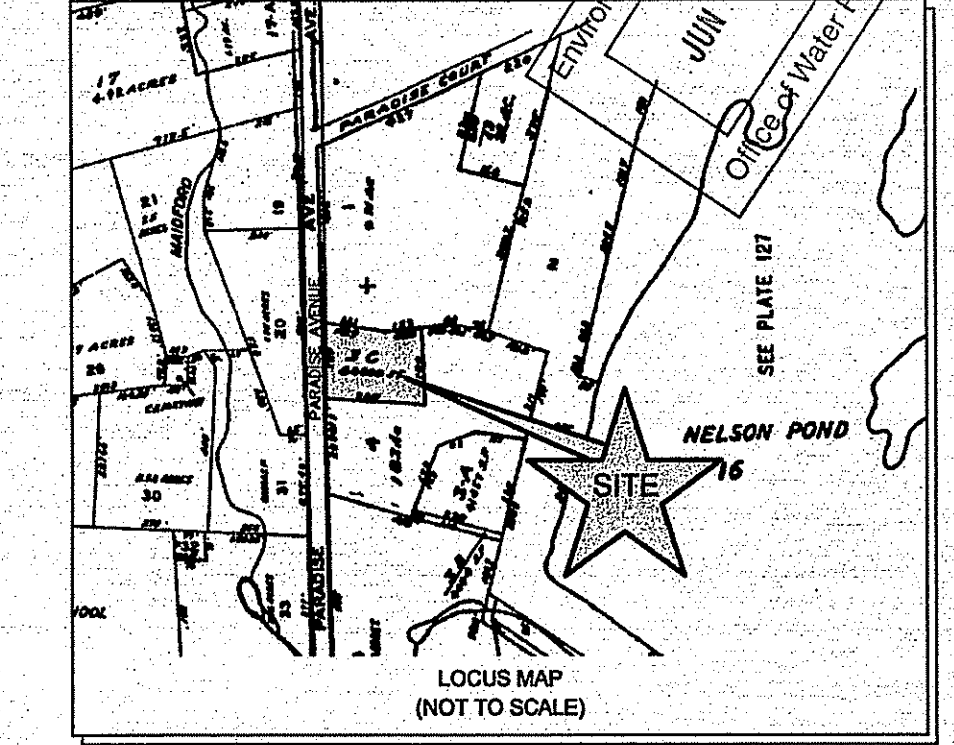


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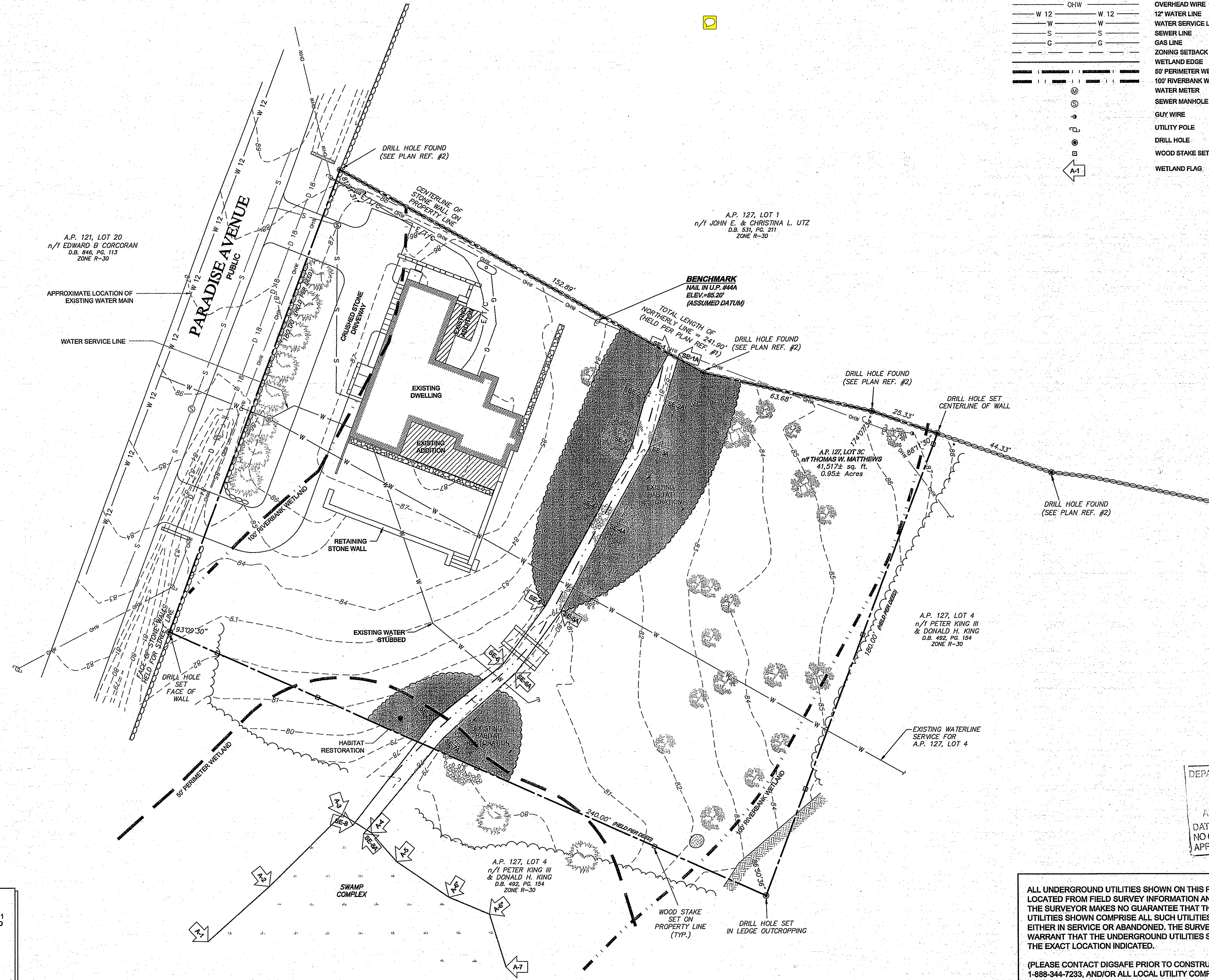
55 JOHN CLARKE ROAD MIDDLETOWN, RHODE ISLAND 02842  
 PHONE (401) 849-0810 FAX (401) 846-4188  
 WWW.NORTHEASTENGINEERS.COM



- SITE/CIVIL
- LAND PLANNING
- WATERFRONT
- SURVEYING
- GEOTECHNICAL
- ENVIRONMENTAL
- TRANSPORTATION
- STRUCTURAL
- MATERIALS TESTING

LEGEND:

- PROPERTY LINE
- ABUTTING PROPERTY LINE
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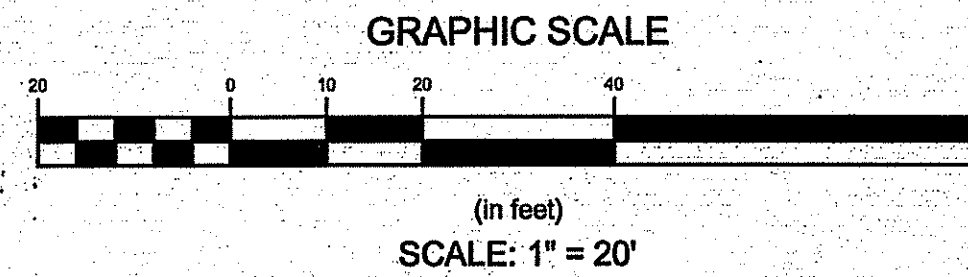
- NOTES:**
1. ORIGINAL PLAN OF LAND AND PROPERTY LINE TAKEN FROM CLASS 1 SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC., DATED NOVEMBER 2, 2008.
  2. BASE OF ELEVATIONS IS AN ASSUMED DATUM.
  3. NORTH ARROW SCALED FROM TAX ASSESSOR'S MAP.
  4. WATER LINE TO A.P. 127, LOT 4 SCALED FROM PLAN REFERENCE #1.
  5. WETLAND AREAS WERE DELINEATED BY NATURAL RESOURCE SERVICES AND WETLAND FLAGS WERE SURVEY LOCATED BY NORTHEAST ENGINEERS & CONSULTANTS, INC.
  6. EXISTING STREAM IS SUBJECT TO A 100 FT RIVERBANK WETLAND PER RIDEM REGULATIONS.
  7. THE SITE AND SURROUNDING PROPERTIES ARE ZONED R-30.
  8. EXISTING CONDITIONS FROM PERMIT 11-0142 PROVIDED BY ARCHITECT, AND ARE NOT THE RESULT OF A REVISED FIELD SURVEY.

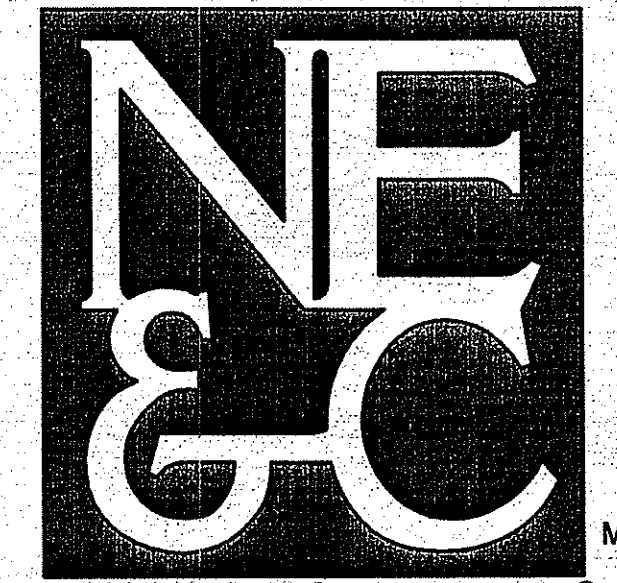
ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

(PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER DATED JUL 02 2015 FILE # 11-0142  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

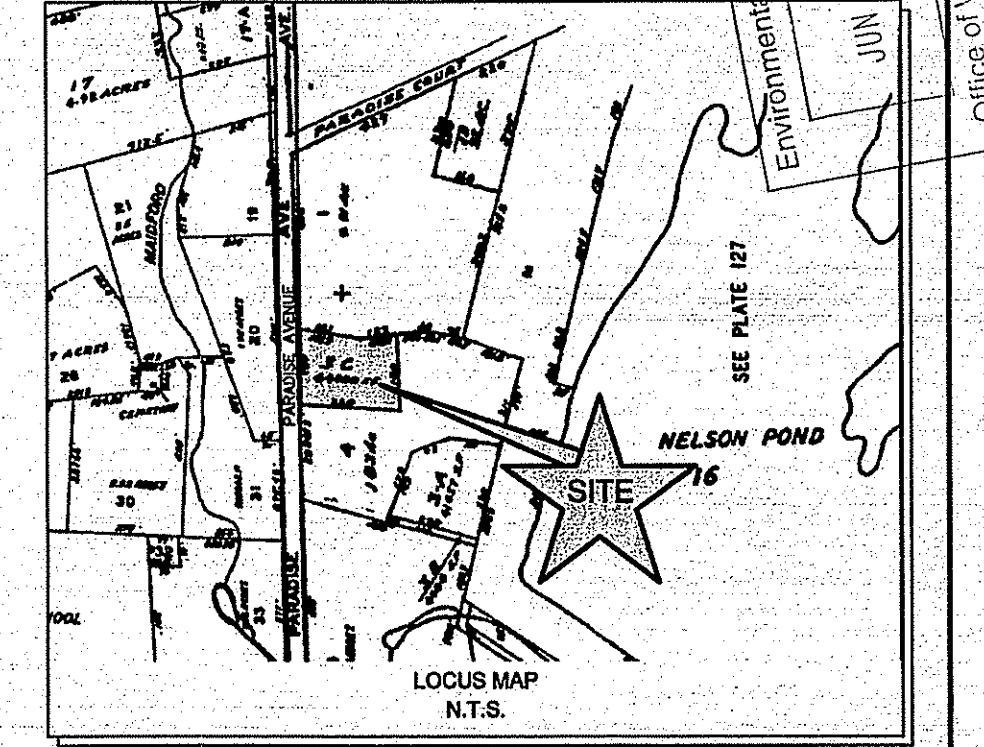
1	SEWER/GAS FOR ACCESSORY STRUCTURE	29MAY15	
No.	Revision	Date	App.
Designed By:	GES	Drawn by:	JJC
Checked by:	GES		
Scale:	1" = 20'	Date:	11APR11
Project Title:			
<b>MATTHEWS RESIDENCE</b>			
<b>A.P. 127, LOT 3C</b>			
566 PARADISE AVENUE MIDDLETOWN, RHODE ISLAND			
Client/Owner:			
THOMAS W. MATTHEWS 103 BALDWIN STREET CHARLESTOWN, MA 02129			
Issued for:			
PERMITTING			
<b>EXISTING CONDITIONS PLAN</b>			
Drawing Number:			
<b>C-1</b>			
Sheet 1 of 4			
Project Number:			
<b>11008.0</b>			
Survey Index:			
OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.			





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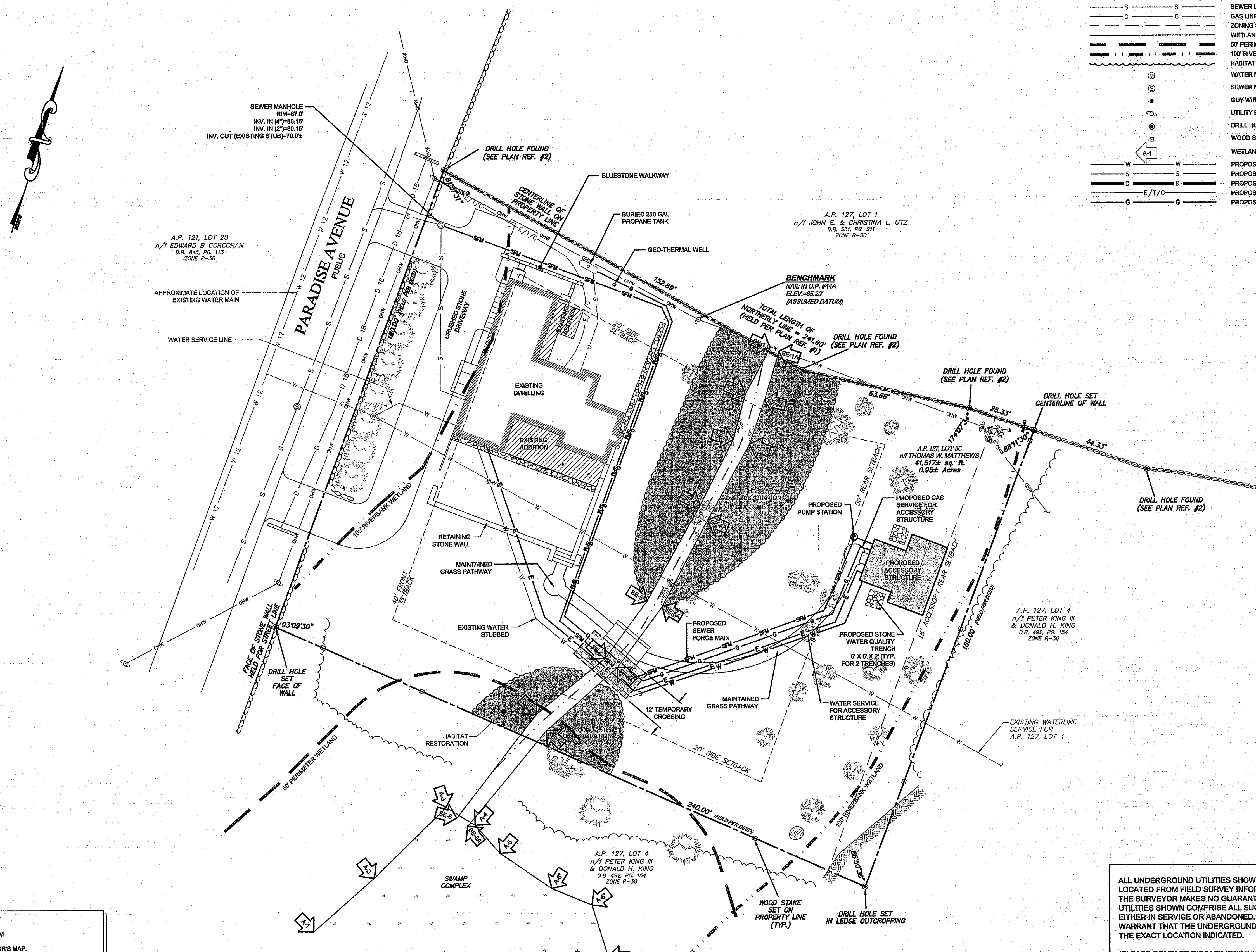
55 JOHN CLARKE ROAD MIDDLETOWN RHODE ISLAND 02842  
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- SITE/CIVIL
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LEGEND:

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- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED DRAIN LINE
- PROPOSED ELECTRIC / TELEPHONE / CABLE LINE
- PROPOSED GAS LINE



**ZONING DATA:**  
 ZONING DISTRICT: R30 - RESIDENTIAL

**REQUIRED:**  
 FRONT SETBACK: 40 ft.  
 SIDE SETBACK: 20 ft.  
 REAR SETBACK: 50 ft.  
 MAXIMUM COVERAGE: 20%  
 MAXIMUM HEIGHT: 35 ft.

**PROPOSED:**  
 FRONT SETBACK: 37.0 ft.  
 SIDE SETBACK: 14 ft. 1/8 in.  
 REAR SETBACK: 142.5 ft.  
 BUILDING COVERAGE: 12.63%

**SITE INFORMATION:**  
**EXISTING**  
 - DWELLING: 2,121 SF  
 - DRIVEWAY: 2,892 SF  
 - CONC. / STONE: 432 SF  
 TOTAL: 5,445 SF

**PROPOSED**  
 - GUEST HOUSE: 571 SF  
 TOTAL: 571 SF

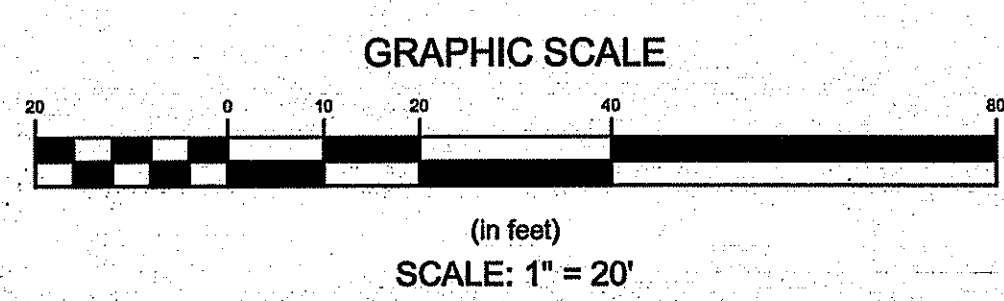
- SITE NOTES:**
1. BASE OF ELEVATIONS IS AN ASSUMED DATUM
  2. NORTH ARROW SCALED FROM TAX ASSESSOR'S MAP.
  3. WATER LINE TO A.P. 127, LOT 4 SCALED FROM PLAN REFERENCE #1.
  4. EXISTING WATER LINE LOCATION IN ROAD WAS PROVIDED BY NEWPORT PUBLIC WORKS ON FEBRUARY 21, 2008.
  5. WETLAND AREAS WERE DELINEATED BY NATURAL RESOURCE SERVICES AND WETLAND FLAGS WERE SURVEY LOCATED BY NORTHEAST ENGINEERS & CONSULTANTS, INC.
  6. EXISTING STREAM IS SUBJECT TO A 100 FT RIVERBANK WETLAND PER RIDEM REGULATIONS.
  7. THE SITE AND SURROUNDING PROPERTIES ARE ZONED R-30.

- UTILITY NOTES:**
1. UNDERGROUND UTILITY LOCATIONS ARE SUBJECT TO CHANGE UPON DESIGN AND APPROVAL FROM THE APPROPRIATE UTILITY COMPANIES.
  2. ALL UTILITIES SHALL BE INSTALLED TO THE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANIES AND THE TOWN OF MIDDLETOWN.
  3. CONSTRUCTED UTILITY INFORMATION PROVIDED BY ARCHITECT.

SURFACE ID	AREA (SF)	WATER QUALITY PROVIDED	WATER QUALITY REQUIRED (CF)	WQ CONTROL DEVICE	VOLUME PROVIDED (CF)
PROPOSED GUEST HOUSE	571	1" OVER IMPERVIOUS AREA	48 CF	(2) STONE TRENCHES	50

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(PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES)



1	SEWER/GAS FOR ACCESSORY STRUCTURE	20MAY15	
No.	Revision	Date	App.
Designed By:	GES	Drawn by:	JJC
Checked by:	GES	Date:	11APR11
Scale:	1" = 20'		
Project Title:	<b>MATTHEWS RESIDENCE</b> A.P. 127, LOT 3C 566 PARADISE AVENUE MIDDLETOWN, RHODE ISLAND		
Client/Owner:	THOMAS W. MATTHEWS 103 BALDWIN STREET CHARLESTOWN, MA 02129		

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 PREPARED FOR: PERMITS DIVISION  
 APPROVED WITH CONDITIONS OF APPROVAL  
 AS SHOWN IN THE LETTER OF APPROVAL  
 FILE # 11-042  
 DATED: JUL 02 2015  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT DRAWING FILE

PERMITTING

**LAYOUT, UTILITIES & DRAINAGE**

Drawing Number: **C-2**

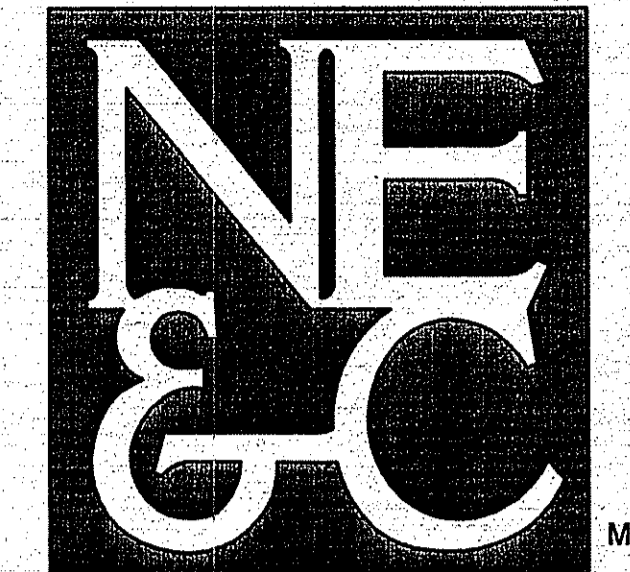
Sheet **2** of **4**

Project Number: **11008.0**

Survey Index:

REGISTERED PROFESSIONAL ENGINEER CIVIL

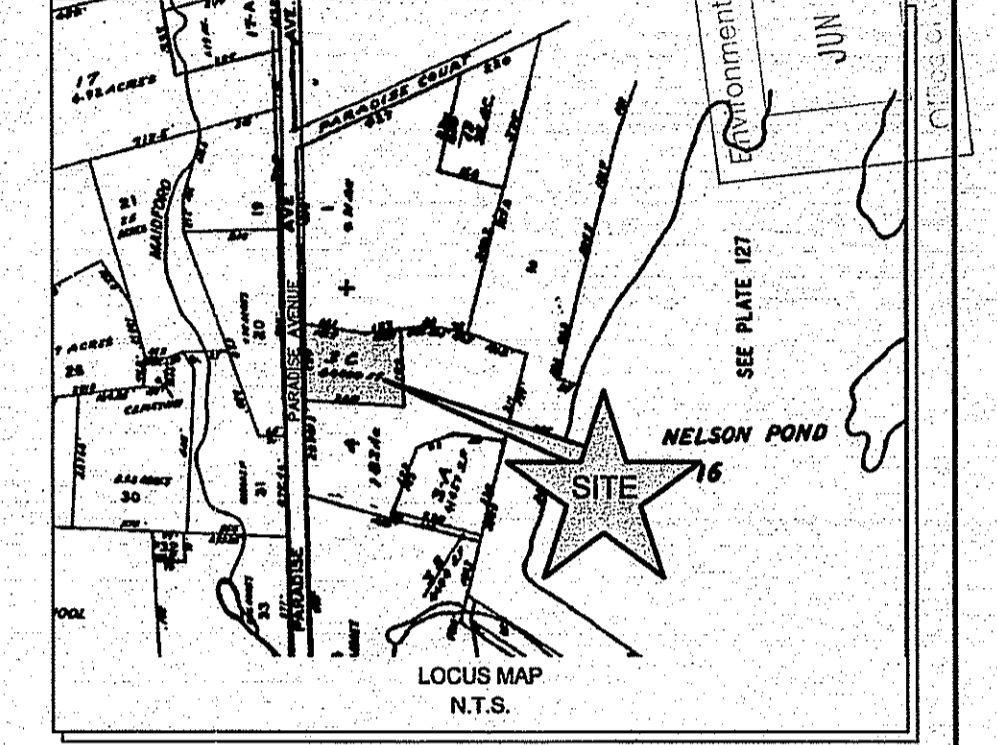
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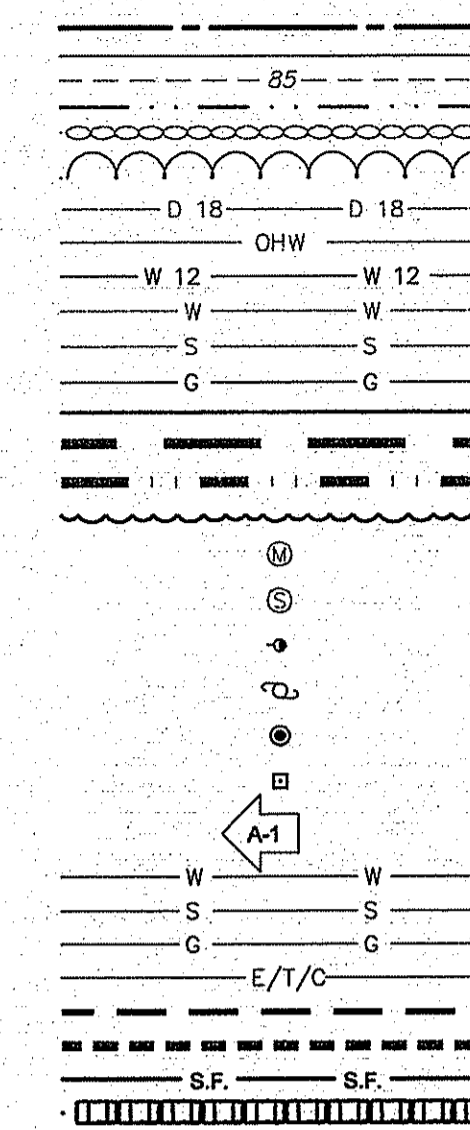
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 PHONE (401) 849-0810 FAX (401) 846-4169  
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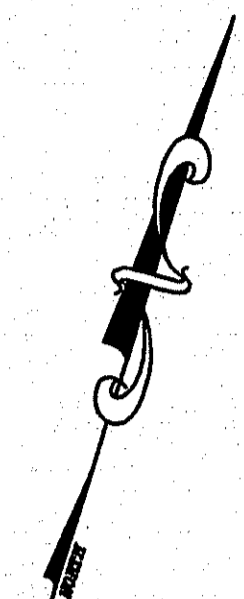
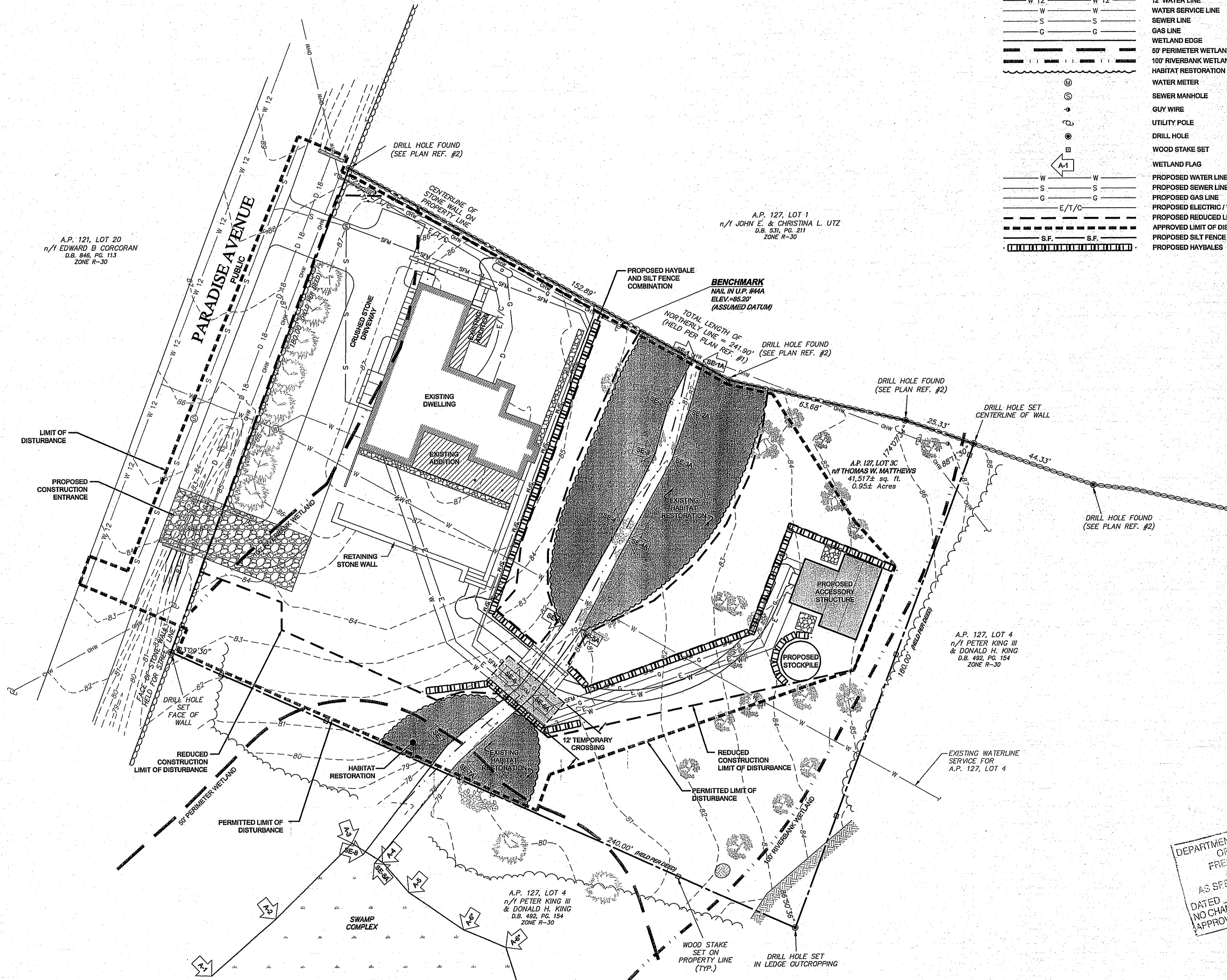
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- TRANSPORTATION
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LEGEND:



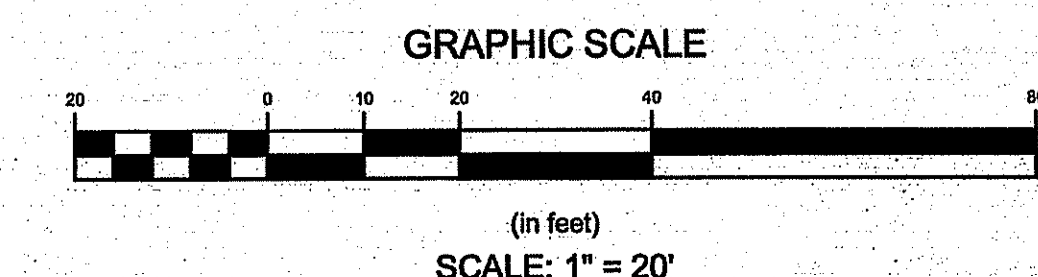
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- PROPOSED SEWER LINE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC / TELEPHONE / CABLE LINE
- PROPOSED REDUCED LIMIT OF DISTURBANCE
- APPROVED LIMIT OF DISTURBANCE
- PROPOSED SILT FENCE
- PROPOSED HAYBALES



- SITE NOTES:**
1. BASE OF ELEVATIONS: ASSUMED DATUM
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1	SEWER/GAS FOR ACCESSORY STRUCTURE	28MAY15	
No.	Revision	Date	App.
Designed By:	GES	Drawn by:	JJC
Checked by:	GES		
Scale:	1" = 20'	Date:	15JULY 11
Project Title:			
<b>MATTHEWS RESIDENCE</b>			
<b>A.P. 127, LOT 3C</b>			
566 PARADISE AVENUE			
MIDDLETOWN, RHODE ISLAND			
Client/Owner:			
THOMAS W. MATTHEWS			
103 BALDWIN STREET			
CHARLESTOWN, MA 02129			
Issued for:			
PERMITTING			
<b>SOIL EROSION &amp; SEDIMENT CONTROL PLAN</b>			
Drawing Number:			
<b>C-3</b>			
Sheet 3 of 4			
Project Number:			
<b>11008.0</b>			
Survey Index:			
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH COMMENTS  
 AS SPECIFIED IN THE LETTER  
 DATED JUL 02 2015 FILE # 11-0132  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING THE START OF EXCAVATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS WITH THE TOWN OF MIDDLETOWN. NO CONSTRUCTION IS TO COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED.
3. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE TOWN OF MIDDLETOWN AND THE RI DEPARTMENT OF TRANSPORTATION. STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DATED 2004 AND ALL CURRENT ADDENDA, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
4. ALL ELEVATIONS ARE ON ASSUMED DATUM.
5. DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER AND OWNER.
6. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO BE MADE TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. THE CONTRACTOR IS REQUIRED TO VERIFY THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER UTILITIES NOT ON RECORD OR SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE REPAIR AND REINSTATEMENT OF UTILITY SERVICES DAMAGED DURING CONSTRUCTION.
7. RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, WALKS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
9. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
10. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
11. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE (1-888-344-7233) AND/OR ALL LOCAL UTILITY COMPANIES).

**SOIL EROSION & SEDIMENT CONTROL NOTES**

1. CONSTRUCTION SEQUENCE:
  - A. DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
  - B. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE LOCATED AS SHOWN ON PLANS. CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THIS ENTRANCE.
  - C. INSTALL SILT FENCES, SILT SACKS, CHECK DAMS AND/OR HAY BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF STREAMS AND WETLANDS PRIOR TO ANY EARTH MOVING ACTIVITIES.
  - D. REMOVE TREES ONLY WHERE NECESSARY. ALL STUMPS TO BE GROUND OR DISPOSED OF OFF SITE.
  - E. START BUILDING AND ROAD CONSTRUCTION.
  - F. CONSTRUCT THE REQUIRED DRAINAGE CONTROL MEASURES AND UTILITIES.
  - G. CONSTRUCT LANDSCAPED AREAS. MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.

2. NOTES:
  - A. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
  - B. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
  - C. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
  - D. ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
  - E. FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
  - F. ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS.
  - G. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
  - H. FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
  - I. FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
  - J. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
  - K. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
  - L. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO CUTTINGS.

3. VEGETATIVE PRACTICE:
 

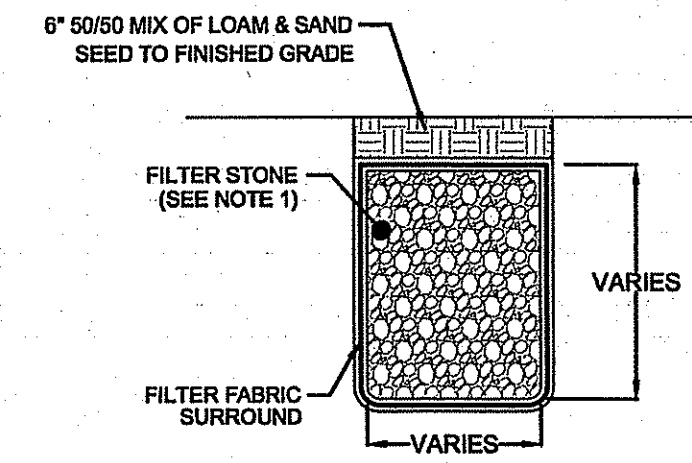
PERMANENT MEASURES:

  - A. SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
  - B. LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L01 & L02.
  - C. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED. TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)
  - D. LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:  
LIMESTONE: 3 TONS/ACRE  
FERTILIZER: (10-10-10) 600 LBS/ACRE E.

SEED SHALL BE APPLIED AT THE FOLLOWING RATE:  
WINTER RYE: 112 LBS/ACRE F.  
HAY MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.
4. MAINTENANCE
 

DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.

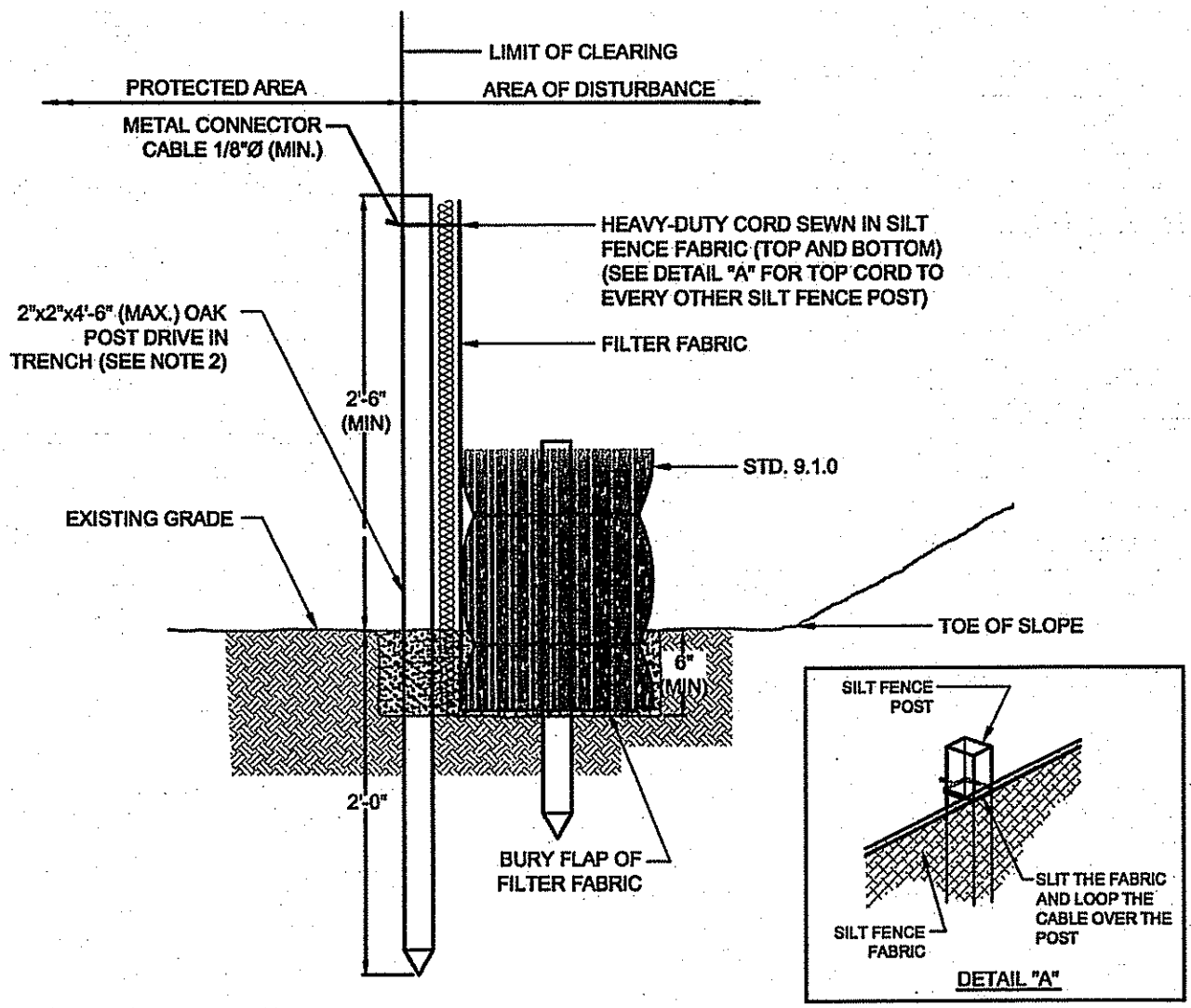
  - A. SILT FENCES AND HAY BALES SHALL BE INSPECTED AS INDICATED IN THE DETAILS. AT A MINIMUM THE SILT FENCING AND HAY BALES SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND/OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
  - B. EXCELSIOR MATTING SHALL BE INSPECTED ON A WEEKLY BASIS.
  - C. STONE APRONS SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
  - D. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND REESTABLISHED AS NECESSARY.
  - E. SEEDING AREAS SHALL BE FERTILIZED AND RESEEDING AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE TOWN ENGINEER.



STONE TRENCH DIMENSIONS		
WIDTH (FT)	DEPTH (FT)	LENGTH (FT)
6	2	6

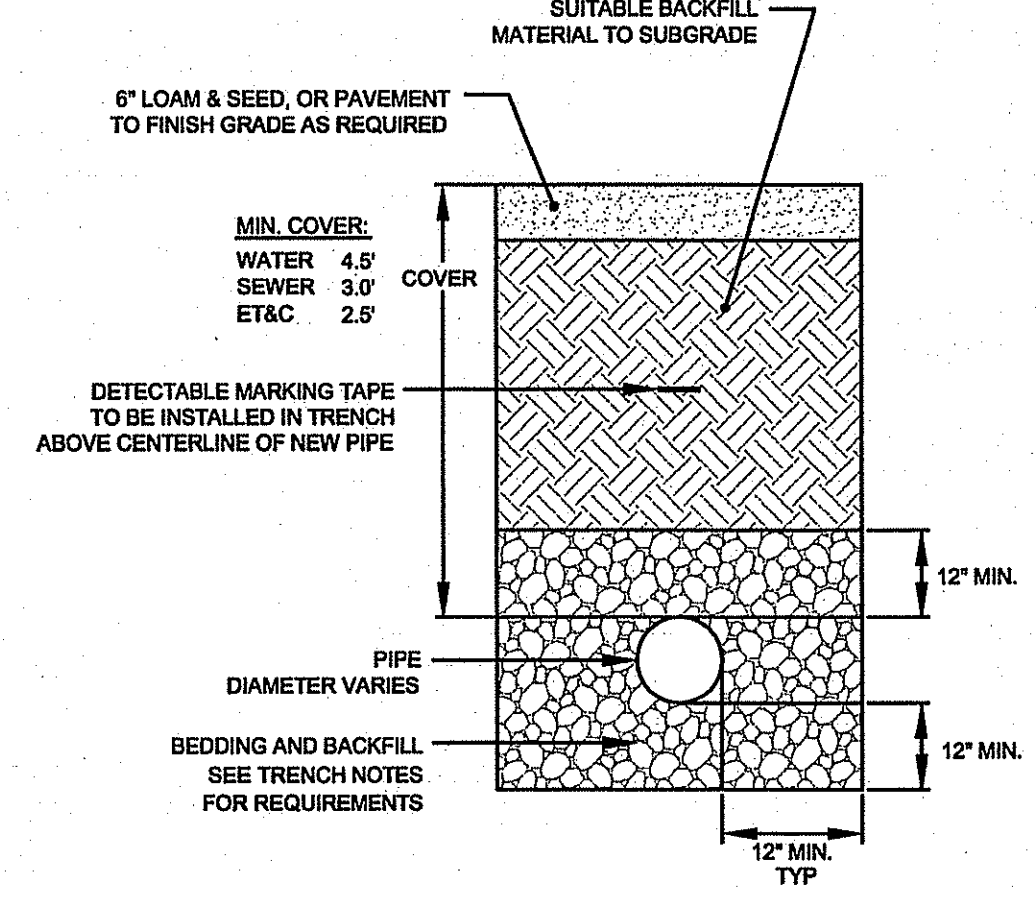
- NOTES:**
1. FILTER STONE TO BE NATIONAL STONE ASSOCIATION MODIFIED NSA NO. FS-2 TO RIDOT M10.0301.
  2. INSPECTION PORTS SHALL BE INSTALLED AND BROUGHT TO GRADE FOR EACH TRENCH.
  3. TRENCH TO BE PROTECTED FROM SILTATION DURING CONSTRUCTION AND UNTIL VEGETATION IS FULLY ESTABLISHED. (ENGINEER TO DO FINAL INSPECTION)

**STONE WATER QUALITY TRENCH DETAIL**  
SCALE: NOT TO SCALE



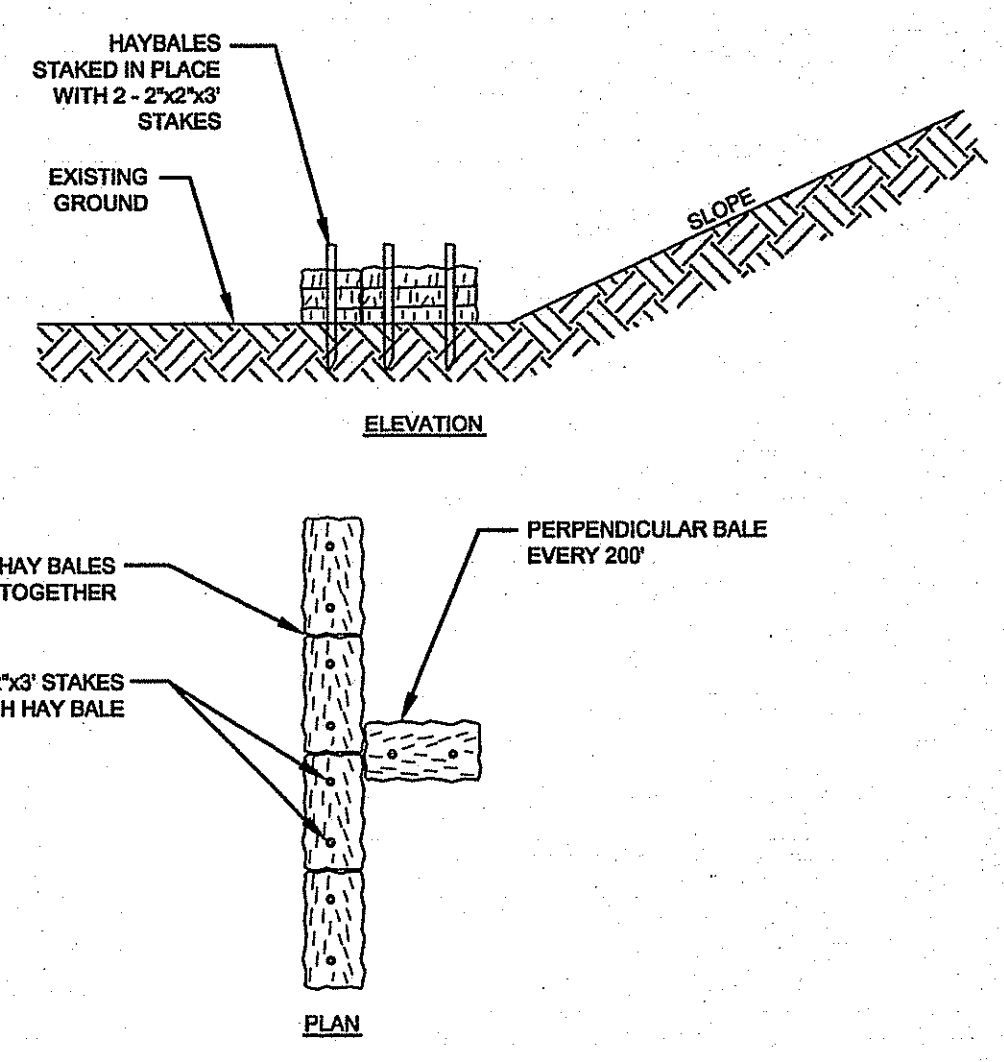
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
  2. STD. 8.1.0 IS INSTALLED "TIGHT" AGAINST SILT FENCE. THOROUGHLY COMPACT EXCAVATED SOILS BACK INTO TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICES. SILT FENCE FABRIC SHALL NOT BE SILT. STD. 8.1.0 POST SHALL BE DRIVEN THROUGH SILT FENCE FABRIC. 2"x2"x4"-6" (MAX) OAK POST FOR SILT FENCE SHALL BE LOCATED 6"-8" (MAX) O.C. IN WETLAND AREAS AND 4'-6" (MAX) O.C. IN WETLAND RAHWIE, GULLY OR DROP OFF AREAS AS SHOWN ON PLANS.
  3. 1"x1"x6" (MIN) POSTS ARE PERMITTED FOR PRE-FABRICATED SILT FENCE.
  4. SILT FENCE AND BALED HAY SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

**EROSION CONTROL BARRIER**  
SCALE: NOT TO SCALE

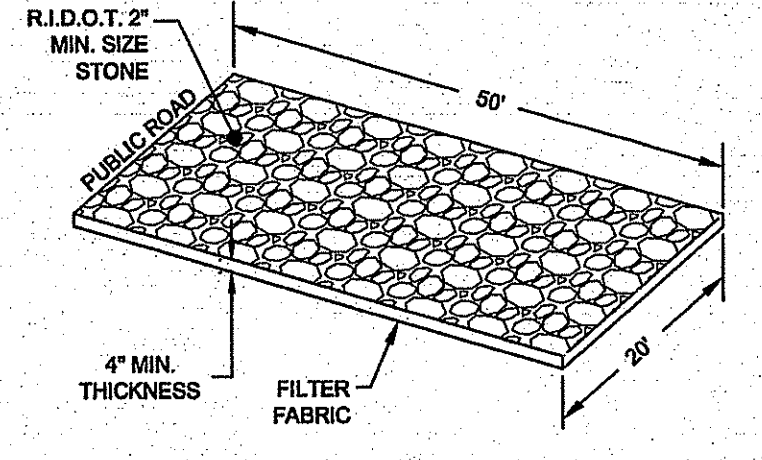


**UTILITY TRENCH DETAIL AND NOTES**  
SCALE: NOT TO SCALE

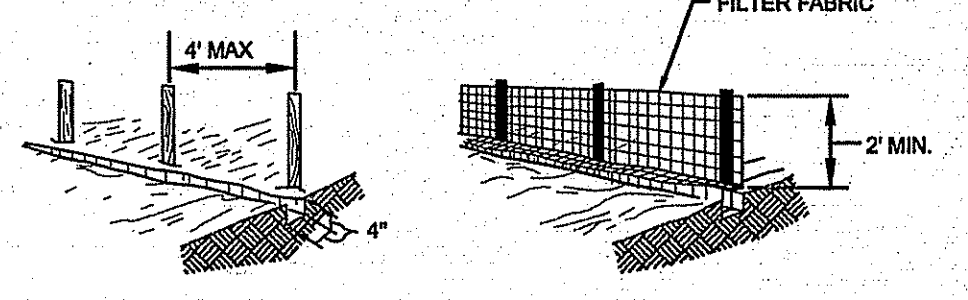
- TRENCH NOTES:**
1. UNSUITABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12-INCHES BELOW THE DESIGN INVERT ELEVATION.
  2. BACKFILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN HEIGHT. THESE LAYERS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY (AASHTO T180). SUITABLE BACKFILL SHALL BE FREE OF LOAM, CLAY, ORGANIC MATTER AND PARTICLES LARGER THAN 2 INCHES IN DIAMETER.
  3. WATER PIPE TRENCHES MUST BE BEDDED WITH SAND CONTAINING NO PARTICLES LARGER THAN 3/8". THIS MATERIAL MUST CONFORM TO AASHTO M6 REQUIREMENTS.
  4. UTILITY INSTALLATIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE TOWN OF MIDDLETOWN PUBLIC WORKS RULES AND REGULATIONS.



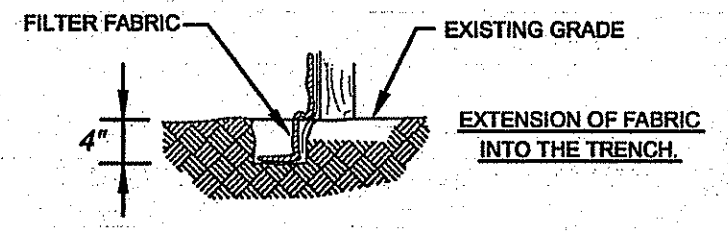
**HAYBALE SEDIMENT BARRIER**  
SCALE: NOT TO SCALE



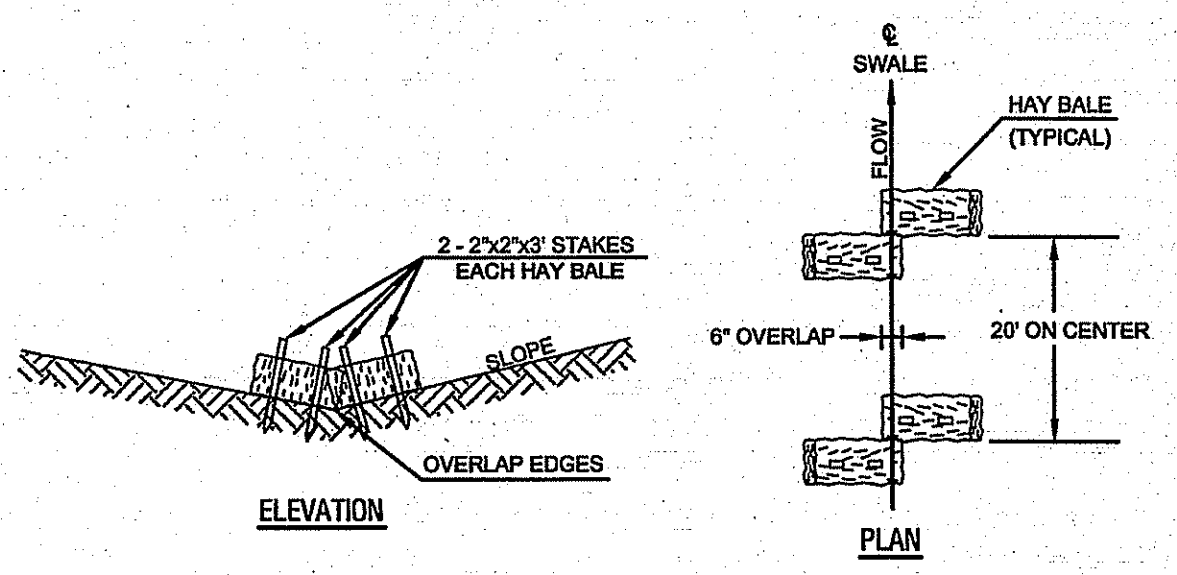
**CONSTRUCTION ENTRANCE**  
SCALE: NOT TO SCALE



- NOTES:**
1. SET POSTS AND EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF POSTS.
  2. STAPLE FILTER FABRIC TO THE POSTS AND EXTEND INTO TRENCH.
  3. BACK FILL AND COMPACT THE EXCAVATED SOIL INTO THE TRENCH.

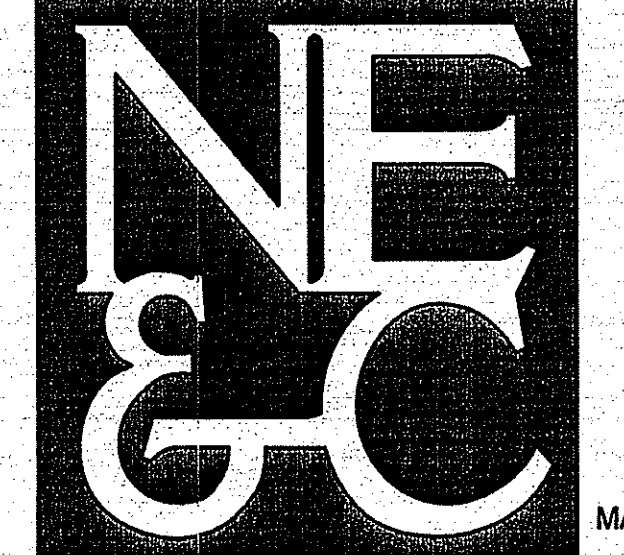


**SILT FENCE**  
SCALE: NOT TO SCALE



**HAYBALE CHECK DAM**  
SCALE: N.T.S.

**NORTHEAST ENGINEERS & CONSULTANTS, INC.**



A KNOWLEDGE CORPORATION

55 JOHN CLARKE ROAD MIDDLETOWN RHODE ISLAND 02842  
PHONE (401) 849-0810 FAX (401) 846-4169  
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- SITE/CIVIL  
LAND PLANNING  
WATERFRONT  
SURVEYING  
GEOTECHNICAL  
ENVIRONMENTAL  
TRANSPORTATION  
STRUCTURAL  
MATERIALS TESTING

Environmental Management  
JUN - 3 2015  
Office of Water Resources

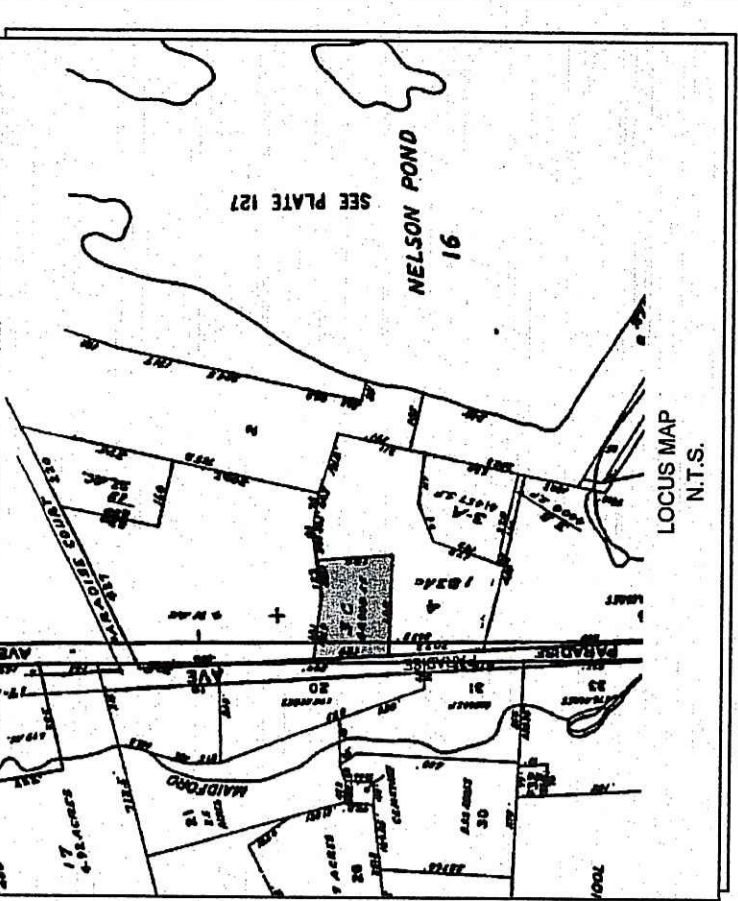
1	SEWER/GAS FOR ACCESSORY STRUCTURE	28MAY15	
No.	Revision	Date	App.
Designed By:	GES	Drawn by:	JJC
Scale:	AS SHOWN	Checked by:	GES
	Date:		11APR11
Project Title:			
<b>MATTHEWS RESIDENCE</b>			
A.P. 127, LOT 3C			
566 PARADISE AVENUE			
MIDDLETOWN, RHODE ISLAND			
Client/Owner:			
THOMAS W. MATTHEWS			
103 BALDWIN STREET			
CHARLESTOWN, MA 02129			
Issued for:			
PERMITTING			
Drawing Title:			
<b>SITE DETAILS</b>			
Drawing Number:			
<b>C-4</b>			
Sheet 4 of 4			
Project Number:			
<b>11008.0</b>			
Survey Index:			
OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.			

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
JUL 02 2015 FILE # 11008.0  
DATED NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REGINALD E. SMALL  
No. 8550  
REGISTERED PROFESSIONAL ENGINEER CIVIL



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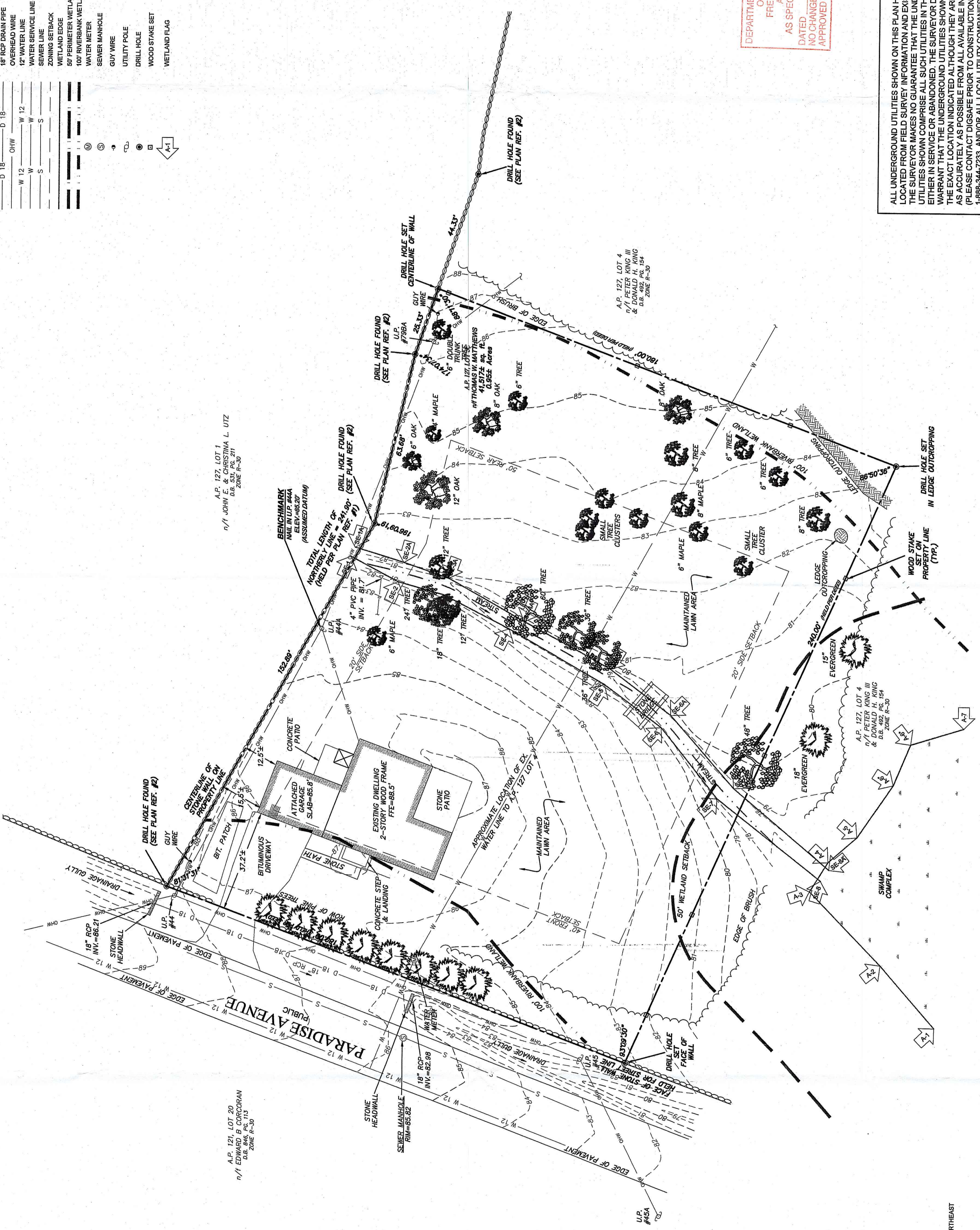
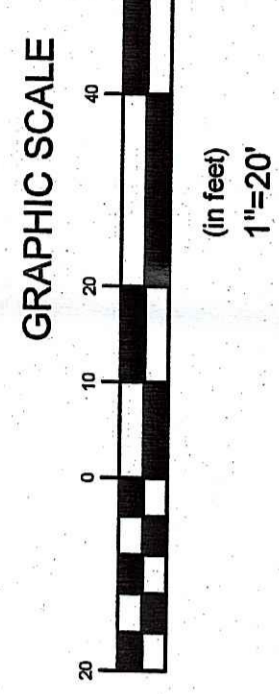
LEGEND:

---	PROPERTY LINE
- - - -	ADJUTING PROPERTY LINE
---	EXISTING CONTOUR
---	STREAM
---	BRUSH WALL
---	BRUSH LINE
---	18" RCP DRAIN PIPE
---	12" WATER LINE
---	12" WATER SERVICE LINE
---	SEWER LINE
---	ZONING SETBACK
---	WETLAND EDGE
---	50' PERMETER WETLAND
---	100' RIVERBANK WETLAND
---	WATER METER
---	SEWER MANHOLE
---	GUY WIRE
---	UTILITY POLE
---	DRILL HOLE
---	WOOD STAKE SET
---	WETLAND FLAG

No.	Revision	Date	App.
1	DESIGNED BY: GES	DRAWN BY: SMH	CHECKED BY: [Signature]
Scale: 1"=20'		Date: 11APR11	
<b>MATTHEWS RESIDENCE</b>			
A.P. 127, LOT 3C			
#566 PARADISE AVENUE			
MIDDLETOWN, RHODE ISLAND			
Client/Owner:		THOMAS W. MATTHEWS	
		103 BALDWIN STREET	
		CHARLESTOWN, MA 02129	
		PERMITTING	
<b>EXISTING SITE PLAN</b>			
Drawing Number:		L-1	
Sheet:		1 of 5	
Project Number:		11008.0	
Survey/Inch:		-	
<small>OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND DOCUMENTS ARE THE PROPERTY OF NORTHEAST ENGINEERS &amp; CONSULTANTS, INC. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.</small>			

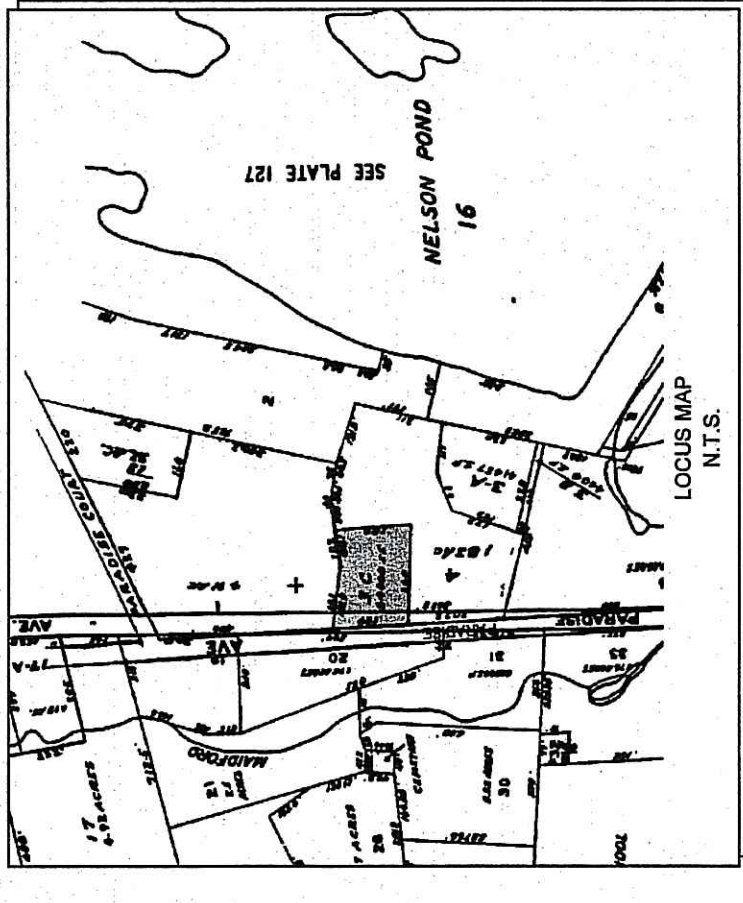
DEPARTMENT OF ENVIRONMENTAL REGULATION  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED AUG 12 2011 FILE # [unclear]  
NO CHANGES ALLOWED WITHOUT PREVIOUS WRITTEN APPROVAL  
APPROVED PLANS MUST BE AT CONSISTENT

ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER ACTIVE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED AT THE LOCATION NOTED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES)



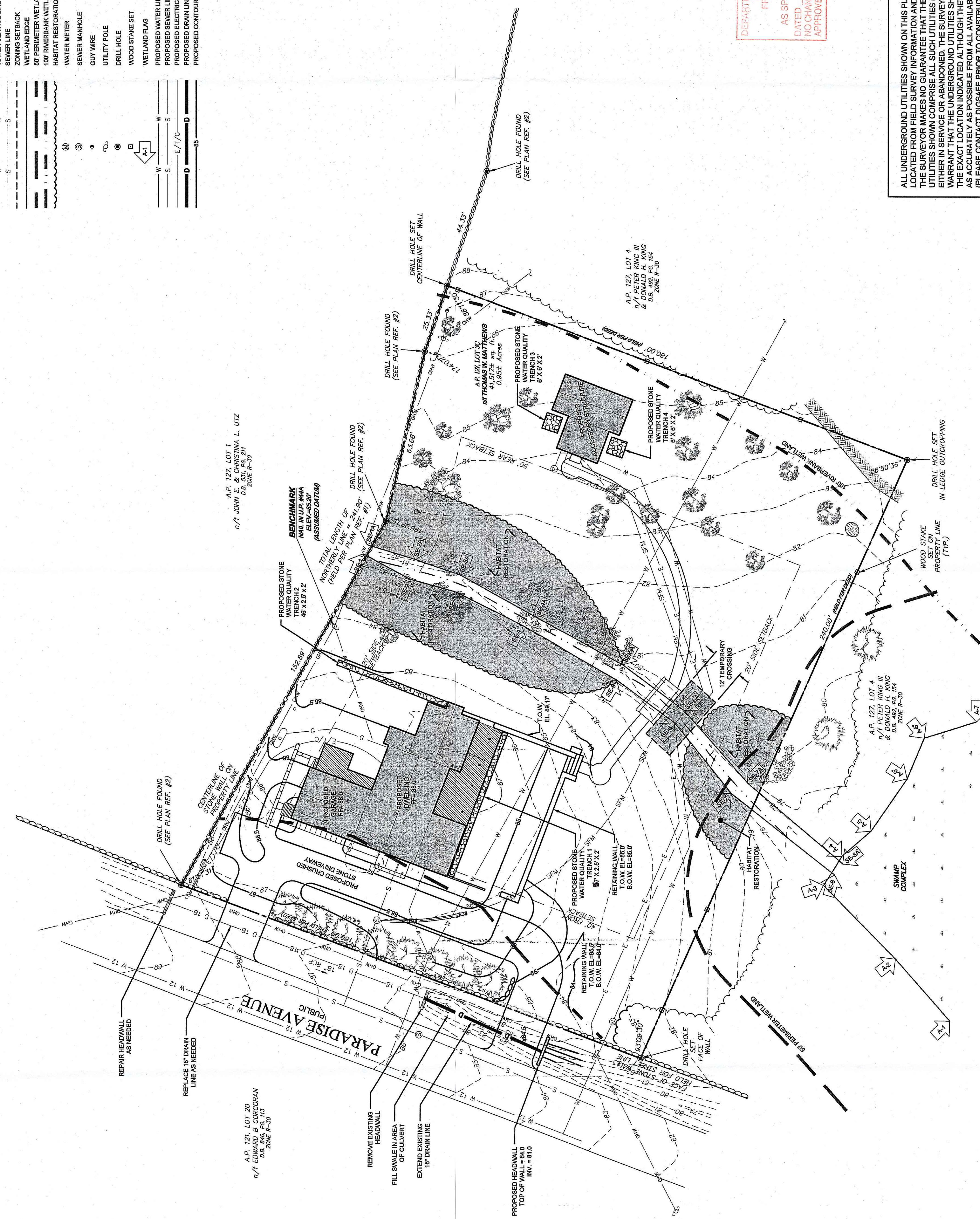
- NOTES:
- EXISTING CONDITIONS AND PROPERTY LINE TAKEN FROM CLASS 1 SURVEY BY NORTHEAST ENGINEERS & CONSULTANTS, INC., DATED NOVEMBER 2, 2008.
  - BASE OF ELEVATIONS: ASSUMED DATUM.
  - NORTH ARROW SCALED FROM TAX ASSESSORS MAP.
  - WATER LINE TO A.P. 127, LOT 4 SCALED FROM PLAN REFERENCE #1.
  - WETLAND AREAS WERE DELINEATED BY NATURAL RESOURCE SERVICES AND WETLAND FLAGS WERE SURVEYED BY NORTHEAST ENGINEERS & CONSULTANTS, INC.
  - EXISTING STREAM IS SUBJECT TO A 100 FT RIVERBANK WETLAND PER RIDGM REGULATIONS.
  - THE SITE AND SURROUNDING PROPERTIES ARE ZONED R-30.





**LEGEND:**

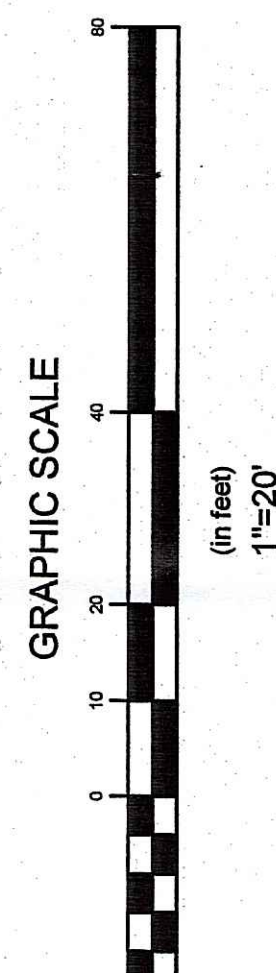
PROPERTY LINE	---
ADJUTING PROPERTY LINE	---
EXISTING CONTOUR	---
STREAM	---
BRUSH LINE	---
18" DRAIN PIPE	---
12" WATER LINE	---
WATER SERVICE LINE	---
SEWER LINE	---
ZONING SETBACK	---
WETLAND EDGE	---
50' FERNBANK WETLAND	---
100' RIVERBANK WETLAND	---
HABITAT RESTORATION	---
WATER METER	---
SEWER MANHOLE	---
UTILITY POLE	---
DRILL HOLE	---
WOOD STAKE SET	---
WETLAND FLAG	---
PROPOSED WATER LINE	---
PROPOSED SEWER LINE	---
PROPOSED ELECTRIC / TELEPHONE / CABLE LINE	---
PROPOSED DRAIN LINE	---
PROPOSED CONTOUR	---



**WATER QUALITY CALCULATIONS TABLE**

SURFACE ID	AREA (SF)	WATER QUALITY PROVIDED	WATER QUALITY REQUIRED (CF)	WQ CONTROL DEVICE	VOLUME PROVIDED (CF)
EXISTING RESIDENCE	1,887	NONE	---	---	---
APPROVED DWELLING	2,854	1" OVER IMPERVIOUS AREA	---	---	---
PROPOSED DWELLING	2,121	1" OVER IMPERVIOUS AREA	177 CF	STONE TRENCHES 1 & 2	208
PROPOSED GUEST HOUSE	571	1" OVER IMPERVIOUS AREA	48 CF	STONE TRENCHES 3 & 4	50

- SITE NOTES:**
1. BASE OF ELEVATIONS ASSUMED DATUM.
  2. NORTH ARROW SCALED FROM TAX ASSESSOR'S MAP.
  3. WETLAND AREAS WERE DELINEATED BY NATURAL RESOURCE SERVICES AND WETLAND FLAGS WERE SURVEY LOCATED BY NORTHEAST ENGINEERS & CONSULTANTS, INC.
  4. EXISTING STREAM IS SUBJECT TO A 100 FT RIVERBANK WETLAND PER RIDEM REGULATIONS.



ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATIONS INDICATED ALTHOUGH THEY ARE LOCATED AS NEARLY AS POSSIBLE TO THE BEST OF HIS INFORMATION. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION AT 1-888-344-7233, AND/OR ALL LOCAL UTILITY COMPANIES)

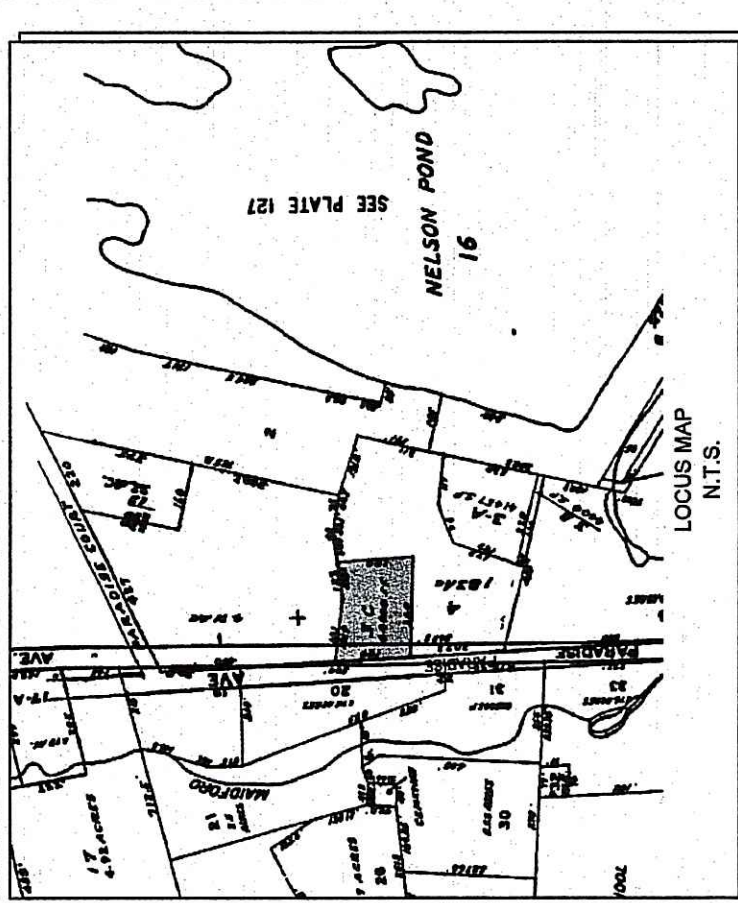
DEPARTMENT OF ENVIRONMENTAL PLANNING & CONSTRUCTION  
OFFICE OF PERMITTING SERVICES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH COMMENTS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED AUG 12 2011 FILE # 111008.0  
NO CHANGES ALLOWED WITHOUT PERMITTING  
APPROVED PLANS MUST BE AT COMMISSIONER'S OFFICE

Designed By: GES	Drawn by: SMH	Checked by: JLD	Date: JULY 2011
No.	Revision	Date	App.
Project Title: <b>MATTHEWS RESIDENCE</b> A.P. 127, LOT 3C #566 PARADISE AVENUE MIDDLETOWN, RHODE ISLAND			
Client/Owner: THOMAS W. MATTHEWS 103 BALDWIN STREET CHARLESTOWN, MA 02129			
Permitting: PERMITTING			
Drawing Number: G-1			
Sheet: 3	Project Number: 111008.0	Survey Index: 5	
<p>OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PURPOSES, OR BY ANY OTHER PARTY, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.</p>			



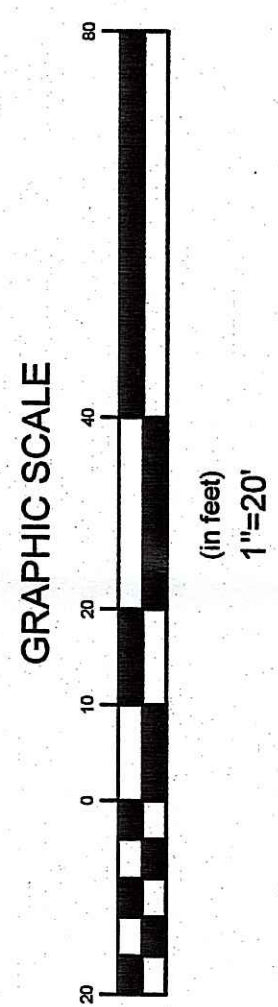
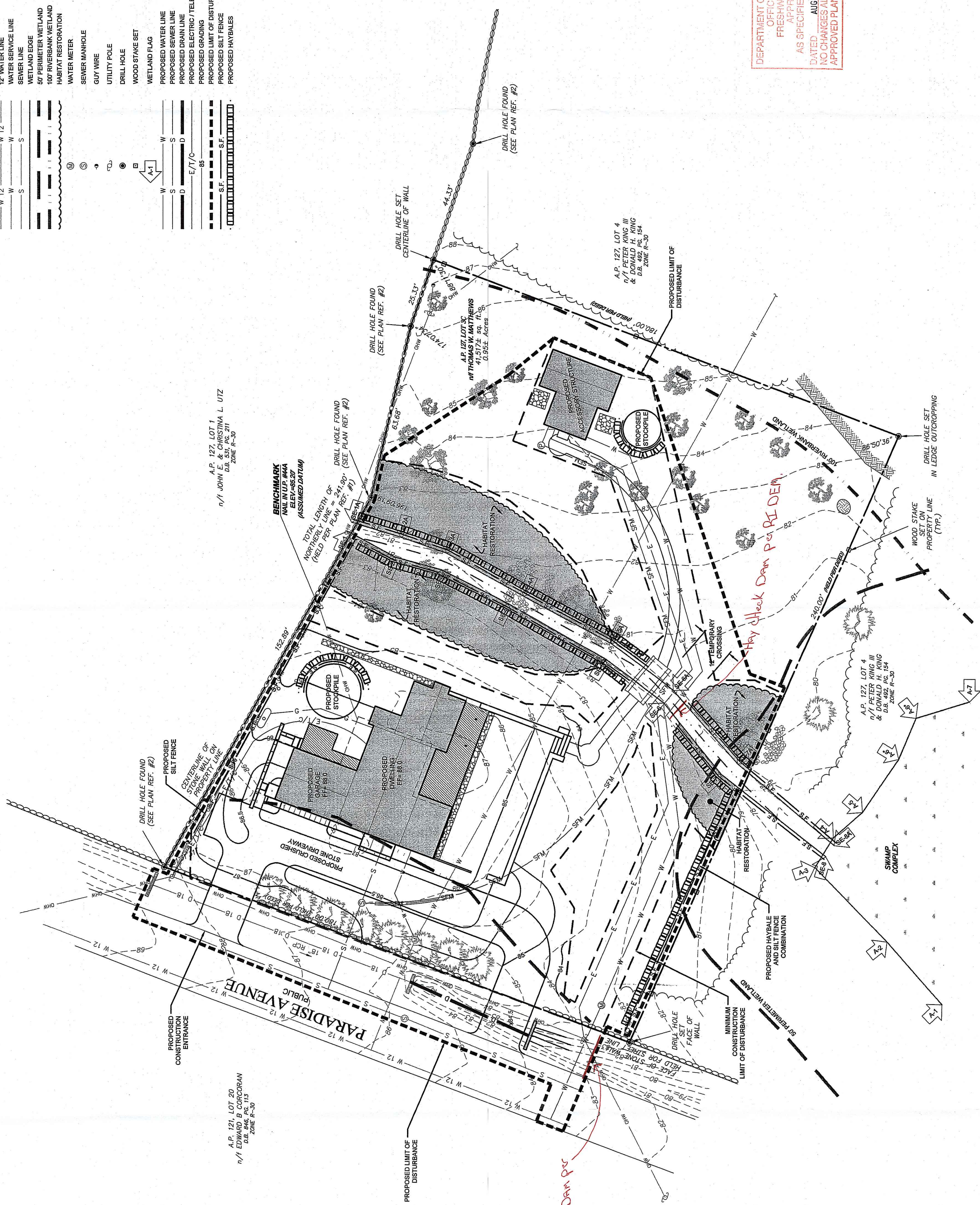
- SITE/CIVIL
- LAND PLANNING
- WATERFRONT
- SURVEYING
- GEOTECHNICAL
- ENVIRONMENTAL
- TRANSPORTATION
- STRUCTURAL
- MATERIALS TESTING

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**LEGEND**

	PROPERTY LINE
	ABUTTING PROPERTY LINE
	STREAM
	STONE WALL
	BRUSH LINE
	18" RCP DRAIN PIPE
	OVERHEAD WIRE
	12" WATER LINE
	WATER SERVICE LINE
	SEWER LINE
	WETLAND EDGE
	50' PERIMETER WETLAND
	100' RIVERBANK WETLAND
	HABITAT RESTORATION
	WATER METER
	SEWER MANHOLE
	GUY WIRE
	UTILITY POLE
	DRILL HOLE
	WOOD STAKE SET
	WETLAND FLAG
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	PROPOSED DRAIN LINE
	PROPOSED EASEMENT/TELEPHONE/CABLE LINE
	PROPOSED GRADING
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED HAYBALES



No.	Revision	Date	App.
Designed By:	SMH	Checked by:	
Scale:	1"=20'	Date:	JULY 2011
Project Title: <b>MATTHEWS RESIDENCE</b> A.P. 127, LOT 3C #566 PARADISE AVENUE MIDDLETOWN, RHODE ISLAND			
Client/Owner: THOMAS W. MATTHEWS 103 BALDWIN STREET CHARLESTOWN, MA 02129			
PERMITTING			
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED AUG. 12 2011. FILE # 11-043 NO CHANGES ALLOWED WITHOUT PERMITTING OFFICE APPROVAL APPROVED PLANS MUST BE AT CONSTRUCTION SITE			
Drawing Number: <b>SESC-1</b> Sheet 4 of 5 Project Number: 11008.0 Survey Index:			
Signature: SERVA E. SMALL No. 6550 REGISTERED PROFESSIONAL ENGINEER CIVIL			
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- SITE NOTES:**
1. BASE OF ELEVATIONS: ASSUMED DATUM
  2. NORTH ARROW SCALED FROM TAX ASSESSOR'S MAP.
  3. WATER LINE TO A.P. 127, LOT 4 SCALED FROM PLAN REFERENCE #1.
  4. EXISTING WATER LINE LOCATION IN ROAD WAS PROVIDED BY NEWPORT PUBLIC WORKS ON FEBRUARY 21, 2009.
  5. WETLAND AREAS WERE DELINEATED BY NATURAL RESOURCE SERVICES AND WETLAND FLAGS WERE SURVEY LOCATED BY NORTHEAST ENGINEERS & CONSULTANTS, INC.
  6. EXISTING STREAM IS SUBJECT TO A 100 FT RIVERBANK WETLAND PER RIDEM REGULATIONS.

