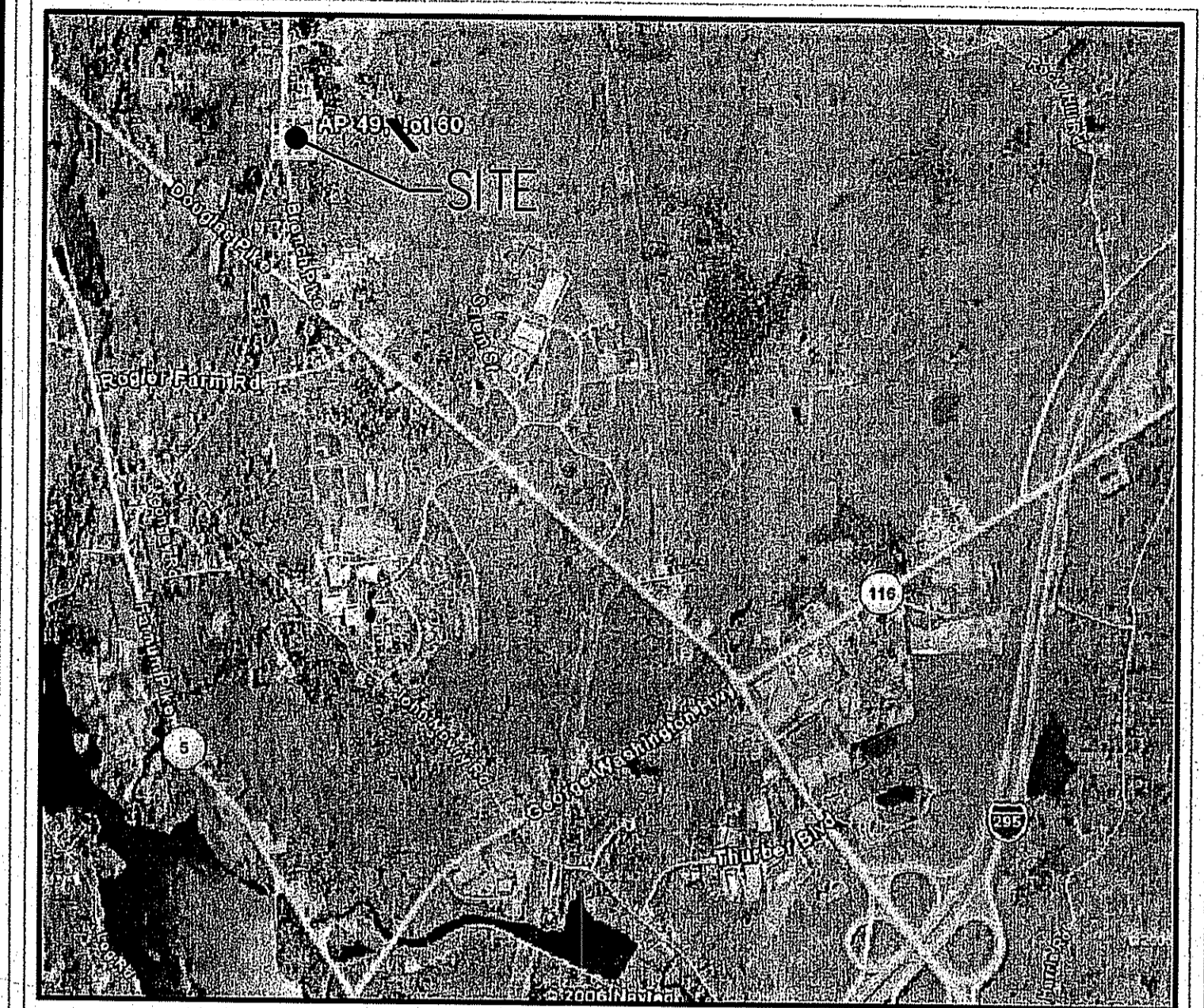


PRELIMINARY PLAN SUBMISSION

FOR:

MOWRY FARMS CONSERVATION DEVELOPMENT

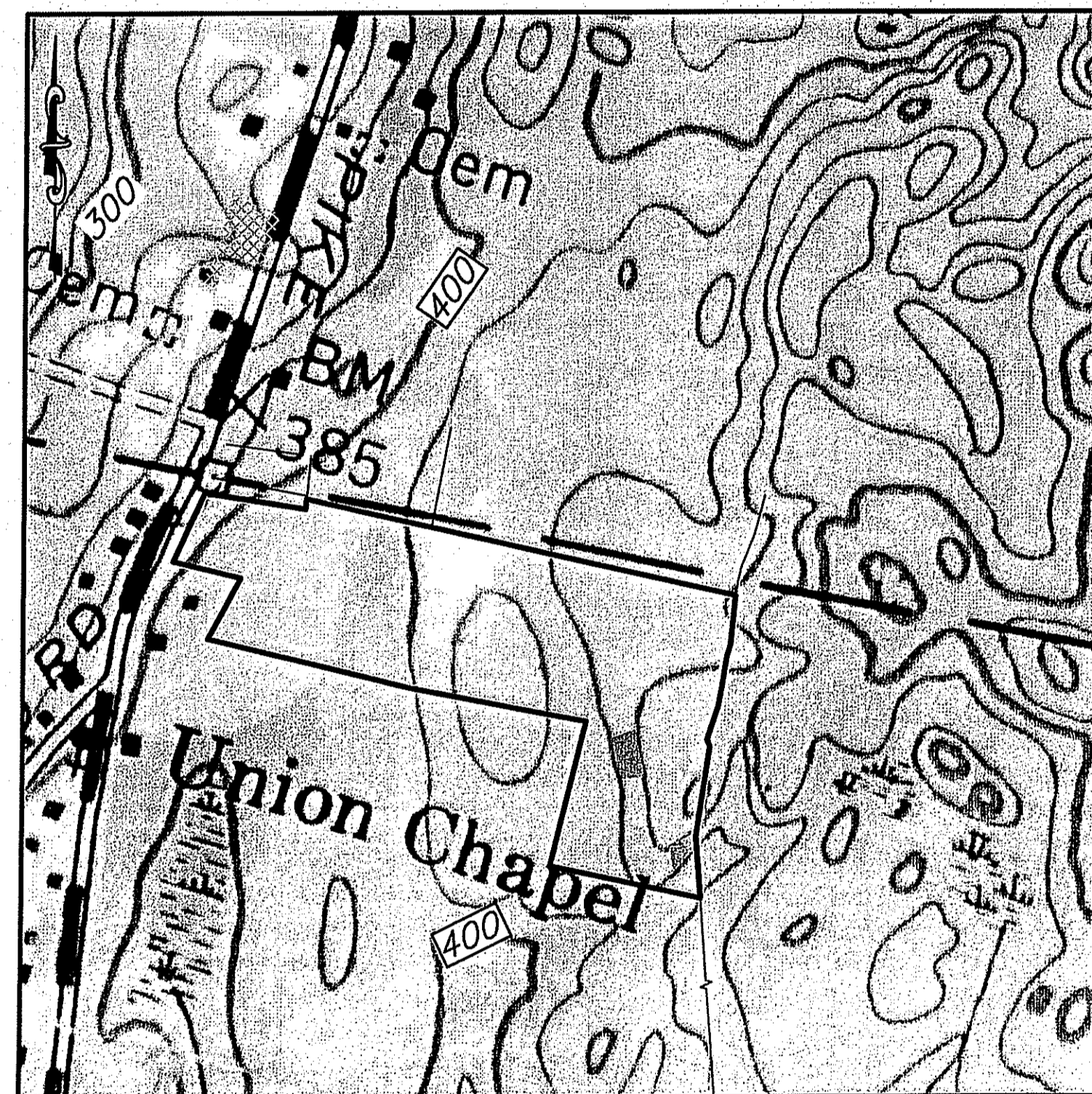
A.P. 49, LOT 60
BRANCH PIKE
SMITHFIELD, RHODE ISLAND



LOCUS
NOT TO SCALE

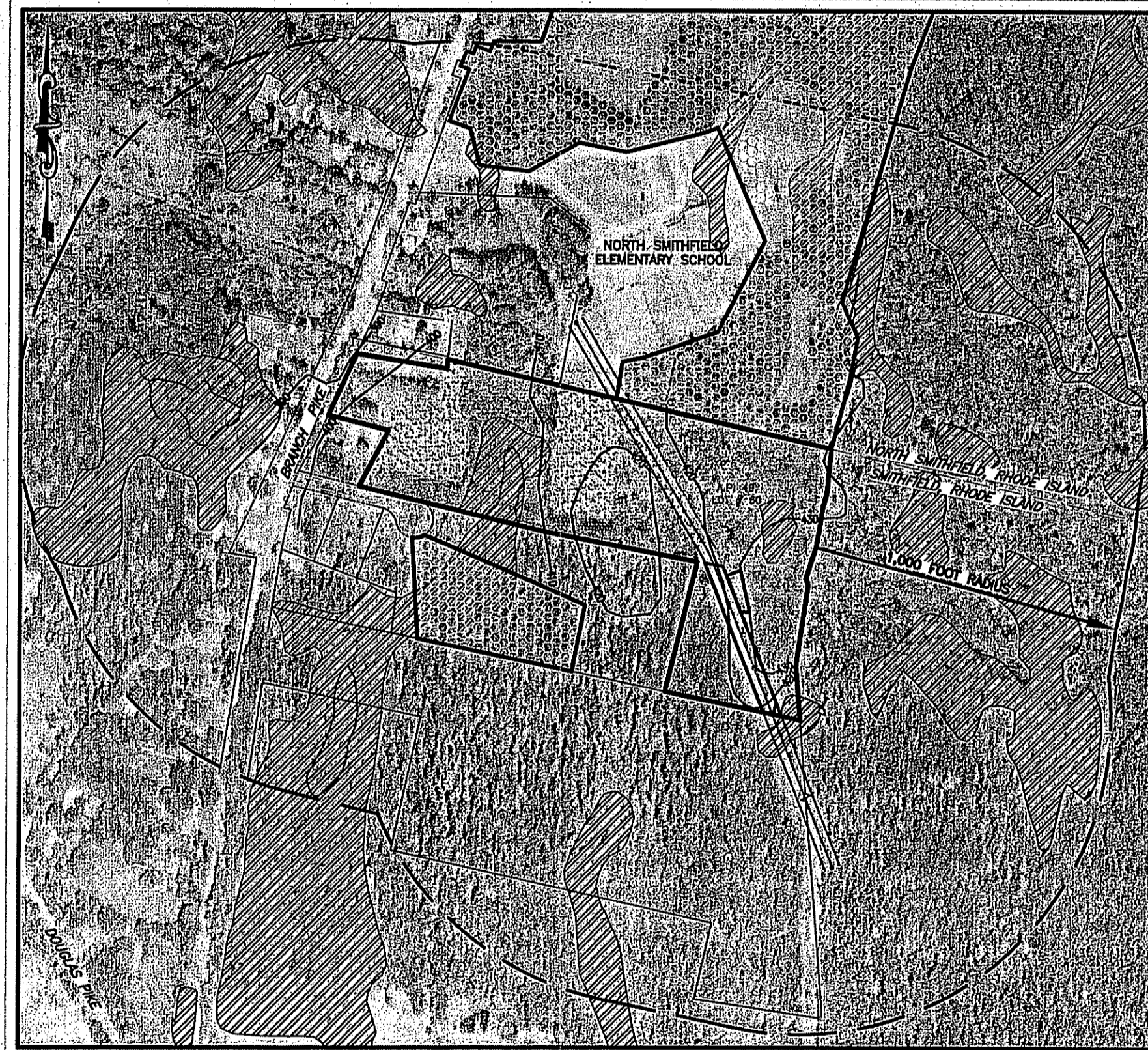
SOURCE: Image from Google Map.

Environmental Management
FEB 17 2012
Office of Water Resources



EXISTING RESOURCES AND SITE ANALYSIS: USGS SCALE: 1"=400'

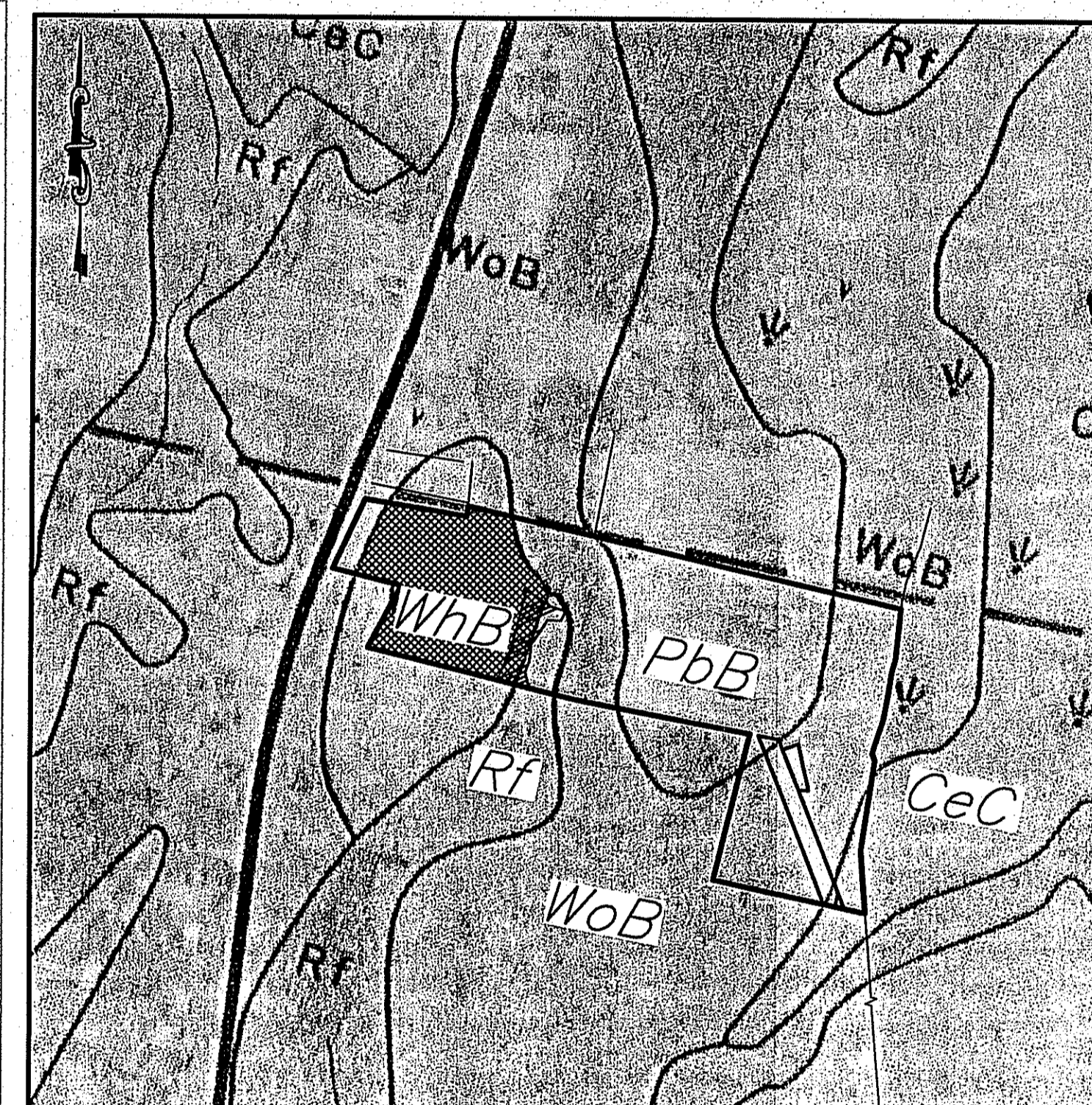
LEGEND:
15 to 25% SLOPE
OVER 25% SLOPE



SITE CONTEXT MAP SCALE: 1"=400'

SOURCE: FIELD INVESTIGATION BY THE GIFFORD DESIGN GROUP, INC.
FLOOD NOTE:
"THIS AREA LIES WITHIN ZONE 'X' OF THE NATIONAL FLOOD INSURANCE RATE MAPS - AREA OUTSIDE OF THE 500 YEAR FLOOD PLAIN, TOWN OF SMITHFIELD, RHODE ISLAND, PROVIDENCE COUNTY COMMUNITY PANEL NUMBER 440025-0002 B, DATED 3/4/1991.

LEGEND:
AGRICULTURAL LAND
FOREST LAND
WETLAND
OPEN SPACE & RECREATION AREAS



EXISTING RESOURCES AND SITE ANALYSIS: SOILS SCALE: 1" = 400'

SOURCE: RHODE ISLAND SOIL SURVEY and ArcGIS HTML Viewer Map - RIDEM 2005
LEGEND:
HYDRIC SOILS
IMPORTANT FARM SOIL
PbB - Paxton very stony fine sandy loam, 0 to 8 percent slopes
Rf - Ridgebury, Whitman and Leicester extremely stony fine sandy loam
WhB - Woodbridge fine sandy loam, 3 to 8 percent slopes
WoB - Woodbridge very stony fine sandy loam, 0 to 8 percent slopes
CeC - Carlton and Charlton fine sandy loams, very rocky, 3 to 15 percent slopes.

TABLE OF CONTENTS:

SHEET	DESCRIPTION	REVISED
1	COVER SHEET	2/17/2012
2	EXISTING CONDITIONS PLAN	2/17/2012
3	SUBDIVISION PLAN	2/17/2012
4	SITE LAYOUT PLAN	2/17/2012
5	GRADING, DRAINAGE, AND UTILITIES PLAN	2/17/2012
6	ROADWAY VERTICAL ALIGNMENT	2/17/2012
7	SOIL & EROSION CONTROL DETAILS AND GENERAL NOTES	2/17/2012
8	PROJECT DETAILS 1	2/17/2012
9	PROJECT DETAILS 2	2/17/2012

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 9 2012 FILE # 11-D166
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

PREPARED FOR:
PROVIDENCE PIKE INVESTMENTS, G.P.

PREPARED BY:



250 CENTERVILLE ROAD, BUILDING E12, WARWICK, RHODE ISLAND 02888, P. (401) 921-3344 F. (401) 921-3303

AUGUST, 2011
(rev. FEBRUARY 17, 2012)

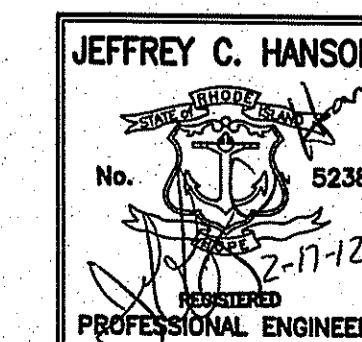


MOWRY FARMS
A.P. 49, LOT 60
BRANCH PIKE
SMITHFIELD, RHODE ISLAND

REFERENCES:
1. AERIAL PHOTOGRAPH PROVIDED BY RHODE ISLAND GEOGRAPHIC INFORMATION SYSTEMS (RIGIS).
2. U.S.G.S. MAP QUADRANGLE GEORGEVILLE, RI.

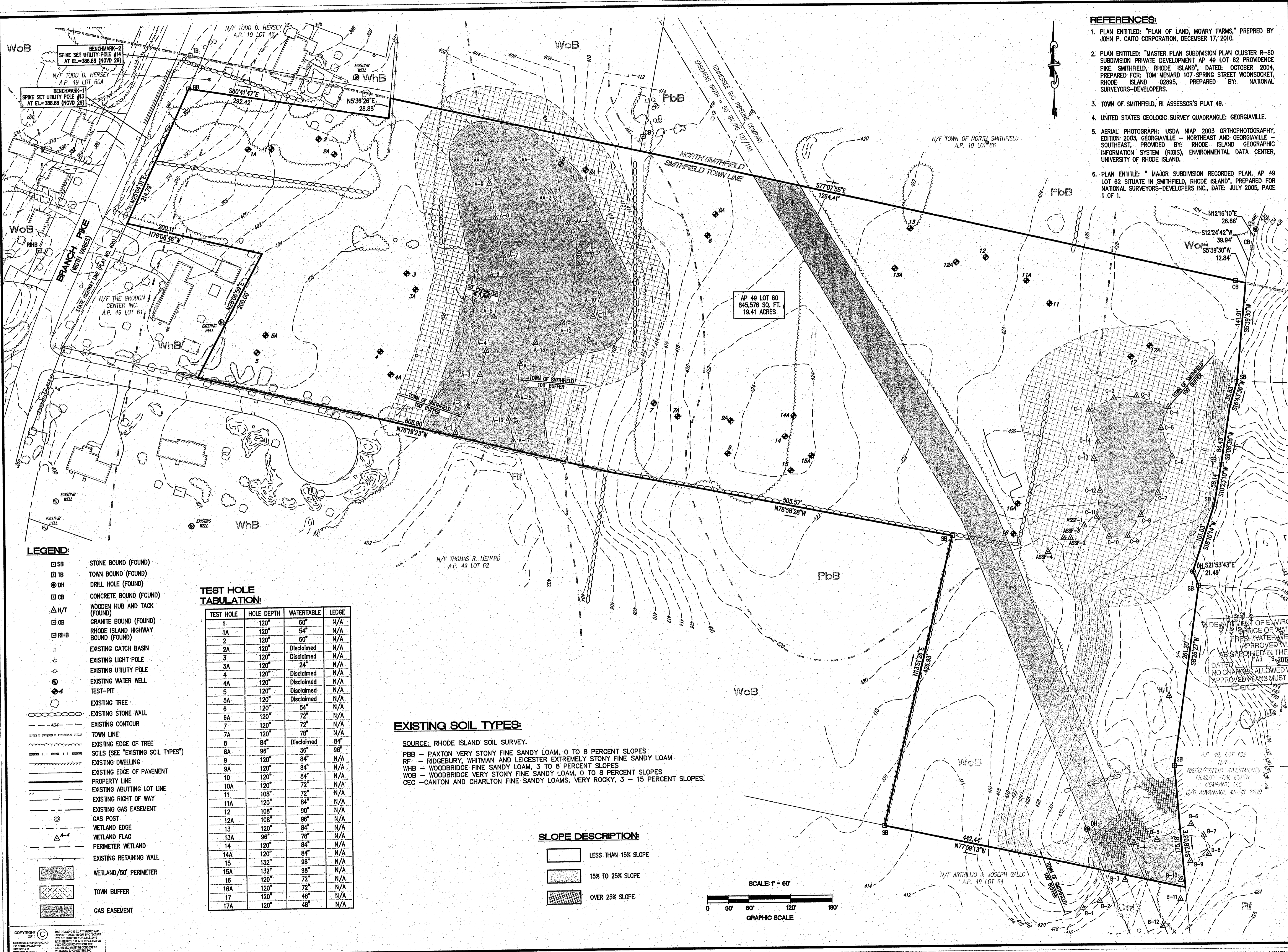
COPYRIGHT 2011
MILLSTONE ENGINEERING, P.C.
ALL RIGHTS RESERVED.

OWNER/APPLICANT:
PROVIDENCE PIKE INVESTMENT, G.P.
73 PUTNAM PIKE
GREENVILLE, RI 02828



Drawn By: R.J.B.
Checked By: J.C.H.
Sheet

1
of 9
FILE NO.: 11.18.22



- REFERENCES:**
1. PLAN ENTITLED: "PLAN OF LAND, MOWRY FARMS," PREPARED BY JOHN P. CAITO CORPORATION, DECEMBER 17, 2010.
 2. PLAN ENTITLED: "MASTER PLAN SUBDIVISION PLAN CLUSTER R-80 SUBDIVISION PRIVATE DEVELOPMENT AP 49 LOT 62 PROVIDENCE PIKE SMITHFIELD, RHODE ISLAND", DATED: OCTOBER 2004, PREPARED FOR: TOM MENARD 107 SPRING STREET WOONSOCKET, RHODE ISLAND 02895, PREPARED BY: NATIONAL SURVEYORS-DEVELOPERS.
 3. TOWN OF SMITHFIELD, RI ASSESSOR'S PLAT 49.
 4. UNITED STATES GEOLOGIC SURVEY QUADRANGLE: GEORGIAVILLE.
 5. AERIAL PHOTOGRAPH: USDA NIAP 2003 ORTHOPHOTOGRAPHY, EDITION 2003, GEORGIAVILLE - NORTHEAST AND GEORGIAVILLE - SOUTHEAST, PROVIDED BY: RHODE ISLAND GEOGRAPHIC INFORMATION SYSTEM (RIGIS), ENVIRONMENTAL DATA CENTER, UNIVERSITY OF RHODE ISLAND.
 6. PLAN ENTITLED: "MAJOR SUBDIVISION RECORDED PLAN, AP 49 LOT 62 SITUATE IN SMITHFIELD, RHODE ISLAND", PREPARED FOR NATIONAL SURVEYORS-DEVELOPERS INC., DATE: JULY 2005, PAGE 1 OF 1.

NO.	DATE	REVISION
1	1/10/2012	PERFORM ADDITIONAL TEST HOLES
2	2/16/2012	MOD. WETLAND FLAGS

Environmental Management
 FEB 17 2012
 Office of Water Resources

JEFFREY C. HANSON
 No. 5238
 REG. PROFESSIONAL ENGINEER

ILLSTONE ENGINEERING, P.C.
 CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND PLANNING
 280 CENTERVILLE ROAD, BUILDING 612, WARWICK, RHODE ISLAND 02886, P. (401) 861-3344 F. (401) 861-3303

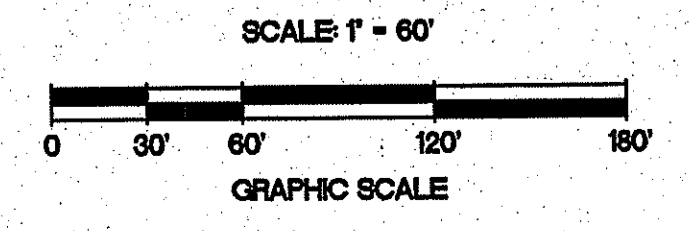
- LEGEND:**
- SB STONE BOUND (FOUND)
 - TB TOWN BOUND (FOUND)
 - DH DRILL HOLE (FOUND)
 - CB CONCRETE BOUND (FOUND)
 - H/T WOODEN HUB AND TACK (FOUND)
 - GB GRANITE BOUND (FOUND)
 - RHB RHODE ISLAND HIGHWAY BOUND (FOUND)
 - EXISTING CATCH BASIN
 - EXISTING LIGHT POLE
 - EXISTING UTILITY POLE
 - EXISTING WATER WELL
 - TEST-PIT
 - EXISTING TREE
 - EXISTING STONE WALL
 - EXISTING CONTOUR
 - TOWN LINE
 - EXISTING EDGE OF TREE
 - SOILS (SEE "EXISTING SOIL TYPES")
 - EXISTING DWELLING
 - EXISTING EDGE OF PAVEMENT
 - PROPERTY LINE
 - EXISTING ABUTTING LOT LINE
 - EXISTING RIGHT OF WAY
 - EXISTING GAS EASEMENT
 - GAS POST
 - WETLAND EDGE
 - WETLAND FLAG
 - PERIMETER WETLAND
 - EXISTING RETAINING WALL
 - WETLAND/50' PERIMETER
 - TOWN BUFFER
 - GAS EASEMENT

TEST HOLE TABULATION:

TEST HOLE	HOLE DEPTH	WATERTABLE	LEDGE
1	120"	60"	N/A
1A	120"	54"	N/A
2	120"	60"	N/A
2A	120"	Disclaimed	N/A
3	120"	Disclaimed	N/A
3A	120"	24"	N/A
4	120"	Disclaimed	N/A
4A	120"	Disclaimed	N/A
5	120"	Disclaimed	N/A
5A	120"	Disclaimed	N/A
6	120"	54"	N/A
6A	120"	72"	N/A
7	120"	72"	N/A
7A	120"	78"	N/A
8	84"	Disclaimed	84"
8A	96"	36"	96"
9	120"	84"	N/A
9A	120"	84"	N/A
10	120"	84"	N/A
10A	120"	72"	N/A
11	108"	72"	N/A
11A	120"	84"	N/A
12	108"	90"	N/A
12A	108"	96"	N/A
13	120"	84"	N/A
13A	96"	78"	N/A
14	120"	84"	N/A
14A	120"	84"	N/A
15	132"	96"	N/A
15A	132"	96"	N/A
16	120"	72"	N/A
16A	120"	72"	N/A
17	120"	48"	N/A
17A	120"	48"	N/A

EXISTING SOIL TYPES:
 SOURCE: RHODE ISLAND SOIL SURVEY.
 PBB - PAXTON VERY STONY FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES
 RF - RIDGEBURY, WHITMAN AND LEICESTER EXTREMELY STONY FINE SANDY LOAM
 WHB - WOODBRIDGE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
 WOB - WOODBRIDGE VERY STONY FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES
 CEC - CANTON AND CHARLTON FINE SANDY LOAMS, VERY ROCKY, 3 - 15 PERCENT SLOPES.

- SLOPE DESCRIPTION:**
- LESS THAN 15% SLOPE
 - 15% TO 25% SLOPE
 - OVER 25% SLOPE



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 DIVISION OF WATER RESOURCES
 FRESH WATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATE: MAR 9 2012 FILE # 11-0166
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

EXISTING CONDITIONS PLAN

MOWRY FARMS

A.P. 49, LOT 60
 BRANCH PIKE
 SMITHFIELD, RI

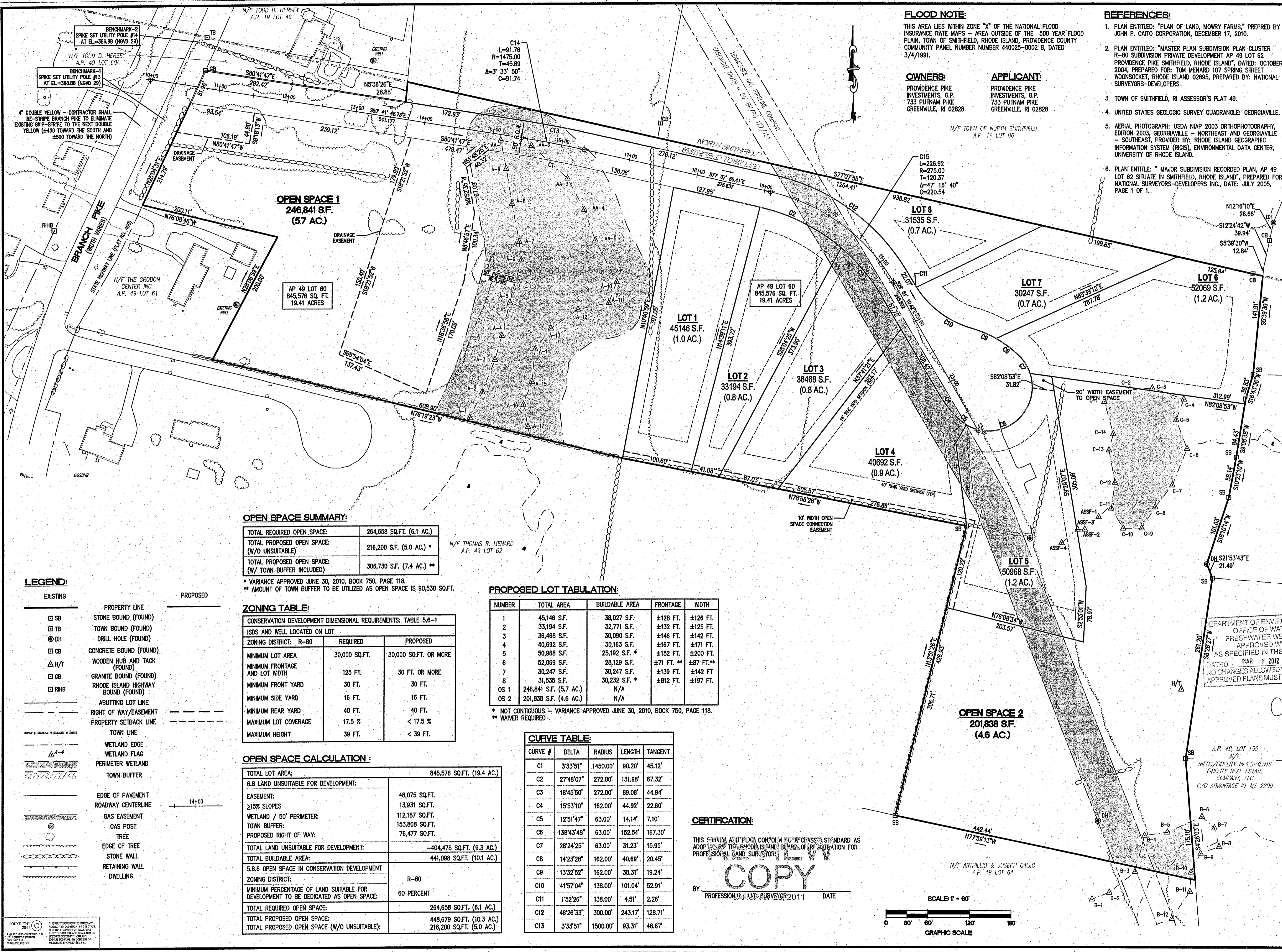
PREPARED FOR:
 PROVIDENCE PIKE INVESTMENTS, G.P.

SCALE 1"=60'
 AUGUST, 2011

Drawn By: RJB
 Checked By: JCH
 Sheet

2
 of 9

FILE NO.: 11.18.22



FLOOD NOTE:
 THIS AREA LIES WITHIN ZONE "X" OF THE NATIONAL FLOOD INSURANCE RATE MAPS - AREA OUTSIDE OF THE 500 YEAR FLOOD PLAIN, TOWN OF SMITHFIELD, RHODE ISLAND, PROVIDENCE COUNTY COMMUNITY PANEL NUMBER 440025-0002 B, DATED 3/4/1991.

OWNERS:
 PROVIDENCE PIKE INVESTMENTS, G.P.
 733 PUTNAM PIKE GREENVILLE, RI 02828

APPLICANT:
 PROVIDENCE PIKE INVESTMENTS, G.P.
 733 PUTNAM PIKE GREENVILLE, RI 02828

- REFERENCES:**
- PLAN ENTITLED: "PLAN OF LAND, MOWRY FARMS," PREPARED BY JOHN P. CAITO CORPORATION, DECEMBER 17, 2010.
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 - AERIAL PHOTOGRAPH: USDA NIAP 2003 ORTHOPHOTOGRAPHY, EDITION 2003, GEORGIAVILLE - NORTHEAST AND GEORGIAVILLE - SOUTHEAST, PROVIDED BY: RHODE ISLAND GEOGRAPHIC INFORMATION SYSTEM (RIGIS), ENVIRONMENTAL DATA CENTER, UNIVERSITY OF RHODE ISLAND.
 - PLAN ENTITLED: "MAJOR SUBDIVISION RECORDED PLAN, AP 49 LOT 62 SITUATE IN SMITHFIELD, RHODE ISLAND," PREPARED FOR NATIONAL SURVEYORS-DEVELOPERS INC., DATE: JULY 2005, PAGE 1 OF 1.

NO.	DATE	REVISION
1	1/29/2012	LAYOUT MODIFICATION
2	2/29/2012	MOD. WETLAND FLAGS

Environmental Management
 FEB 17 2012
 Office of Water Resources

ILLSTONE ENGINEERING, P.C.
 CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND PLANNING
 250 CENTERVILLE ROAD, BUILDING 612, WARWICK, RHODE ISLAND 02886. P. (401) 921-5344 F. (401) 921-5333

OPEN SPACE 1
 246,841 S.F.
 (5.7 AC.)

AP 49 LOT 60
 845,576 SQ. FT.
 19.41 ACRES

LOT 1
 45146 S.F.
 (1.0 AC.)

LOT 2
 33194 S.F.
 (0.8 AC.)

LOT 3
 36468 S.F.
 (0.8 AC.)

LOT 4
 40692 S.F.
 (0.9 AC.)

LOT 7
 30247 S.F.
 (0.7 AC.)

LOT 6
 52069 S.F.
 (1.2 AC.)

LOT 5
 50968 S.F.
 (1.2 AC.)

OPEN SPACE 2
 201,838 S.F.
 (4.6 AC.)

OPEN SPACE SUMMARY:

TOTAL REQUIRED OPEN SPACE:	264,658 SQ.FT. (6.1 AC.)
TOTAL PROPOSED OPEN SPACE (W/O UNSUITABLE):	216,200 S.F. (5.0 AC.) *
TOTAL PROPOSED OPEN SPACE (W/ TOWN BUFFER INCLUDED):	306,730 S.F. (7.4 AC.) **

* VARIANCE APPROVED JUNE 30, 2010, BOOK 750, PAGE 118.
 ** AMOUNT OF TOWN BUFFER TO BE UTILIZED AS OPEN SPACE IS 90,530 SQ.FT.

PROPOSED LOT TABULATION:

NUMBER	TOTAL AREA	BUILDABLE AREA	FRONTAGE	WIDTH
1	45,146 S.F.	38,027 S.F.	±128 FT.	±126 FT.
2	33,194 S.F.	32,771 S.F.	±132 FT.	±125 FT.
3	36,468 S.F.	30,090 S.F.	±146 FT.	±142 FT.
4	40,692 S.F.	30,163 S.F.	±167 FT.	±171 FT.
5	50,968 S.F.	25,192 S.F. *	±152 FT.	±200 FT.
6	52,069 S.F.	28,129 S.F.	±71 FT. **	±87 FT.**
7	30,247 S.F.	30,247 S.F.	±139 FT.	±142 FT.
8	31,535 S.F.	30,232 S.F. *	±812 FT.	±197 FT.
OS 1	246,841 S.F. (5.7 AC.)	N/A		
OS 2	201,838 S.F. (4.6 AC.)	N/A		

* NOT CONTIGUOUS - VARIANCE APPROVED JUNE 30, 2010, BOOK 750, PAGE 118.
 ** WAIVER REQUIRED

CURVE TABLE:

CURVE #	DELTA	RADIUS	LENGTH	TANGENT
C1	3°33'51"	1450.00'	90.20'	45.12'
C2	27°48'07"	272.00'	131.98'	67.32'
C3	18°45'50"	272.00'	89.08'	44.94'
C4	15°53'10"	162.00'	44.92'	22.60'
C5	12°51'47"	63.00'	14.14'	7.10'
C6	138°43'48"	63.00'	152.54'	167.30'
C7	28°24'25"	63.00'	31.23'	15.95'
C8	14°23'28"	162.00'	40.69'	20.45'
C9	13°32'52"	162.00'	38.31'	19.24'
C10	41°57'04"	138.00'	101.04'	52.91'
C11	1°52'26"	138.00'	4.51'	2.26'
C12	46°26'33"	300.00'	243.17'	128.71'
C13	3°33'51"	1500.00'	93.31'	46.67'

ZONING TABLE:

CONSERVATION DEVELOPMENT DIMENSIONAL REQUIREMENTS: TABLE 5.6-1
 ISDS AND WELL LOCATED ON LOT

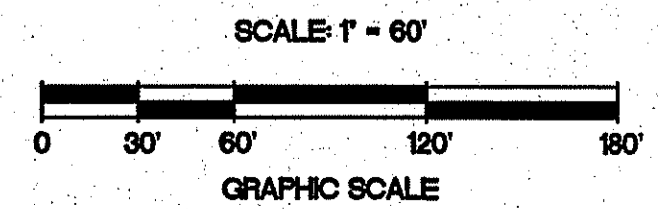
ZONING DISTRICT:	REQUIRED	PROPOSED
MINIMUM LOT AREA	30,000 SQ.FT.	30,000 SQ.FT. OR MORE
MINIMUM FRONTAGE AND LOT WIDTH	125 FT.	30 FT. OR MORE
MINIMUM FRONT YARD	30 FT.	30 FT.
MINIMUM SIDE YARD	16 FT.	16 FT.
MINIMUM REAR YARD	40 FT.	40 FT.
MAXIMUM LOT COVERAGE	17.5 %	< 17.5 %
MAXIMUM HEIGHT	39 FT.	< 39 FT.

OPEN SPACE CALCULATION:

TOTAL LOT AREA:	845,576 SQ.FT. (19.4 AC.)
6.8 LAND UNSUITABLE FOR DEVELOPMENT:	
EASEMENT:	48,075 SQ.FT.
>15% SLOPES:	13,931 SQ.FT.
WETLAND / 50' PERIMETER:	112,187 SQ.FT.
TOWN BUFFER:	153,808 SQ.FT.
PROPOSED RIGHT OF WAY:	76,477 SQ.FT.
TOTAL LAND UNSUITABLE FOR DEVELOPMENT:	404,478 SQ.FT. (9.3 AC.)
TOTAL BUILDABLE AREA:	441,098 SQ.FT. (10.1 AC.)
5.6.6 OPEN SPACE IN CONSERVATION DEVELOPMENT	
ZONING DISTRICT:	R-80
MINIMUM PERCENTAGE OF LAND SUITABLE FOR DEVELOPMENT TO BE DEDICATED AS OPEN SPACE:	60 PERCENT
TOTAL REQUIRED OPEN SPACE:	264,658 SQ.FT. (6.1 AC.)
TOTAL PROPOSED OPEN SPACE:	448,679 SQ.FT. (10.3 AC.)
TOTAL PROPOSED OPEN SPACE (W/O UNSUITABLE):	216,200 SQ.FT. (5.0 AC.)

- LEGEND:**
- | | |
|----------|------------------------------------|
| EXISTING | PROPOSED |
| SB | PROPERTY LINE |
| TB | STONE BOUND (FOUND) |
| DH | TOWN BOUND (FOUND) |
| CB | DRILL HOLE (FOUND) |
| H/T | CONCRETE BOUND (FOUND) |
| GB | WOODEN HUB AND TACK (FOUND) |
| RHB | GRANITE BOUND (FOUND) |
| | RHODE ISLAND HIGHWAY BOUND (FOUND) |
| | ABUTTING LOT LINE |
| | RIGHT OF WAY/EASEMENT |
| | PROPERTY SETBACK LINE |
| | TOWN LINE |
| | WETLAND EDGE |
| | WETLAND FLAG |
| | PERIMETER WETLAND |
| | TOWN BUFFER |
| | EDGE OF PAVEMENT |
| | ROADWAY CENTERLINE |
| | GAS EASEMENT |
| | GAS POST |
| | TREE |
| | EDGE OF TREE |
| | STONE WALL |
| | RETAINING WALL |
| | DWELLING |

CERTIFICATION:
 THIS CURVE AND PLAN CONFORM TO A CLASS STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.
 BY: [Signature] DATE: [Date]
 PROFESSIONAL LAND SURVEYOR 2011



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: MAR 9 2012 FILE # 11-0166
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE CONSTRUCTED AS SHOWN

SUBDIVISION PLAN

MOWRY FARMS

A.P. 49, LOT 60
 BRANCH PIKE
 SMITHFIELD, RI

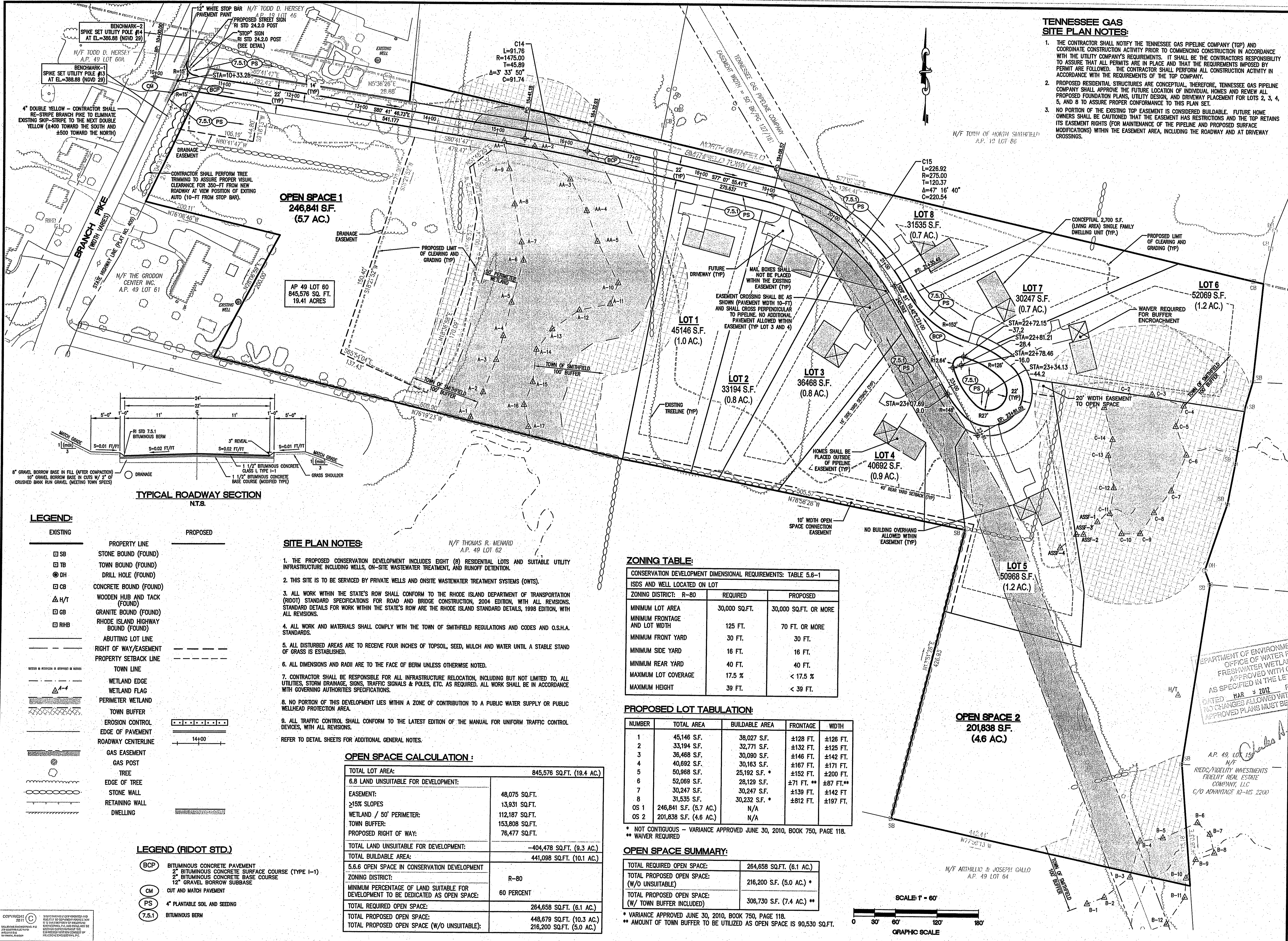
PREPARED FOR:
PROVIDENCE PIKE INVESTMENTS, G.P.

SCALE 1"=60'
 AUGUST, 2011

Drawn By: RJB
 Checked By: JCH
 Sheet

3
 of 9

FILE NO: 11.18.22



TENNESSEE GAS PIPELINE NOTES:

1. THE CONTRACTOR SHALL NOTIFY THE TENNESSEE GAS PIPELINE COMPANY (TGP) AND COORDINATE CONSTRUCTION ACTIVITY PRIOR TO COMMENCING CONSTRUCTION IN ACCORDANCE WITH THE UTILITY COMPANY'S REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL PERMITS ARE IN PLACE AND THAT THE REQUIREMENTS IMPOSED BY PERMIT ARE FOLLOWED. THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE REQUIREMENTS OF THE TGP COMPANY.
2. PROPOSED RESIDENTIAL STRUCTURES ARE CONCEPTUAL. THEREFORE, TENNESSEE GAS PIPELINE COMPANY SHALL APPROVE THE FUTURE LOCATION OF INDIVIDUAL HOMES AND REVIEW ALL PROPOSED FOUNDATION PLANS, UTILITY DESIGN, AND DRIVEWAY PLACEMENT FOR LOTS 2, 3, 4, 5, AND 8 TO ASSURE PROPER CONFORMANCE TO THIS PLAN SET.
3. NO PORTION OF THE EXISTING TOP EASEMENT IS CONSIDERED BUILDABLE. FUTURE HOME OWNERS SHALL BE CAUTIONED THAT THE EASEMENT HAS RESTRICTIONS AND THE TOP RESTAINS ITS EASEMENT RIGHTS (FOR MAINTENANCE OF THE PIPELINE AND PROPOSED SURFACE MODIFICATIONS) WITHIN THE EASEMENT AREA, INCLUDING THE ROADWAY AND AT DRIVEWAY CROSSINGS.

NO.	DATE	REVISION
1	1/11/2012	LAYOUT MODIFICATION
2	2/16/2012	MOD. WETLAND FLAGS

Environmental Management
FEB 17 2012
Office of Water Resources
JEFFREY C. HANSON
No. 5238
2-17-12
REGISTERED PROFESSIONAL ENGINEER

ILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND PLANNING
290 CENTERVILLE ROAD, BUILDING 612, WARWICK, RHODE ISLAND 02886, P. (401) 921-3344, F. (401) 921-3303

SITE LAYOUT PLAN
MOWRY FARMS
A.P. 49, LOT 60
BRANCH PIKE
SMITHFIELD, RI
PREPARED FOR:
PROVIDENCE PIKE INVESTMENTS, G.P.
SCALE 1"=60'
AUGUST, 2011

Drawn By: RJB
Checked By: JCH
Sheet
4
of 9
FILE NO.: 11.18.22

OPEN SPACE 1
246,841 S.F.
(5.7 AC.)

AP 49 LOT 60
845,576 SQ. FT.
19.41 ACRES

ZONING TABLE:
CONSERVATION DEVELOPMENT DIMENSIONAL REQUIREMENTS: TABLE 5.6-1
ISDS AND WELL LOCATED ON LOT

ZONING DISTRICT: R-80	REQUIRED	PROPOSED
MINIMUM LOT AREA	30,000 SQ.FT.	30,000 SQ.FT. OR MORE
MINIMUM FRONTAGE AND LOT WIDTH	125 FT.	70 FT. OR MORE
MINIMUM FRONT YARD	30 FT.	30 FT.
MINIMUM SIDE YARD	16 FT.	16 FT.
MINIMUM REAR YARD	40 FT.	40 FT.
MAXIMUM LOT COVERAGE	17.5 %	< 17.5 %
MAXIMUM HEIGHT	39 FT.	< 39 FT.

PROPOSED LOT TABULATION:

NUMBER	TOTAL AREA	BUILDABLE AREA	FRONTAGE	WIDTH
1	45,146 S.F.	38,027 S.F.	±128 FT.	±126 FT.
2	33,194 S.F.	32,771 S.F.	±132 FT.	±125 FT.
3	36,468 S.F.	30,090 S.F.	±146 FT.	±142 FT.
4	40,692 S.F.	30,163 S.F.	±167 FT.	±171 FT.
5	50,968 S.F.	25,192 S.F. *	±152 FT.	±200 FT.
6	52,069 S.F.	28,129 S.F.	±71 FT. **	±87 FT.**
7	30,247 S.F.	30,247 S.F.	±139 FT.	±142 FT.
8	31,535 S.F.	30,232 S.F. *	±812 FT.	±197 FT.
OS 1	246,841 S.F. (5.7 AC.)	N/A		
OS 2	201,838 S.F. (4.6 AC.)	N/A		

* NOT CONTIGUOUS - VARIANCE APPROVED JUNE 30, 2010, BOOK 750, PAGE 118.
** WAIVER REQUIRED

OPEN SPACE SUMMARY:

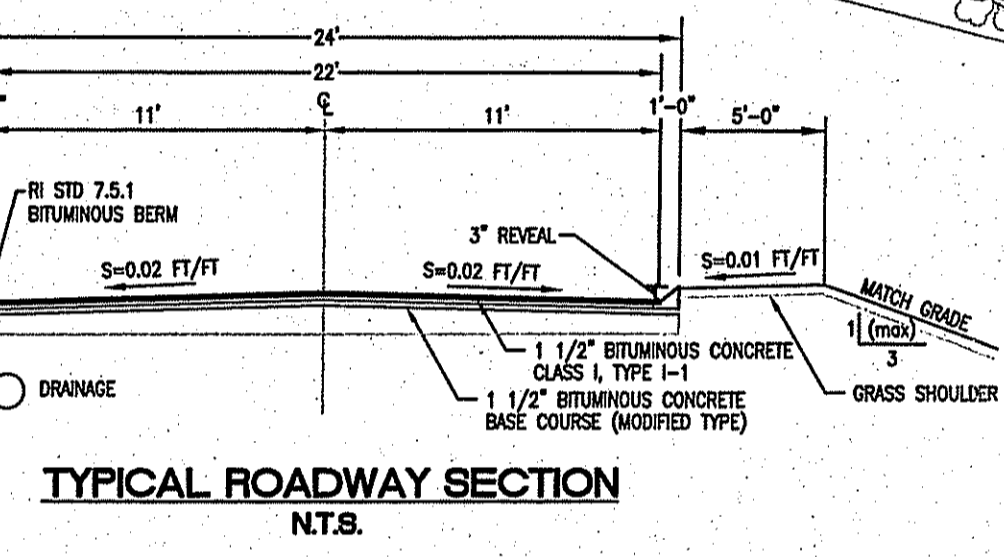
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TOTAL PROPOSED OPEN SPACE (W/O UNSUITABLE):	216,200 S.F. (5.0 AC.) *
TOTAL PROPOSED OPEN SPACE (W/ TOWN BUFFER INCLUDED):	306,730 S.F. (7.4 AC.) **

* VARIANCE APPROVED JUNE 30, 2010, BOOK 750, PAGE 118.
** AMOUNT OF TOWN BUFFER TO BE UTILIZED AS OPEN SPACE IS 90,530 SQ.FT.

- SITE PLAN NOTES:**
1. THE PROPOSED CONSERVATION DEVELOPMENT INCLUDES EIGHT (8) RESIDENTIAL LOTS AND SUITABLE UTILITY INFRASTRUCTURE INCLUDING WELLS, ON-SITE WASTEWATER TREATMENT, AND RUNOFF DETENTION.
 2. THIS SITE IS TO BE SERVICED BY PRIVATE WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS (OWTS).
 3. ALL WORK WITHIN THE STATE'S ROW SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, WITH ALL REVISIONS. STANDARD DETAILS FOR WORK WITHIN THE STATE'S ROW ARE THE RHODE ISLAND STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
 4. ALL WORK AND MATERIALS SHALL COMPLY WITH THE TOWN OF SMITHFIELD REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 5. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A STABLE STAND OF GRASS IS ESTABLISHED.
 6. ALL DIMENSIONS AND RADII ARE TO THE FACE OF BERM UNLESS OTHERWISE NOTED.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INFRASTRUCTURE RELOCATION, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS.
 8. NO PORTION OF THIS DEVELOPMENT LIES WITHIN A ZONE OF CONTRIBUTION TO A PUBLIC WATER SUPPLY OR PUBLIC WELLHEAD PROTECTION AREA.
 9. ALL TRAFFIC CONTROL SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, WITH ALL REVISIONS.
- REFER TO DETAIL SHEETS FOR ADDITIONAL GENERAL NOTES.

OPEN SPACE CALCULATION:

TOTAL LOT AREA:	845,576 SQ.FT. (19.4 AC.)
6.8 LAND UNSUITABLE FOR DEVELOPMENT:	
EASEMENT:	48,075 SQ.FT.
>15% SLOPES:	13,931 SQ.FT.
WETLAND / 50' PERIMETER:	112,187 SQ.FT.
TOWN BUFFER:	153,808 SQ.FT.
PROPOSED RIGHT OF WAY:	76,477 SQ.FT.
TOTAL LAND UNSUITABLE FOR DEVELOPMENT:	-404,478 SQ.FT. (9.3 AC.)
TOTAL BUILDABLE AREA:	441,098 SQ.FT. (10.1 AC.)
5.6.6 OPEN SPACE IN CONSERVATION DEVELOPMENT	
ZONING DISTRICT:	R-80
MINIMUM PERCENTAGE OF LAND SUITABLE FOR DEVELOPMENT TO BE DEDICATED AS OPEN SPACE:	60 PERCENT
TOTAL REQUIRED OPEN SPACE:	264,658 SQ.FT. (6.1 AC.)
TOTAL PROPOSED OPEN SPACE:	448,679 SQ.FT. (10.3 AC.)
TOTAL PROPOSED OPEN SPACE (W/O UNSUITABLE):	216,200 SQ.FT. (5.0 AC.)



- LEGEND:**
- | EXISTING | PROPOSED |
|----------|------------------------------------|
| SB | STONE BOUND (FOUND) |
| TB | TOWN BOUND (FOUND) |
| DH | DRILL HOLE (FOUND) |
| CB | CONCRETE BOUND (FOUND) |
| H/T | WOODEN HUB AND TACK (FOUND) |
| GB | GRANITE BOUND (FOUND) |
| RHB | RHODE ISLAND HIGHWAY BOUND (FOUND) |
| --- | ABUTTING LOT LINE |
| --- | RIGHT OF WAY/EASEMENT |
| --- | PROPERTY SETBACK LINE |
| --- | TOWN LINE |
| --- | WETLAND EDGE |
| --- | WETLAND FLAG |
| --- | PERIMETER WETLAND |
| --- | TOWN BUFFER |
| --- | EROSION CONTROL |
| --- | EDGE OF PAVEMENT |
| --- | ROADWAY CENTERLINE |
| --- | GAS EASEMENT |
| --- | GAS POST |
| --- | TREE |
| --- | EDGE OF TREE |
| --- | STONE WALL |
| --- | RETAINING WALL |
| --- | DWELLING |

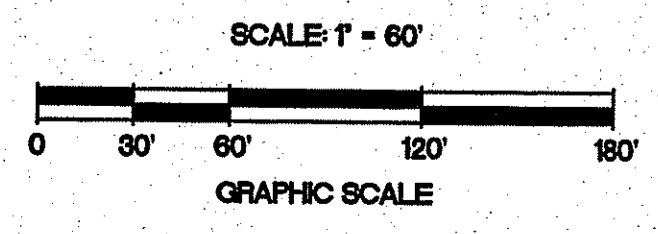
- LEGEND (RIDOT STD.)**
- BCP BITUMINOUS CONCRETE PAVEMENT
 - 2" BITUMINOUS CONCRETE SURFACE COURSE (TYPE I-1)
 - 2" BITUMINOUS CONCRETE BASE COURSE
 - 12" GRAVEL BORROW SUBBASE
 - CM CUT AND MATCH PAVEMENT
 - PS 4" PLANTABLE SOIL AND SEEDING
 - 7.5.1 BITUMINOUS BERM

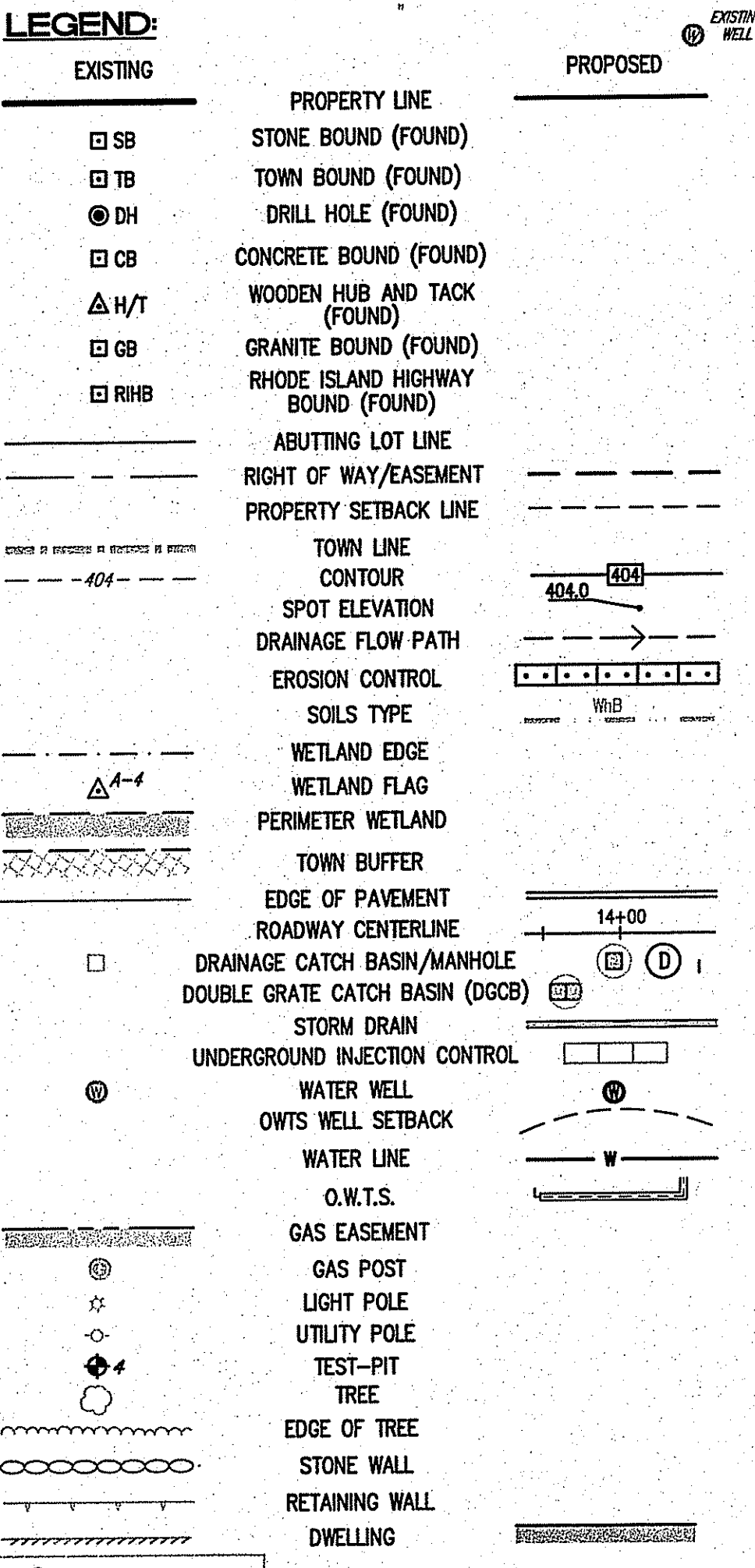
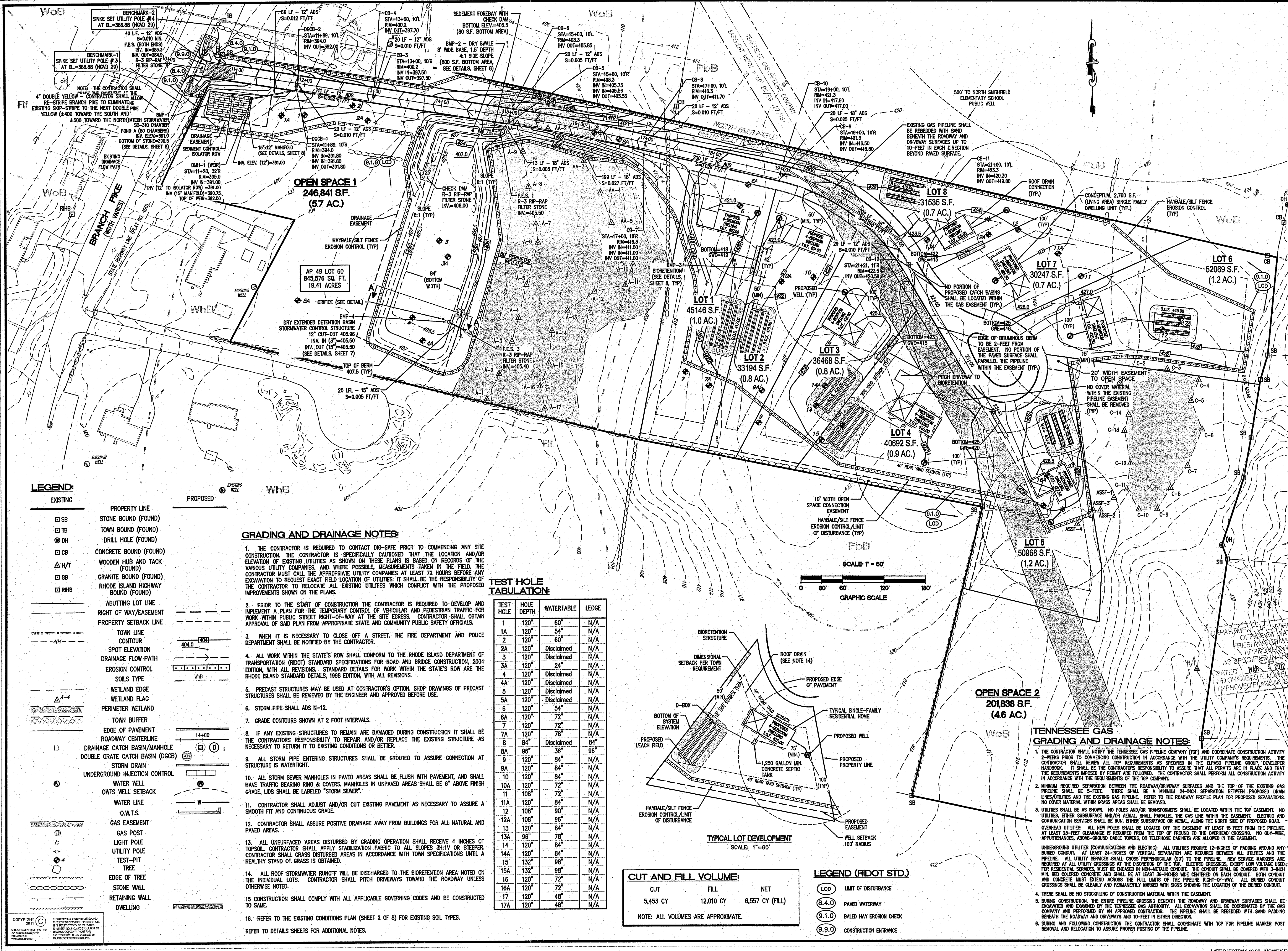
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ILLSTONE ENGINEERING, P.C.
11111 WASHINGTON AVENUE, SUITE 100
SMITHFIELD, RI 02876
TEL: (401) 921-3344
FAX: (401) 921-3303
WWW.ILLSTONEENGINEERING.COM

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
CONDITIONS OF APPROVAL
AS SPECIFIED IN THE LETTER DATED
MAY 11, 2012
NO CHANGES ALLOWED WITHOUT APPROVAL
APPROVED PLANS MUST BE SUBMITTED TO THE CONSTRUCTION OFFICE

A.P. 49, LOT 150
N/F
RIED/INVESTMENTS
FINELITY REAL ESTATE
COMPANY, LLC
C/O ADVANTAGE II-115 2200

N/F ARTHUR D. & JOSEPH J. GALLO
A.P. 49 LOT 64





GRADING AND DRAINAGE NOTES:

- THE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE PRIOR TO COMMENCING ANY SITE CONSTRUCTION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
- WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
- ALL WORK WITHIN THE STATE'S ROW SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, WITH ALL REVISIONS. STANDARD DETAILS FOR WORK WITHIN THE STATE'S ROW ARE THE RHODE ISLAND STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
- STORM PIPE SHALL ADS N-12.
- GRADE CONTOURS SHOWN AT 2 FOOT INTERVALS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER-TIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH TOWN SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL ROOF STORMWATER RUNOFF WILL BE DISCHARGED TO THE BIORETENTION AREA NOTED ON THE INDIVIDUAL LOTS. CONTRACTOR SHALL PITCH DRIVEWAYS TOWARD THE ROADWAY UNLESS OTHERWISE NOTED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- REFER TO THE EXISTING CONDITIONS PLAN (SHEET 2 OF 8) FOR EXISTING SOIL TYPES.
- REFER TO DETAILS SHEETS FOR ADDITIONAL NOTES.

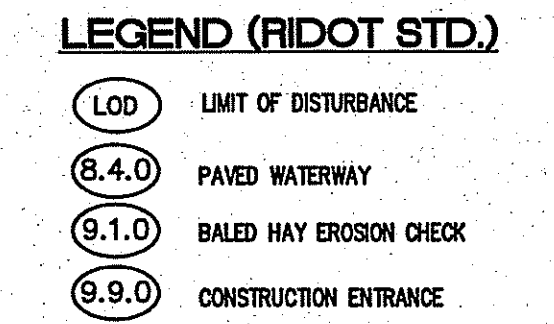
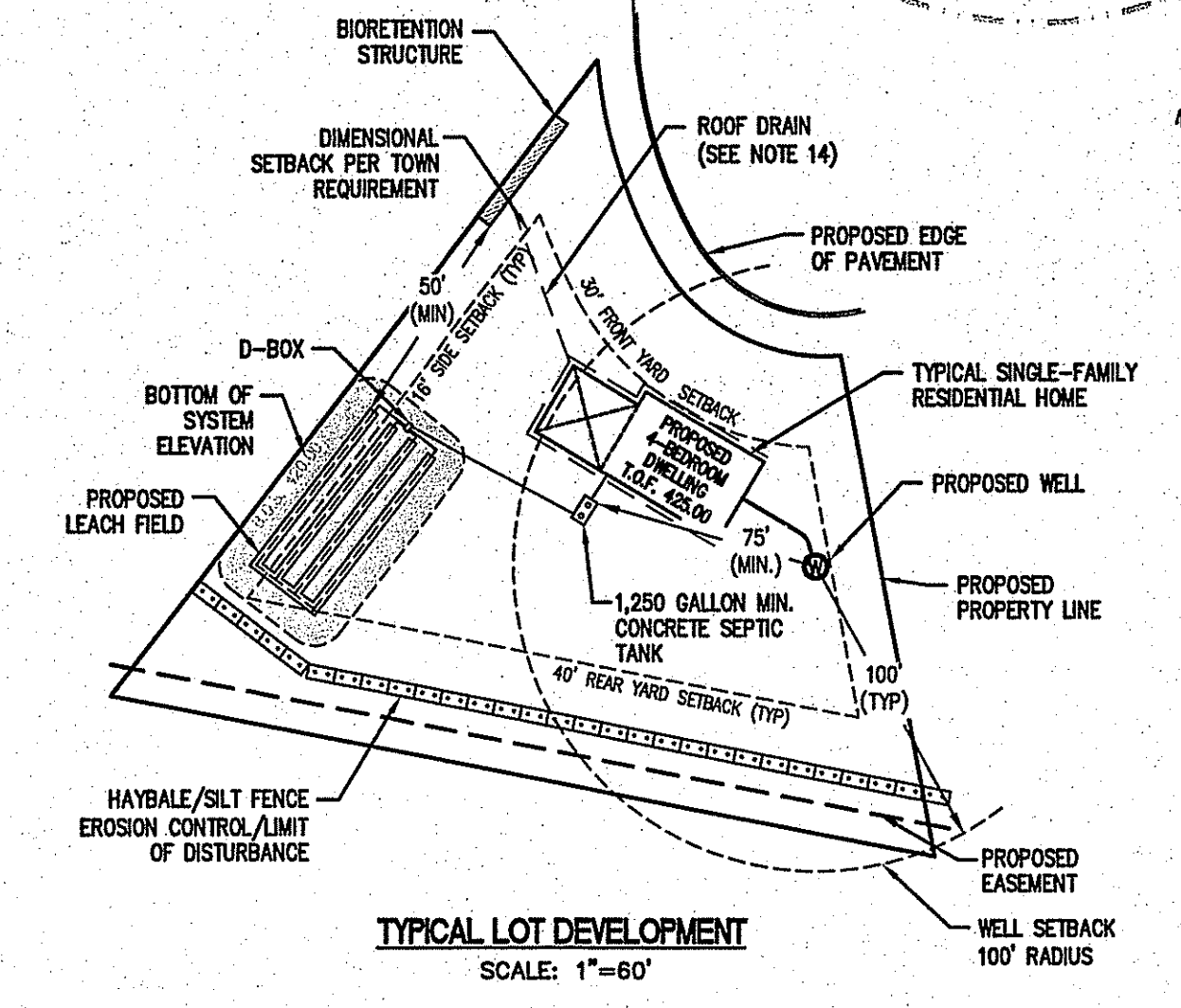
TEST HOLE TABULATION:

TEST HOLE	HOLE DEPTH	WATERTABLE	LEDGE
1	120"	60"	N/A
1A	120"	54"	N/A
2	120"	60"	N/A
2A	120"	Disclaimed	N/A
3	120"	Disclaimed	N/A
3A	120"	24"	N/A
4	120"	Disclaimed	N/A
4A	120"	Disclaimed	N/A
5	120"	Disclaimed	N/A
5A	120"	Disclaimed	N/A
6	120"	54"	N/A
6A	120"	72"	N/A
7	120"	72"	N/A
7A	120"	78"	N/A
8	84"	Disclaimed	84"
8A	96"	36"	96"
9	120"	84"	N/A
9A	120"	84"	N/A
10	120"	84"	N/A
10A	120"	72"	N/A
11	108"	72"	N/A
11A	120"	84"	N/A
12	108"	90"	N/A
12A	108"	96"	N/A
13	120"	84"	N/A
13A	96"	78"	N/A
14	120"	84"	N/A
14A	120"	84"	N/A
15	132"	96"	N/A
15A	132"	96"	N/A
16	120"	72"	N/A
16A	120"	72"	N/A
17	120"	48"	N/A
17A	120"	48"	N/A

CUT AND FILL VOLUME:

CUT	FILL	NET
5,453 CY	12,010 CY	6,557 CY (FILL)

NOTE: ALL VOLUMES ARE APPROXIMATE.



NO.	DATE	REVISION
1	1/20/2012	LAYOUT MODIFICATION
2	2/17/2012	MODIFY WETLAND EDGE

Environmental Management
FEB 17 2012
Office of Water Resources

JEFFREY C. HANSON
No. 5238
2-17-12
REGISTERED PROFESSIONAL ENGINEER

ILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND PLANNING
280 CENTERVILLE ROAD, BUILDING 612, WARWICK, RHODE ISLAND 02886, P. (401) 861-3344 F. (401) 861-3303

GRADING, DRAINAGE, AND UTILITIES PLAN

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER DIVISION
APPROVED FOR THE MASTER OF APPROVAL
FILE # 11-0166
DATE: MAR 9 2012
NO CHANGES TO ORIGINAL APPROVED PLANS MUST BE MADE WITHOUT PRIOR APPROVAL AT CONSTRUCTION SITE

A.P. 49, LOT 60
BRANCH PIKE
SMITHFIELD, RI

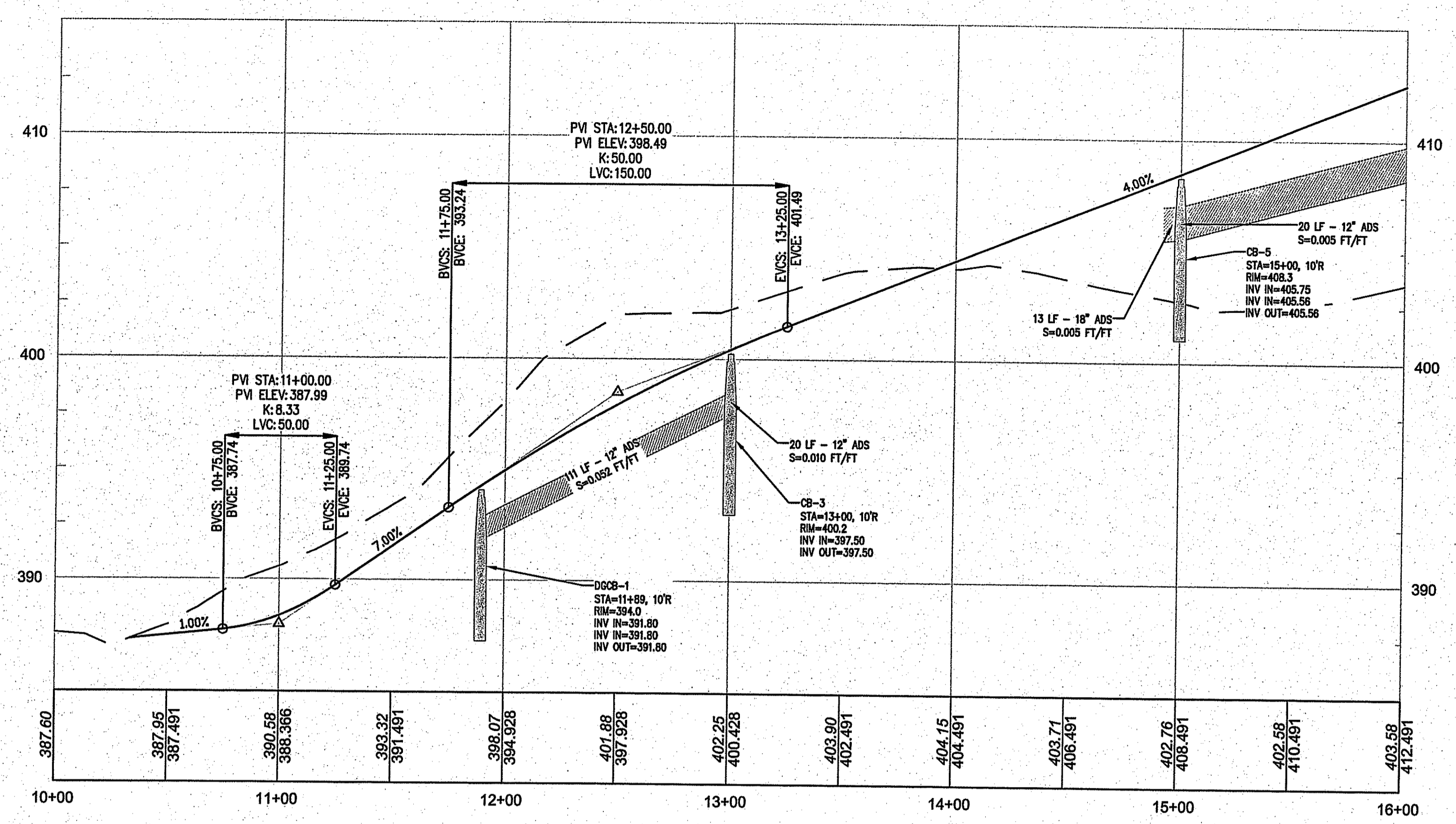
PREPARED FOR:
PROVIDENCE PIKE INVESTMENTS, G.P.

SCALE 1"=60'
AUGUST, 2011

Drawn By: RJB
Checked By: JCH
Sheet 5 of 9

FILE NO: 11.18.22

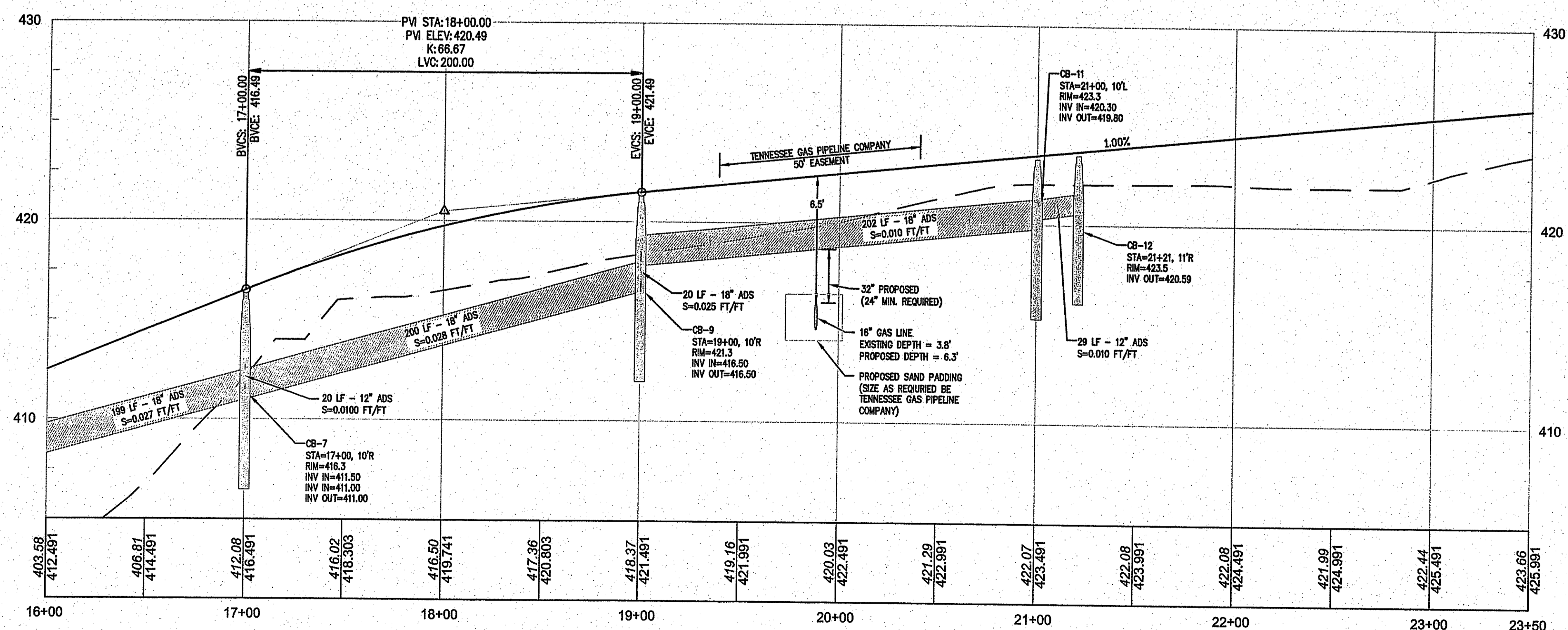
NO.	DATE	REVISION
1	1/24/2012	LAYOUT MODIFICATION
2	3/17/2012	MODIFY DRAINAGE



PROFILE
STATION 10+00.00 - 16+00.00

0 40 80 120 Horizontal 1"=40'

0 4 8 12 Vertical 1"=4'



PROFILE
STATION 16+00.00 - 23+26

0 40 80 120 Horizontal 1"=40'

0 4 8 12 Vertical 1"=4'

Environmental Management
FEB 17 2012
Office of Water Resources

JEFFREY C. HANSON
No. 5238
2-17-12
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ROADWAY VERTICAL ALIGNMENT

MOWRY FARMS

A.P. 49, LOT 60
BRANCH PIKE
SMITHFIELD, RI

PREPARED FOR:
PROVIDENCE PIKE INVESTMENTS, G.P.

SCALE AS SHOWN
AUGUST, 2011

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 9 2012 FILE # 11-016
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles W. Hester

Drawn By: RJB
Checked By: JCH
Sheet

6
of 9

FILE NO: 11.18.22

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STORMWATER MAINTENANCE SCHEDULE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL ELEMENTS OF THE STORMWATER INFRASTRUCTURE PRIOR TO AND UPON COMPLETION OF CONSTRUCTION OF THE PROJECT DRAINAGE SYSTEM. ALL CATCH BASINS AND STORM DRAIN PIPES SHALL BE CLEANED OF SEDIMENT, STORMWATER BASINS SHALL BE CLEANED OF SEDIMENT TO THE DESIGN GRADES INDICATED ON THE CONSTRUCTION DRAWINGS.

- INSPECTION OF THE BASIN AND ALL INLET AND OUTLET STRUCTURES SHALL BE PERFORMED AT LEAST ON AN ANNUAL BASIS, PREFERABLY DURING A STORM EVENT TO INSPECT FOR PROPER FUNCTIONING OF THE FACILITY.
- GRASSES MUST BE PLANTED AROUND AND WITHIN THE STORMWATER BASIN IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE THE SLOPES AND PREVENT EROSION. TREE AND SHRUBS SHALL NOT BE PLANTED ON ANY IMPROVING EXHIBITMENTS TO PREVENT POTENTIAL SUBSURFACE DISTURBANCE AND POSSIBLE FAILURE OF THE STRUCTURE.
- SEDIMENTS SHALL BE REMOVED FROM DRAINAGE STRUCTURES AND THE STORMWATER BASIN IMMEDIATELY FOLLOWING SITE STABILIZATION AND DURING THE FIRST (INITIAL) YEAR OF OPERATION.
- THE GRASSED AREAS OF THE STORMWATER BASIN SHALL BE INSPECTED AT LEAST TWICE PER YEAR TO CHECK FOR EROSION PROBLEMS. PROBLEM AREAS SHALL BE RESEEDED IMMEDIATELY TO STABILIZE EXPOSED SOILS, THEREBY PREVENTING EROSION PROBLEMS.
- SIDE SLOPES AND EXHIBITMENTS OF THE BASIN SHALL BE MOWED AT LEAST ONCE DURING THE GROWING SEASON (PREFERABLY AFTER AUGUST 15TH), TO PREVENT UNWANTED WOODY GROWTH. MOWING CAN BE MORE FREQUENT IF A MORE GROOMED APPEARANCE IS DESIRED AND THE BASIN IS NOT MANAGED FOR WILDLIFE HABITAT. ALL TRASH AND LITTER SHALL BE REMOVED FROM THE BASINS DURING MOWING OPERATIONS.
- ALL COSTS INCURRED FOR MAINTENANCE, CLEANING, AND INSPECTION ARE THE RESPONSIBILITY OF THE TOWN. DOCUMENTATION SHALL BE KEPT BY THE OWNER OF ALL MAINTENANCE ACTIVITIES.
- ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER DISPOSAL SYSTEM REQUIRES IMMEDIATE NOTIFICATION OF THE RHODE ISLAND DDM.
- ALL TRASH AND LITTER AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER FACILITY INCLUDING INLET AND OUTLET STRUCTURES. THIS MUST BE ACCOMPLISHED AT LEAST TWICE PER YEAR, PREFERABLY SPRING AND FALL.
- REPAIRS OR REPLACEMENT OF INLET/OUTLET STRUCTURES, RIP-RAP CHANNELS, FENCES, OR OTHER ELEMENTS OF THE FACILITY SHALL BE DONE WITHIN 30 DAYS OF DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT THEN REPAIR/REPLACEMENT MUST BE DONE IMMEDIATELY.
- THE CATCH BASIN HOODS MUST BE INSPECTED AND CLEANED AT LEAST TWICE YEARLY WITH ALL OIL AND SEDIMENTS REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES. IN THE CASE OF AN OIL OR BULK POLLUTANT RELEASE, THE SYSTEM (INCLUDING CATCH BASINS, SHALES, DETENTION/RETENTION STRUCTURE AND ALL COMPONENTS OF THE DRAINAGE CONVEYANCE AND STORMWATER STORAGE) MUST BE CLEANED IMMEDIATELY FOLLOWING THE SPILL.
- ROADWAY SWEEPING SHALL BE PERFORMED ON A BI-ANNUAL BASIS (SPRING/FALL).

EROSION CONTROL and SOIL STABILIZATION PROGRAM:

- DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, LITE, FIBERGLASS NETTING, EXCELSOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
- ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
- THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
- THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREFOIL	15
PERENNIAL RYEGRASS	10

APPLICATION RATE 100 LBS/ACRE
LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.

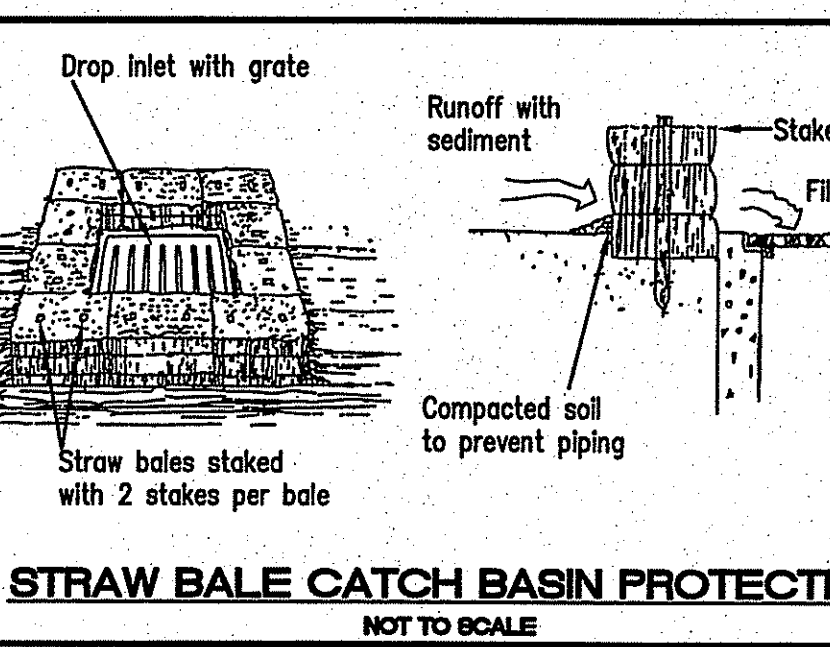
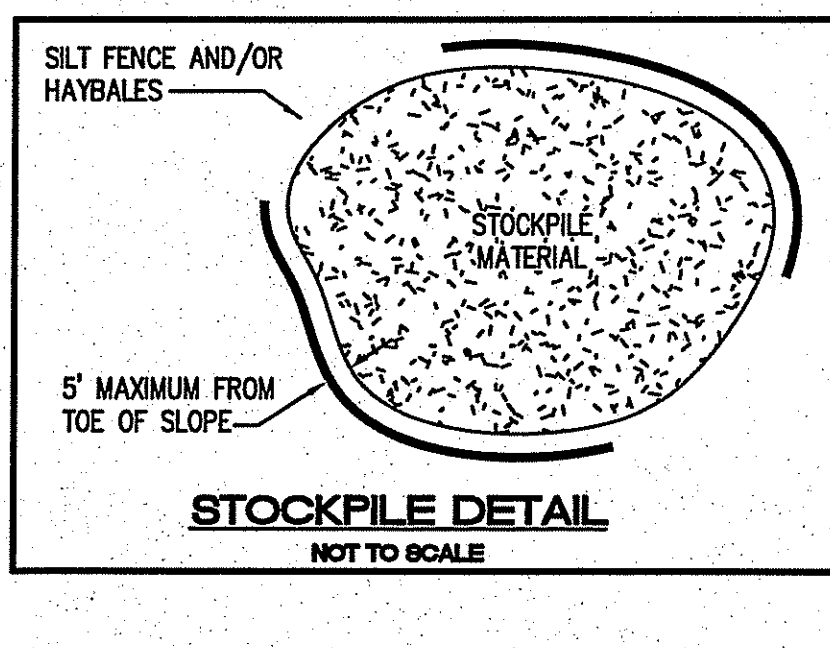
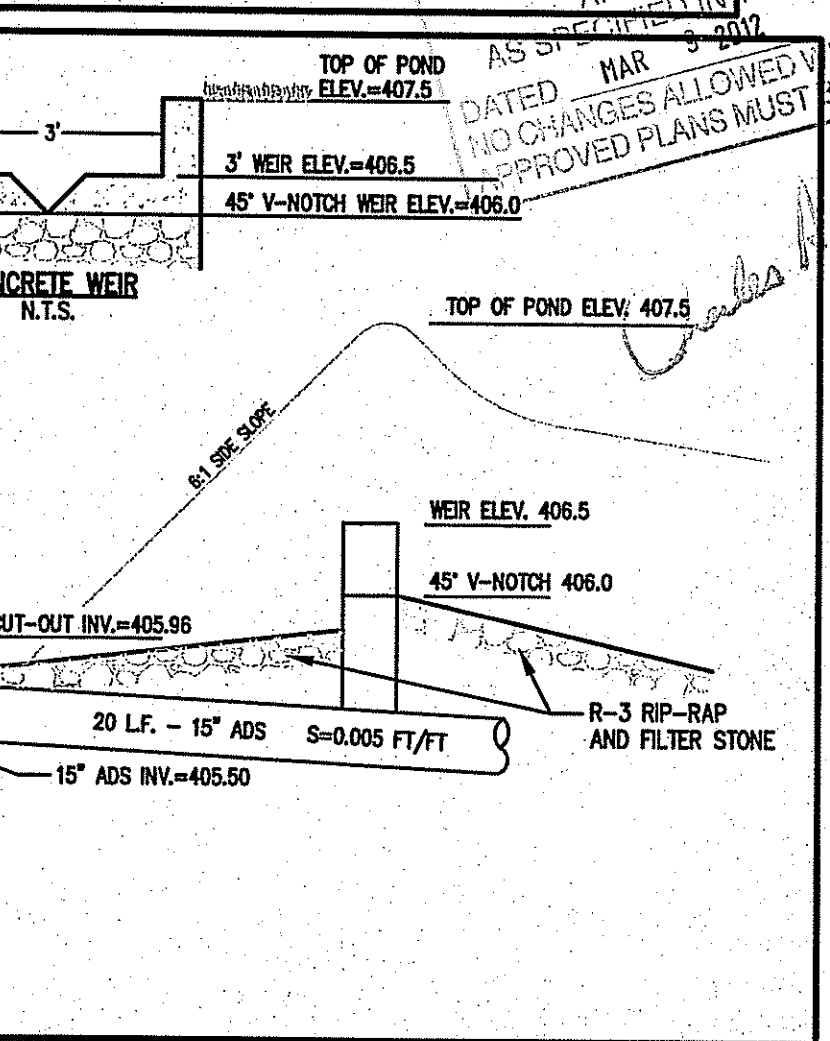
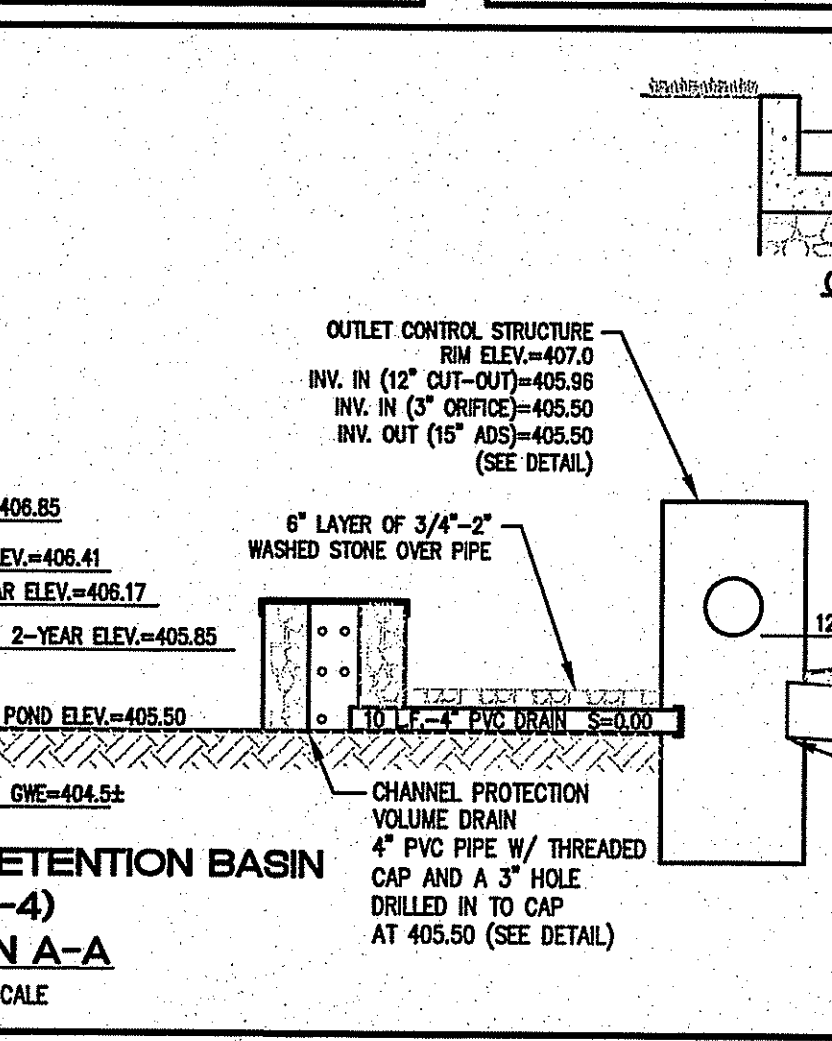
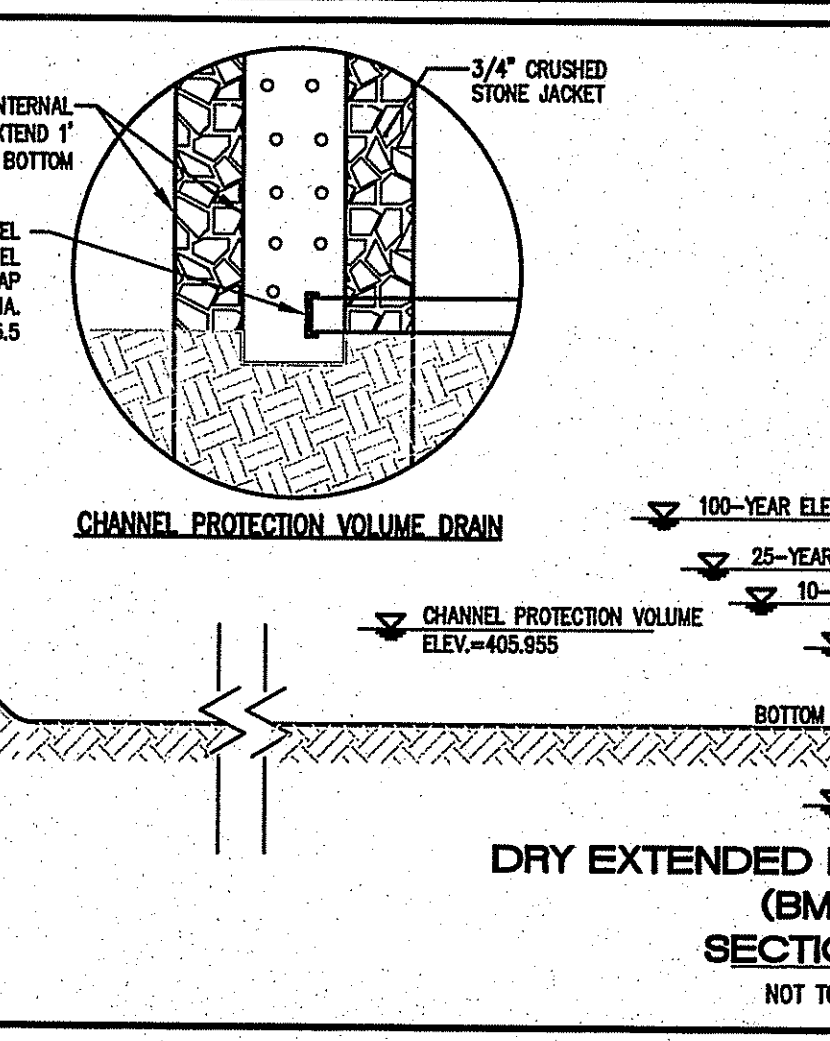
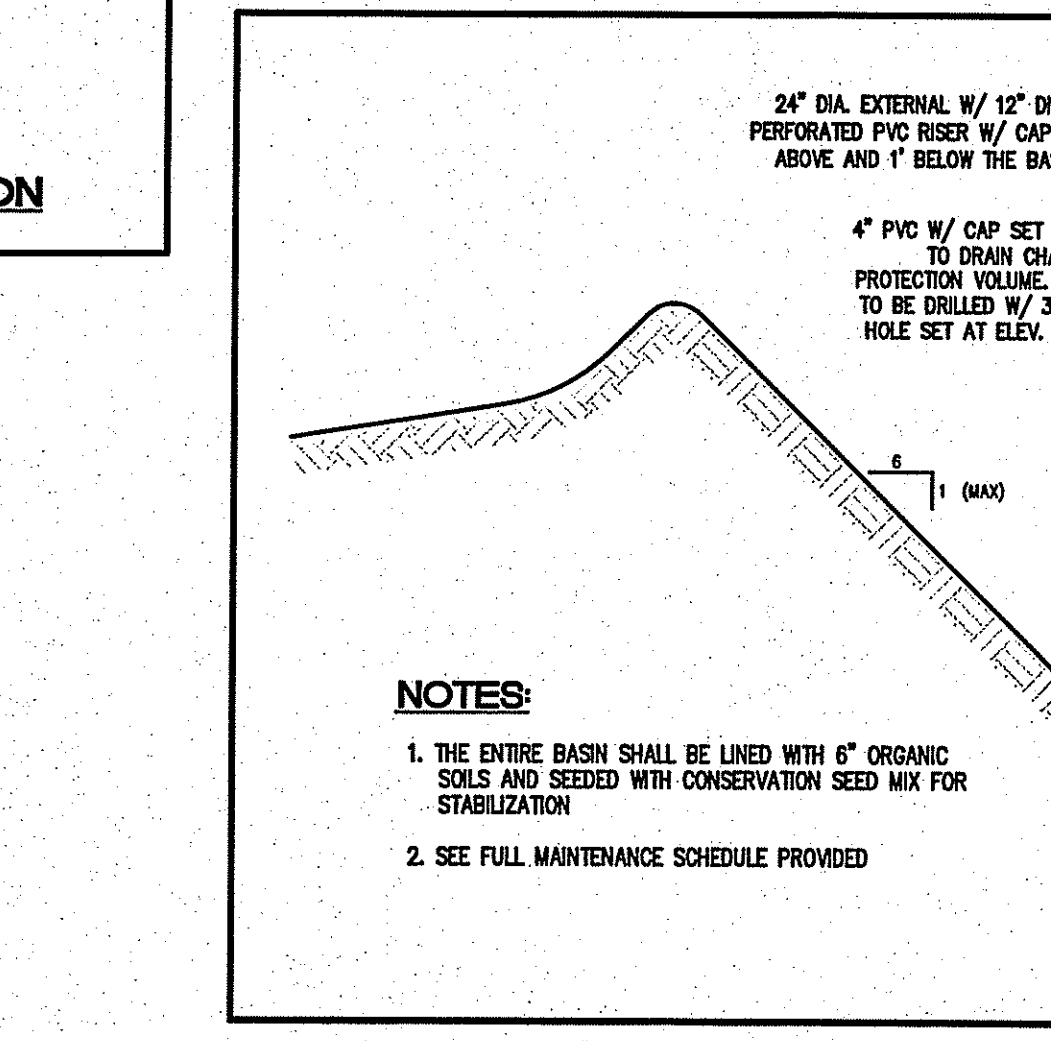
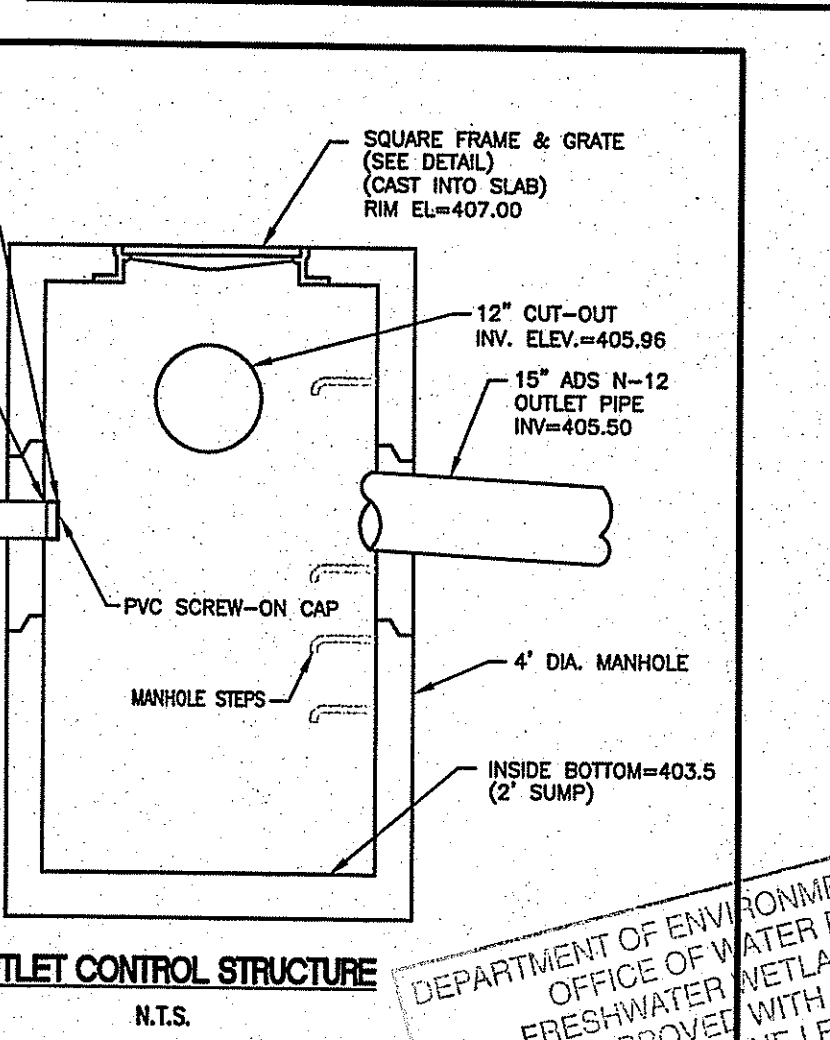
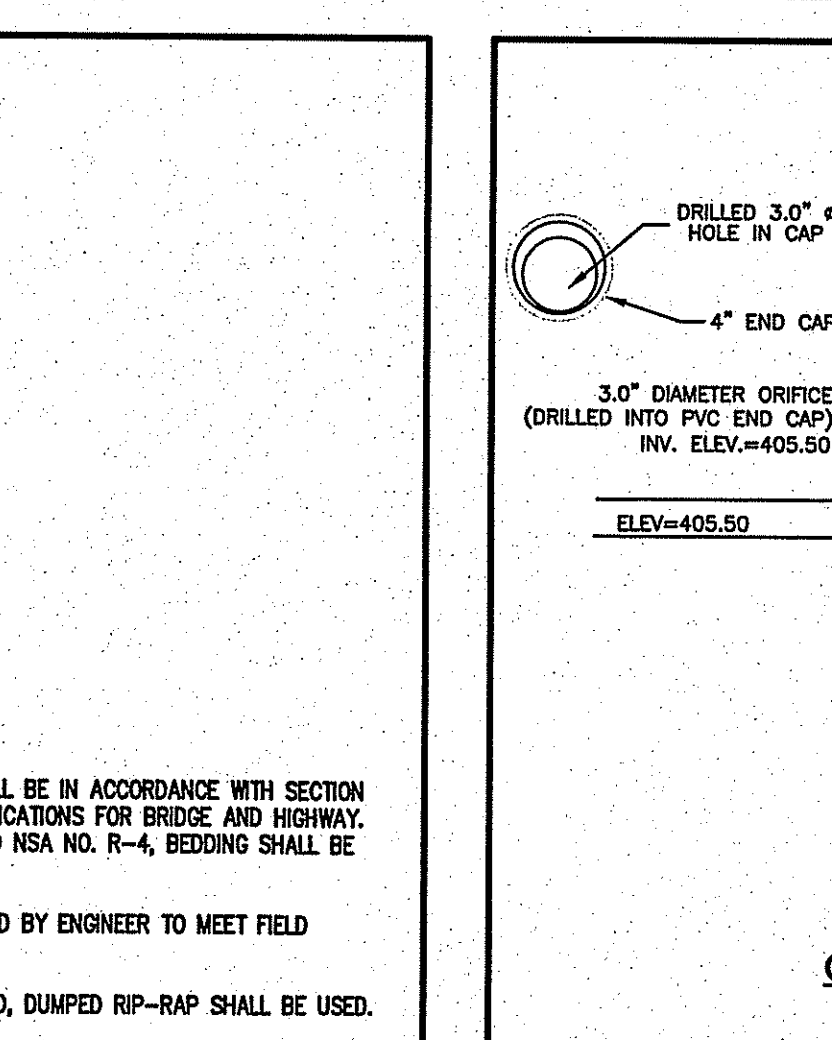
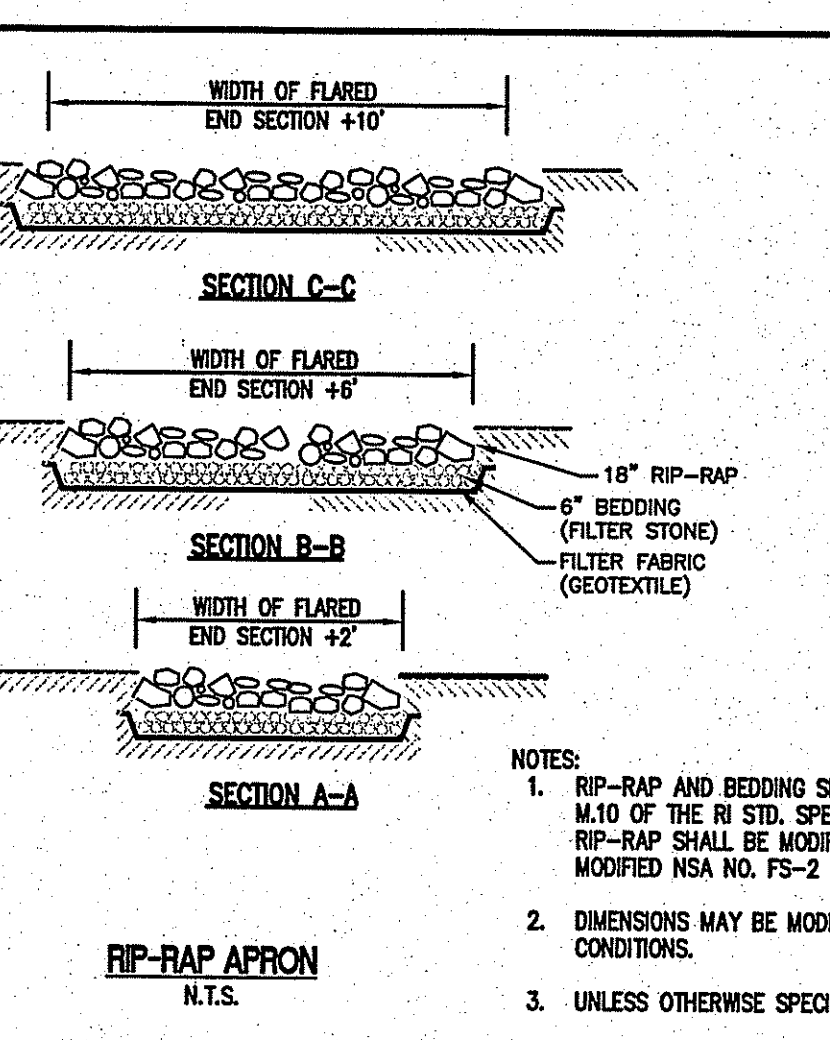
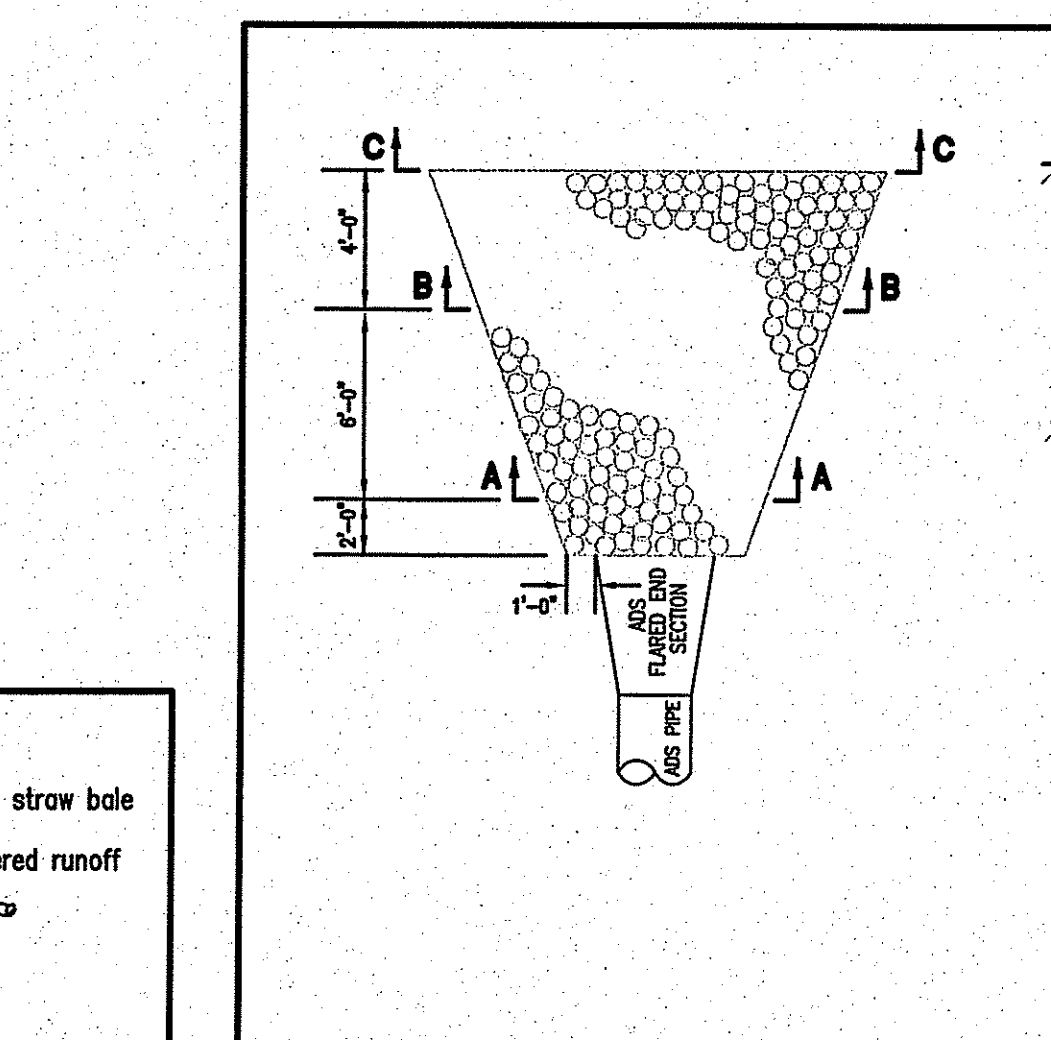
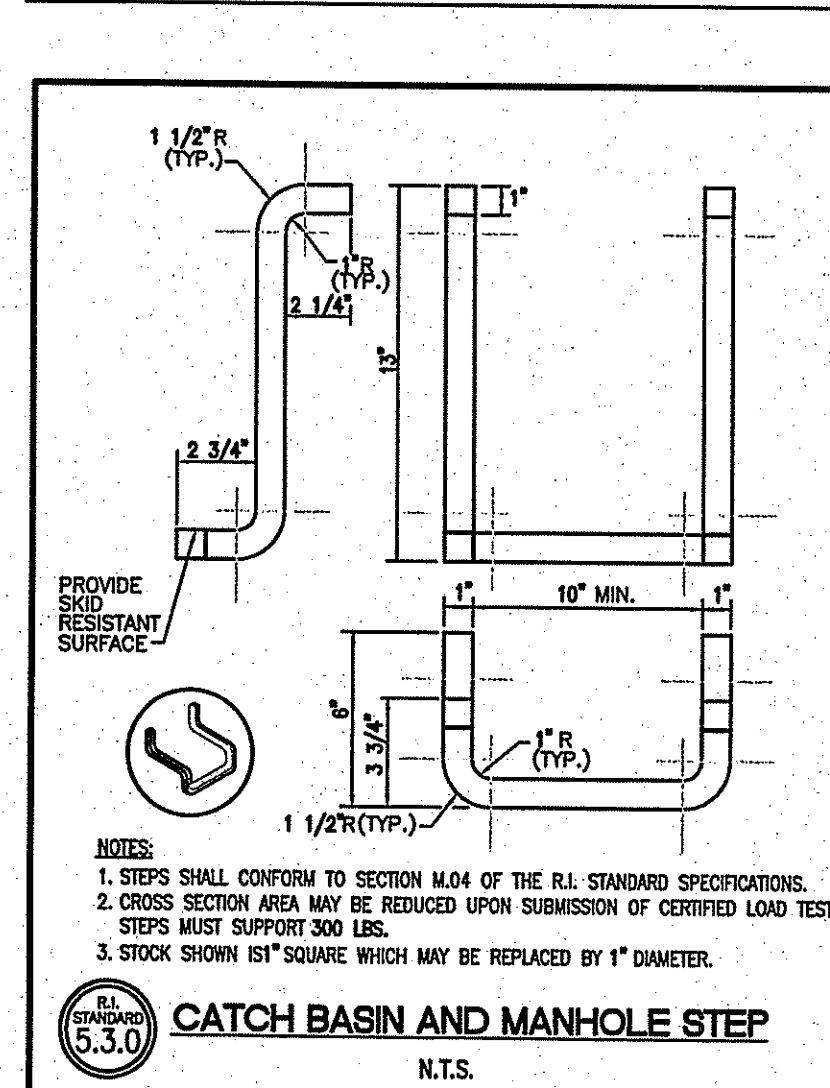
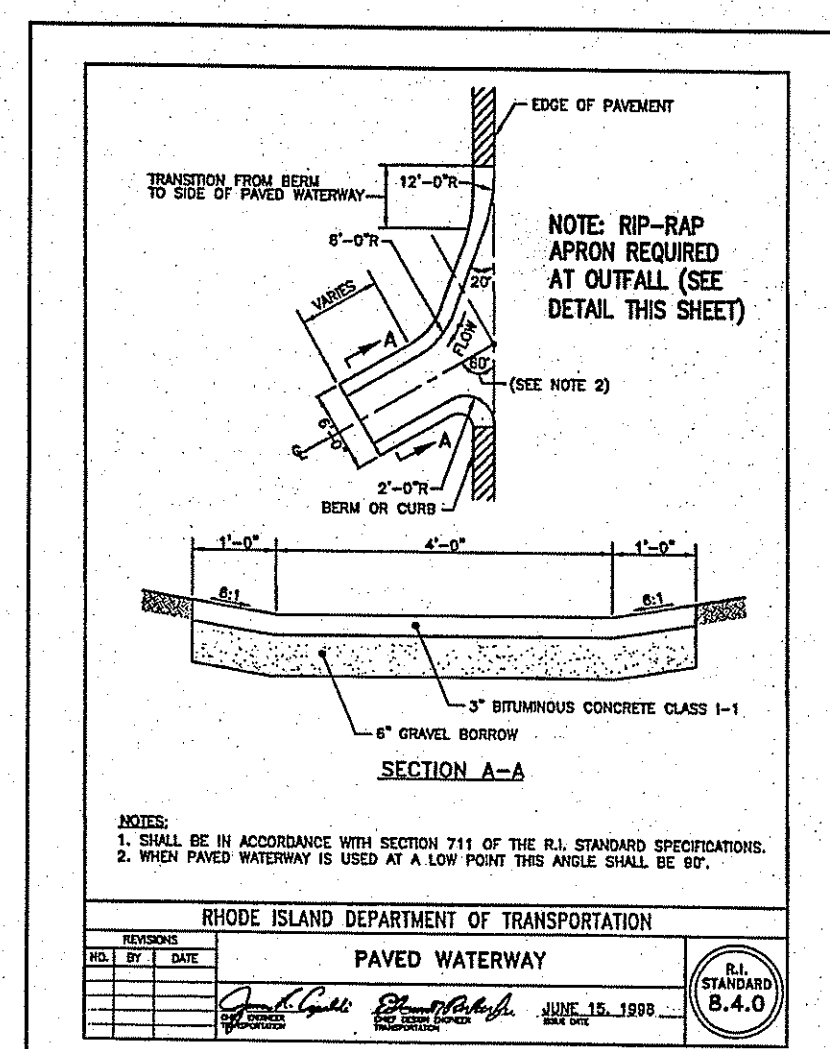
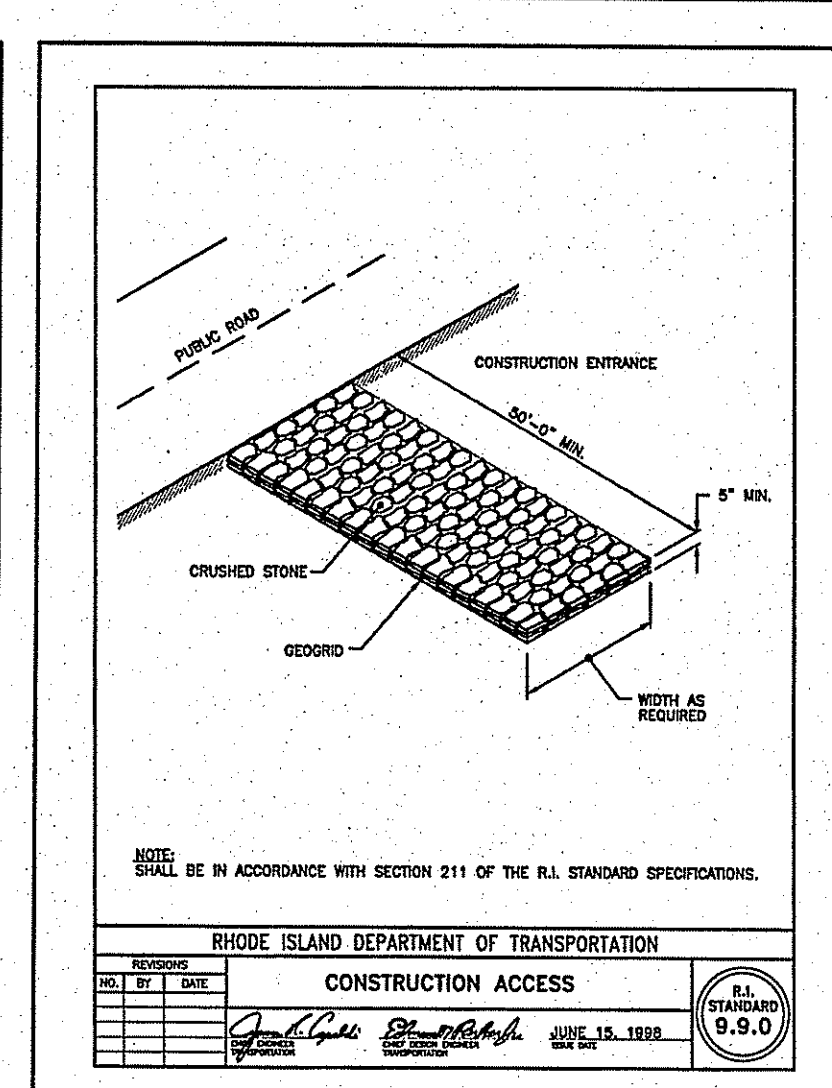
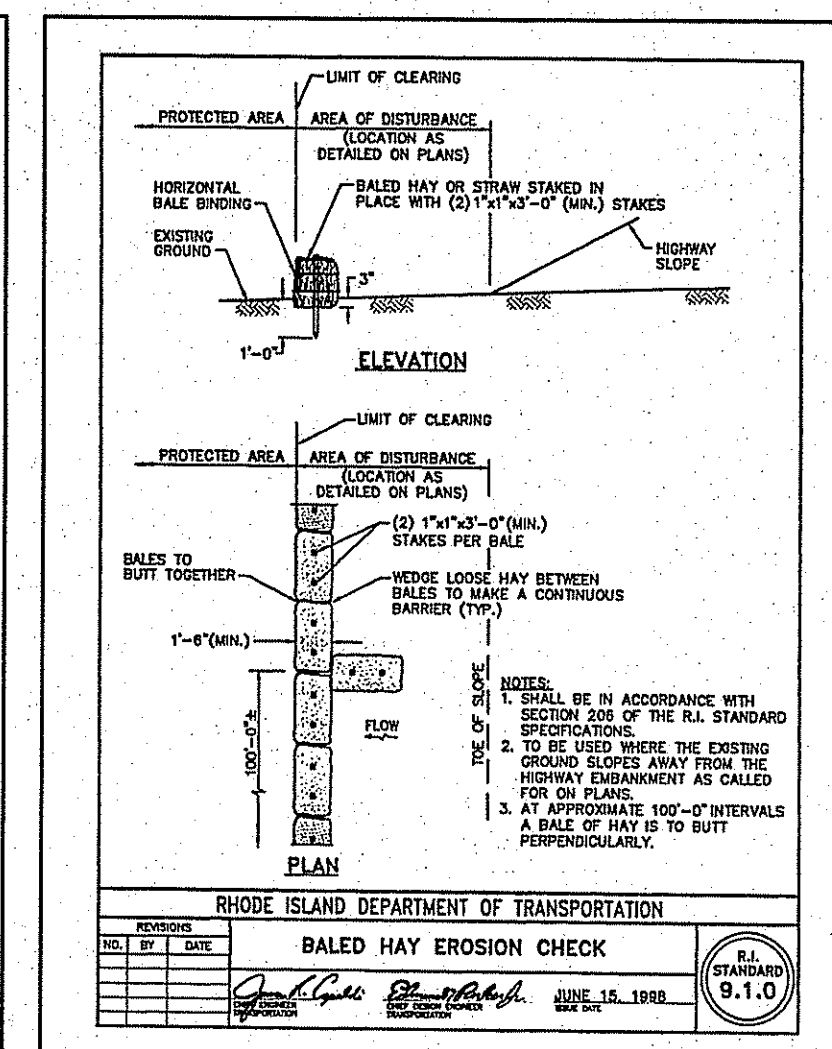
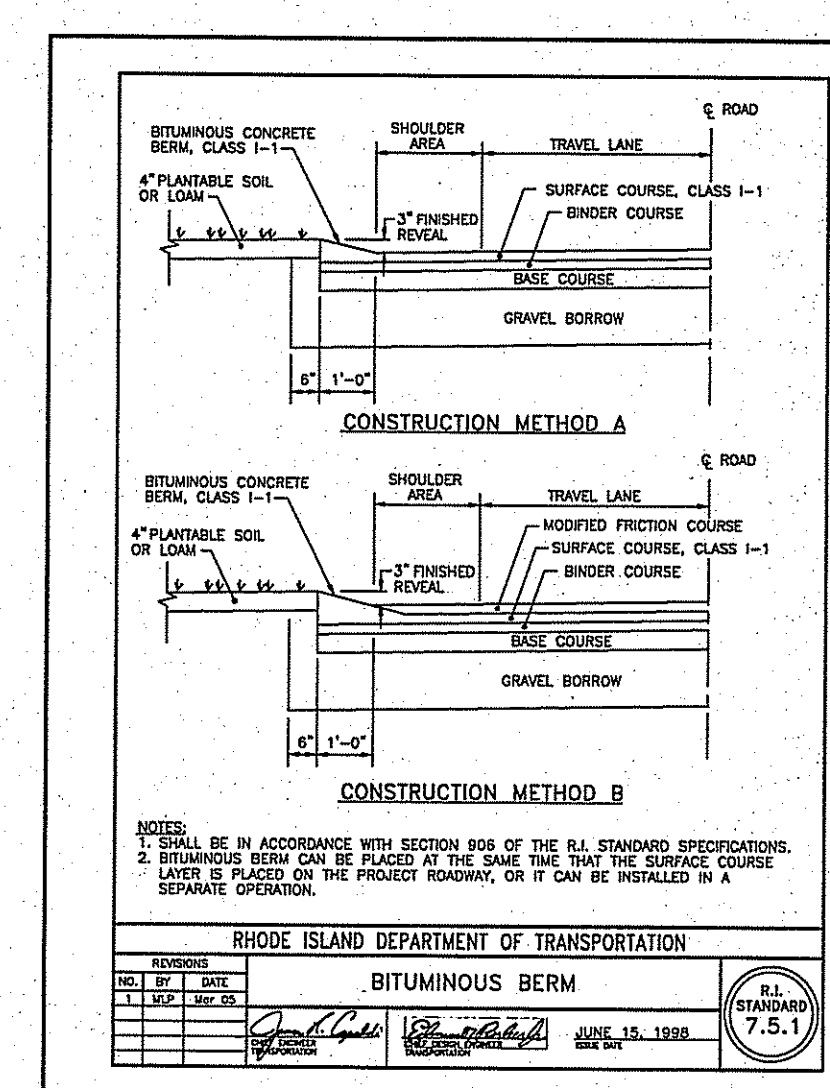
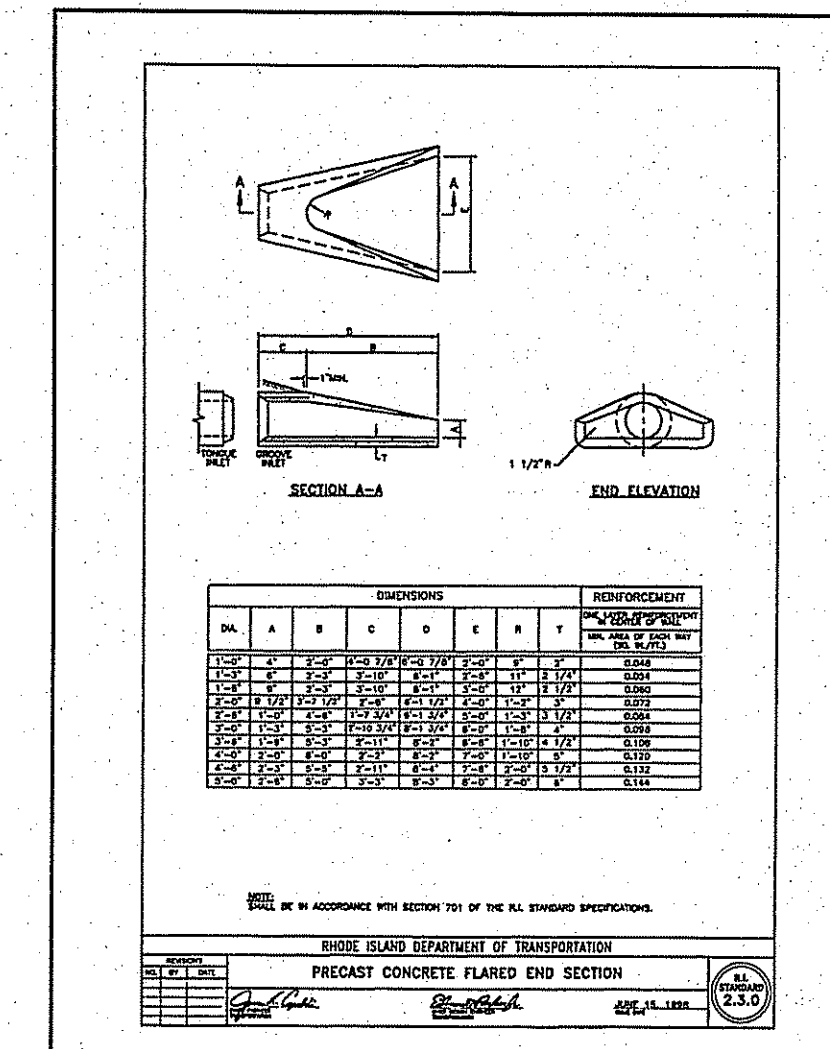
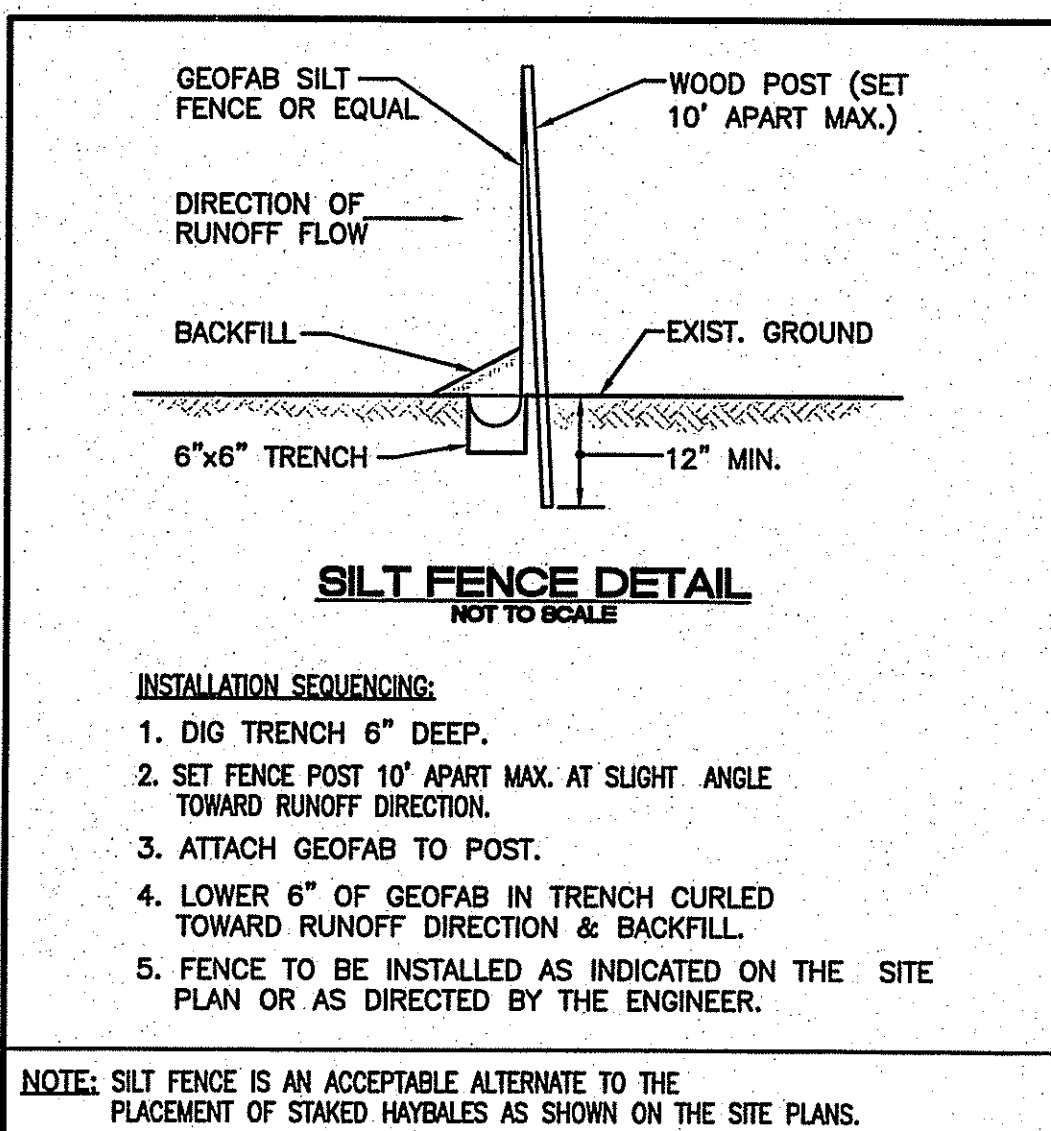
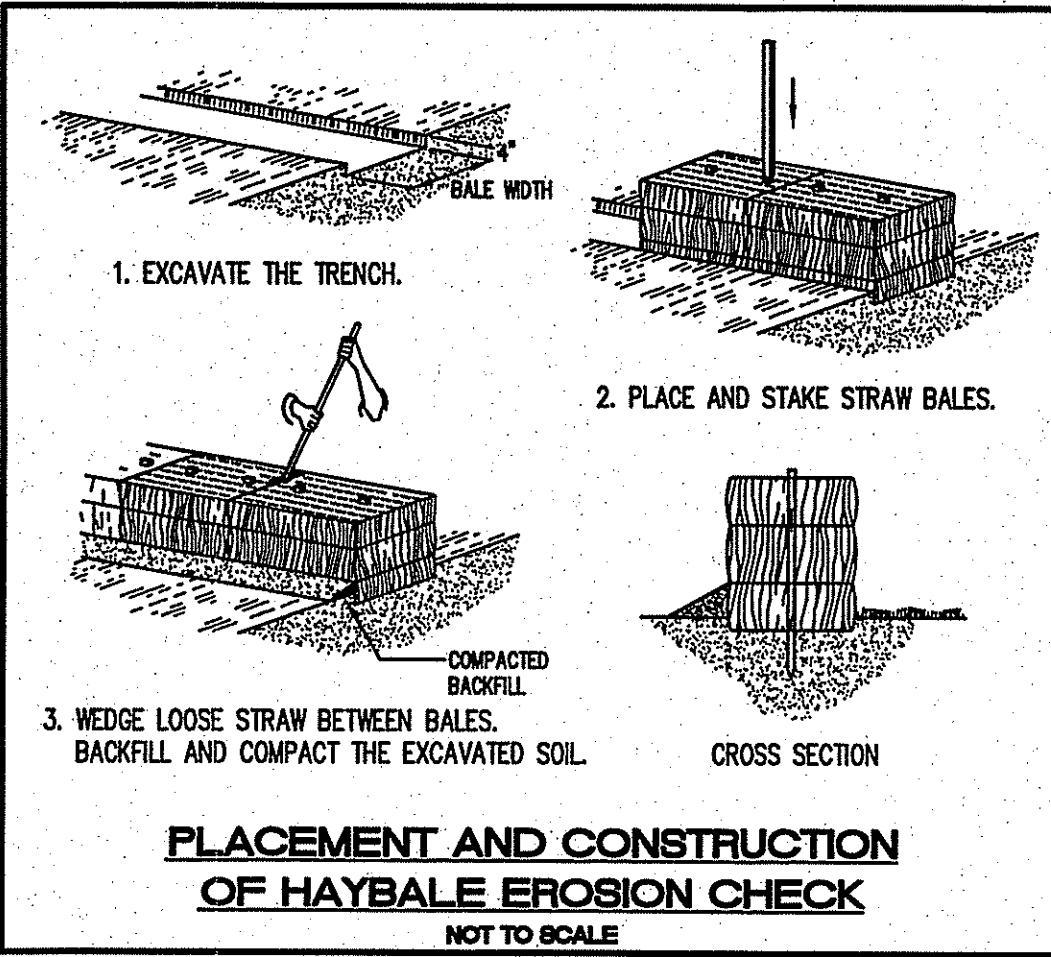
- THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCLOSED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILTFENCE. (SEE DETAIL)
- ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

GENERAL NOTES:

- ALL WORK WITHIN THE STATE'S ROW SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, WITH ALL REVISIONS. STANDARD DETAILS FOR WORK WITHIN THE STATE'S ROW ARE THE RHODE ISLAND STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS. IN ADDITION, THE TOWN OF SMITHFIELD STANDARD SPECIFICATIONS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO.
- ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE TOWN. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
- LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 72-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-888-344-7233) A MINIMUM OF 72 WORKING HOURS EXCLUDING WEEKENDS AND HOLIDAYS PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
- THE CONTRACTOR SHALL NOTIFY THE TENNESSEE GAS PIPELINE COMPANY AND COORDINATE CONSTRUCTION ACTIVITY PRIOR TO COMMENCING CONSTRUCTION IN ACCORDANCE WITH THE UTILITY COMPANY'S REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL PERMITS ARE IN PLACE AND THAT THE REQUIREMENTS IMPOSED BY PERMIT ARE FOLLOWED. THE CONTRACTOR SHALL PERFORM ALL CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND, FEDERAL GOVERNMENT AND TOWN OF SMITHFIELD PRIOR TO COMMENCING ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS, WETLANDS OR ADJACENT TO DRAINAGE STRUCTURES.
- ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
- FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).
- CONTRACTOR SHALL PROVIDE OWNER WITH A COMPLETE SET OF AS-BUILT DRAWINGS OF ALL INFRASTRUCTURE. AS-BUILT DRAWINGS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL LAND SURVEYOR.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FINISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS AS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND ACCEPTABLE TO THE ENGINEER.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, WITH ALL REVISIONS.

SEDIMENTATION CONTROL PROGRAM:

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
- BANKS OR SLOPES OVER SIX SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
- ADDITIONAL HAYBALES, SILT FENCE OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.



NOTES:
1. THE ENTIRE BASIN SHALL BE LINED WITH 6\"/>

NOTES:
1. RIP-RAP AND BEDDING SHALL BE IN ACCORDANCE WITH SECTION M.10 OF THE RI STD. SPECIFICATIONS FOR BRIDGE AND HIGHWAY. RIP-RAP SHALL BE MODIFIED NSA NO. R-4, BEDDING SHALL BE MODIFIED NSA NO. FS-2
2. DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS.
3. UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.

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NO.	DATE	REVISION
1	1/20/2016	GENERAL MODIFICATION
2	3/17/2016	ADD DETAILS PER ROOT

Environmental Management
Office of Water Resources
FEB 17 2012
JEFFREY C. HANSON
No. 5238
2-17-12
REGISTERED PROFESSIONAL ENGINEER

ILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND PLANNING
250 CENTREVILLE ROAD, BUILDING 506, WARWICK, RHODE ISLAND 02886 P. (401) 921-3344 F. (401) 921-3303

SOIL & EROSION CONTROL DETAILS AND GENERAL NOTES
MOWRY FARMS
AP. 49, LOT 60
BRANCH PIKE
SMITHFIELD, RI

PREPARED FOR:
PROVIDENCE PIKE INVESTMENTS, G.P.
SCALE AS SHOWN
AUGUST, 2011

Drawn By: RJB
Checked By: JCH
Sheet
7 of 9
FILE NO.: 11.18.22

MAINTENANCE SCHEDULE FOR DRAINAGE STRUCTURES

GENERAL:
LONG-TERM MAINTENANCE OF THE DRAINAGE STRUCTURES WILL BE COMPLETED BY THE HOME OWNERS ASSOCIATION. THE CONTRACTOR SHALL MAINTAIN ALL DRAINAGE COMPONENTS DURING AND DIRECTLY AFTER CONSTRUCTION. ALL OPERATIONAL MAINTENANCE REQUIREMENTS WILL BE RECORDED ON THE TITLE.

CATCH BASINS & PAVED WATERWAY:
1) MAINTENANCE OF ALL CATCH BASINS AND OIL/WATER SEPARATOR CATCH BASINS ON-SITE WILL OCCUR AS SEDIMENT AND DEBRIS REACHES A DEPTH OF TWO (2) FT. WITHIN THE SUMP. CHECK FOR STRUCTURAL INTEGRITY & REPAIR IMMEDIATELY AS REQUIRED.

2) ALL DEBRIS, SEDIMENT, AND/OR GREASE SHALL BE REMOVED FROM THE OIL/WATER SEPARATOR CATCH BASINS AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH STATE AND FEDERAL GUIDELINES.
3) CHECK PAVED WATERWAY FOR AND REMOVE ANY SEDIMENT BUILD-UP UPSTREAM OR DOWNSTREAM.

UNDERGROUND DETENTION SYSTEMS:
1) MAINTENANCE OF STORMTECH INFILTRATION SYSTEM SHALL OCCUR ON A YEARLY BASIS AND IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS (STORMTECH 1-888-892-2694).

2) SEDIMENTS SHALL BE REMOVED WITH USE OF VACUUM TRUCK BY WAY OF INSPECTION PORTS. SEDIMENTS SHALL BE REMOVED AND DISPOSED OF OFF-SITE.

3) MAINTENANCE OF INFILTRATION SYSTEM IS RESPONSIBILITY OF THE TOWN.
4) NOTES 1 THROUGH 3 SHALL BE INCLUDED ON THE PROPERTY DEED.

WATER QUALITY BASINS (BIORETENTION AND SWALES) AND DRY EXTENDED DETENTION BASIN MAINTENANCE:
1) A PERMANENT COVER SHALL BE ESTABLISHED IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK. SEEDING SHALL EXTEND AT A MINIMUM TO THE TOP OF THE BASIN AND INCLUDE ALL OTHER DISTURBED AREAS DURING CONSTRUCTION ACTIVITIES. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMITS OF DISTURBANCE PER PLAN.

2) VIGOROUS VEGETATION SHALL BE MAINTAINED WITHIN THE BASINS BY APPLYING LIME AND FERTILIZER. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEED BY THE CONTRACTOR. POST-CONSTRUCTION SEEDING WILL BE THE RESPONSIBILITY OF THE TOWN.

3) THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE WATER QUALITY BASINS DURING CONSTRUCTION. MAINTENANCE SHALL INCLUDE RESEEDING ANY UNDEVELOPED AREAS AFTER A FULL GROWING SEASON AT NO ADDITIONAL COST. REMOVAL TO OFF-SITE LOCATION OF ALL ACCUMULATED SILT/SEDIMENT IN THE BASIN, AND MAINTAINING A GRASS HEIGHT BETWEEN 2"-10". REMOVAL OF SILT/SEDIMENT IS TO BE ACCOMPLISHED USING WHEELBARROWS AND SHOVELS.

4) LONG-TERM MAINTENANCE OF THE BASINS ARE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION. MAINTENANCE SHALL BE PERFORMED AT A MINIMUM YEARLY BASIS. MAINTENANCE SHALL INCLUDE MOWING OF THE POND ONCE PER GROWING SEASON (PREFERABLY AFTER AUGUST 15TH), AND/OR MAINTAINING A GRASS HEIGHT OF 2"-10", WHICHEVER COMES FIRST, REMOVING ACCUMULATED SEDIMENT FROM THE BOTTOM OF THE BASIN USING SHOVELS AND WHEELBARROWS (AT A MAXIMUM INTERVAL OF 10 YEARS), OR A DEPTH OF 0.17 INCHES.

5) CHECK WATER QUALITY PIPE FOR CLOGGING AND FLUSH AS NECESSARY BY REMOVING THE SCREW-ON PVC CAP.

ADS PIPE INSTALLATION NOTES:
1) **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A STABLE DEPTH AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.

2) **BEDDING:** SUITABLE MATERIAL SHALL BE CLASS II, OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4" TO 24" DIA. & 6" FOR 30" TO 60" DIA.

3) **HAUNCHING AND INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II, OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

4) UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

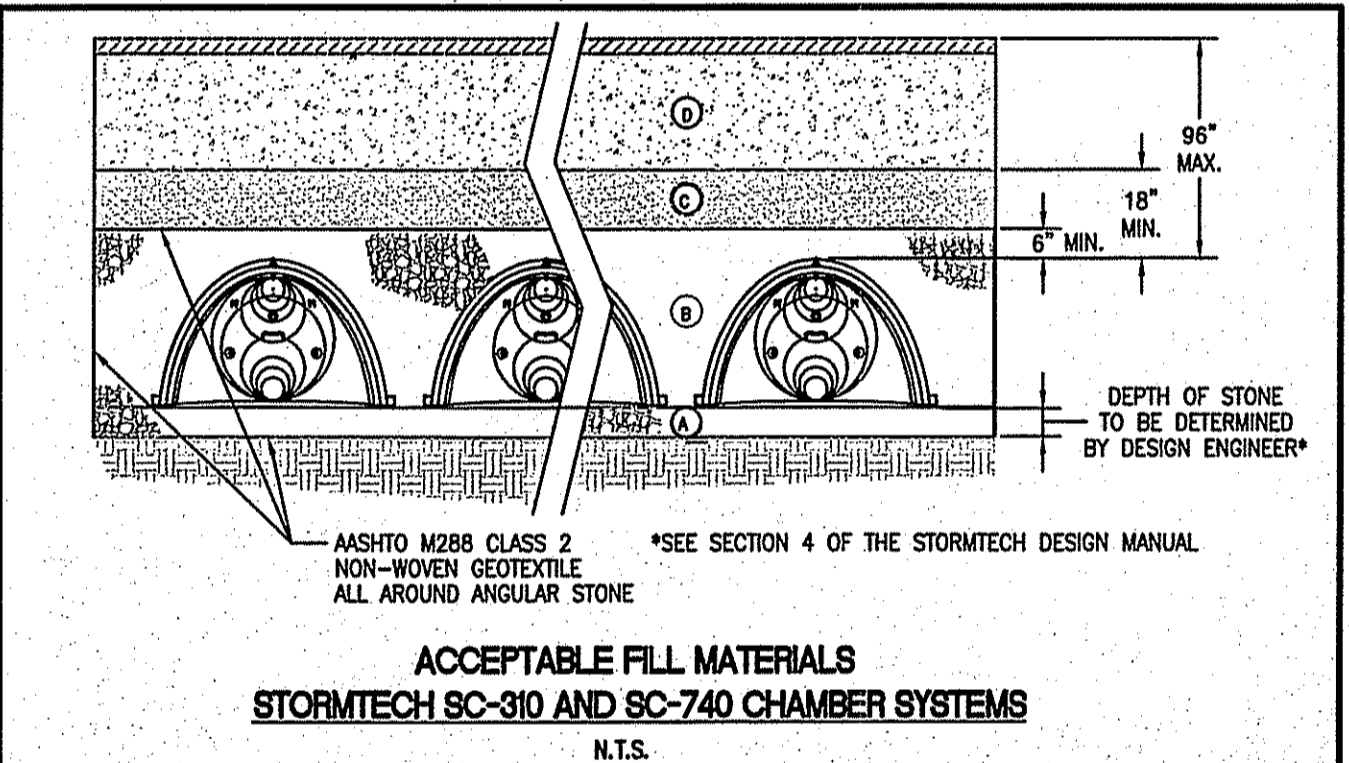
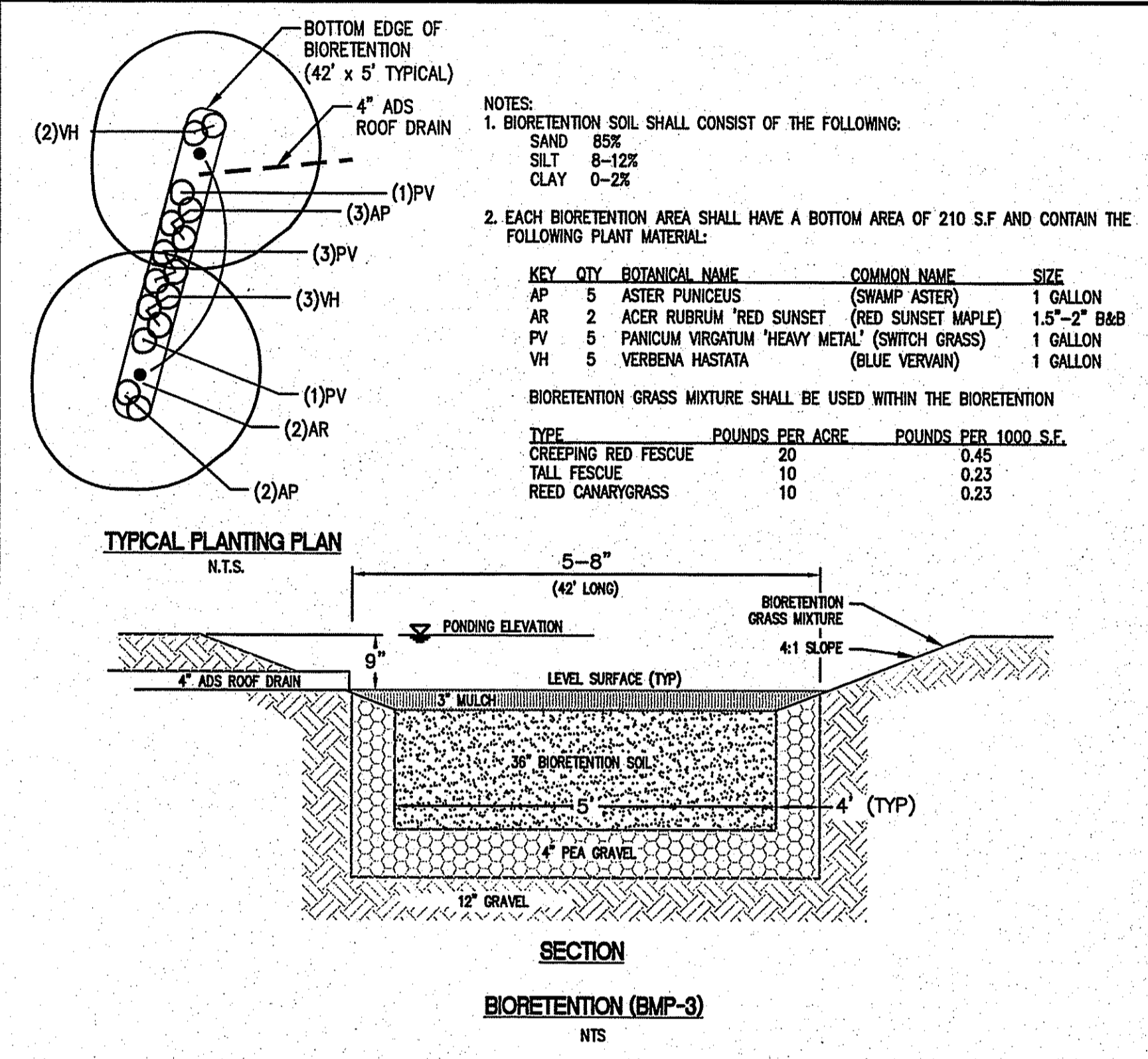
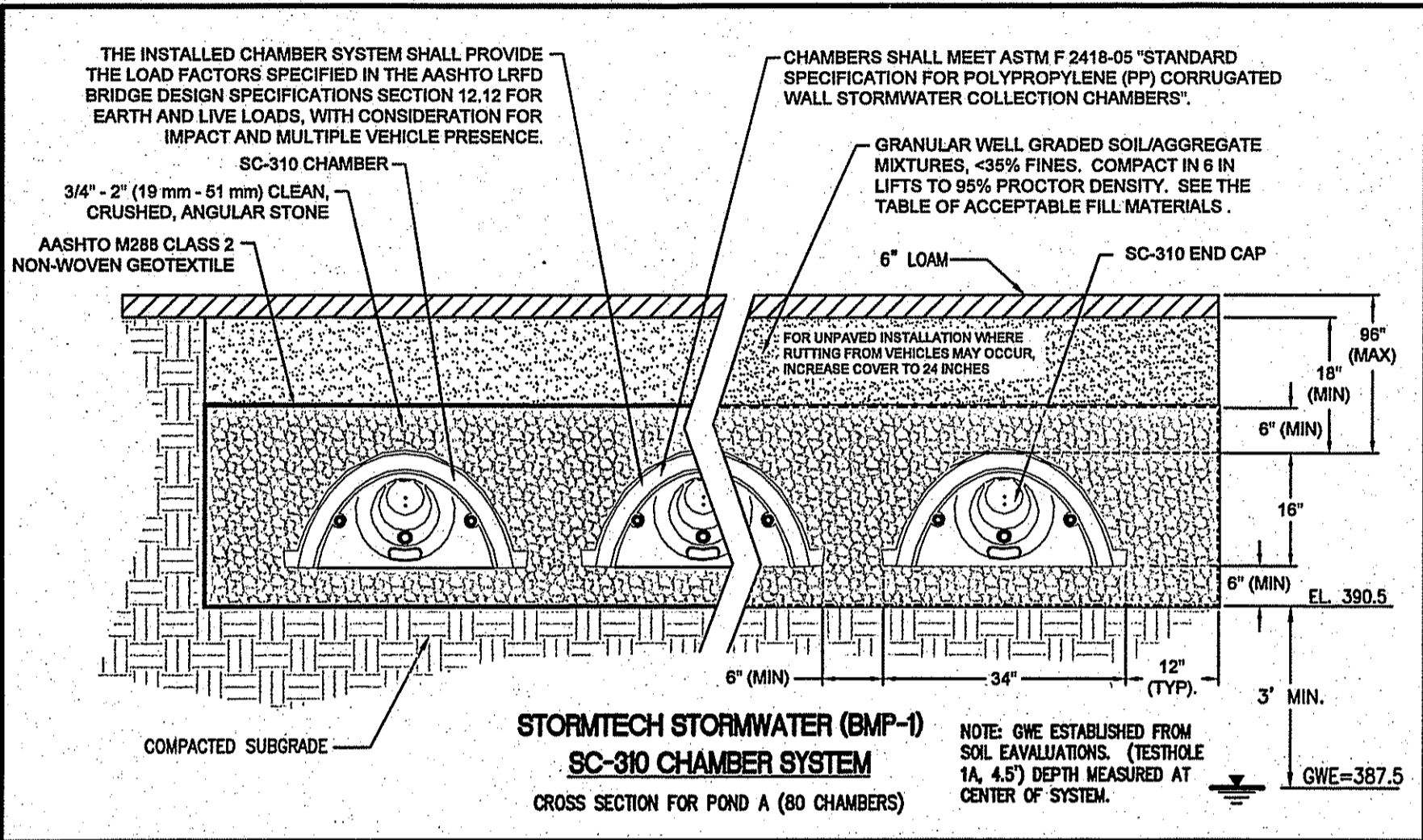
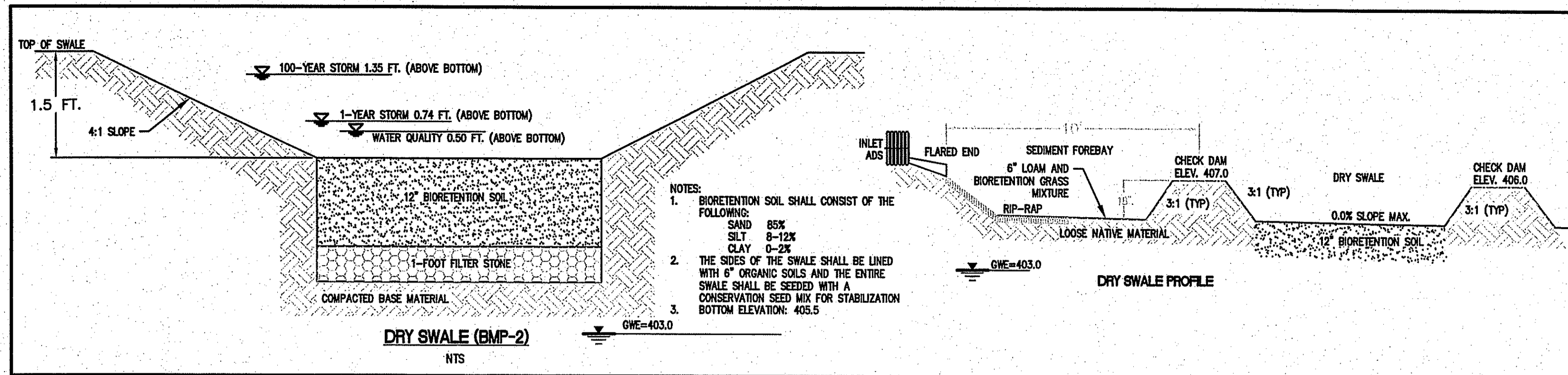
NOMINAL DIA. (IN)	MIN. TRENCH WIDTH (IN)
6"	23"
8"	25"
10"	28"
12"	31"
15"	34"
18"	39"

5) **MINIMUM COVER:** RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

SURFACE LIVE LOADING CONDITION	MINIMUM RECOMMENDED COVER (IN)
H25 (FLEXIBLE PAVEMENT)	12"
H25 (RIGID PAVEMENT)	12"
HEAVY CONSTRUCTION	48"

UNDERGROUND INJECTION CONTROL SYSTEM NOTES:

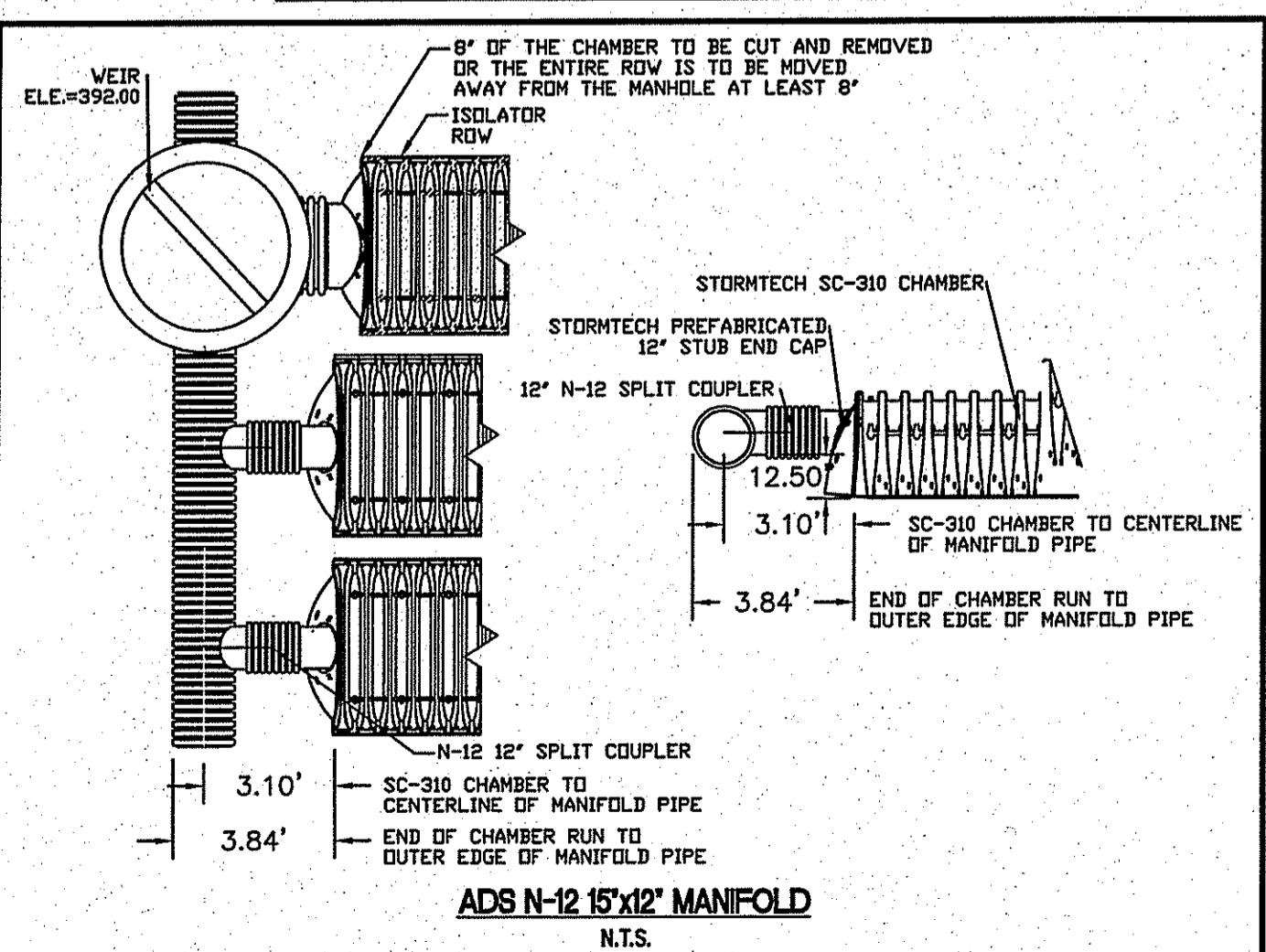
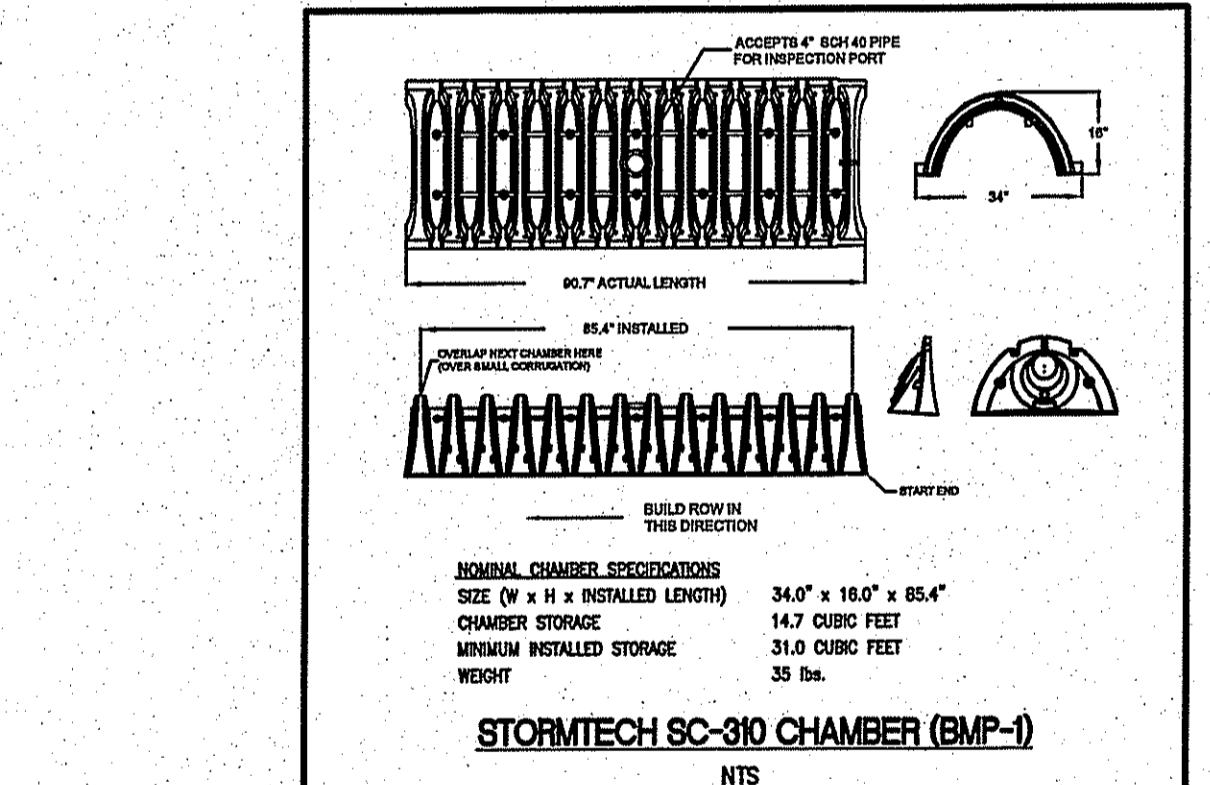
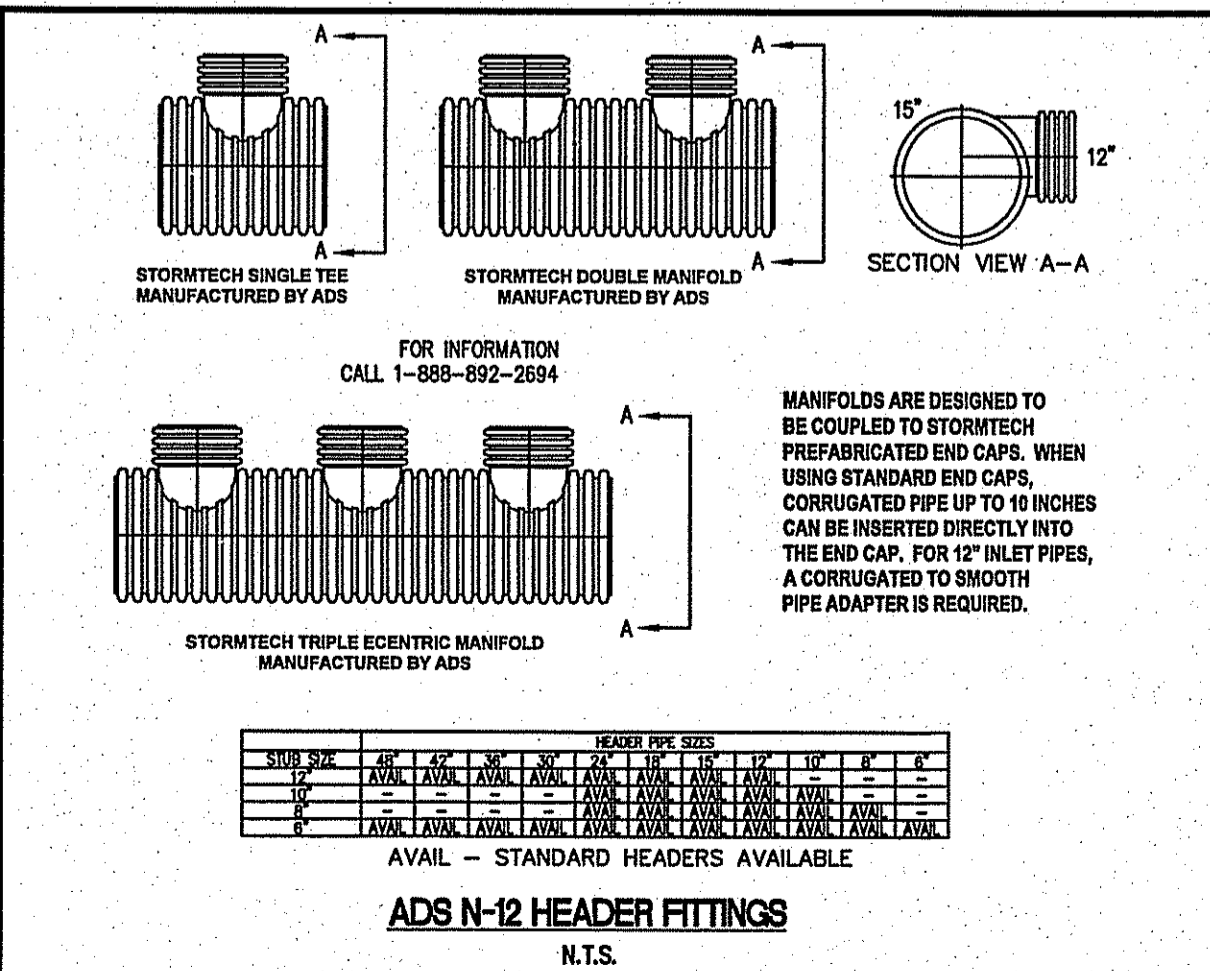
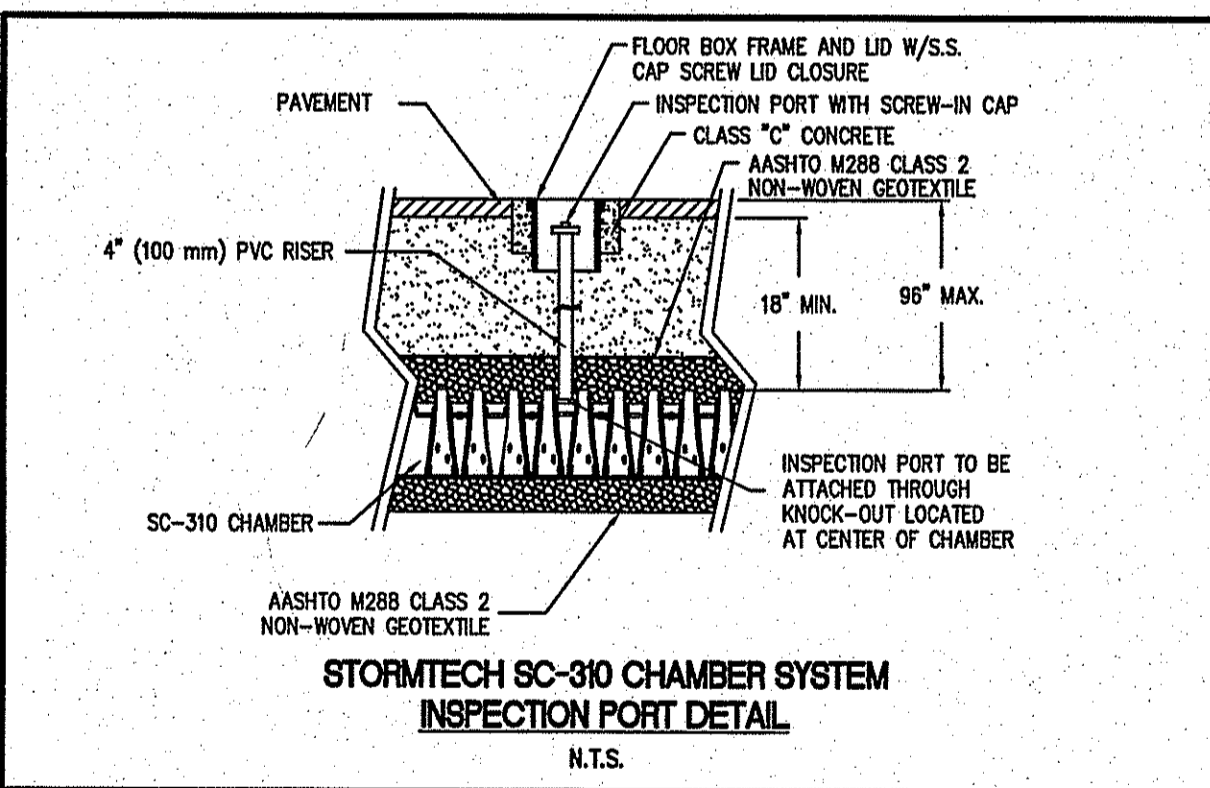
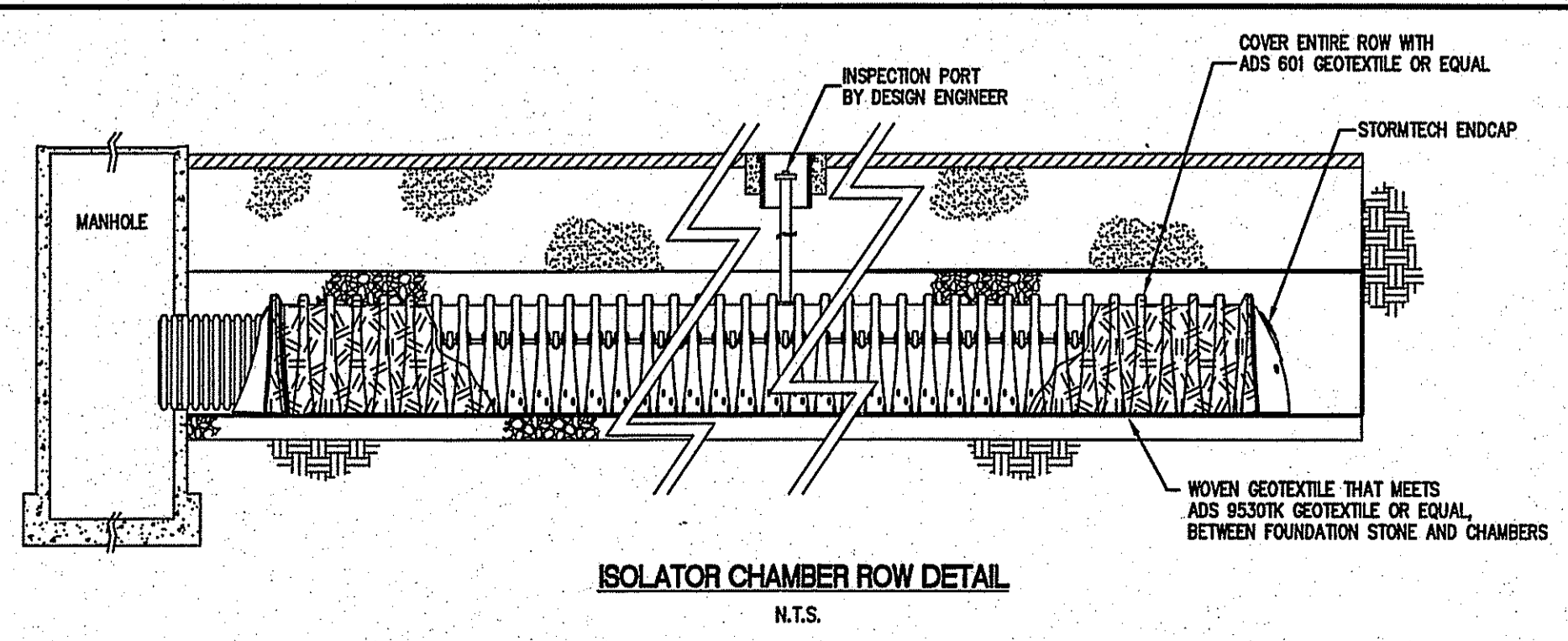
- CATCH BASINS OF THE SUBSURFACE DISCHARGE SYSTEM SHALL BE NON-LEACHING WITH A MINIMUM SUMP DEPTH OF FOUR FEET BELOW THE OUTLET INVERT, AND INCLUDE AN OIL-WATER SEPARATOR OF ADEQUATE CAPACITY THAT EXTENDS AT LEAST TWO FEET BELOW THE OUTLET INVERT. THE OTHER DRAINS SHALL BE NON-LEACHING AND PASS THROUGH AN OIL-WATER SEPARATOR OF ADEQUATE CAPACITY PRIOR TO DISCHARGE.
- THE SEASONAL HIGH GROUND WATER TABLE ELEVATION IN THE AREA OF THE UIC SYSTEM WAS DETERMINED BY A RIDEI LICENSED CLASS IV SOIL EVALUATOR OR R.I. REGISTERED PROFESSIONAL ENGINEER, AND THE BOTTOM OF THE INFILTRATION AREA HAS AT LEAST THREE FEET OF VERTICAL SEPARATION FROM THE SEASONAL HIGH GROUND WATER TABLE.
- THE FILTRATION AREA SHALL BE LOCATED AT LEAST 400 FEET FROM PUBLIC DRINKING WATER WELLS.
- THE FILTRATION AREA SHALL BE LOCATED AT LEAST 100 FEET FROM PRIVATE DRINKING WATER WELLS.
- THE FILTRATION AREA SHALL BE LOCATED AT LEAST 200 FEET FROM SURFACE WATER SUPPLIES AND TRIBUTARIES.
- THE FILTRATION AREA SHALL BE LOCATED AT LEAST 150 FEET FROM COASTAL PONDS.
- THE FILTRATION AREA SHALL BE LOCATED AT LEAST 50 FEET FROM ALL NON-CRITICAL SURFACE WATER BODIES (ANY SURFACE WATER BODIES NOT INCLUDED IN ITEM #5).
- THE FILTRATION AREA SHALL BE LOCATED AT LEAST 25 FEET FROM ALL OTHER DISCHARGE SYSTEMS, WHETHER EXISTING OR APPROVED FOR INSTALLATION, INCLUDING SEPTIC SYSTEMS AND CESSPOOLS.
- THE FILTRATION AREA SHALL BE LOCATED AT LEAST 10 FEET FROM ALL BUILDING SLABS AND FOUNDATIONS.



ACCEPTABLE FILL MATERIALS: SC-310 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION ¹	COMPACTION/DENSITY REQUIREMENT
(1) FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBBASE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.
(2) FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B) LAYER TO 18" (457 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THIS LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, D_{50} FINES, MOST PAVEMENT SUB-BASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3, 207, 4, 407, 5, 60, 67, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTION AFTER 12" (305 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (152 mm) LIFTS TO A MIN. 98% STANDARD PROCTOR DENSITY. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (5,443 kg). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (9,072 kg).
(3) EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (C) LAYER TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 24" - 2 INCH (61 - 51 mm).	3, 357, 4, 407, 5, 60, 67	NO COMPACTION REQUIRED.
(4) FOUNDATION STONE BELOW CHAMBERS FROM THE SURFACE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE, NOMINAL SIZE DISTRIBUTION BETWEEN 24" - 2 INCH (61 - 51 mm).	3, 35, 4, 407, 5, 60, 67	PLATE COMPACT OR ROLL TO ACHIEVE A 98% STANDARD PROCTOR DENSITY ¹ .

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."
2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTOR REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (229 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.



NO.	DATE	REVISION
1	1/20/2012	GENERAL MODIFICATION
2	2/16/2012	ADD DETAILS PER RIDOT

Environmental Management
FEB 17 2012
JEFFREY C. HANSON
Office of Environmental Management
No. 5238
2-17-12
REGISTERED PROFESSIONAL ENGINEER

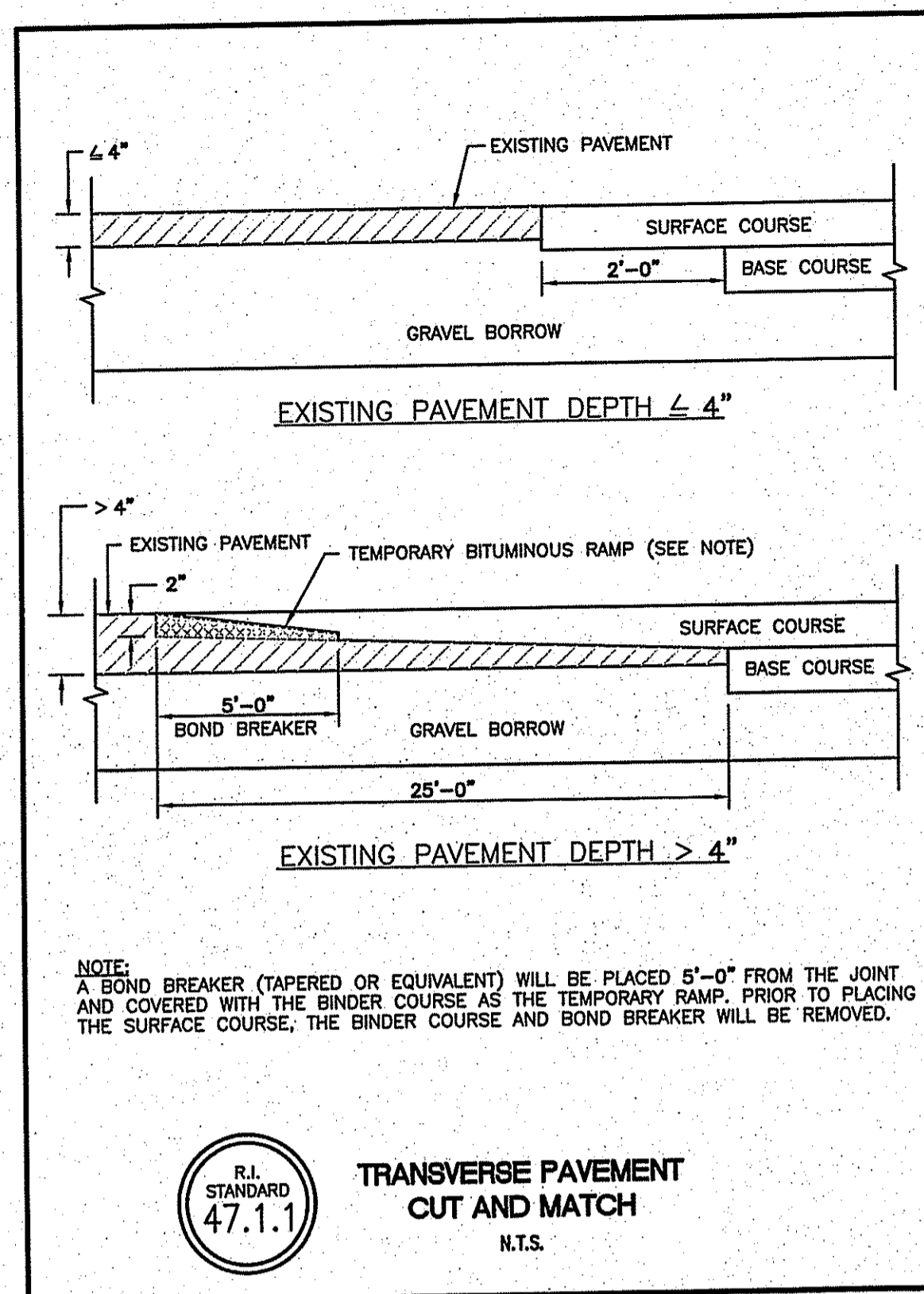
ILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND PLANNING
250 CENTERVILLE ROAD, BUILDING 610, WARWICK, RHODE ISLAND 02886 P. (401) 821-5344 F. (401) 821-5300

PROJECT DETAILS 1
MOWRY FARMS
A.P. 49, LOT 60
BRANCH PIKE
SMITHFIELD, RI
PREPARED FOR:
PROVIDENCE PIKE INVESTMENTS, G.P.
SCALE AS SHOWN
AUGUST, 2011

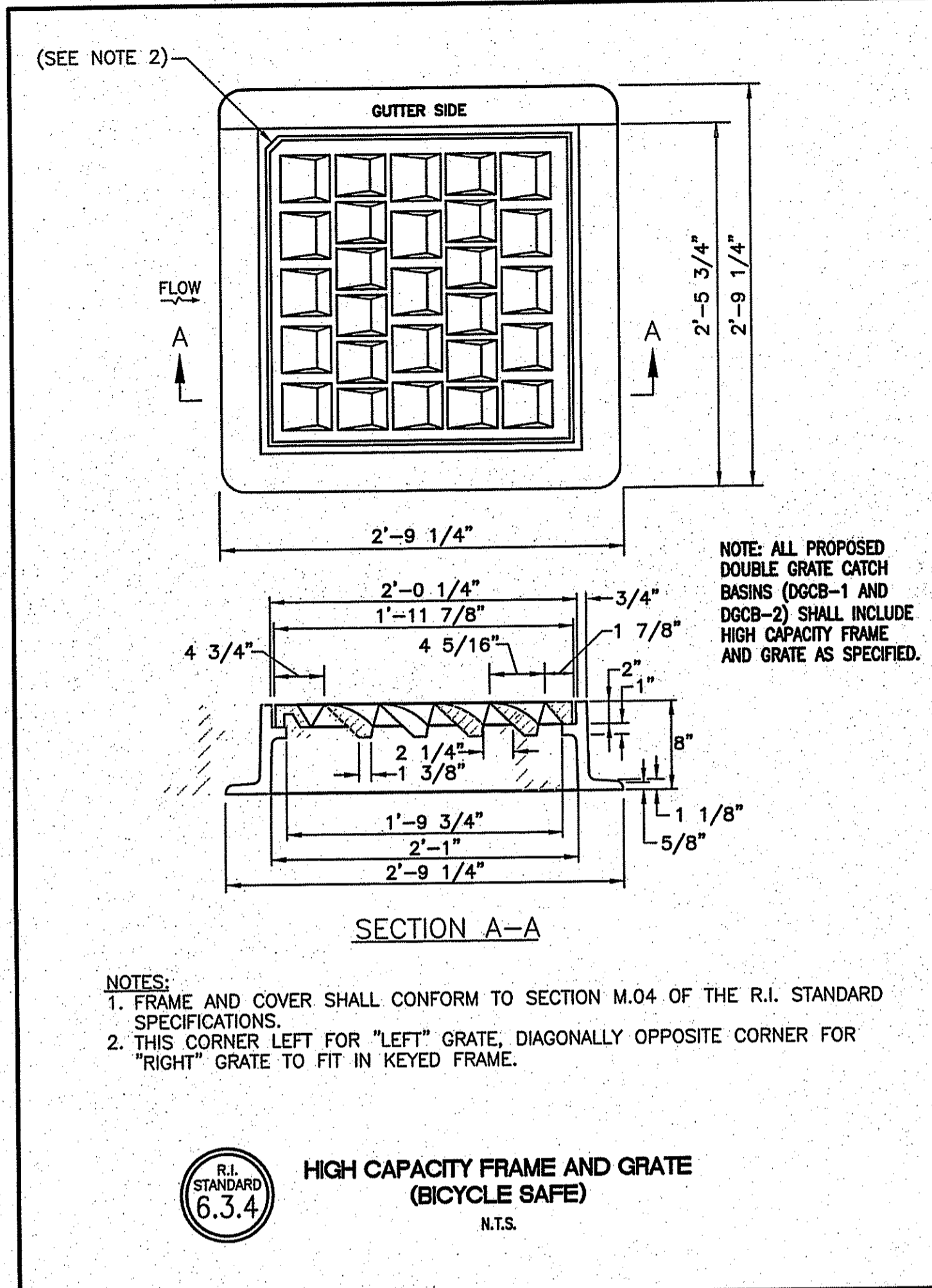
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of 9
FILE NO.: 11.18.22

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 9 2012 FILE # 11-01-0000
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Charles A. Hester

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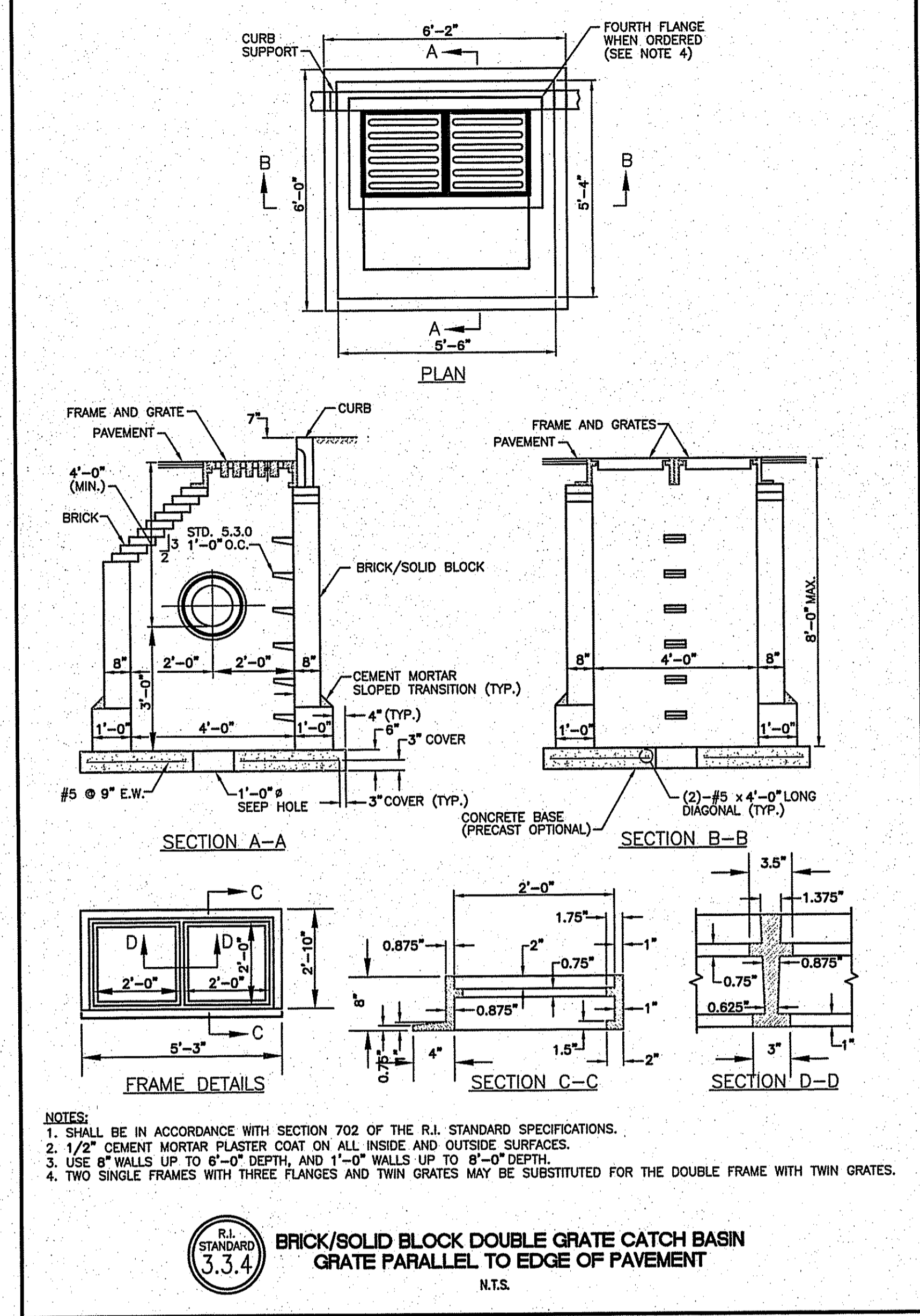


R.I. STANDARD 4.7.1.1
TRANSVERSE PAVEMENT CUT AND MATCH
N.T.S.

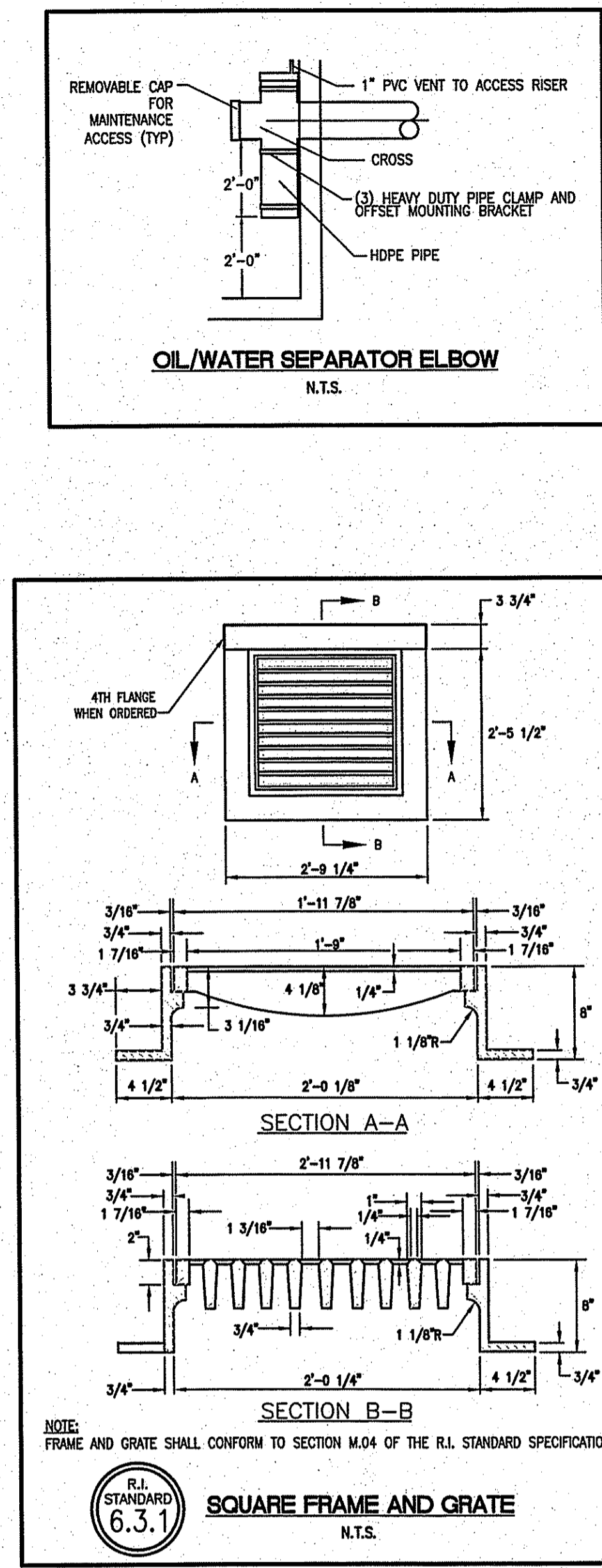


NOTES:
1. FRAME AND COVER SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
2. THIS CORNER LEFT FOR "LEFT" GRATE, DIAGONALLY OPPOSITE CORNER FOR "RIGHT" GRATE TO FIT IN KEYED FRAME.

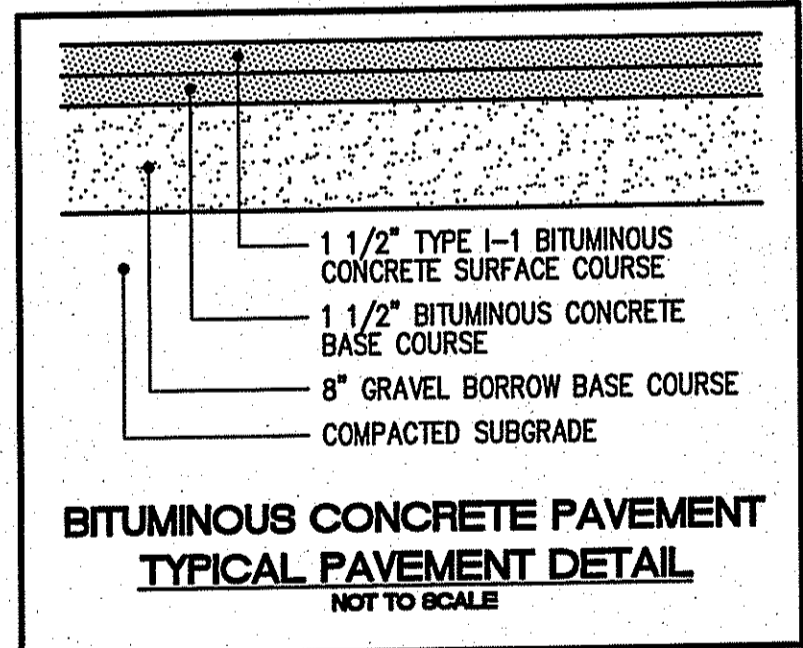
R.I. STANDARD 6.3.4
HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE)
N.T.S.



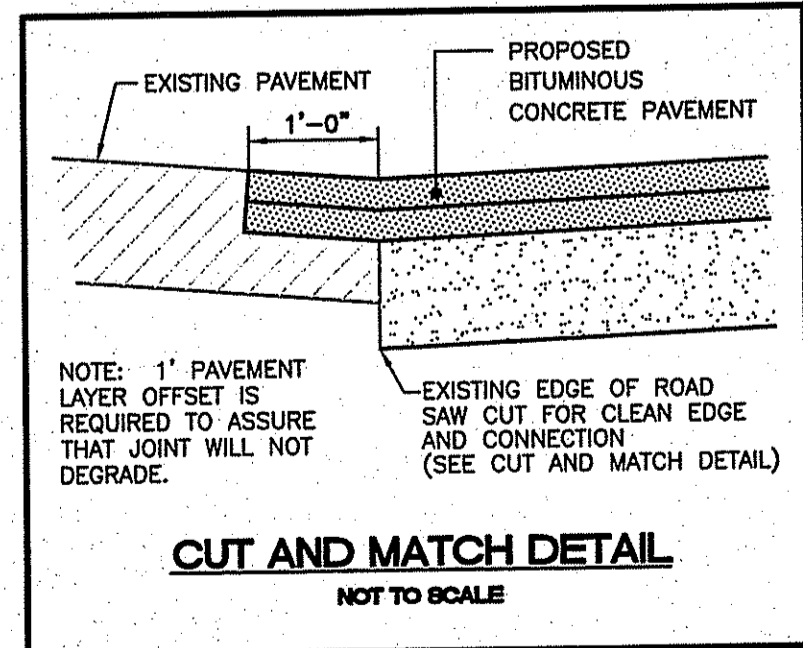
R.I. STANDARD 3.3.4
BRICK/SOLID BLOCK DOUBLE GRATE CATCH BASIN GRATE PARALLEL TO EDGE OF PAVEMENT
N.T.S.



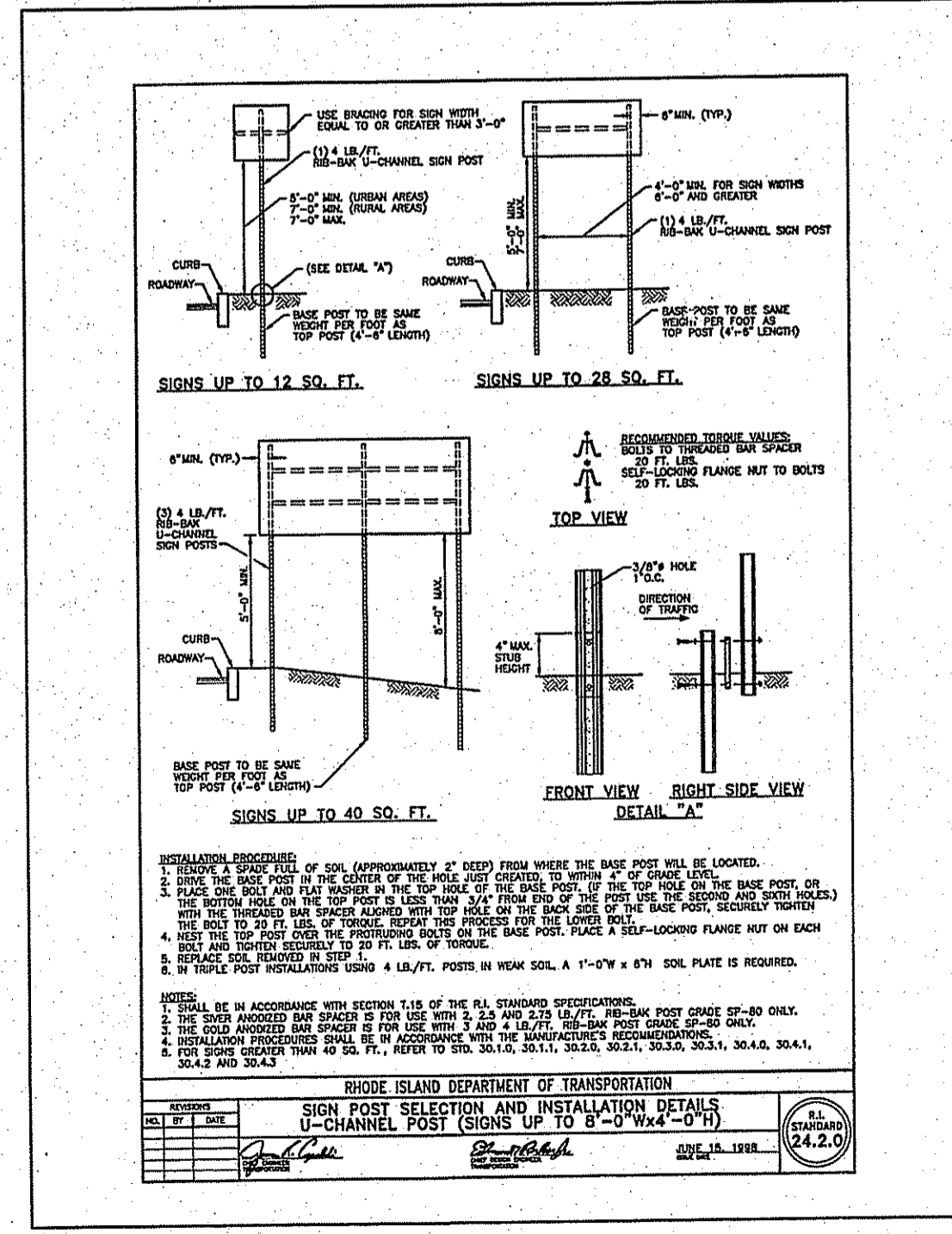
R.I. STANDARD 6.3.1
SQUARE FRAME AND GRATE
N.T.S.



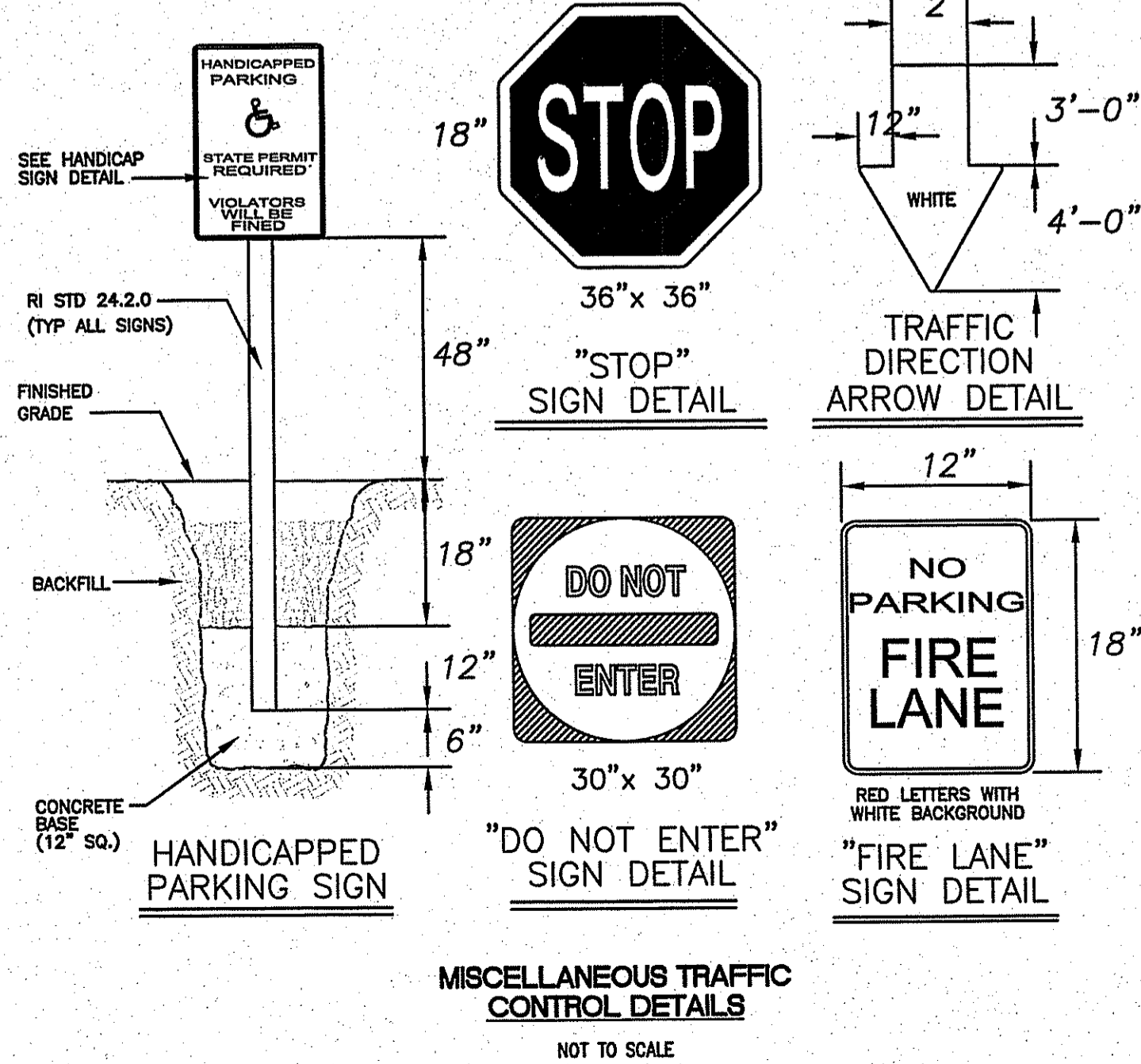
BITUMINOUS CONCRETE PAVEMENT TYPICAL PAVEMENT DETAIL
NOT TO SCALE



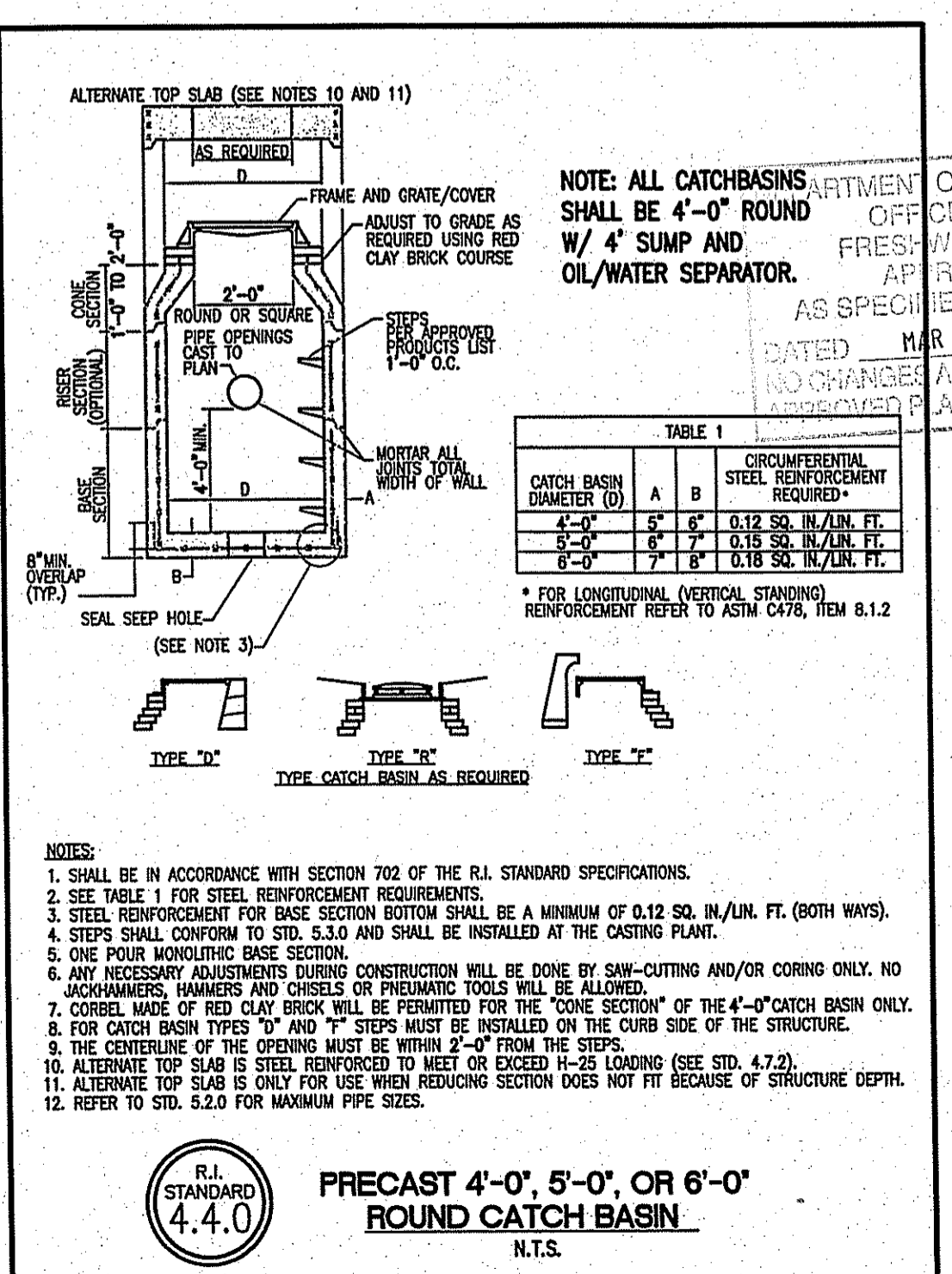
CUT AND MATCH DETAIL
NOT TO SCALE



R.I. STANDARD 24.2.0
SIGN POST SELECTION AND INSTALLATION DETAILS
N.T.S.



MISCELLANEOUS TRAFFIC CONTROL DETAILS
NOT TO SCALE



R.I. STANDARD 4.4.0
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN
N.T.S.

NO.	DATE	REVISION
1	1/20/2012	ADD DETAIL SHEET
2	2/17/2012	ADD DETAILS PER RIDOT

Environmental Management
FEB 17 2012
JEFFREY C. HANSON
No. 5238
PROFESSIONAL ENGINEER

ILLSTONE ENGINEERING, P.C.
CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE • LAND PLANNING
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PROJECT DETAILS 2
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