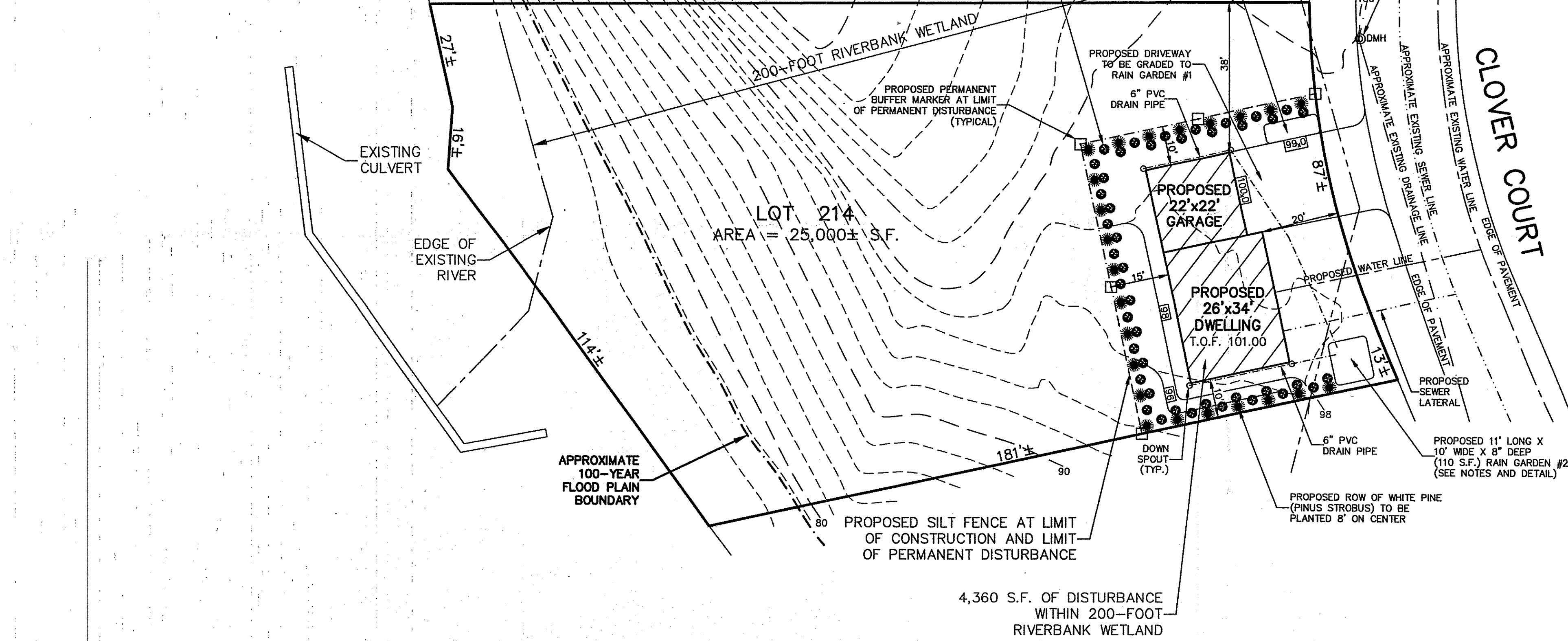
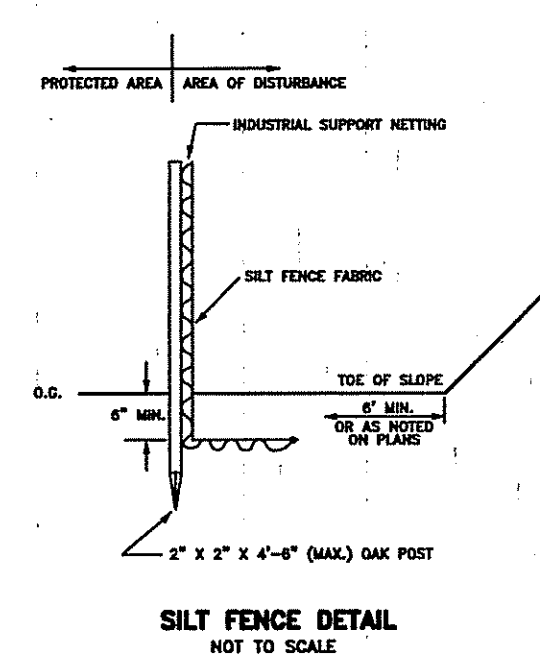


LEGEND

DMH DRAINAGE MANHOLE
 S.F. SQUARE FEET
 ELEV. ELEVATION
 T.O.F. TOP OF FOUNDATION

NOTES:

1. THE PARCEL IS PLAT 23, LOT 214.
2. THE TOTAL PARCEL AREA IS 25,000± S.F.
3. THE AREA IS ZONED: R-1.
 MINIMUM LOT AREA = 25,000 S.F.
 MINIMUM LOT FRONTAGE = 100 FEET
 MINIMUM BUILDING SETBACKS =
 FRONT YARD = 20 FEET
 SIDE YARD = 10 FEET
 REAR YARD = 25 FEET
 MAXIMUM LOT COVERAGE = 20%
 MAXIMUM BUILDING HEIGHT = 35 FEET
4. THERE ARE NO GRADE CHANGES GREATER THAN 12" EXCEPT AS SHOWN.



UTILITY NOTES:
 1. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE TAKEN FROM EXISTING FIELD LOCATION AND/OR PLANS FOUND AT THE TIME OF SURVEY. NO EXCAVATION IS TO OCCUR UNTIL "DIG SAFE" AND/OR ALL APPROPRIATE UTILITY COMPANIES HAVE BEEN NOTIFIED AND MARKED THE EXACT LOCATION ON THE SITE.
 2. THE PROPOSED WATER SERVICE IS TO MEET TOWN OF CUMBERLAND WATER DEPARTMENT REQUIREMENTS.
 3. THE PROPOSED SEWER LATERAL IS TO MEET TOWN OF CUMBERLAND REQUIREMENTS.

SEDIMENTATION AND EROSION CONTROL:
 1. ALL ASPHALT FROM THE EXISTING DRIVEWAY IS TO BE REMOVED AND DISPOSED OF PROPERLY BEFORE THE START OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION & EROSION CONTROL.
 3. EMBANKMENT SLOPES & ALL DISTURBED AREAS ARE TO RECEIVE A LAYER OF TOPSOIL (LOAM) AND SEED.
 4. IMMEDIATELY UPON COMPLETION OF THE CLEARING AND GRUBBING AND PRIOR TO ANY ROUGH GRADING, A TEMPORARY SILT FENCE OR HAY BALES SHALL BE PLACED AT THE LIMIT OF PERMANENT DISTURBANCE PER PLAN.
 5. ALL EROSION & SEDIMENTATION CONTROL SHALL BE PERIODICALLY MAINTAINED DURING BUILDING CONSTRUCTION BY THE CONTRACTOR.

EROSION & SOIL STABILIZATION PROGRAM:
 1. TEMPORARY TREATMENTS SHALL CONSIST OF A SILT FENCE, HAY BALES OR PROTECTIVE COVERS SUCH AS FABRIC MATS.
 2. THE SILT FENCE OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED COVER IS ESTABLISHED.
 3. NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - OCT. 15.
 4. ALL FILL, IF REQUIRED, SHALL BE CLEAN AND THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RIDPW STANDARD SPECIFICATION SECTION 202.

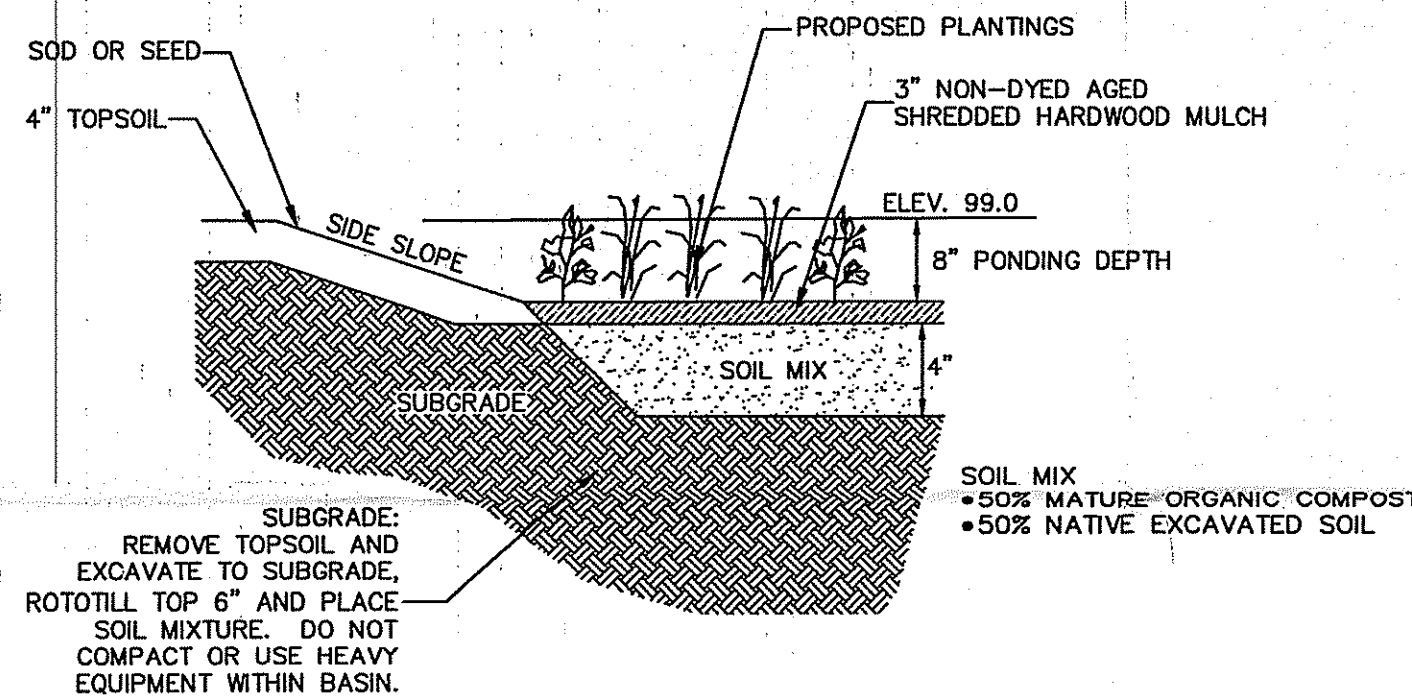
SEDIMENTATION CONTROL PROGRAM:
 1. A TEMPORARY SILT FENCE, HAY BALES OR PROTECTIVE COVER SHALL BE INSTALLED PRIOR TO CONSTRUCTION & SHALL BE MAINTAINED ON A DAILY BASIS. IN ADDITION TO THE LINE OF THE SILT FENCE AT THE LIMIT OF PERMANENT DISTURBANCE, TEMPORARY BARRIERS SHALL BE CONSTRUCTED AT THE TOE OF THE DISTURBED (CUT OR FILL) SLOPES UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED.
 2. ALL HAY BALES USED WITH THE SILT FENCE ARE TO HAVE TWO STAKES DRIVEN INTO EACH HAY BALE.
 3. THE SILT FENCE AND HAY BALES ARE TO BE INSPECTED DAILY AND REPLACED AS NEEDED.
 4. ALL SEDIMENTATION AND EROSION CONTROLS MUST BE INSTALLED AND PASS THE TOWN OF LINCOLN'S INSPECTION PRIOR TO ANY CONSTRUCTION WORK.
 5. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE FLOW DURING STORMS AND PERIODS OF RAINFALL.
 6. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.

SLOPE STABILIZATION AND VEGETATION:
 1. THE SILT FENCE OR HAY BALES SHALL BE PLACED AT THE TOE OF ALL DISTURBED SLOPES. THIS SHALL BE MAINTAINED AS A SEDIMENT BARRIER UNTIL THE SLOPES ARE STABILIZED WITH GRASS.
 2. THE DISTURBED SLOPES (CUT OR FILL) SHALL BE IMMEDIATELY MULCHED AS AN EROSION PROTECTION MEASURE.
 3. MAINTAIN MULCH UNTIL THE SLOPES ARE STABILIZED WITH A SATISFACTORY GROWTH OF GRASS.
 4. VEGETATION REMOVED MAY BE SHREDDED AND CHIPPED ON SITE FOR USE AS MULCH, OR IT MAY BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER.
 5. THE RESEEDING OF THE DISTURBED SLOPES SHALL BE CONDUCTED WITH SEED MATERIALS SELECTED FOR PRODUCTION OF A QUICK COVER AND HARDY STAND. PARTICULARLY A CONSERVATION GRASS SEED OR COMPARABLE. THE SEEDING SHALL BE IN ACCORDANCE WITH COMMON NURSERY PRACTICE IN THE RHODE ISLAND AREA.
 6. PROVIDED THAT THE PROVISIONS OF THE SEDIMENTATION & EROSION CONTROL PLAN ARE IMPLEMENTED, THERE WILL BE NO ADVERSE ENVIRONMENTAL EFFECTS FROM THE PROPOSED CONSTRUCTION.

RAIN GARDEN SIZING CALCULATION PER RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT - TABLE 8: RAIN GARDEN SIZING
 * RAIN GARDEN #1 DEPTH = 8 INCHES
 * DRIVEWAY AREA = 720 S.F.
 * SOIL TYPE: SANDY SOILS = 0.08 SIZING FACTOR
 * 720 x 0.08 = 58 S.F. RAIN GARDEN NEEDED
 * PROPOSED RAIN GARDEN BOTTOM AREA = 70 S.F.

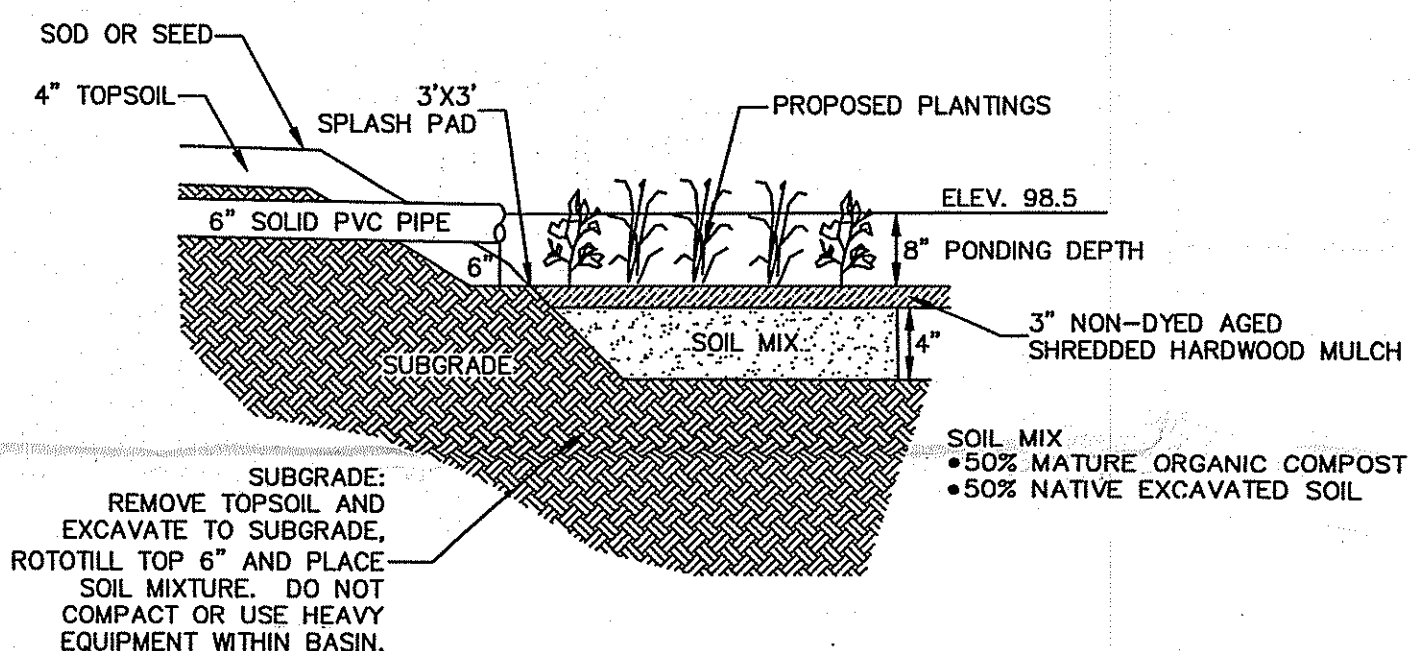
RAIN GARDEN SIZING CALCULATION PER RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT - TABLE 8: RAIN GARDEN SIZING
 * RAIN GARDEN #2 DEPTH = 8 INCHES
 * DWELLING AREA = 1,368 S.F.
 * SOIL TYPE: SANDY SOILS = 0.08 SIZING FACTOR
 * 1,368 x 0.08 = 110 S.F. RAIN GARDEN NEEDED
 * PROPOSED RAIN GARDEN BOTTOM AREA = 110 S.F.

RAIN GARDEN NOTES:
 1. RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO (2) PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING PLANT GROWTH AND SURVIVAL. PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON.
 2. SILT/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATED SEDIMENT EXCEEDS ONE (1) INCH, OR WHEN WATER PONDS FOR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND REPLACED WITH FRESH SOIL MIXTURE AND MULCH.
 3. PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
 4. SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
 5. FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
 6. PERENNIAL PLANTS AND GROUND COVERS SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.
 7. THE PROPOSED PLANTINGS FOR THE RAIN GARDEN SHALL BE SUITABLE NATIVE PLANTS IN ACCORDANCE WITH THE RHODE ISLAND COASTAL PLANT GUIDE, WHICH IS LOCATED AT WWW.URI.EDU/CELS/CEOC/COASTALPLANTS/COASTALPLANTGUIDE.HTM.



RAIN GARDEN #1 CROSS-SECTION

NOT TO SCALE

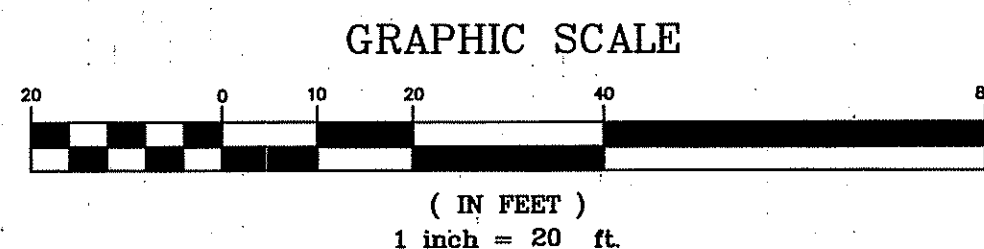


RAIN GARDEN #2 CROSS-SECTION

NOT TO SCALE

AUG 7 2014

PLAN REFERENCE:
 1. PLAN ENTITLED "FINAL SUBDIVISION PLAN, BARLOW ESTATES, HOWARD ROAD, CUMBERLAND, RHODE ISLAND, PREPARED FOR JCM, LLC., SCALE: 1"=60', DATED: DECEMBER 10, 2007" BY JOHN P. CAITO CORPORATION AND IS RECORDED IN THE TOWN OF CUMBERLAND REGISTRY OF DEEDS ON PLAT CARD 1482.



NICHOLAS J. PIAMPANO
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)
 No. 6512

ADVANCED CIVIL DESIGN, INC.
 CIVIL ENGINEERS

7 COUNTRYSIDE LANE
 SCITUATE, RI 02857

P1: (401) 644-8656
 P2: (401) 473-4404

I HEREBY CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO A CLASS 3 STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

By: *Michael R. Darveau*
 MICHAEL R. DARVEAU, PLS#1978
 DATE: 5/27/14

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED DEC 15 2014 FILE # 11-0159
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

| | |
|---|---|
| DARVEAU LAND SURVEYING, INC. P.O. BOX 7918 CUMBERLAND, R.I. 02864 PHONE 401-475-5700 E-MAIL: DARVEAUSURVEY@COX.NET | |
| PROPOSED SITE PLAN FOR DEDICATED BUILDERS, LLC PLAT 23, LOT 214 CLOVER COURT CUMBERLAND, RHODE ISLAND | SCALE: 1" = 20' DRAWN BY: S.A.K. DATE: MAY 27, 2014 |
| PROJECT NO: 2009_014 SHEET NO: 1 OF 1 | REVISED: |