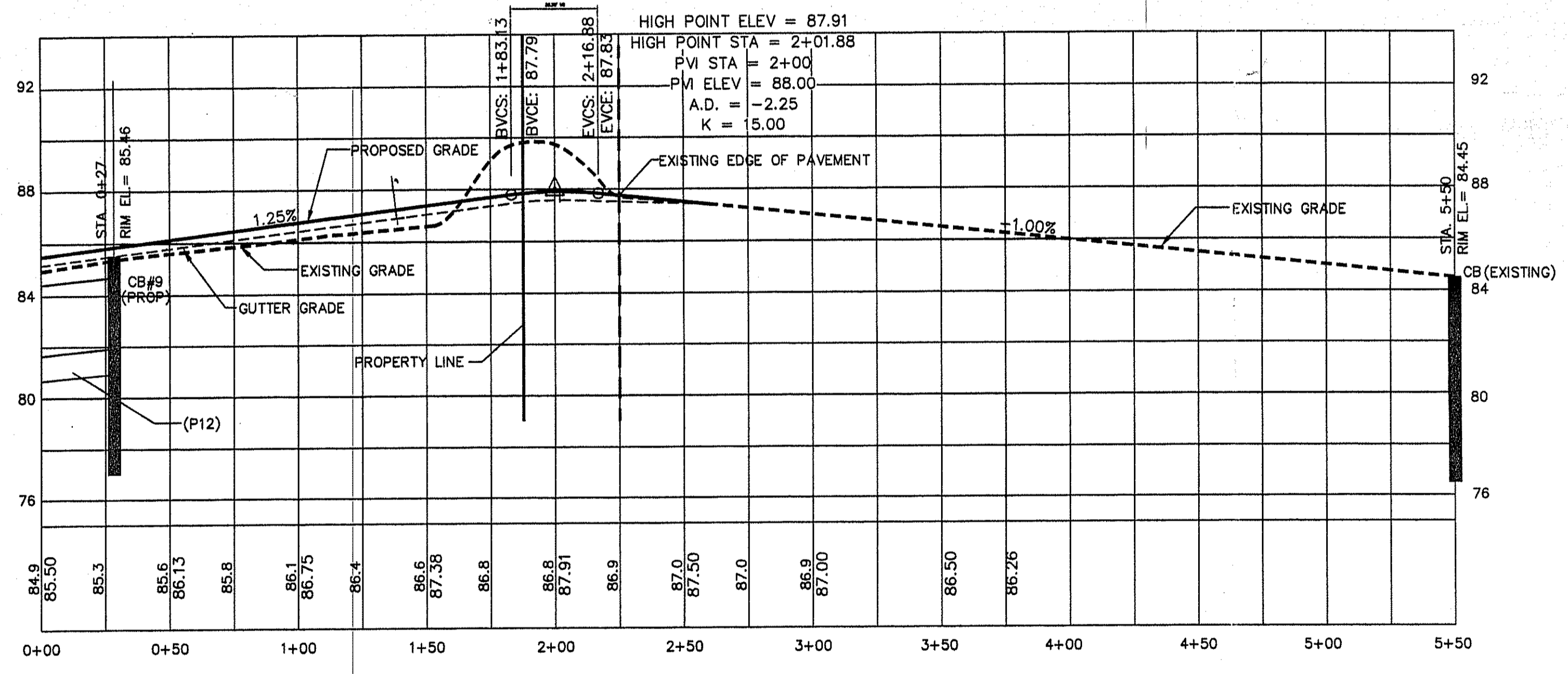
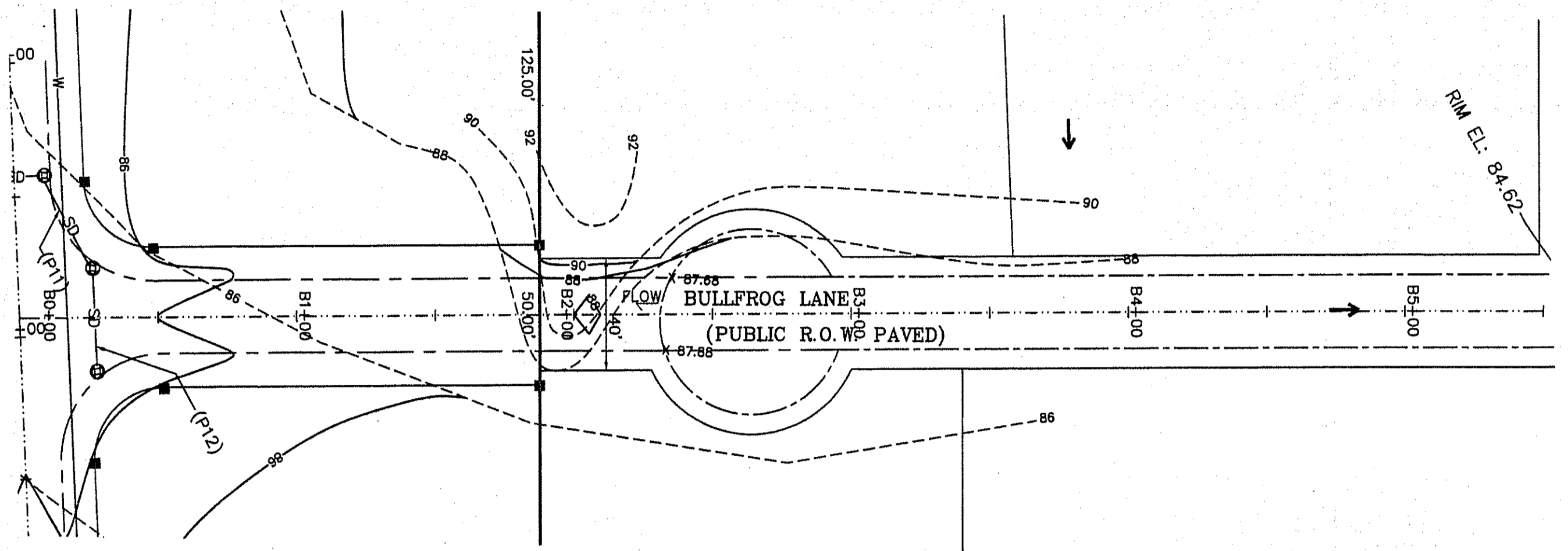
Margaret D. Wenzel
Margaret D. Wenzel
Environmental Management
Office of Water Resources

Kindly be advised that this Permit is not equivalent to a verification of the type and extent of freshwater wetlands on site.

Environmental Management
AUG 24 2011
Office of Water Resources

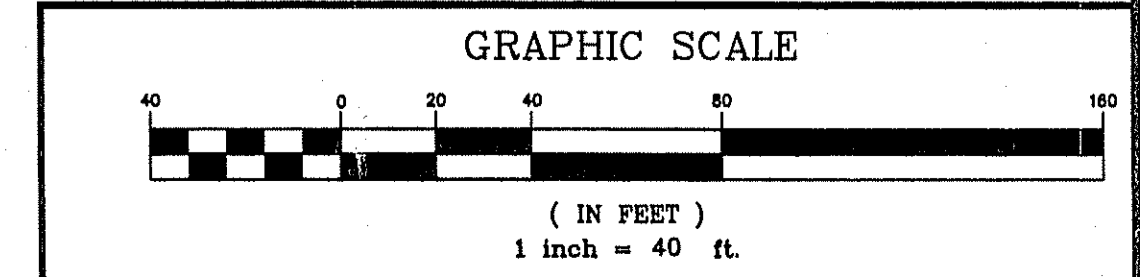
SHT 11 OF 18 E1 PROFILE

SHEET	SCALE
E2 11 OF 18	1" = 40'



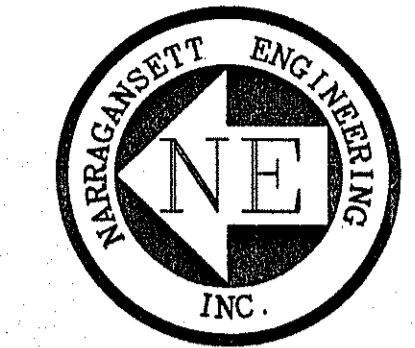
BULLFROG LANE
PROFILE SCALE
HORIZ. 1" = 40'
VERT 1" = 4'

- LEGEND:**
- P — PROPERTY LINE
 - — — EDGE OF PAVEMENT
 - - - -100- - - EXISTING CONTOUR
 - - - -100- - - PROPOSED CONTOUR
 - PROPOSED BOUNDS
 - ⊕ PROPOSED CATCH BASIN
 - SMH PROPOSED SANITARY MANHOLE
 - W — PROPOSED WATER LINE
 - SD — PROPOSED STORM DRAIN LINE



NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narengine@aol.com



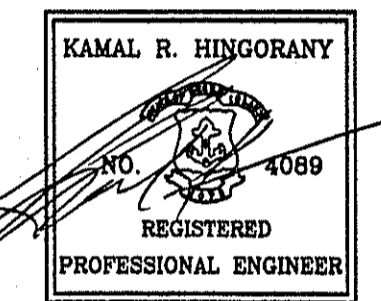
SHEET TITLE SUBDIVISION OF
WATUPPA PLANTATION
(PRELIMINARY PLAN)
SECTIONS

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS

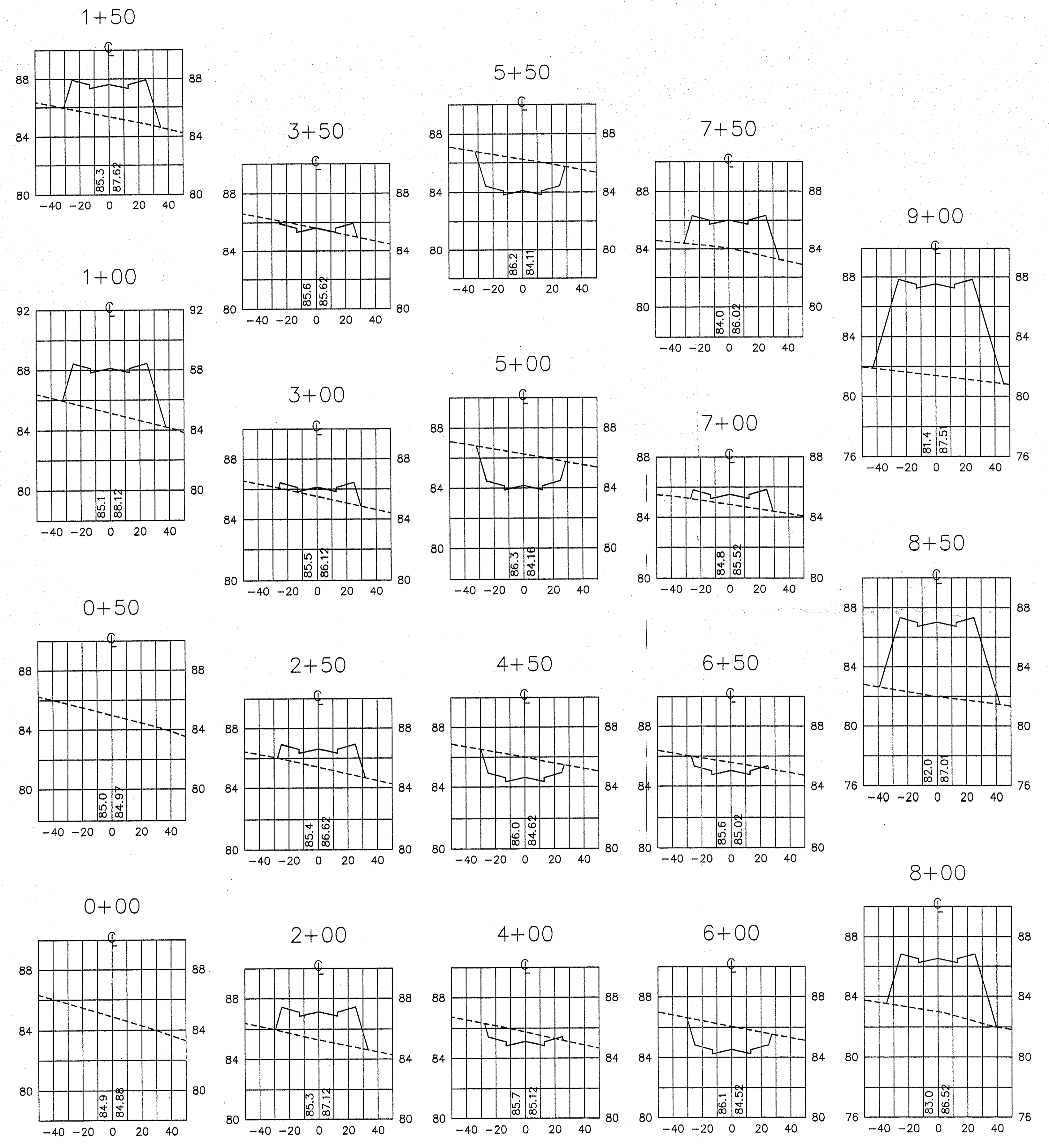
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03	KH
2	02-03-04	REVISED AS PER PLANING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 20 2012 FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

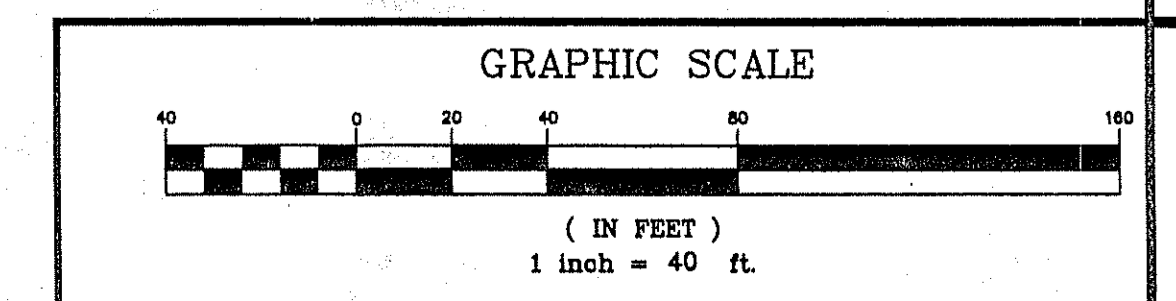
Martin D. Wenzel
AUG 24
Office of Water Resources

SHT 12 OF 18 E3 PROFILE



LEGEND:
----- EXISTING GRADE
————— PROPOSED GRADE

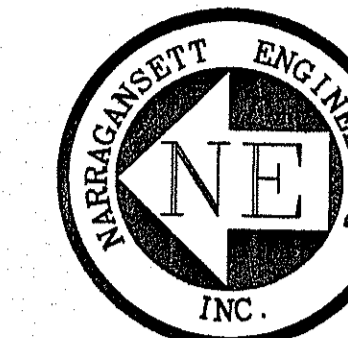
SCALE
HORIZ. 1"=40'
VERT 1"=4'



SHEET	SCALE
E3 12 OF 18	1"=40'

NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narenginc@aol.com



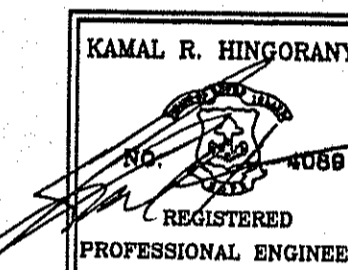
SHEET TITLE SUBDIVISION OF
WATUPPA PLANTATION
(PRELIMINARY PLAN)
SECTIONS

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
PARCEL: 34A

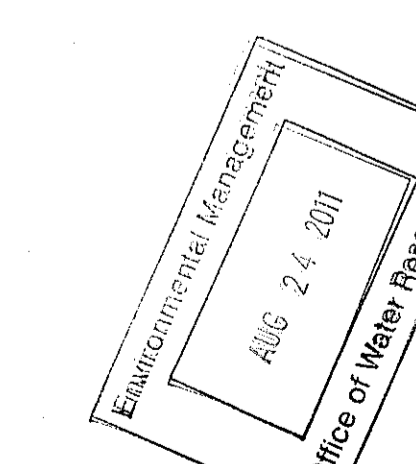


PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03	KH
2	02-03-04	REVISED AS PER PLANING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

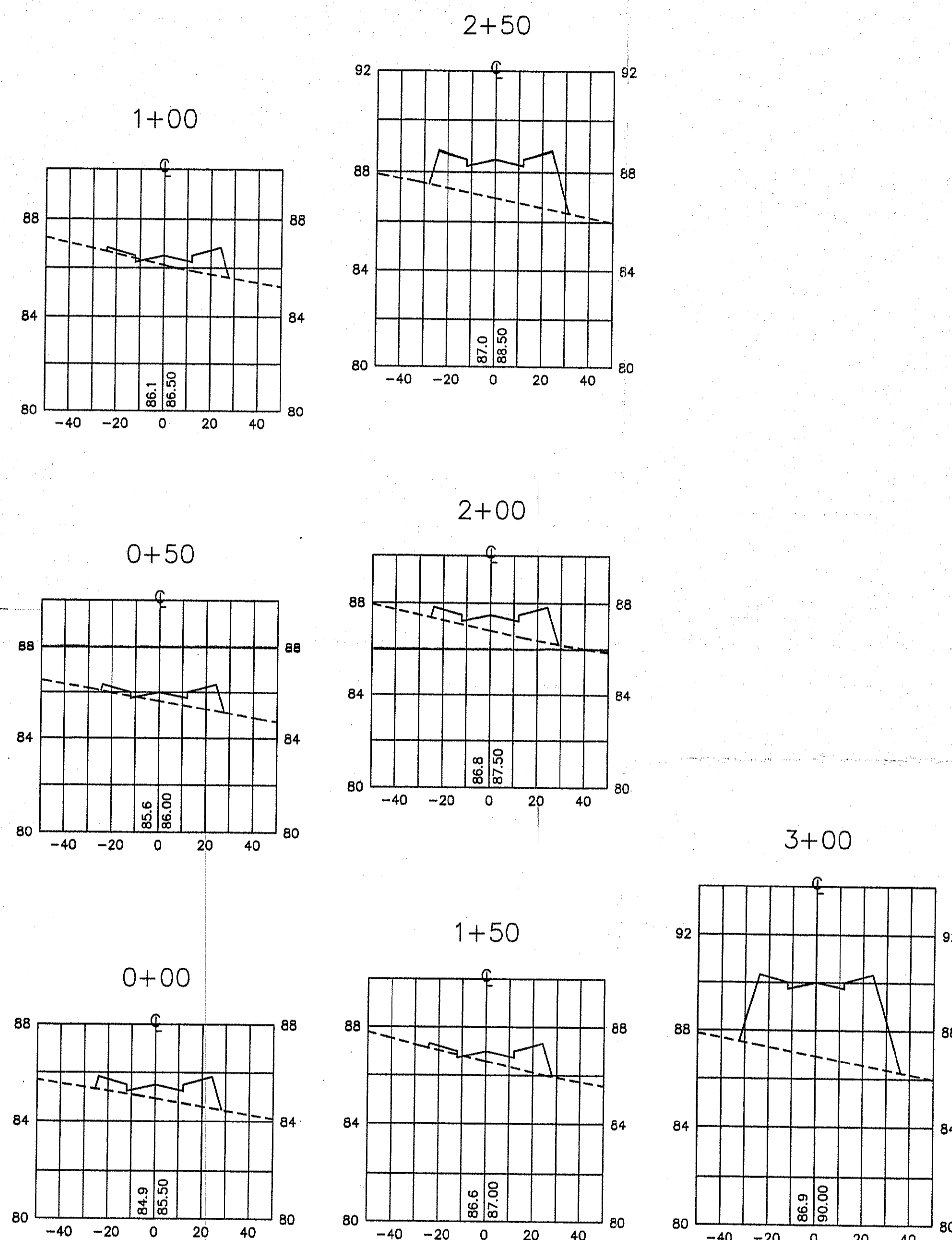
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED **JAN 20 2012** FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kamal R. Hingorany



SHT 13 OF 18 E4 PROFILE

E4	SHEET 13 OF 18	SCALE 1" = 40'
----	-------------------	-------------------

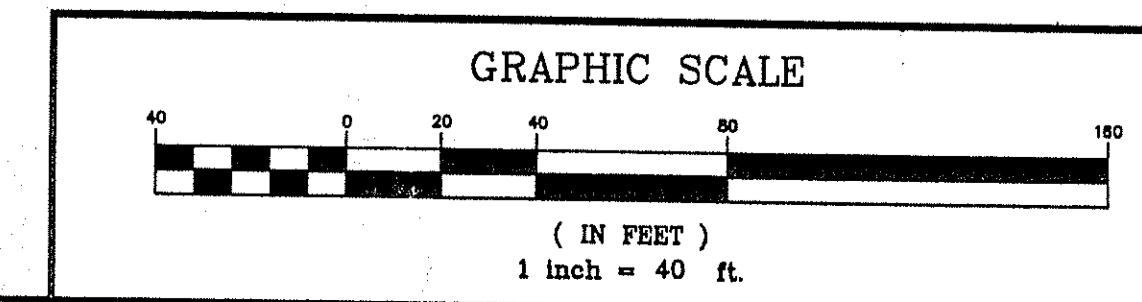


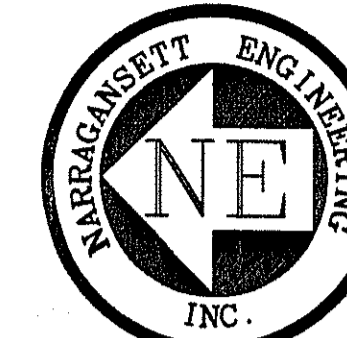
SCALE
HORIZ. 1" = 40'
VERT 1" = 4'

LEGEND:

- EXISTING GRADE
- PROPOSED GRADE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.





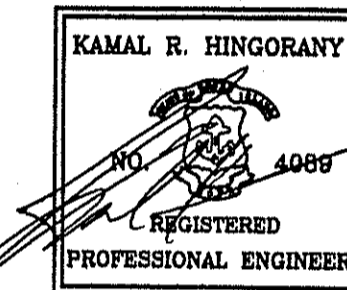
SHEET TITLE SUBDIVISION OF COUNTRYVIEW ESTATES WATUPPA PLANTATION (PRELIMINARY PLAN) SEDIMENTATION PLAN

PROJECT APPLICANT
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878
 C/O D. LOGAN
 624-8452

OWNER OF RECORD
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878

LOCATION
 HURST LANE,
 TIVERTON, RI

MAP: 4-15 BLOCK: 99
 PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES	KH
STATED IN CERT. OF COMPLETENESS.			
(BY ADMINISTRATIVE OFFICER) DATED: 11/29/03			
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANNING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

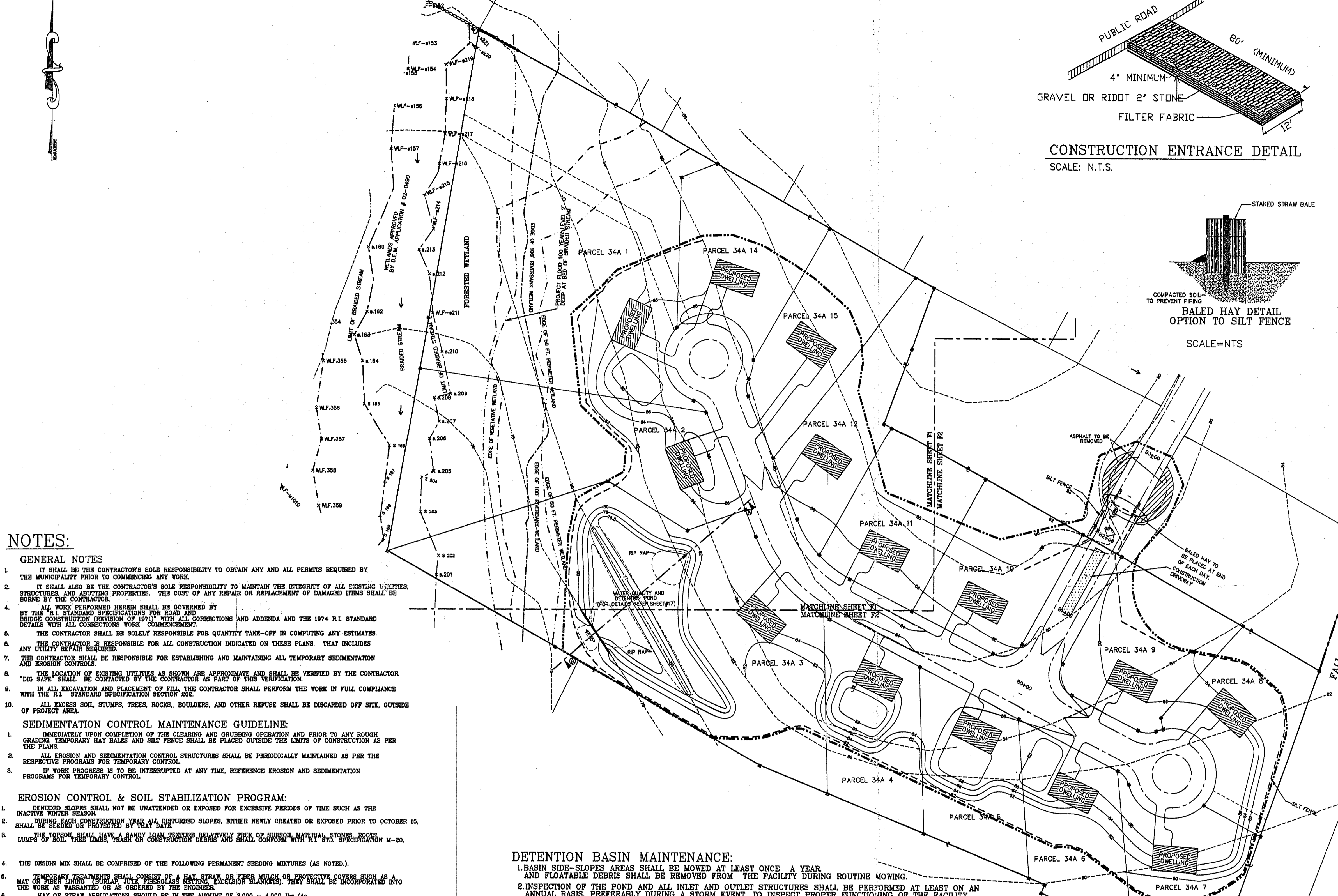
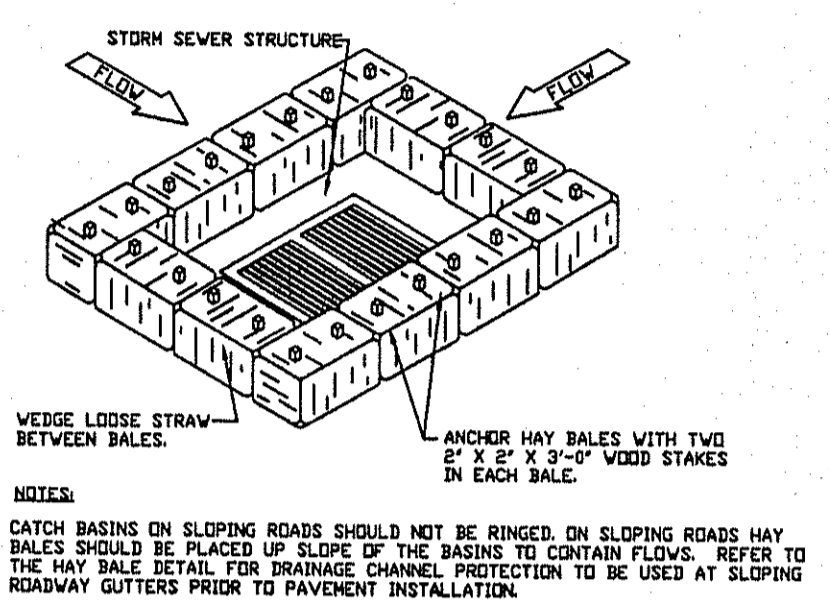
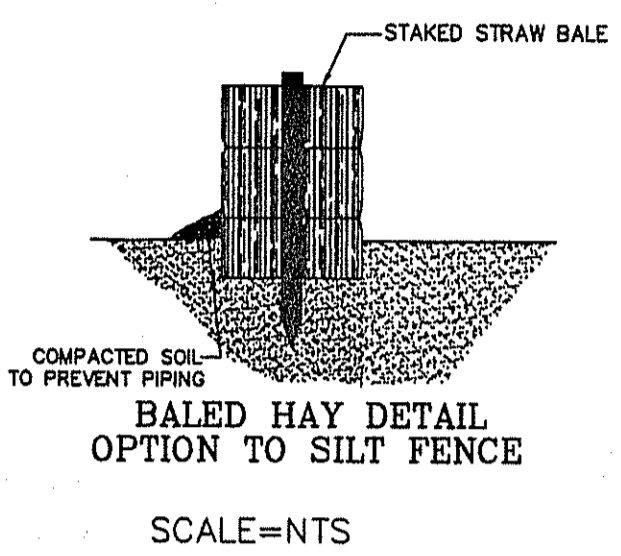
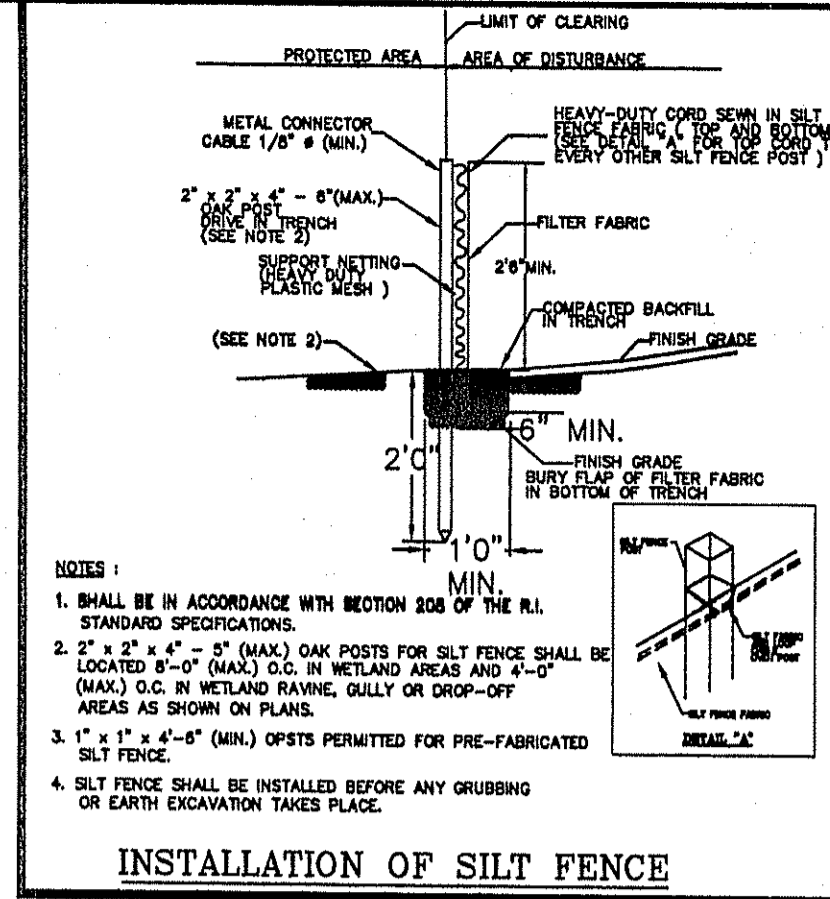
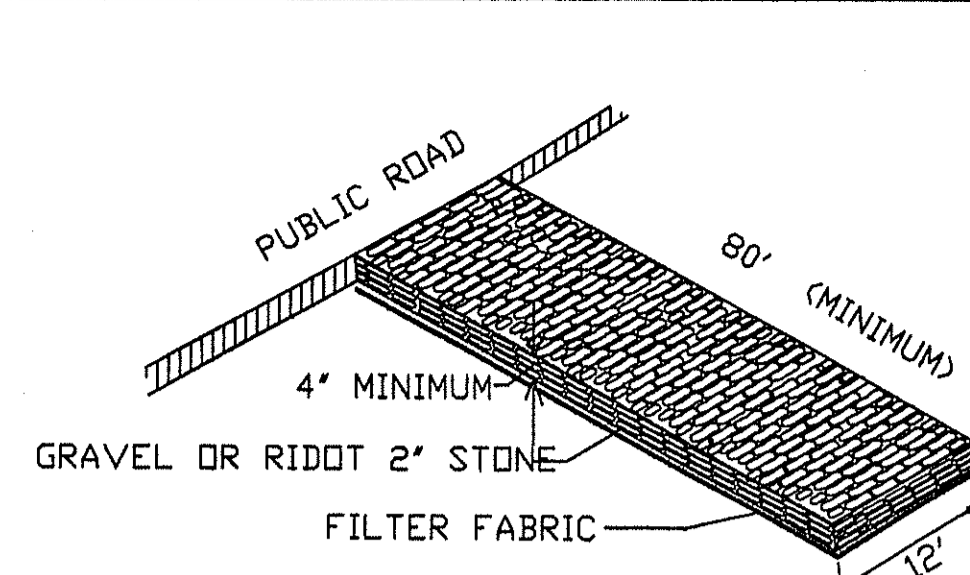
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JAN 20 2012 FILE #
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Environmental Management
 AUG 24 2011
 Office of Water Resources

SHT 14 OF 18 F1 SEDIM PLAN

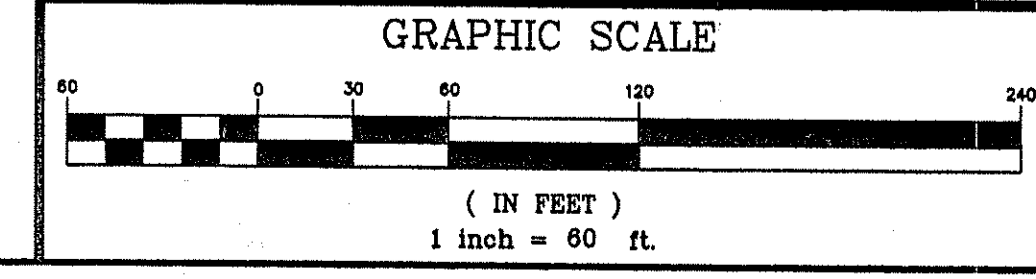
F1	SHEET 14 OF 18	SCALE 1"=60'
----	----------------	--------------



- NOTES:**
- GENERAL NOTES**
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE MUNICIPALITY PRIOR TO COMMENCING ANY WORK.
 - IT SHALL ALSO BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ADJUTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
 - ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (REVISION OF 1971), WITH ALL CORRECTIONS AND ADDENDA AND THE 1974 R.I. STANDARD DETAILS WITH ALL CORRECTIONS WORK COMMENCEMENT.
 - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE-OFF IN COMPUTING ANY ESTIMATES.
 - ANY TIME THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION INDICATED ON THESE PLANS. THAT INCLUDES THE CONSTRUCTION OF ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
 - THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION.
 - IN ALL EXCAVATION AND PLACEMENT OF FILL THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE R.I. STANDARD SPECIFICATION SECTION 202.
 - ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS, AND OTHER REFUSE SHALL BE DISCARDED OFF SITE, OUTSIDE OF PROJECT AREA.
- SEDIMENTATION CONTROL MAINTENANCE GUIDELINE:**
- IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING OPERATION AND PRIOR TO ANY ROUGH GRADING, TEMPORARY HAY BALES AND SILT FENCES SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION AS PER THE PLANS.
 - ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
 - IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL.
- EROSION CONTROL & SOIL STABILIZATION PROGRAM:**
- UNDISTURBED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
 - DURING EACH CONSTRUCTION YEAR ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDING OR PROTECTED BY THAT DATE.
 - THE CONTRACTOR SHALL MAINTAIN RELATIVELY FREE OF SURFACE MATERIAL STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STD. SPECIFICATION M-20.
 - THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING PERMANENT SEEDING MIXTURES (AS NOTED).
 - TEMPORARY TREATMENTS SHALL CONSIST OF A HAY STRAW OR OTHER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR TIER LINING, BURLAP, WICK, BIRCHGLASS NETTING, OR GEOTEXTILES. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
 - HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000 - 4,000 lbs./Ac.
 - THE CONTRACTOR MUST REPAIR AND/OR RE-SEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
 - ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.O.T. STD SPECIFICATIONS SECTION 202.
 - ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHALL BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
 - REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.
 - RIDOT SLOPE MIXTURE SEEDING TO BE USED ON ALL GRADES
- SEDIMENTATION CONTROL PROGRAM:**
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL ENTERING THE WETLANDS.
 - DURING CONSTRUCTION THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
 - SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
 - ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
 - ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE AND DETENTION FACILITIES WHEN DIRECTED BY THE ENGINEER.
 - REFERENCE THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, AS A GUIDE.
- SEQUENCE OF CONSTRUCTION ACTIVITY**
- ALL SEDIMENTATION CONTROL MEASURES SHALL BE PLACED BEFORE START OF ANY SOIL STRIPPING IS COMMENCED.
 - SEDIMENTATION POND SHALL BE EXCAVATED AND BEFORE ANY SOIL IS STRIPPED.
 - SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED UNTIL CONSTRUCTION ACTIVITY EXCEPTING FINISH ASPHALT SURFACE IS COMPLETED.
- DRAINAGE MAINTENANCE RESPONSIBILITIES:**
- THE OWNERS OF THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE RESPONSIBLE FOR ALL OF THE INSPECTION, MAINTENANCE, AND REPAIR (I, M, & R) OF ALL OF THE DRAINAGE STRUCTURES INCLUDED IN THIS DEVELOPMENT UNTIL THE TOWN OF TIVERTON ACCEPTS THE ROAD. THEN THE OWNER OF LOT 34A-3 SHALL BE RESPONSIBLE FOR MAINTAINING THE DETENTION POND AND PROVIDING EVIDENCE OF THIS TO THE TIVERTON DEPARTMENT OF PUBLIC WORKS AT LEAST ONCE A YEAR.

- DETENTION BASIN MAINTENANCE:**
- BASIN SIDE-SLOPES AREAS SHALL BE MOWED AT LEAST ONCE A YEAR AND FLOATABLE DEBRIS SHALL BE REMOVED FROM THE FACILITY DURING ROUTINE MOWING.
 - INSPECTION OF THE POND AND ALL INLET AND OUTLET STRUCTURES SHALL BE PERFORMED AT LEAST ON AN ANNUAL BASIS, PREFERABLY DURING A STORM EVENT, TO INSPECT PROPER FUNCTIONING OF THE FACILITY.
 - SEDIMENTS SHALL BE REMOVED FROM THE BASIN DURING THE FIRST (INITIAL) YEAR OF OPERATION AND EVERY 10 YEAR
 - THE GRASSED AREAS OF THE BASIN SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION PROBLEMS. PROBLEM AREAS SHOULD BE RE-SEEDING IMMEDIATELY TO STABILIZE EXPOSED SOILS, THEREBY PREVENTING EROSION AND POTENTIAL CLOGGING OF OUTLET DEVICES.
 - UPON ACCEPTANCE OF THE PROPOSED ROADS AND ASSOCIATED DRAINAGE, THE TOWN OF TIVERTON WILL BE RESPONSIBLE FOR I, M, & R OF ALL DRAINAGE STRUCTURES (CATCH BASINS, PIPES, RIPRAP AREAS, OUTLET CONTROL STRUCTURE, DETENTION BASIN, FLARED END SECTIONS, ETC. IN THE EVENT THAT THE TOWN OF TIVERTON TRANSFERS THE I, M, & R RESPONSIBILITIES OF THE EXTENDED DETENTION BASIN TO THE OWNER OF LOT 34A-3, THE DEED FOR LOT 34A-3 SHALL HAVE RESTRICTIONS STATING THAT THE OWNER OF LOT 34A-3 WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE EXTENDED DETENTION BASIN AND ALL RELATED DRAINAGE STRUCTURES ON LOT 34A-3, OUTSIDE OF THE TOWN'S R.O.W.
 - EXTENDED DETENTION DEVICE (8" DIA. PERFORATED WQV DRAW DOWN PIPE) SHALL BE INSPECTED AT LEAST TWICE PER YEAR. THE INSPECTION SHALL ENSURE THAT IT IS IN GOOD WORKING CONDITION, AS DESIGNED IN THE CONSTRUCTION PLANS.
 - INSPECTION SHALL BE CONDUCTED SEVERAL TIMES WITHIN THE FIRST SIX MONTHS OF OPERATION, ESPECIALLY AFTER RAINFALL EVENTS, TO CHECK FOR CLOGGING OR, CONVERSLEY, TOO RAPID A RELEASE.
 - IN THE EVENT THAT THE BASIN IS FOUND TO HAVE STANDING WATER MORE THAN 3 DAYS AFTER A RAINFALL EVENT, THE DETENTION BASIN OUTLET CONTROL STRUCTURE WILL BE DETERMINED TO BE DEFICIENT* AND INITIATED IMMEDIATELY.
 - IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION, THE CATCHBASINS AND PIPES SHALL BE FLUSHED AND CLEANED.
 - CATCHBASINS SHALL BE INSPECTED YEARLY. SEDIMENT AND DEBRIS SHALL BE REMOVED DURING THESE INSPECTIONS.
 - THE PIPES OUTFALLS, FLARED END SECTIONS AND RIPRAP AREAS IN AND AROUND THE EXTENDED BASIN SHALL BE INSPECTED ANNUALLY AND SHALL BE CLEANED IF FOUND TO BE OVERGROWN WITH VEGETATION, LITTERED WITH DEBRIS, OR COVERED IN SEDIMENT. REPAIRS SHALL BE CONDUCTED IMMEDIATELY IF THESE STRUCTURES ARE NOT IN CONFORMANCE WITH THE CONSTRUCTION PLANS.
 - TREES AND SHRUBS SHALL NOT BE PLANTED ON THE BASIN'S SLOPES OR BERM.
 - The extended detention basin has been designed with a subsurface impermeable liner (40 Mil. Polyethylene Liner) INFILTRATOR INSPECTION, MAINTENANCE & REPAIR: beneath the basin bottom and side slopes.
- ALL LOTS WITH INFILTRATORS, (I.E. DRY WELL) STRUCTURES SHALL ENSURE THAT THE INFILTRATORS ARE EQUIPPED WITH OBSERVATION WELLS (SEE DETAIL ENTITLED, "INFILTRATOR INSTALLATION DETAIL" ON SHEET 18 OF 18).
 - THE OBSERVATION WELL SHALL BE MONITORED BY THE OWNER OF THE HOUSE LOT THAT IT IS CONSTRUCTED ON AT VARIOUS TIMES FOLLOWING A RAIN FALL EVENT TO ENSURE THAT THE SYSTEM IS FUNCTIONING CORRECTLY.
 - IF WATER IS FOUND TO BE STANDING IN WELL MORE THAN 3 DAYS AFTER A STORM EVENT, THEN FAILURE OF THE SYSTEM HAS OCCURRED AND THE OWNER OF THE LOT IS RESPONSIBLE TO HAVE THE SYSTEM REPAIRED OR REPLACED.

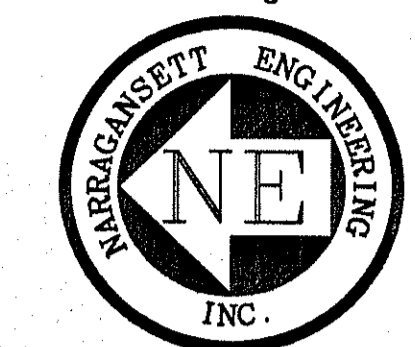
- LEGEND:**
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SILT FENCE
 - PROPOSED DWELLING+ DRIVEWAY
 - PROPOSED BOUNDS
 - LIMIT OF DISTURBANCE



Revised Per R.I.D.E.M. Condition 16

NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narenginc@aol.com



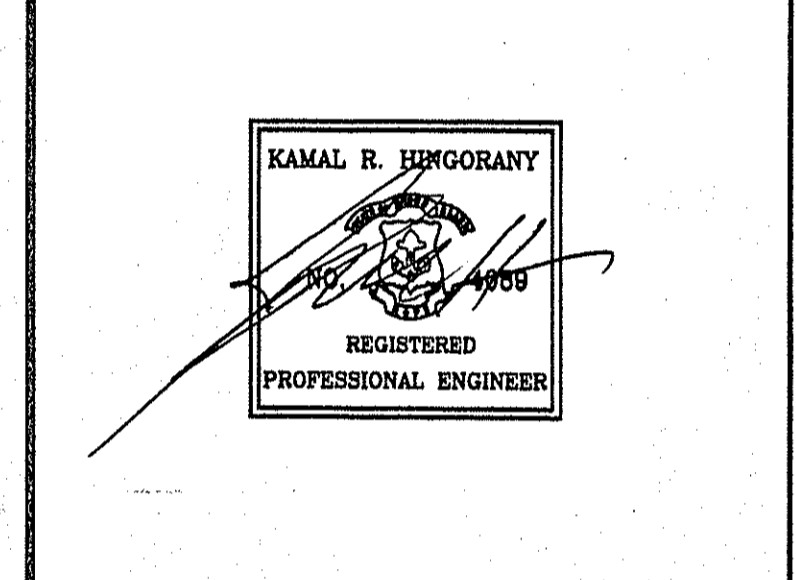
SHEET TITLE SUBDIVISION OF COUNTRYVIEW ESTATES WATUPPA PLANTATION (PRELIMINARY PLAN) SEDIMENTATION PLAN

PROJECT APPLICANT COUNTRYVIEW ESTATES LLC 325 HURST LANE TIVERTON, RI. 02878 C/O D. LOGAN 624-8452

OWNER OF RECORD COUNTRYVIEW ESTATES LLC 325 HURST LANE TIVERTON, RI. 02878

LOCATION HURST LANE, TIVERTON, RI

MAP: 4-15 BLOCK: 99 PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS.	KH
2	02-03-04	REVISED AS PER PLANING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED Jan 20 2010 FILE # NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kamal R. Hergorany
Environmental Management
AUG 24 2011
Office of Water Resources

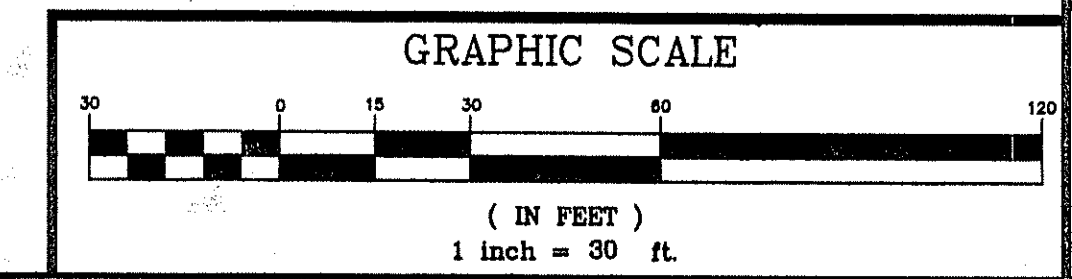
Kindly be advised this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

SHT 15 OF 18 F1 SEDIM PLAN

F1	SHEET 15 OF 18	SCALE 1"=30'
----	----------------	--------------

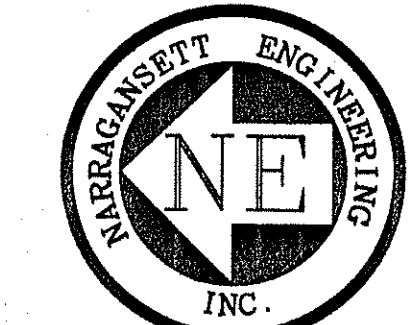


- LEGEND:**
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SILT FENCE
 - PROPOSED DWELLING+ DRIVEWAY
 - PROPOSED BOUNDS
 - LIMIT OF DISTURBANCE



NARRAGANSETT ENGINEERING, INC.

3102 EAST MAIN ROAD,
PORTSMOUTH, RI 02871
TEL : (401) 683-6630
FAX : (401) 683-6638
E-MAIL : narenginc@aol.com



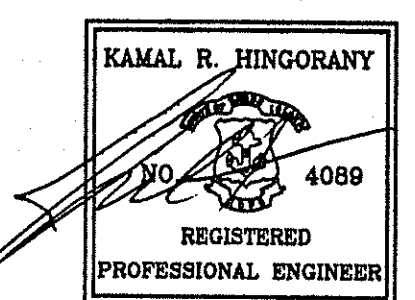
SHEET TITLE SUBDIVISION OF
COUNTRYVIEW ESTATES
WATUPPA PLANTATION
(PRELIMINARY PLAN)
SEDIMENTATION PLAN

PROJECT APPLICANT
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI 02878
C/O D. LOGAN
624-8452

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI 02878

LOCATION
HURST LANE,
TIVERTON, RI

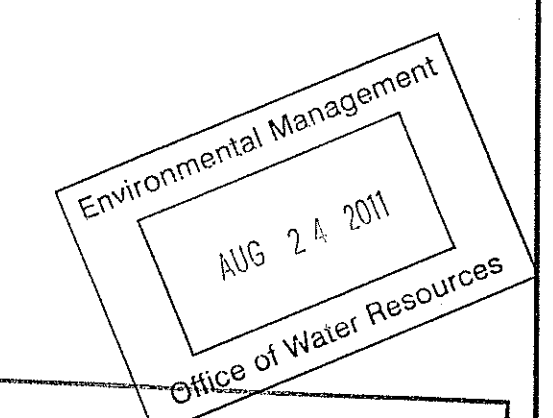
MAP: 4-15 BLOCK: 99
PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

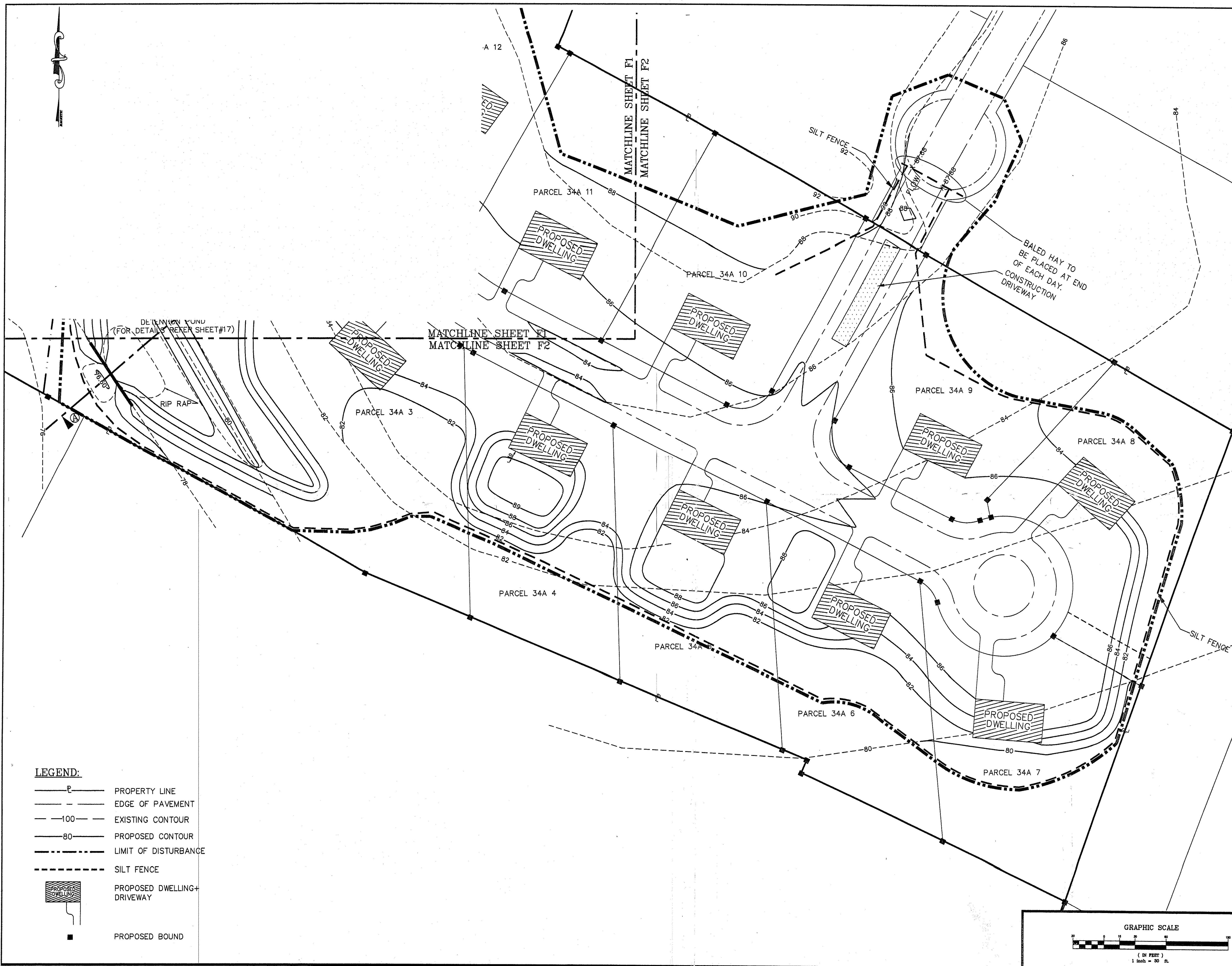
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03	KH
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANNING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED **JAN 20 2012** FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED BY AND SIGNED BY AT CONSTRUCTION SITE
Imperialis D. Wencel

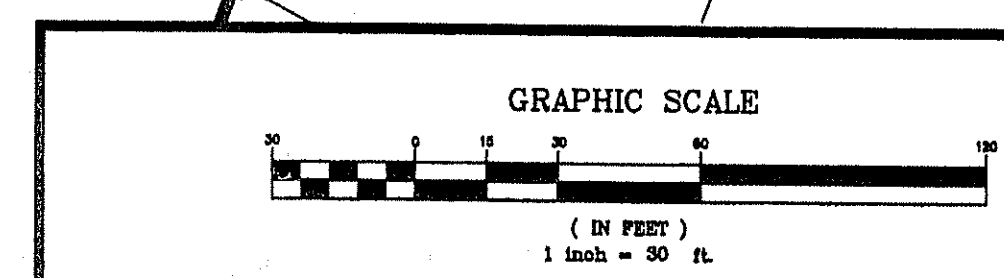


Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

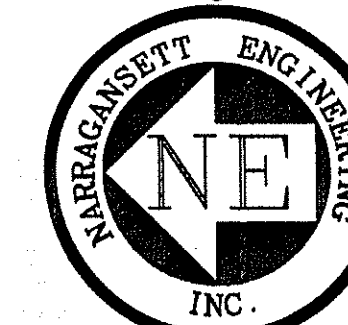
SHT 16 OF 18 F3-SEDIM



- LEGEND:**
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - LIMIT OF DISTURBANCE
 - SILT FENCE
 - PROPOSED DWELLING + DRIVEWAY
 - PROPOSED BOUND



SHEET	SCALE
F2 16 OF 18	1" = 30'



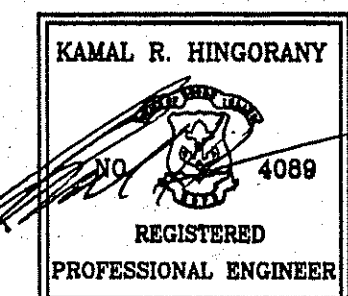
SHEET TITLE
SUBDIVISION OF
WATUPPA PLANTATION
(PRELIMINARY PLAN)
POND DETAILS

PROJECT OWNER
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

OWNER OF RECORD
COUNTRYVIEW ESTATES LLC
325 HURST LANE
TIVERTON, RI. 02878

LOCATION
WATUPPA AVE.
TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
PARCEL: 34A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES STATED IN CERT. OF COMPLETENESS. (BY ADMINISTRATIVE OFFICER) DATED: 11/29/03	KH
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANNING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
5	08.23.11	ADD LINER DETAILS	KH
		REVIEWER COMMENTS	

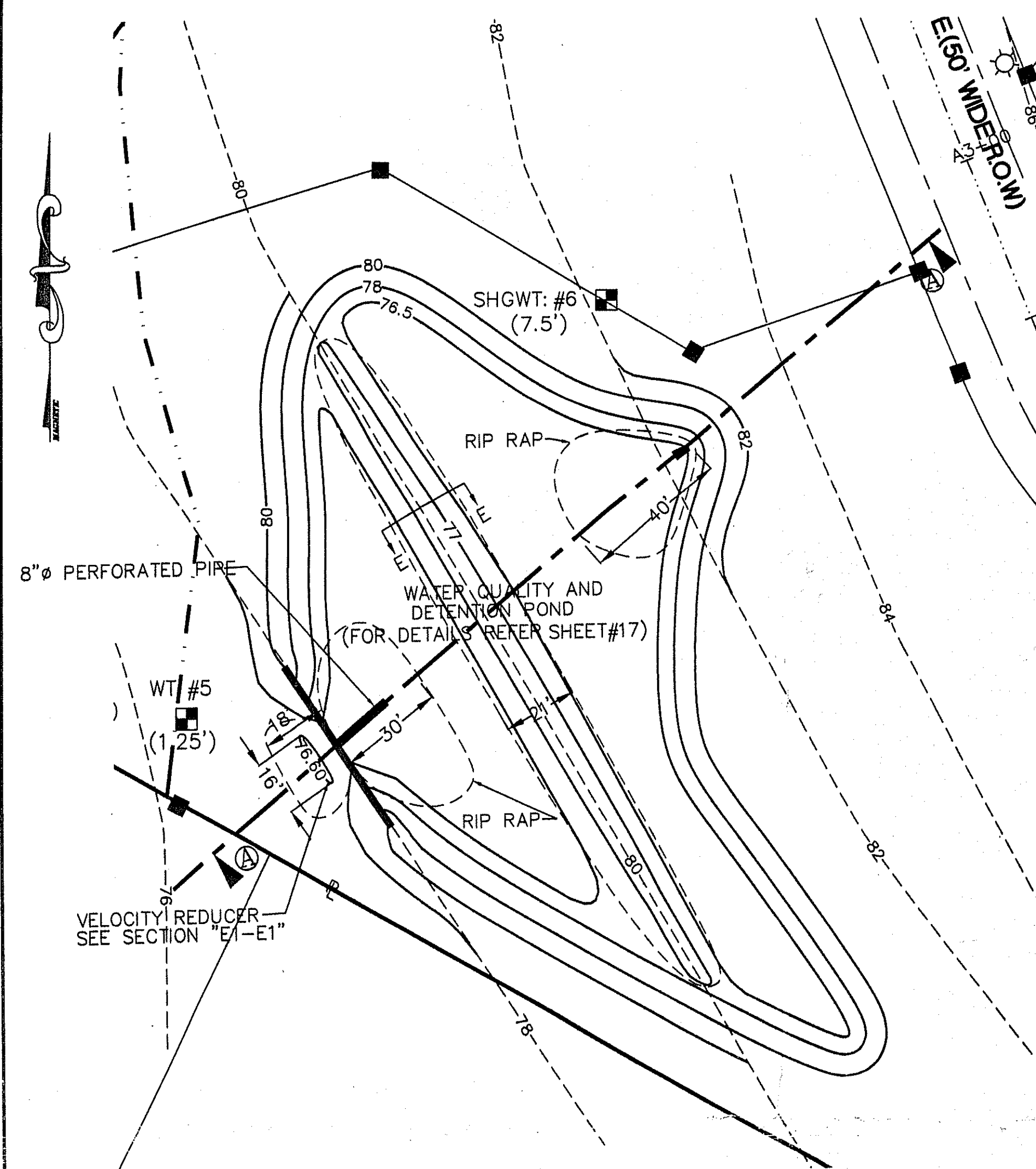
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JAN 20 2012 FILE #
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this
Permit is not equivalent to a
verification of the type/amount
of freshwater on site.

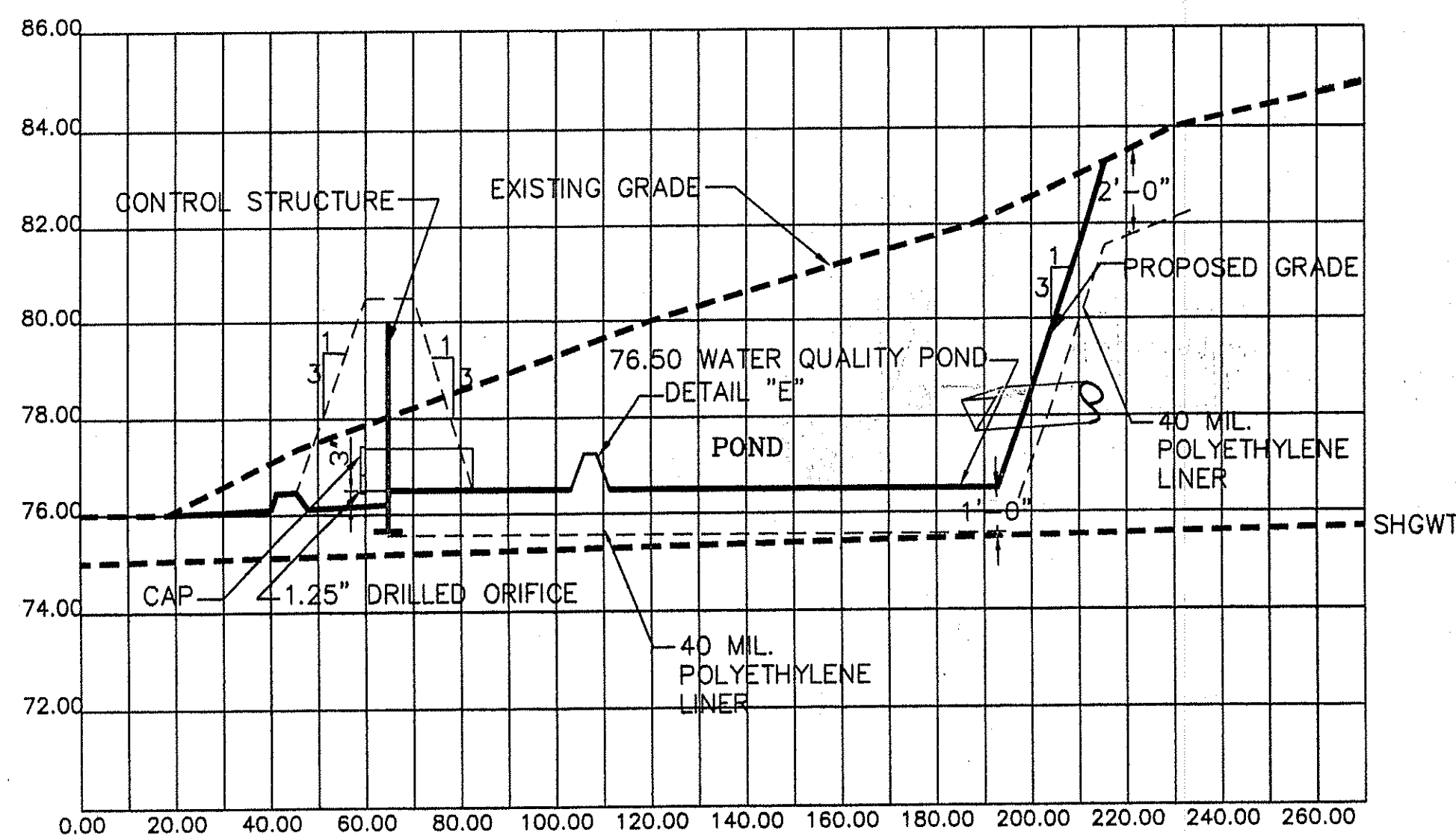
Environmental Management
Office of Water Resources
AUG 24 2011

SHT 17 OF 18 POND DETAILS

SHEET	SCALE
G1 17 OF 18	NONE



NOTE: CONTRACTOR TO USE EXTREME CARE NOT TO DAMAGE THE 8" PIPE WHEN INSTALLING THE RIPRAP.

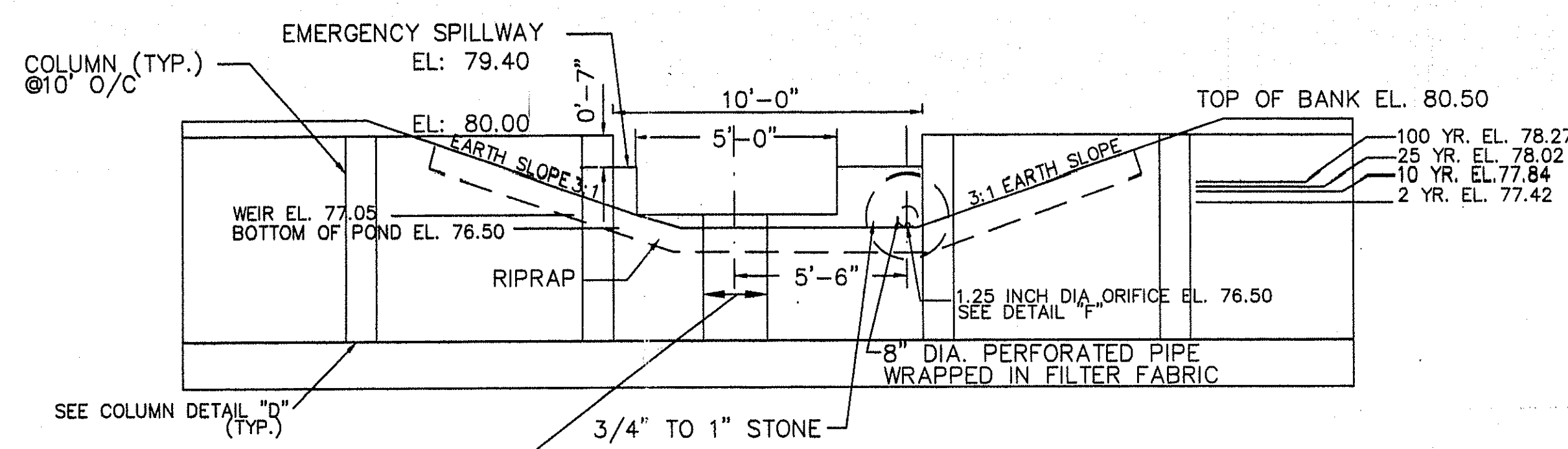
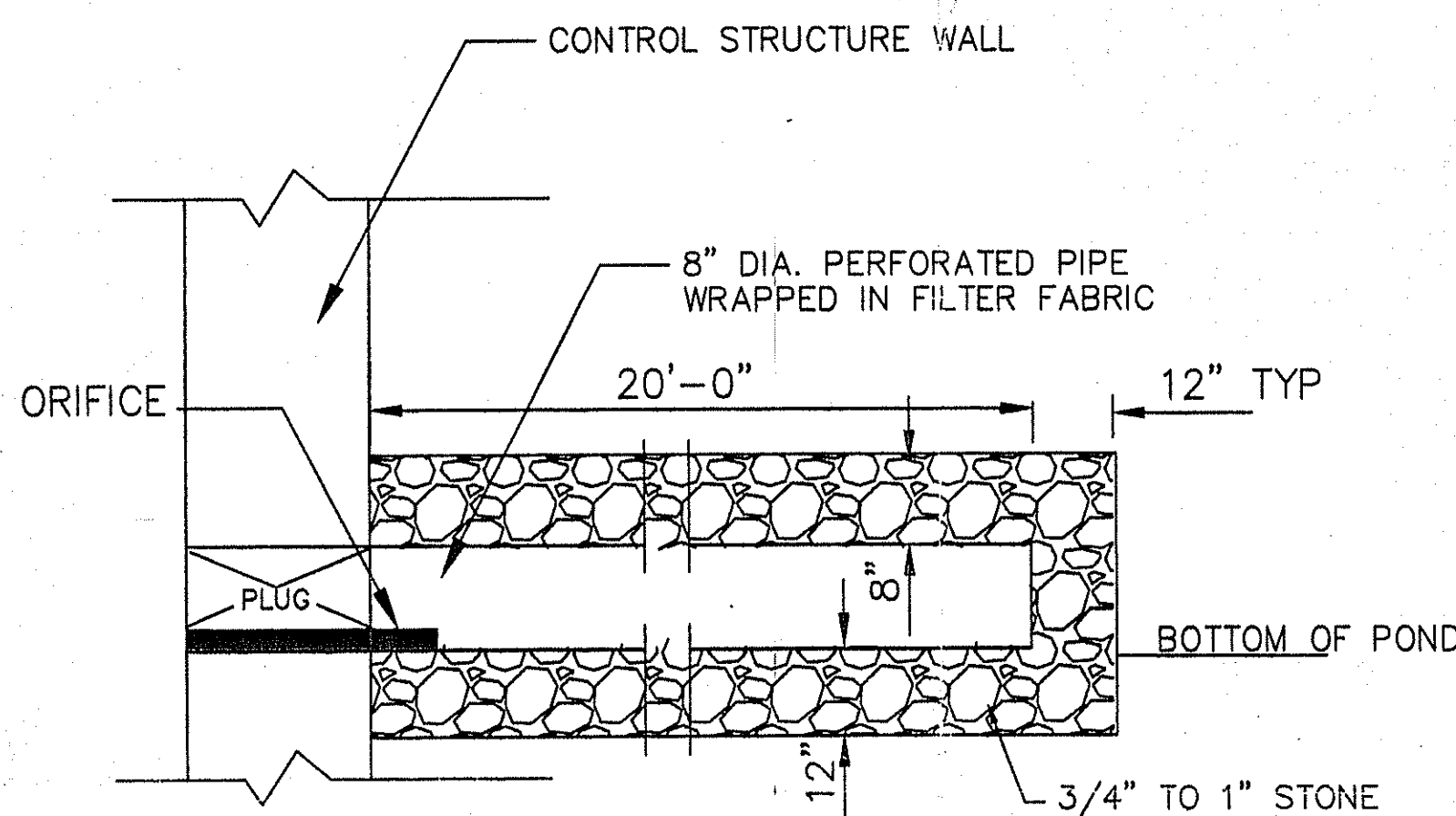
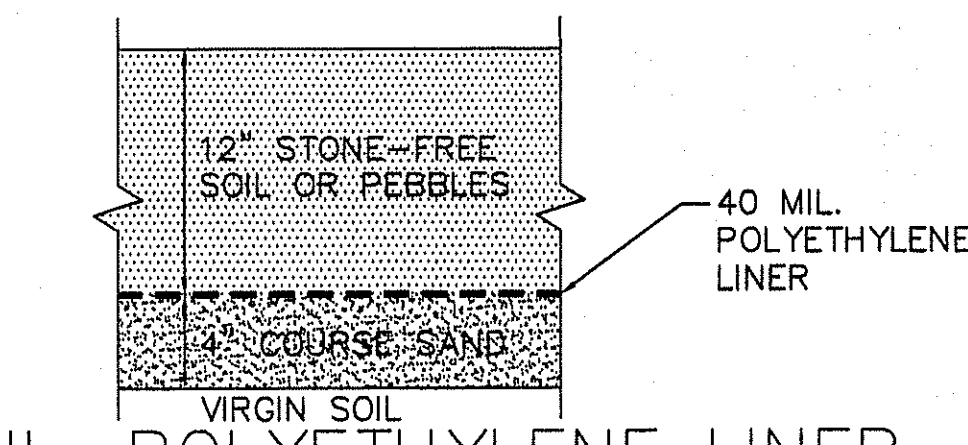


- ALL WORK PERFORMED ON THE TOP OF EXISTING LINER SHALL BE MANUAL. NO EQUIPMENT SHALL BE USED.
- LINER SHALL BE BUTT IN THE GROUND WITH AT LEAST TWO FEET OF COVER AT THE END AT TOP OFF THE BACK

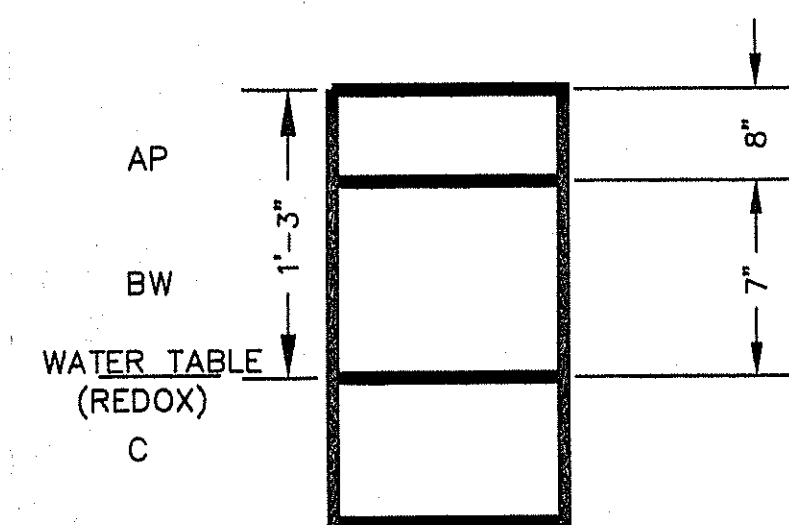
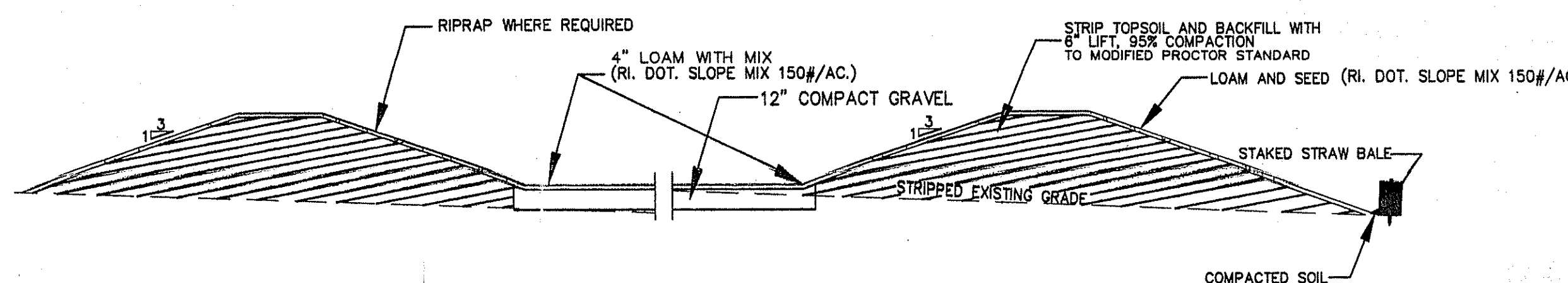
**40 MIL. POLYETHYLENE LINER
INSTALLATION DETAIL**

N.T.S.

LINER WILL BUTT 2' (MIN.)
AT THE ENDS AT TOP OF THE
BANK

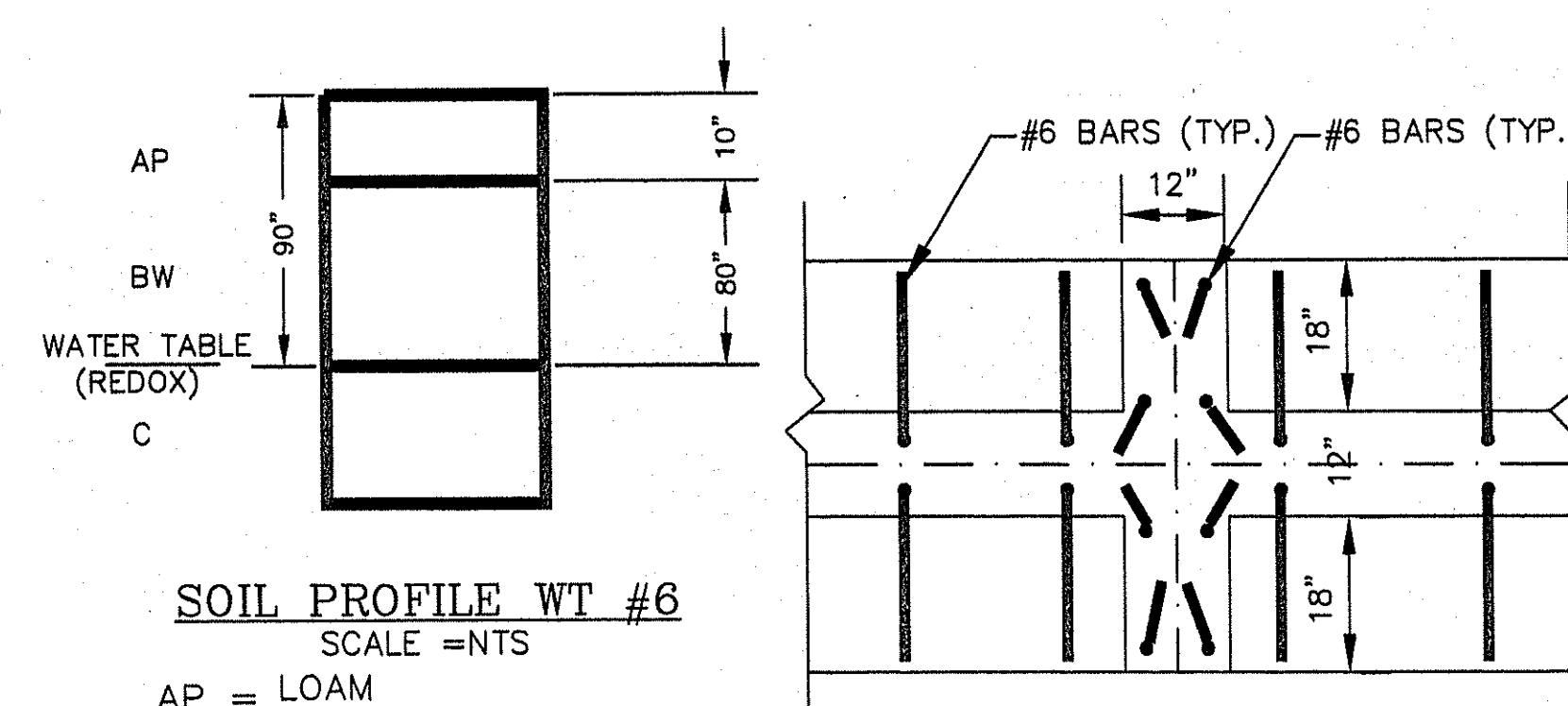


ORIFICE SIZES WERE CALCULATED FOR
2, 10, 25, AND 100 YEAR STORMS



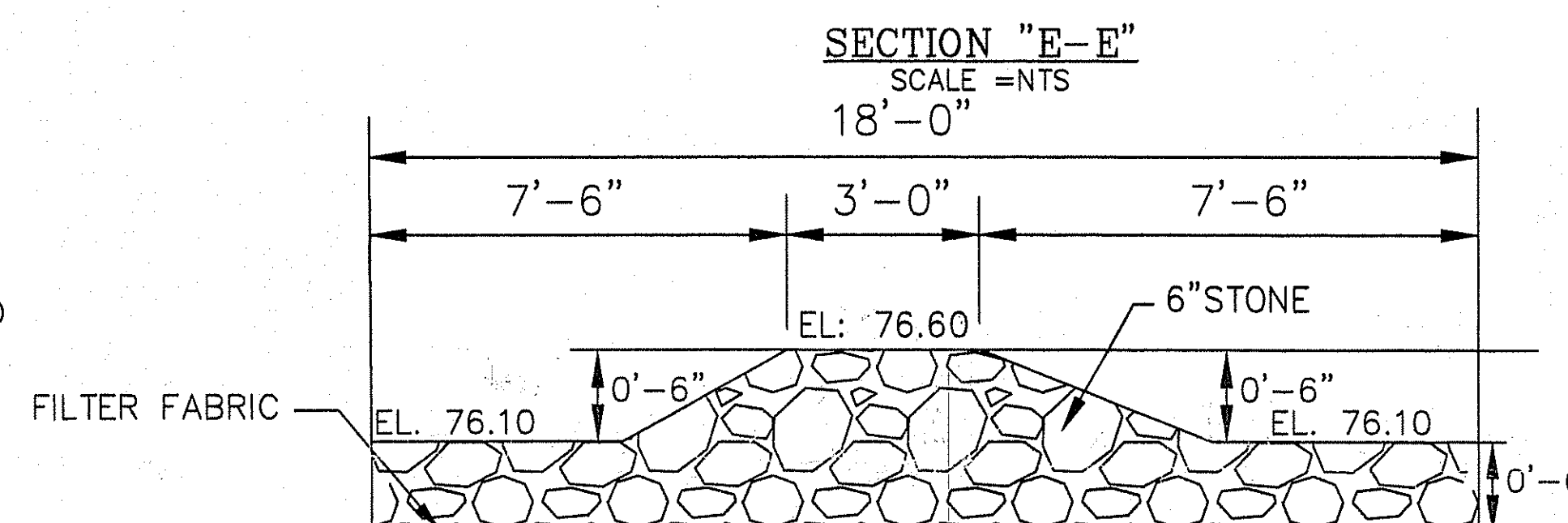
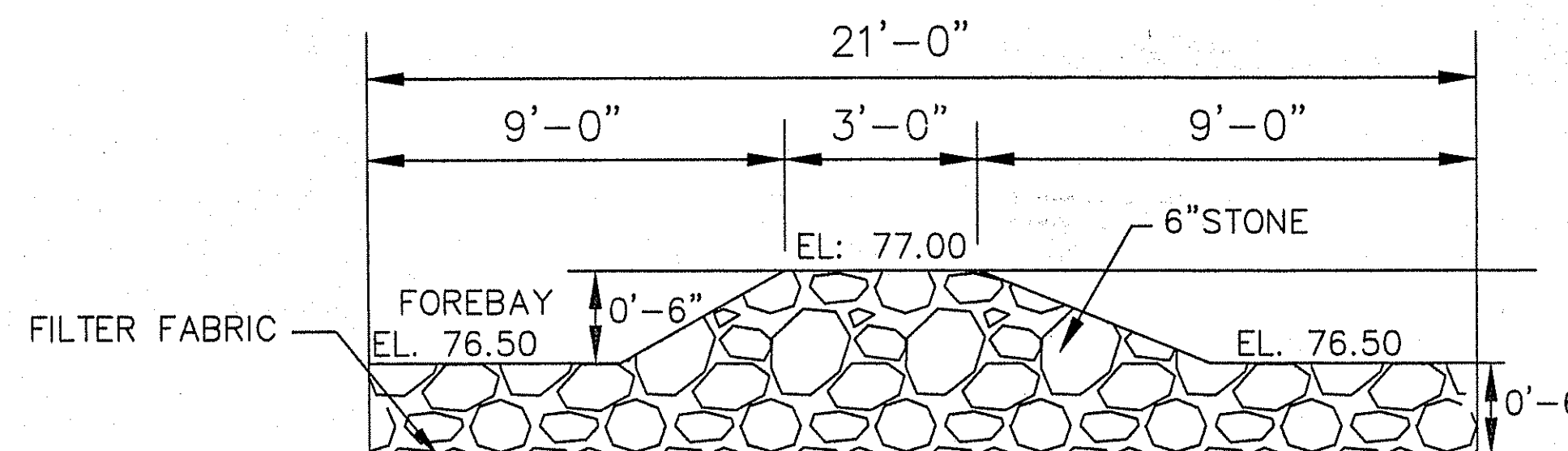
SOIL PROFILE WT #5
SCALE = NTS

- AP = LOAM
BW = SANDY LOAM (BROWN)
C = LOAMY SAND (OLIVE BROWN)

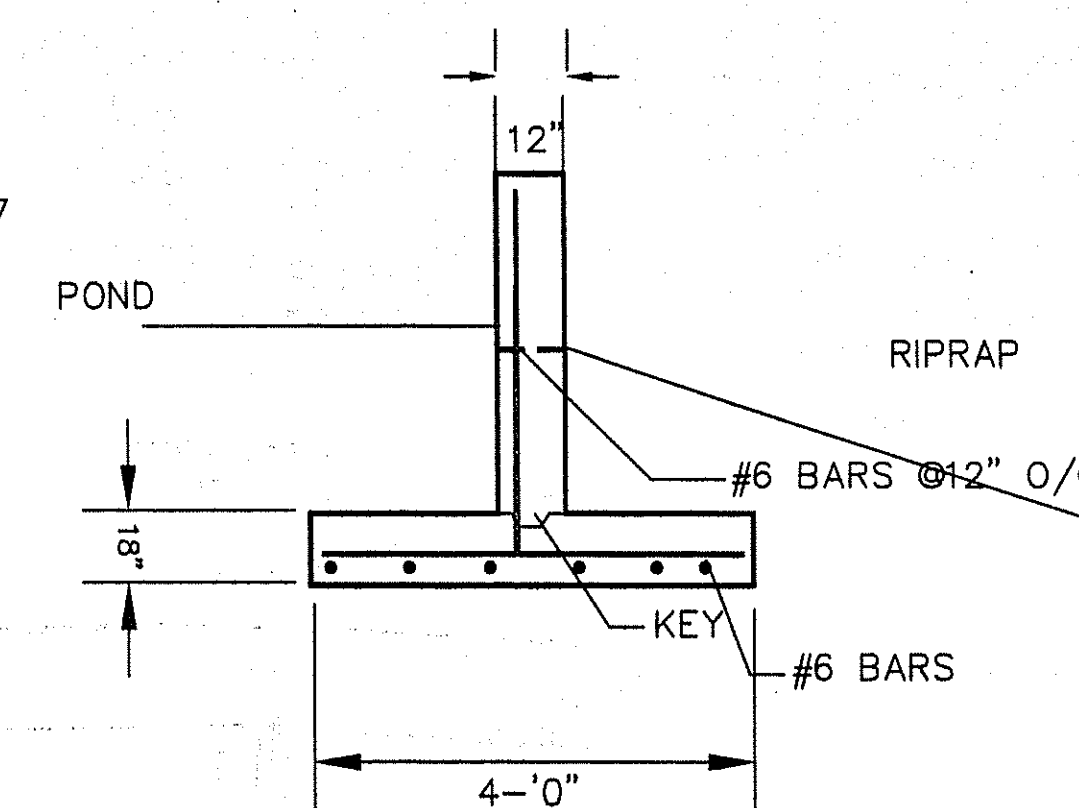


SOIL PROFILE WT #6
SCALE = NTS

- AP = LOAM
BW = SANDY LOAM (BROWN)
C = LOAMY SAND (OLIVE BROWN)

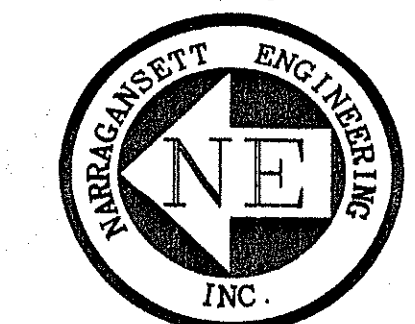


SECTION "E1-E1"
SCALE = NTS



LEGEND:

- PROPERTY LINE
- EDGE OF PAVEMENT
- EXISTING CONTOUR
- PROPOSED CONTOUR



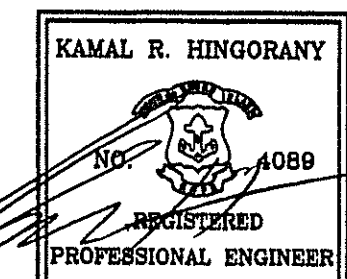
SHEET TITLE
 SUBDIVISION OF
 WATUPPA PLANTATION
 (PRELIMINARY PLAN)
DETAILS SHEET

PROJECT APPLICANT
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878

OWNER OF RECORD
 COUNTRYVIEW ESTATES LLC
 325 HURST LANE
 TIVERTON, RI. 02878

LOCATION
 WATUPPA AVE.
 TIVERTON, RI. 02878

MAP: 4-15 BLOCK: 99
PARCEL: 34 A



PROJECT #	DATE	DRAWN	CHECK
010232	05-22-04	NBA	YPD

NO.	DATE	DESCRIPTION	BY
1	12-19-03	AS PER DEFICIENCIES	KH
2	02-03-04	REVISED AS PER PLANNING BOARD & COMMONWEALTH ENGINEERING	KH
3	09-27-04	REVISED PER PLANNING BOARD	KH
4	01-27-05	REVISED AS PER D.E.M.	KH
REVIEWER COMMENTS			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED JAN 20 2012 FILE #
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED BY: *[Signature]*

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Environmental Management
 AUG 24 2011
 Office of Water Resources

SHT SHEET 18 OF 18 DETAILS

SHEET
 18 OF 18

SCALE
 NTS

