

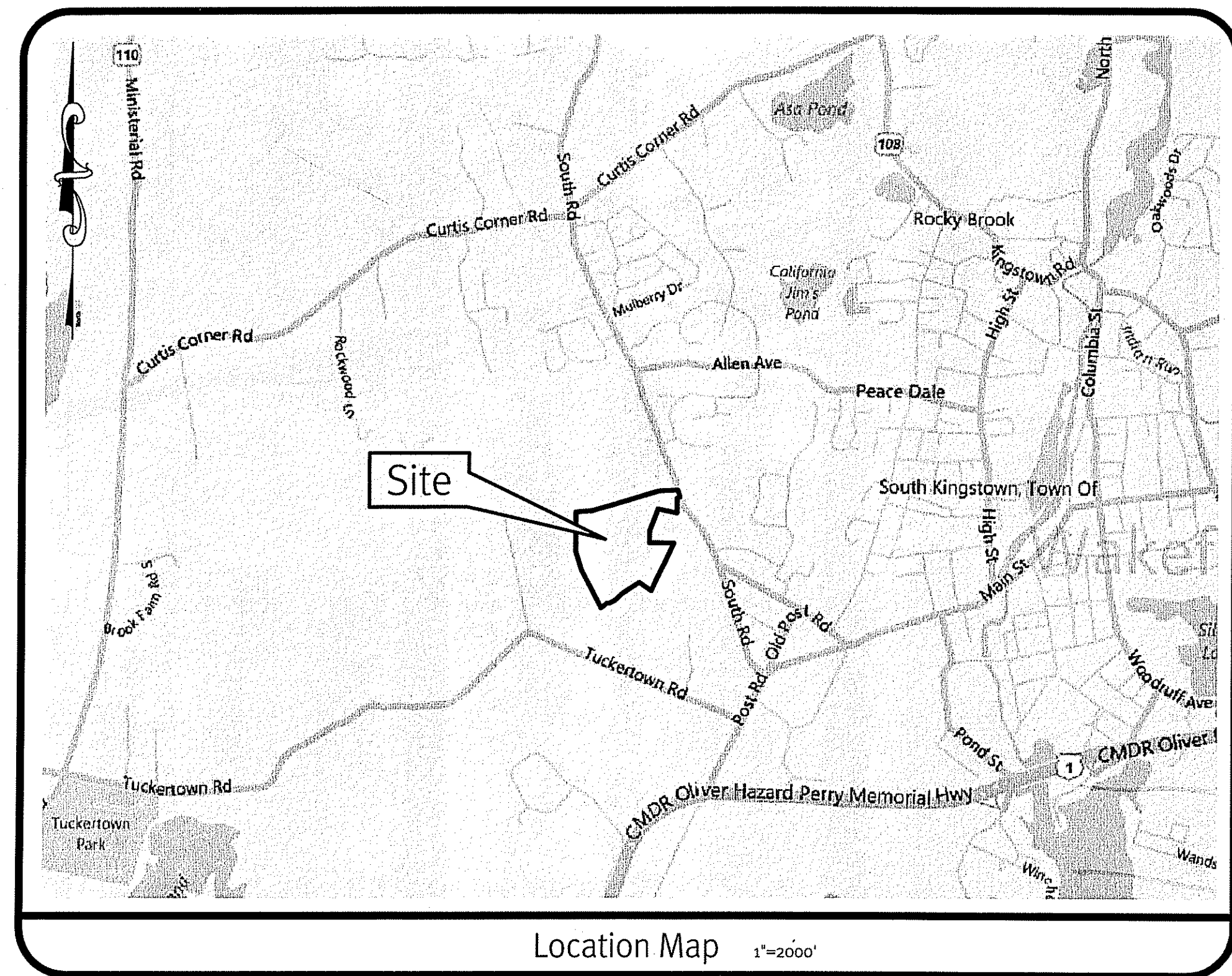
RIDEM Preliminary Determination Submission

Stone Soup Farm

South Road

South Kingstown, Rhode Island

Assessor's Plat 55-3, Lot 3



Sheet Index

1. Cover Sheet
2. Half Mile Aerial Map
3. Existing Resources and Site Analysis Plan
4. Overall Plan
5. Grading Plan - 1
6. Grading Plan - 2
7. Grading Plan - 3
8. Grading Plan - 4
9. Plan & Profile - 1
10. Plan & Profile - 2
11. Plan & Profile - 3
12. Plan & Profile - 4
13. Detail Sheet - 1
14. Detail Sheet - 2
15. Detail Sheet - 3
16. Detail Sheet - 4
17. Detail Sheet - 5

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 11-0174
DATED NOV 21 2011
SEE LETTER OF SAME DATE.

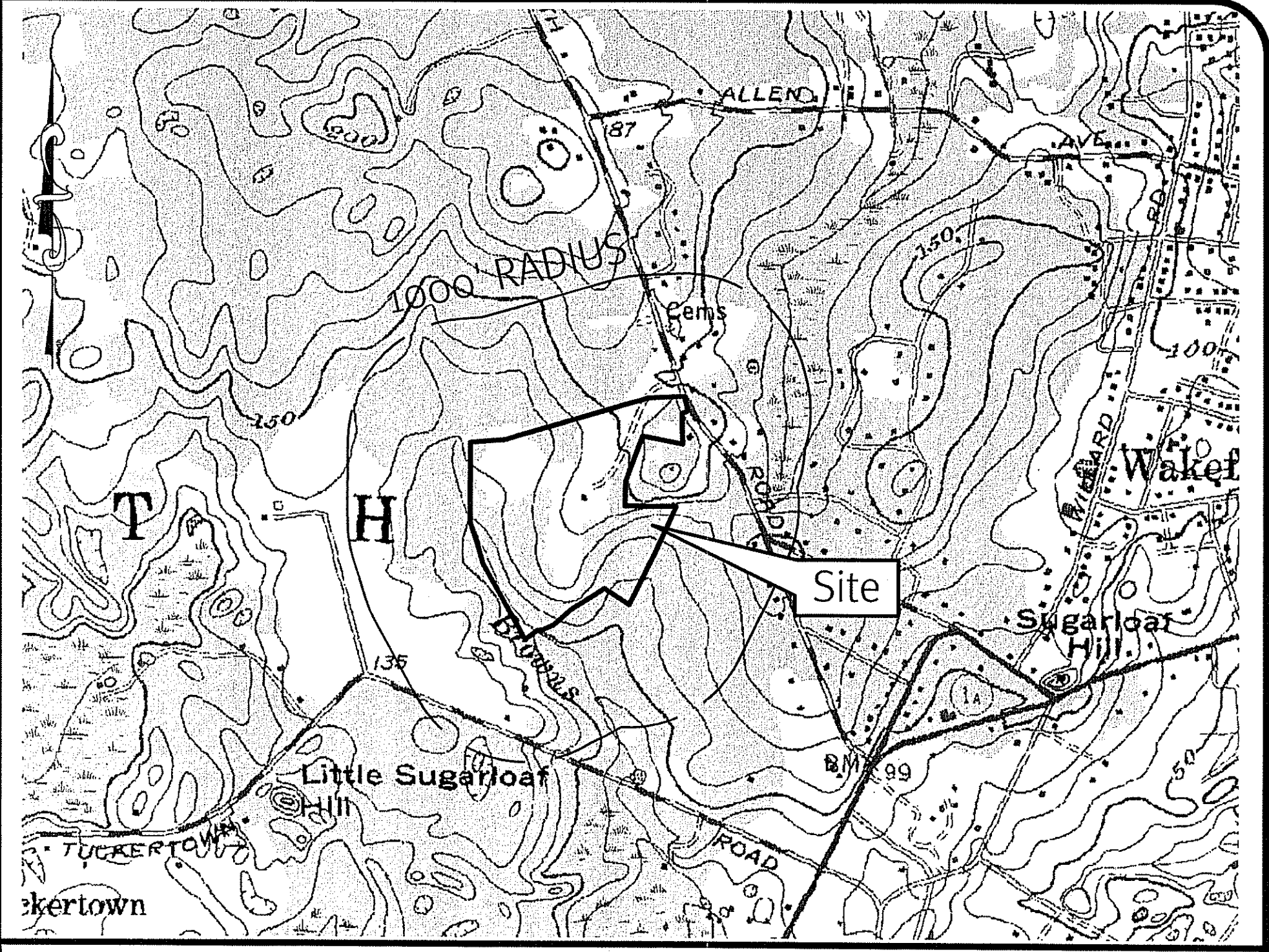
Charles A. Haber

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

THIS REGULATORY SUBMISSION SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY A DIPRETE ENGINEERING REPRESENTATIVE.

| | | <p>Cover Sheet</p> <p>Stone Soup Farm Assessor's Plat 55-3, Lot 3 South Kingstown, Rhode Island</p> <p>DiPrete Engineering Two Stafford Court Cranston, RI 02920 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com</p> <p>Owner / Applicant: Stone Soup Cottage Works, LLC 151 Pond Street Wakefield, RI 02879</p> | | | | | | | | | | | | |
|--|---------|--|------|-------------|-----|---|---------|--|-----|---|---------|-----------------------------------|-----|--|
| <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> <th>By:</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>9-15-11</td> <td>RIDEM Preliminary Determination Submission</td> <td>DAK</td> </tr> <tr> <td>2</td> <td>9-15-11</td> <td>RIDEM Site Suitability Submission</td> <td>DAK</td> </tr> </tbody> </table> | | No. | Date | Description | By: | 1 | 9-15-11 | RIDEM Preliminary Determination Submission | DAK | 2 | 9-15-11 | RIDEM Site Suitability Submission | DAK | <p>DiPrete Engineering Office of Water Resources 8/24/11</p> |
| No. | Date | Description | By: | | | | | | | | | | | |
| 1 | 9-15-11 | RIDEM Preliminary Determination Submission | DAK | | | | | | | | | | | |
| 2 | 9-15-11 | RIDEM Site Suitability Submission | DAK | | | | | | | | | | | |
| <p>SHEET 1 OF 17</p> | | <p>DE Job No: 1762-001 Copyright 2011 by DiPrete Engineering Associates, Inc.</p> | | | | | | | | | | | | |

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USGS Map Scale: 1"=1000'

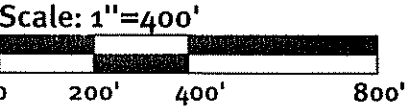


Photo obtained from the RI-GIS of 2008 Digital Orthophotography Southern Urban Areas of Rhode Island.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 11-0178
 DATED **NOV 21 2011**
 SEE LETTER OF SAME DATE.

Charles A. Hubert

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

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KEVIN C. MORIN
 No. 7051
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

Half Mile Aerial Map

Stone Soup Farm

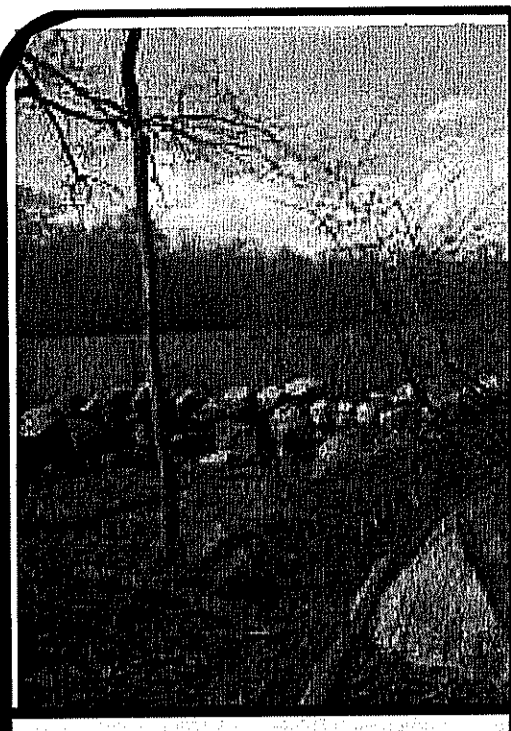
Assessor's Plat 55-3, Lot 3
 South Kingstown, Rhode Island

DiPrete Engineering

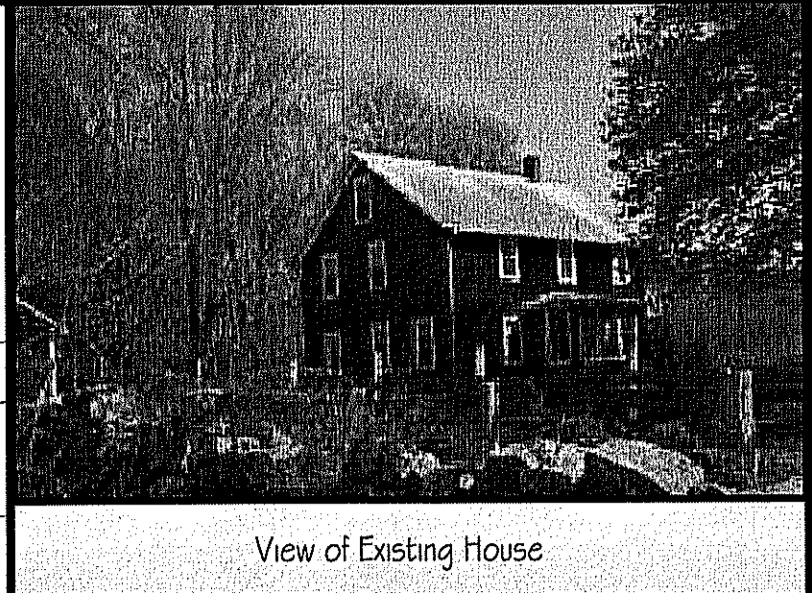
Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Stone Soup Cottage Works, LLC
 151 Pond Street
 Wakefield, RI 02879

| No. | Date | Description | Drawn By |
|-----|---------|--|----------|
| 1 | 9-15-11 | RIDEM Preliminary Determination Submission | DMR |
| 2 | 9-15-11 | RIDEM Site Suitability Submission | DMR |



Stone wall Along Property Line



View of Existing House



Looking North to Existing Field

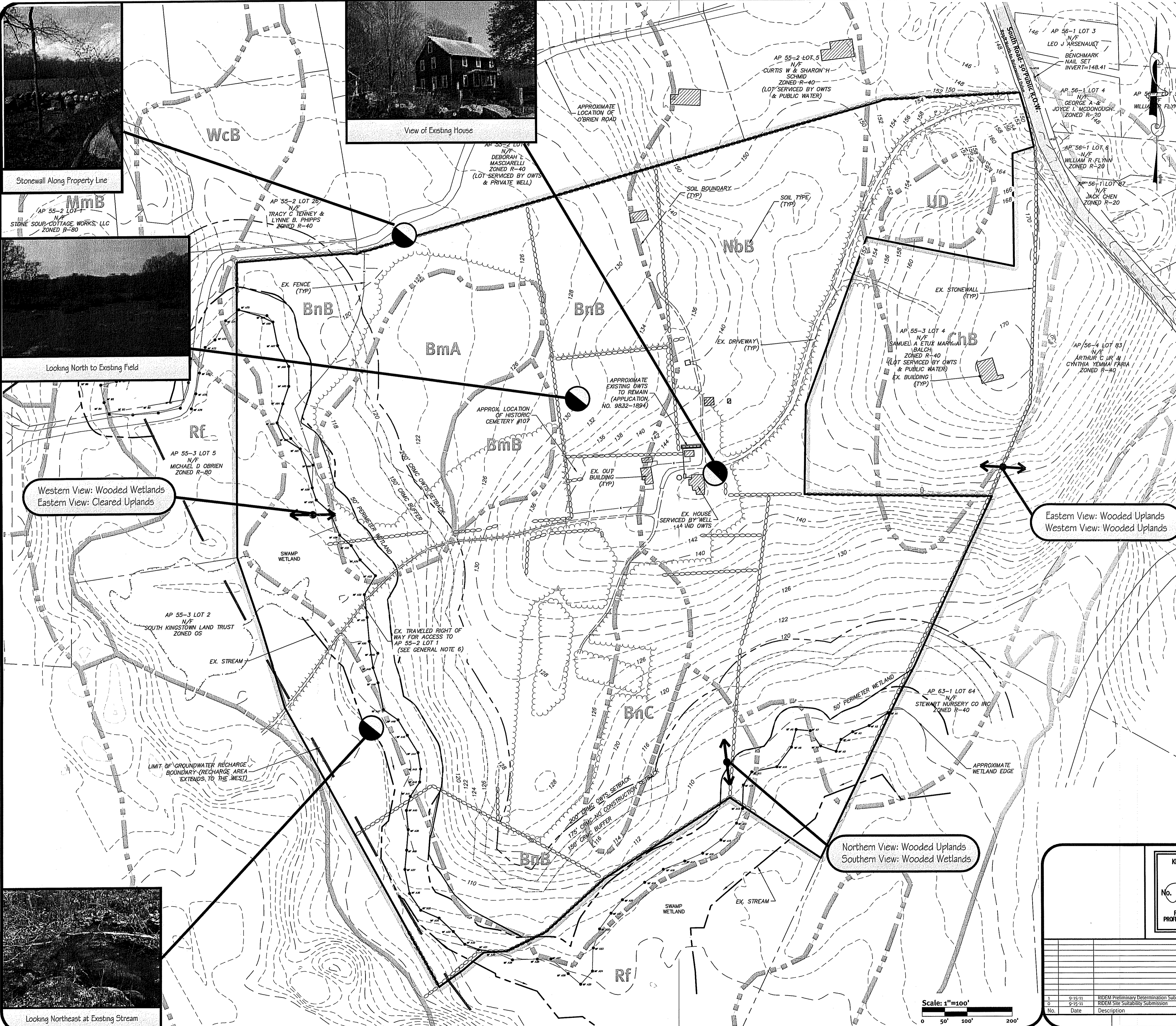
Western View: Wooded Wetlands
Eastern View: Cleared Uplands

Eastern View: Wooded Uplands
Western View: Wooded Uplands

Northern View: Wooded Uplands
Southern View: Wooded Wetlands



Looking Northeast at Existing Stream



- General Notes:**
1. THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN ASSESSOR'S PLAT 55-3 LOT 3. THE SITE IS 49.9± ACRES AND IS ZONED R-40.
 2. THE OWNER OF AP 55-3 LOT 3 IS: STONE SOUP COTTAGE WORKS, LLC.
 3. THIS SITE IS LOCATED WITHIN A ZONE X FLOOD FLOOD ZONE. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44009C0194H, MAP REVISED OCTOBER 19, 2010. ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN.
 4. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-7233, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
 5. THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS I SURVEY AS PERFORMED BY JACKSON SURVEYING, P.O. BOX 454, CHARLESTOWN, RI 02813, PLANS DATED MARCH 1990. THE PLAN ITSELF CONFORMS ONLY TO A CLASS I STANDARD AS ADOPTED BY RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD.
 6. THE EXISTING TRAVELED RIGHT OF WAY AS SHOWN PER PLANS PREPARED BY JACKSON SURVEYING, P.O. BOX 454, CHARLESTOWN, RI 02813, PLANS DATED MARCH 1992.
 7. EXISTING SITE FEATURES AS SHOWN ON THIS PLAN WAS PREPARED BY JACKSON SURVEYING, P.O. BOX 454, CHARLESTOWN, RI 02813, PLANS DATED MARCH 1990.
 8. THE WETLAND FLAG LOCATIONS SHOWN WERE FLAGGED AND SURVEYED BY DIPRETE ENGINEERING. RIDEM VERIFIED THIS WETLAND EDGE UNDER APPLICATION NO. 11-0031.
 9. THE CONTOUR INTERVAL IS 2 FEET & TOPOGRAPHY IS TAKEN FROM THE TOWN OF SOUTH KINGSTOWN GIS DATA. DIPRETE ENGINEERING PERFORMED LIMITED TOPOGRAPHIC SURVEY IN THE AREAS OF THE PROPOSED DEVELOPMENT.
 10. THERE ARE AREAS OF AGRICULTURAL USE ON THE SUBJECT SITE. THE SITE WAS USED FOR HORSES AND THE FIELD AREAS USED FOR THE BALING OF HAY.
 11. THE SUBJECT PARCEL IS NOT LOCATED IN A NATURAL HERITAGE AREA.
 12. THE SITE IS LOCATED IN THE CRMC SALT POND SPECIAL AREA MANAGEMENT PLAN (SELF SUSTAINING LANDS).
 13. A PORTION OF THE SUBJECT PARCEL IS LOCATED IN A GROUNDWATER RECHARGE AREA.

Soil Descriptions:

BmA-BRIDGEHAMPTON SILT LOAM, 0 TO 3 PERCENT SLOPES. THIS NEARLY LEVEL, WELL DRAINED SOIL IS ON CRESTS OF UPLAND HILLS. THE PERMEABILITY OF THIS SOIL IS MODERATE IN THE SURFACE LAYER AND SUBSOIL AND MODERATELY RAPID TO RAPID IN THE SUBSTRATUM. AVAILABLE WATER CAPACITY IS HIGH, AND RUNOFF IS SLOW. THIS SOIL IS SUITABLE FOR COMMUNITY DEVELOPMENT.

BmB-BRIDGEHAMPTON SILT LOAM, 3 TO 8 PERCENT SLOPES. THIS GENTLY SLOPING, WELL DRAINED TO MODERATELY WELL DRAINED SOIL IS ON OUTWASH PLAINS AND TERRACES. THE PERMEABILITY OF THIS SOIL IS MODERATE IN THE SURFACE LAYER AND SUBSOIL AND RAPID OR VERY RAPID IN THE SUBSTRATUM. AVAILABLE WATER CAPACITY IS HIGH, AND RUNOFF IS MEDIUM. THIS SOIL IS SUITABLE FOR COMMUNITY DEVELOPMENT.

BnB-BRIDGEHAMPTON-CHARLTON COMPLEX VERY STONY, 0 TO 8 PERCENT SLOPES. THIS COMPLEX CONSISTS OF NEARLY LEVEL TO GENTLY SLOPING, WELL DRAINED TO MODERATELY WELL DRAINED SOILS ON SLOPES AND CRESTS OF UPLAND HILLS. THE PERMEABILITY OF THIS SOIL IS MODERATE IN THE SURFACE LAYER AND MODERATELY RAPID OR RAPID IN THE SUBSTRATUM. AVAILABLE WATER CAPACITY IS MODERATE, AND RUNOFF IS SLOW TO MEDIUM. THIS SOIL IS SUITABLE FOR COMMUNITY DEVELOPMENT.

BnC- BRIDGEHAMPTON-CHARLTON COMPLEX VERY STONY, 8 TO 15 PERCENT SLOPES. THIS COMPLEX CONSISTS OF SLOPING, WELL DRAINED TO MODERATELY WELL DRAINED SOILS ON SIDE SLOPES OF UPLAND HILLS. THE PERMEABILITY OF THIS SOIL IS MODERATE TO MODERATELY RAPID. AVAILABLE WATER CAPACITY IS MODERATE, AND RUNOFF IS MEDIUM. THIS SOIL IS SUITABLE FOR COMMUNITY DEVELOPMENT.

ChB - CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES. THESE GENTLY SLOPING, WELL DRAINED SOILS ARE ON SIDE SLOPES AND CRESTS OF GLACIAL UPLAND HILLS AND RIDGES. THE PERMEABILITY OF THIS SOIL IS MODERATE TO MODERATELY RAPID. AVAILABLE WATER CAPACITY IS MODERATE, AND RUNOFF IS MEDIUM. THIS SOIL IS SUITABLE FOR COMMUNITY DEVELOPMENT.

NbB- NARRAGANSETT VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES. THIS NEARLY LEVEL TO GENTLY SLOPING, WELL DRAINED SOIL IS ON CRESTS AND SIDE SLOPES OF GLACIAL TILL UPLANDS. THE PERMEABILITY OF THIS SOIL IS MODERATE IN THE SURFACE LAYER AND MODERATELY RAPID OR RAPID IN THE SUBSTRATUM. AVAILABLE WATER CAPACITY IS MODERATE, AND RUNOFF IS MEDIUM. THIS SOIL IS SUITABLE FOR COMMUNITY DEVELOPMENT.

UD-UDORTMENTS, URBAN LAND COMPLEX THIS UNIT CONSISTS OF AREAS THAT HAVE BEEN DISTURBED BY CUTTING OR FILLING AND AREAS THAT ARE COVERED BY BUILDINGS AND PAVEMENT.

Rf-RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAM. THIS NEARLY LEVEL POORLY DRAINED AND VERY POORLY DRAINED SOILS ARE ALONG DRAINAGE WAYS AND IN DEPRESSIONS IN GLACIAL TILL UPLANDS. THE PERMEABILITY OF THIS SOIL IS MODERATE IN THE SURFACE LAYER AND SLOW OR VERY SLOW IN THE SUBSTRATUM. AVAILABLE WATER CAPACITY IS MODERATE, AND RUNOFF IS SLOW TO MEDIUM. THIS SOIL IS POORLY SUITED FOR COMMUNITY DEVELOPMENT.

Legend:

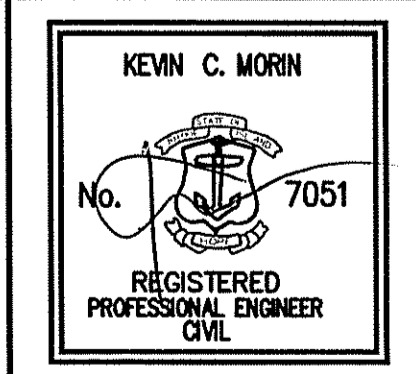
| | |
|-----------------------------------|---------------------|
| Utility Pole | PR OWTS |
| Wetland Flag | N/F NOW OR FORMERLY |
| Property Line | AP ASSESSOR'S PLAT |
| Wetland Line | 2' CONTOUR |
| 50' PERIMETER WETLAND | 10' CONTOUR |
| 100' RIVERBANK WETLAND | TREELINE |
| 150' CRMC BUFFER | STONE WALL |
| 175' CRMC NO CONSTRUCTION SETBACK | FENCE |
| 200' CRMC OWTS SETBACK | PAVEMENT |

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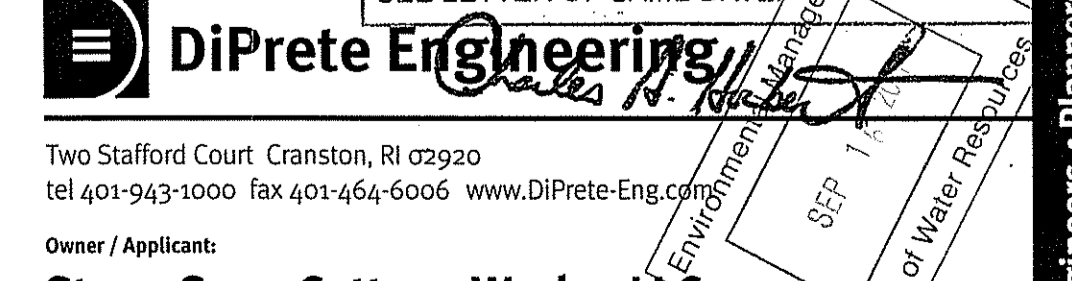
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0 50' 100' 200'

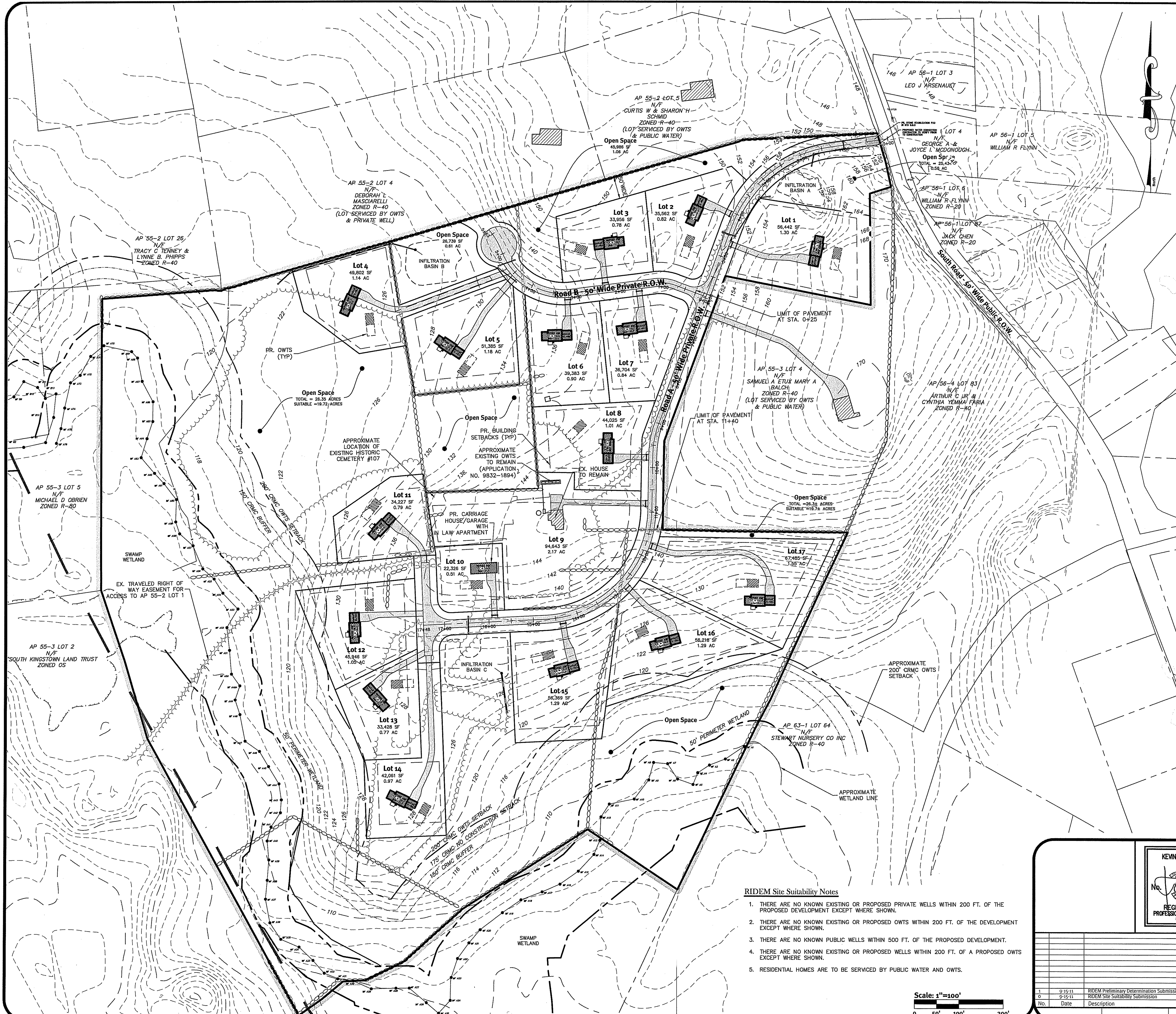


Existing Resources and Site Analysis Plan

OFFICE OF WATER RESOURCES
Stone Soup Farm
 Assessor's Plat 55-3, Lot 3
 South Kingstown, Rhode Island
 REVIEWED SITE PLAN APPLICATION NO.:
 DATED NOV 21 2011
 SEE LETTER OF SAME DATE



Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com
Stone Soup Cottage Works, LLC
 151 Pond Street
 Wakefield, RI 02879



- General Notes:**
- THE SITE IS PROPOSED TO BE SERVICED BY PUBLIC WATER AND PRIVATE ON-SITE WASTE WATER TREATMENT SYSTEMS (OWTS). THERE ARE NO OWTS PROPOSED WITHIN 200' OF THE WETLAND.
 - ROAD A SERVICES MORE THAN 10 LOTS AND IS PROPOSED TO BE A 50' WIDE PRIVATE RIGHT OF WAY WITH PAVEMENT TO STATION 11+40 (18' WIDE) AND THEN THE ROADWAY WILL TRANSITION TO A GRAVEL ROAD BASE (18' WIDE). ROAD B SERVICES LESS THAN 10 LOTS AND IS PROPOSED TO BE A 50' WIDE PRIVATE RIGHT OF WAY WITH PAVEMENT TO STATION 0+25 (18' WIDE) AND THEN THE ROADWAY WILL TRANSITION TO A GRAVEL ROAD BASE (18' WIDE), RIGHT OF WAY, ROADWAY, AND CUL-DE-SAC DESIGN CRITERIA OBTAINED FROM THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 - THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE STORMWATER MANAGEMENT SYSTEM MEETS RIDEM AND SOUTH KINGSTOWN BEST MANAGEMENT PRACTICES.
 - DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO RIDEM BEST MANAGEMENT PRACTICES.
 - OPEN SPACE AREA WILL BE UTILIZED FOR PASSIVE RECREATION AND/OR ACTIVE AGRICULTURAL USE.
 - THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
 - THE SITE IS PROPOSED WITH UNDERGROUND UTILITIES.

Dimensional Regulations:

| | |
|-----------------------------|------------------|
| UNDERLYING ZONE: | RESIDENTIAL R-40 |
| FLEXIBLE DESIGN ZONING: | RESIDENTIAL R-10 |
| MINIMUM LOT AREA: | 10,000 SF |
| MINIMUM FRONTAGE/LOT WIDTH: | 80 (20' *) |
| MAXIMUM BUILDING COVERAGE: | 25% |
| MAXIMUM HEIGHT: | 35' |
| MINIMUM FRONT YARD: | 25' |
| MINIMUM CORNER YARD: | 20' |
| MINIMUM SIDE YARD: | 10' |
| MINIMUM REAR YARD: | 30' |

* PER SECTION 502.2.A LOT FRONTAGE AND WIDTH, FLEXIBLE PROVISIONS- IN R10 TO R200 ZONES, THE PLANNING BOARD IS AUTHORIZED TO REDUCE THE LOT FRONTAGE AND LOT WIDTH OF NEWLY CREATED LOTS IN A SUBDIVISION ON ANY PUBLIC OR APPROVED PRIVATE STREET TO A MINIMUM OF 20 FEET.

Development Data:

| | |
|---|----------------------|
| TOTAL SITE AREA: | 49.94 ACRES |
| TOTAL NUMBER OF LOTS: | 17 |
| TOTAL DWELLING UNITS: | 18,368± UNITS |
| TOTAL AREA OF LOTS: | 18,368± ACRES |
| RIGHT OF WAY AREA: | 2,982± ACRES |
| RIGHT OF WAY WIDTH: | |
| PRIVATE ROAD A (> 10 LOTS): | 50' |
| PRIVATE ROAD B (< 10 LOTS): | 50' |
| TOTAL LENGTH OF ROAD: | 2,225' |
| PRIVATE ROAD A: | 1748' |
| PRIVATE ROAD B: | 563' |
| PAVEMENT WIDTH: | |
| PRIVATE ROAD A PAVED STA 0+00 TO 11+40 (> 10 LOTS): | 18' WAIVER REQUESTED |
| PRIVATE ROAD A GRAVEL STA 11+40 TO 17+48 (< 10 LOTS): | 18' WAIVER REQUESTED |
| PRIVATE ROAD B PAVED STA 0+00 TO 0+25 (< 10 LOTS): | 18' WAIVER REQUESTED |
| PRIVATE ROAD B GRAVEL STA 0+25 TO 5+63 (< 10 LOTS): | 18' WAIVER REQUESTED |

Open Space Analysis:

| | |
|-----------------------------------|--------------------------------------|
| TOTAL SITE AREA: | 49.94 ACRES |
| TOTAL UNSUITABLE AREA (WETLANDS): | 6.63 ACRES |
| TOTAL SUITABLE LAND: | 43.31 ACRES |
| REQUIRED SUITABLE OPEN SPACE: | 21.65 ACRES (50% OF SUITABLE LAND) |
| PROPOSED OPEN SPACE: | 28.60 ACRES |
| PROPOSED SUITABLE OPEN SPACE: | 21.99 ACRES (50.8% OF SUITABLE LAND) |

Density Analysis:

| | |
|------------------|---------------------------------------|
| TOTAL SITE AREA: | 49.94 ACRES |
| NUMBER OF UNITS: | 17 (16 LOTS WITH 1 IN LAW UNIT) |
| DENSITY: | .34 UNITS PER ACRE/2.9 ACRES PER UNIT |

Affordable Housing (Inclusionary Zoning):

A MINIMUM OF 20 PERCENT OF THE BASIC MAXIMUM NUMBER OF LOTS/UNITS MUST BE AFFORDABLE TO LOW AND/OR MODERATE INCOME HOUSEHOLDS AS DEFINED UNDER G.L. 1956, §45-53, LOW AND MODERATE INCOME HOUSING ACT. WHERE SUCH CALCULATION YIELDS A FRACTION OF A UNIT AND SUCH FRACTION IS .5 OR ABOVE THE REQUIREMENT SHALL BE ROUNDED TO THE NEXT HIGHER, WHOLE NUMBER.

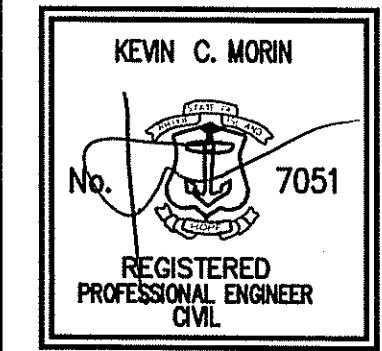
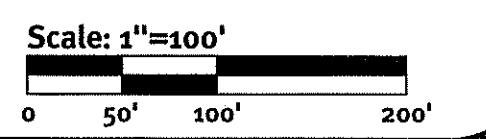
| | |
|-------------------------------------|--------------------------|
| BASIC MAXIMUM NUMBER OF LOTS/ UNIT: | 15 UNITS PROPOSED |
| AFFORDABLE CALCULATION: | BASIC MAX UNITS * 0.2 |
| LOT CALCULATION: | 15 UNITS * 0.2 = 3 UNITS |

AFFORDABLE UNITS PROPOSED: 3 UNITS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO. 11-0179
DATED NOV 21 2011
SEE LETTER OF SAME DATE

THIS REGULATORY SUBMISSION SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED "ISSUED FOR CONSTRUCTION" AND SIGNED BY A DIBRETE ENGINEERING REPRESENTATIVE.

- RIDEM Site Suitability Notes**
- THERE ARE NO KNOWN EXISTING OR PROPOSED PRIVATE WELLS WITHIN 200 FT. OF THE PROPOSED DEVELOPMENT EXCEPT WHERE SHOWN.
 - THERE ARE NO KNOWN EXISTING OR PROPOSED OWTS WITHIN 200 FT. OF THE DEVELOPMENT EXCEPT WHERE SHOWN.
 - THERE ARE NO KNOWN PUBLIC WELLS WITHIN 500 FT. OF THE PROPOSED DEVELOPMENT.
 - THERE ARE NO KNOWN EXISTING OR PROPOSED WELLS WITHIN 200 FT. OF A PROPOSED OWTS EXCEPT WHERE SHOWN.
 - RESIDENTIAL HOMES ARE TO BE SERVICED BY PUBLIC WATER AND OWTS.



Overall Plan

Stone Soup Farm
Assessor's Plat 55-3, Lot 3
South Kingstown, Rhode Island

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Stone Soup Cottage Works, LLC
151 Pond Street
Wakefield, RI 02879

SEP 14 2011
Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
Office of Water Resources

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Engineers • Planners • Surveyors



General Construction Notes

1. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
2. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDINGS. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS BY OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK. CALL TOLL FREE THE DIG SAFE CENTER AT 1-888-344-7233, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
4. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING HAS NOT PROVIDED THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
5. RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.

Asbuilt Notes

1. ALL COMPONENTS OF THE DRAINAGE AND WATER SYSTEMS MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

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Grading Plan - 1

Stone Soup Farm

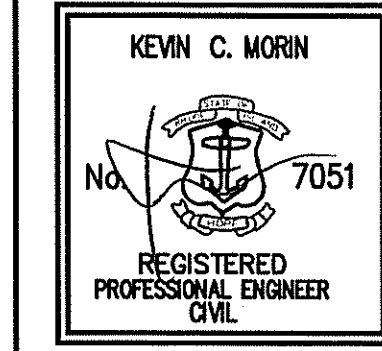
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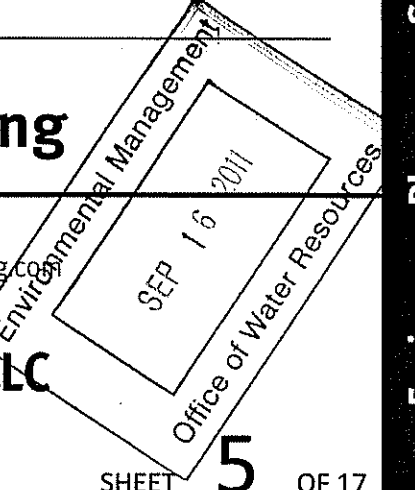
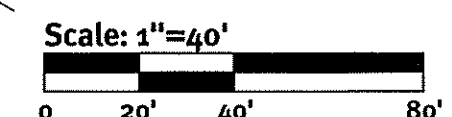
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 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Stone Soup Cottage Works, LLC

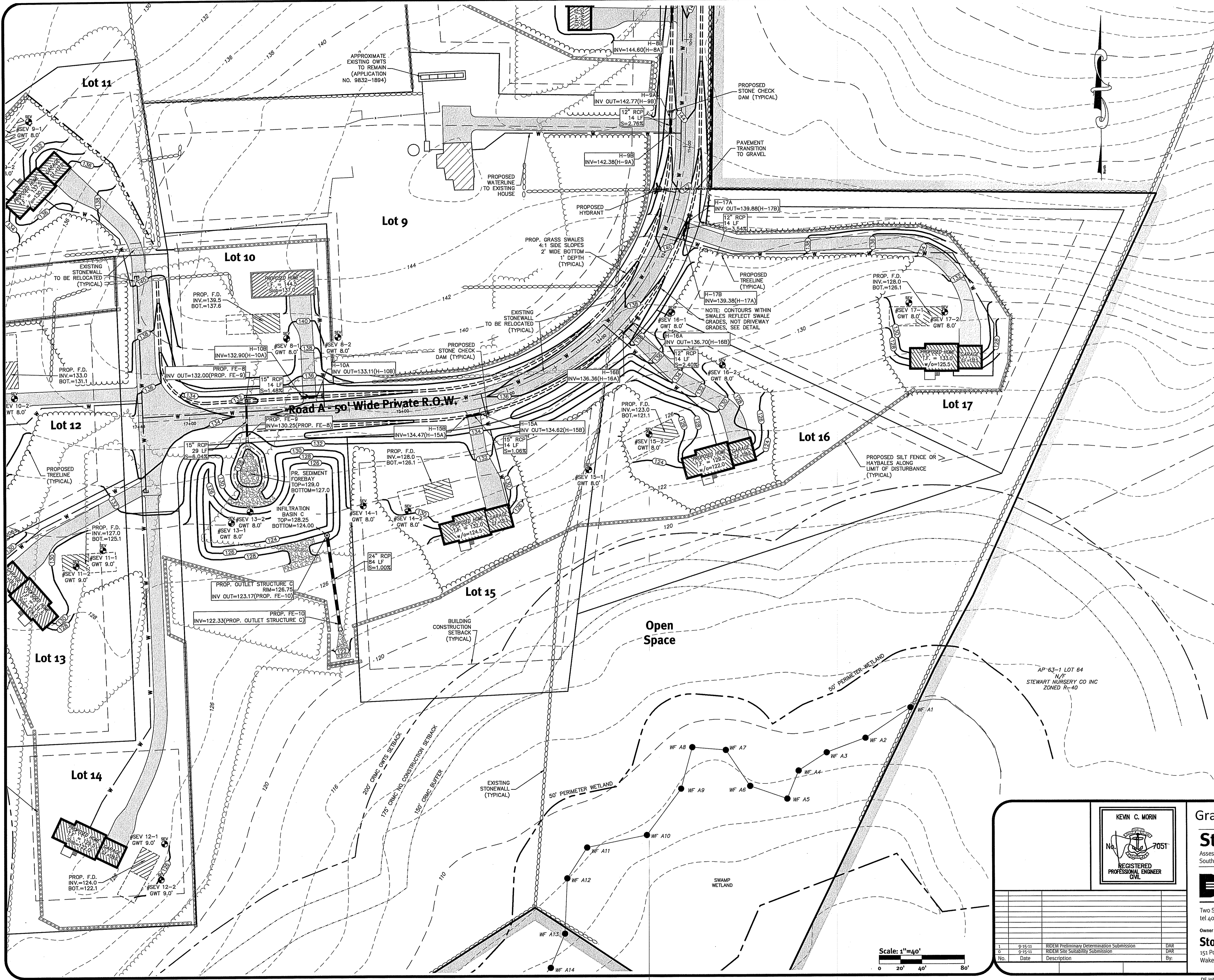
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| No. | Date | Description | By: |
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| 1 | 9-15-11 | RIDEM Preliminary Determination Submission | DMR |
| 2 | 9-25-11 | RIDEM Site Suitability Submission | DMR |

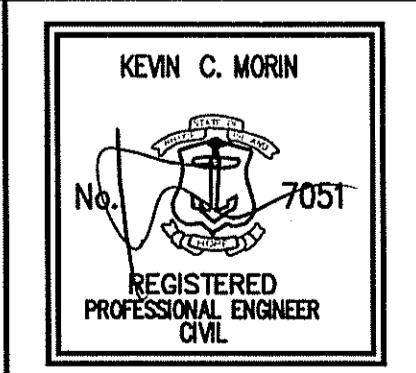


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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 11-0179
 DATED NOV 21 2011
 SEE LETTER OF SAME DATE.
Charles A. Hackett

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
 THIS REGULATORY SUBMISSION SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY A DIPRETE ENGINEERING REPRESENTATIVE.



Grading Plan - 2
Stone Soup Farm
 Assessor's Plat 55-3, Lot 3
 South Kingstown, Rhode Island

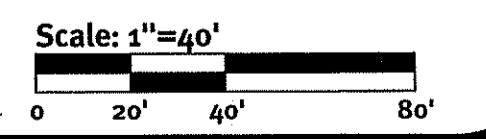
DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPreteEng.com

Owner / Applicant:
Stone Soup Cottage Works, LLC
 151 Pond Street
 Wakefield, RI 02879

AP-63-1 LOT 64
 W.F.
 STEWART NURSERY CO INC
 ZONED R-40

NOV 16 2011
 Office of Water Resources

| No. | Date | Description | By |
|-----|---------|--|-----|
| 1 | 9-15-11 | RIDEM Preliminary Determination Submission | DAR |
| 2 | 9-15-11 | RIDEM Site Suitability Submission | DAR |
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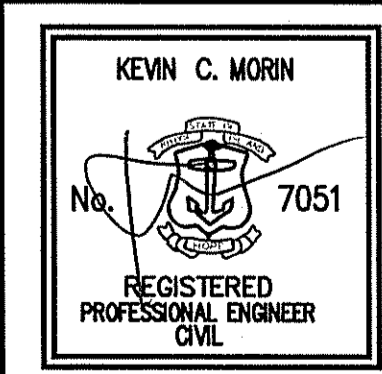
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 11-0179
 DATED NOV 21 2011
 SEE LETTER OF SAME DATE.

Charles A. Hebert

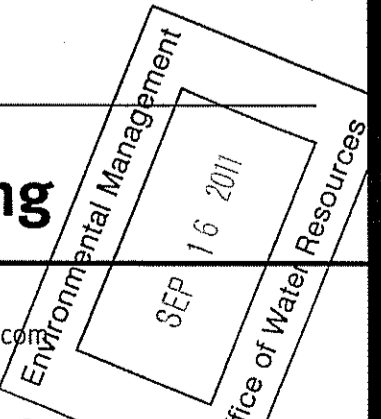
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
 THIS REGULATORY SUBMISSION SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED 'ISSUED FOR CONSTRUCTION' AND SIGNED BY A DIPRETE ENGINEERING REPRESENTATIVE.



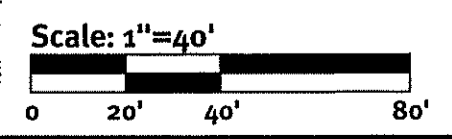
Grading Plan - 3
Stone Soup Farm
 Assessor's Plat 55-3, Lot 3
 South Kingstown, Rhode Island

DiPrete Engineering

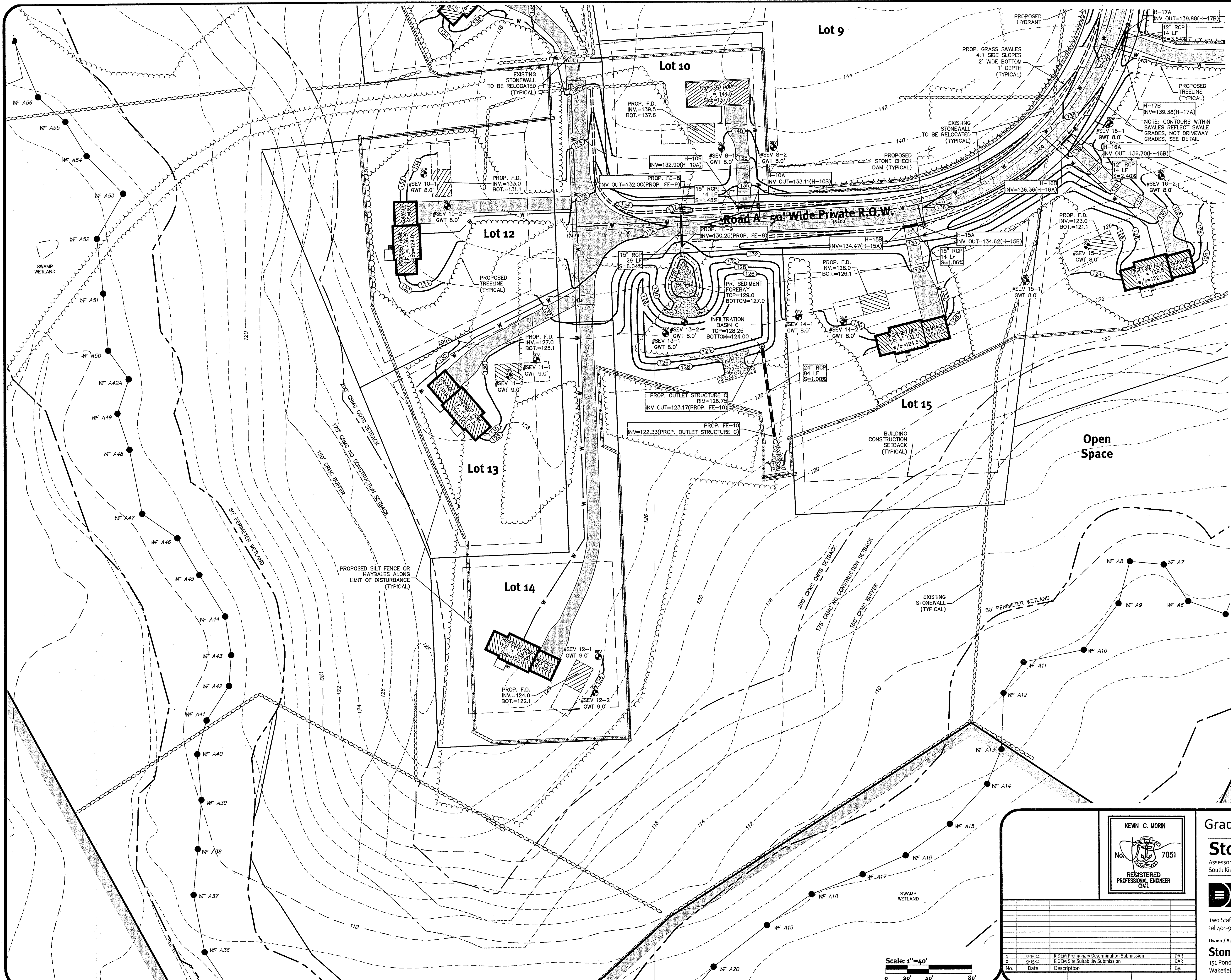
Two Stafford Court, Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com
 Owner / Applicant:
Stone Soup Cottage Works, LLC
 151 Pond Street
 Wakefield, RI 02879



| No. | Date | Description | By: |
|-----|---------|---|-----|
| 1 | 9-15-11 | RUEM Preliminary Determination Submission | DKR |
| 2 | 9-15-11 | RUEM Site Suitability Submission | DKR |
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| 4 | | | |



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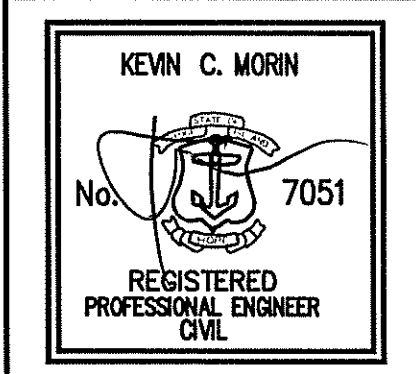


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN, APPLICATION NO.: 11-11-1019
 DATED NOV 21 2011
 SEE LETTER OF SAME DATE.

Charles A. Hubert

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

THIS REGULATORY SUBMISSION SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY A DIPRETE ENGINEERING REPRESENTATIVE.



Grading Plan - 4

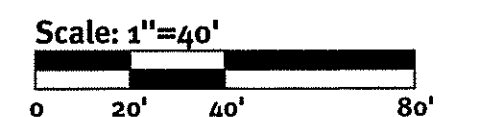
Stone Soup Farm
 Assessor's Plat 55-3, Lot 3
 South Kingstown, Rhode Island

DiPrete Engineering
 Environmental Management
 SEP 9 2011
 Office of Water Resources

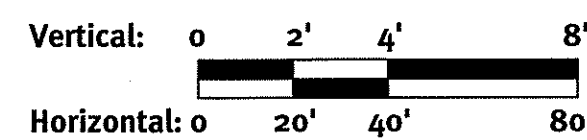
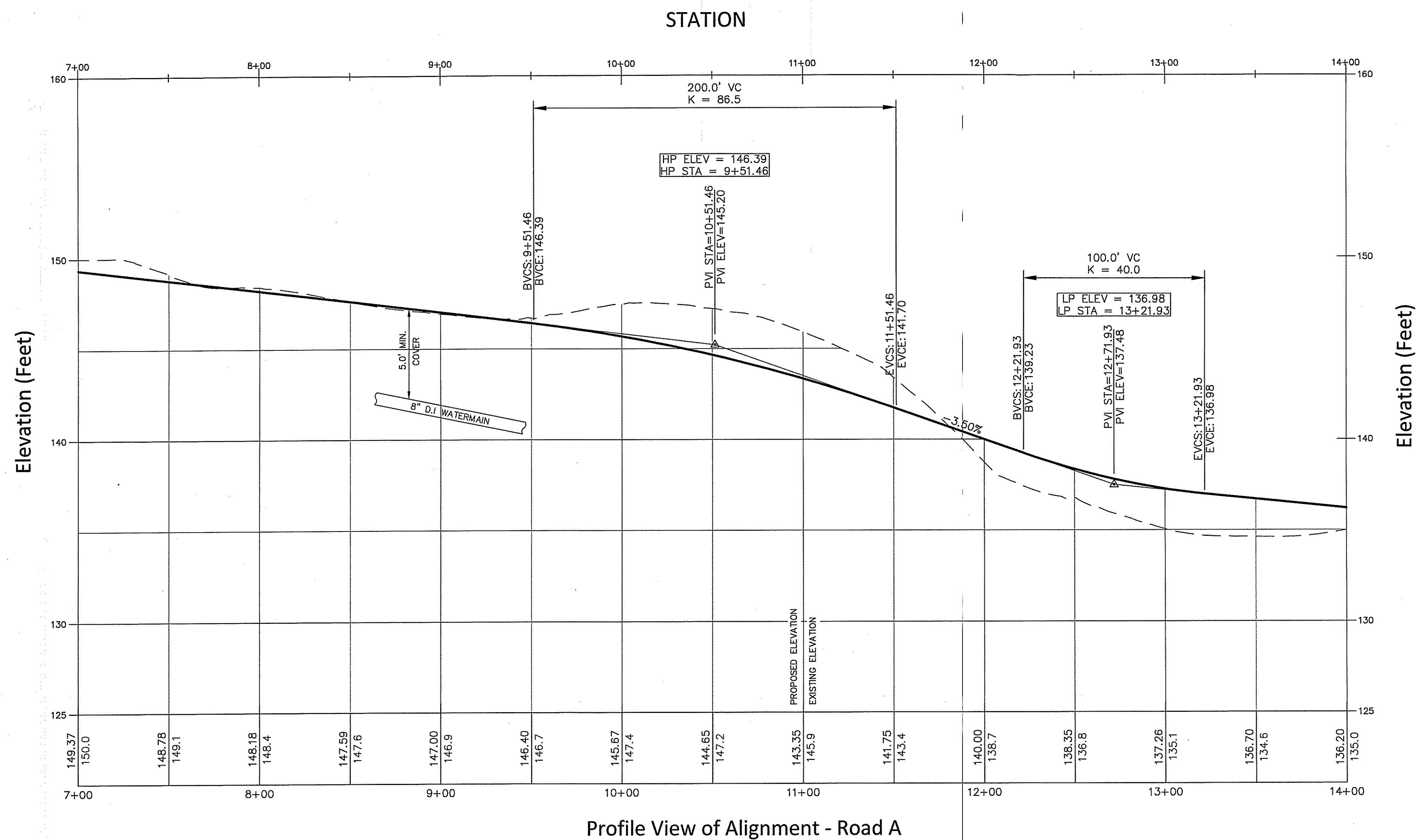
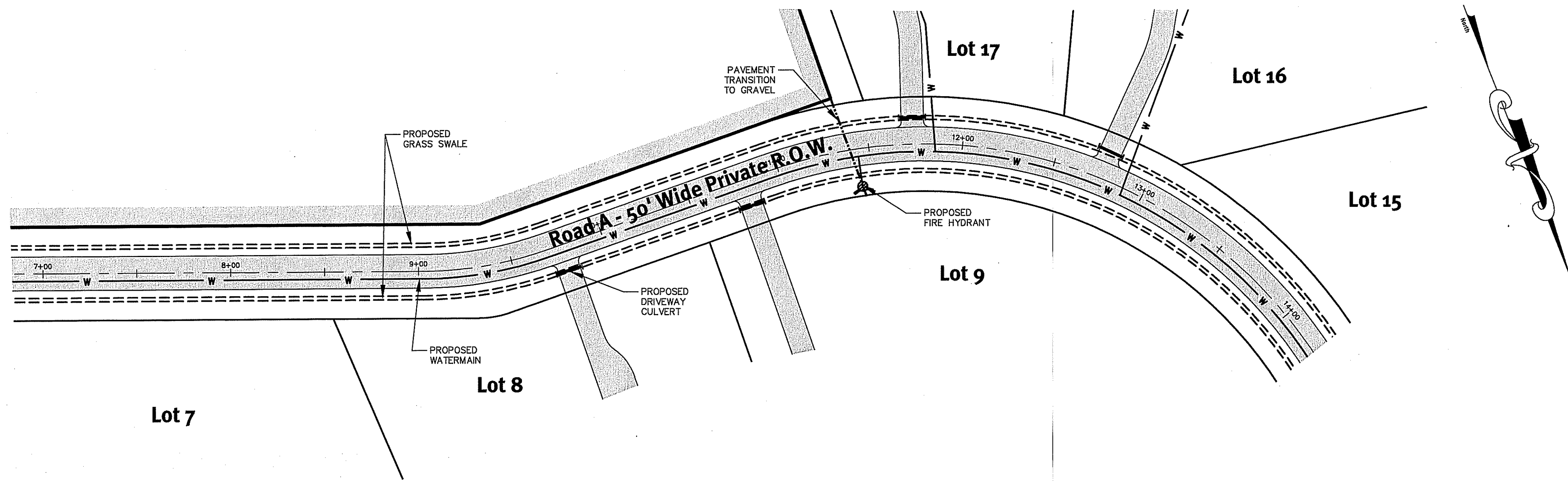
Two Stafford Court, Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete.com

Owner / Applicant:
Stone Soup Cottage Works, LLC
 151 Pond Street
 Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|---------|--|-----|
| 1 | 9-15-11 | RIDEM Preliminary Determination Submission | DAR |
| 2 | 9-15-11 | RIDEM Site Suitability Submission | DAR |
| No. | Date | Description | By: |



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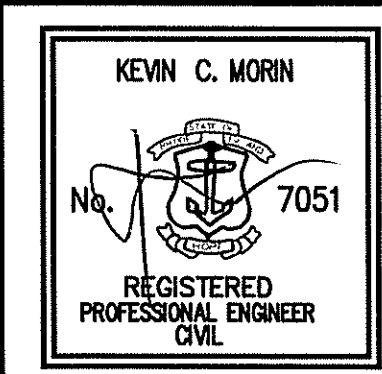


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 11-0179
DATED: NOV 21 2011
SEE LETTER OF SAME DATE.

Charles A. Hackett

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

THIS REGULATORY SUBMISSION SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED 'ISSUED FOR CONSTRUCTION' AND SIGNED BY A DIPRETE ENGINEERING REPRESENTATIVE.

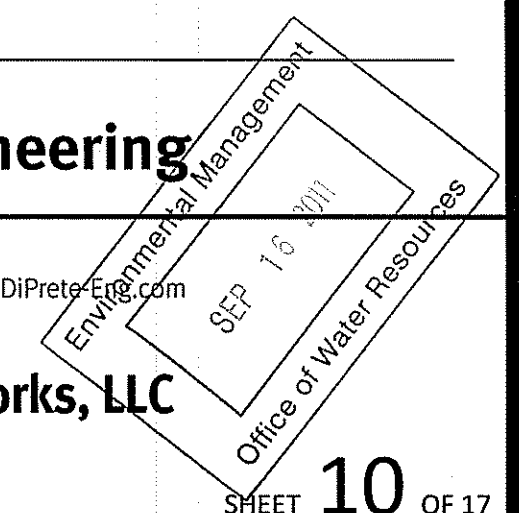


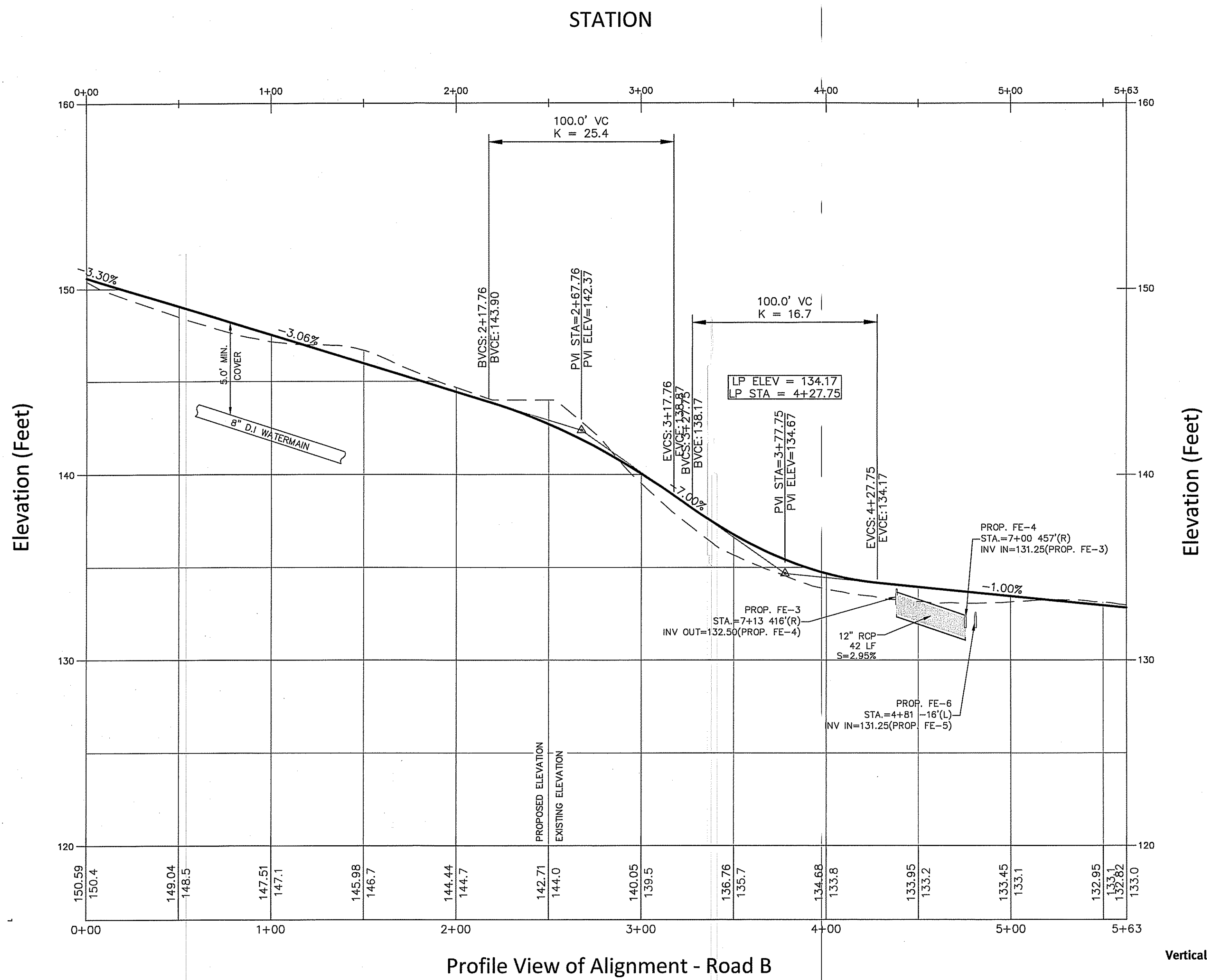
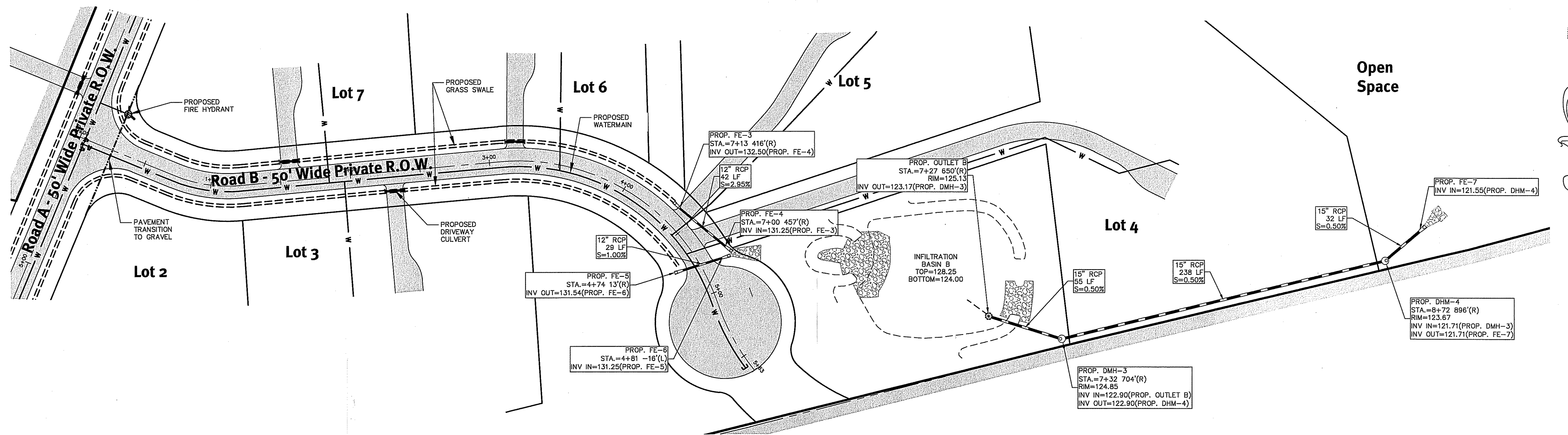
Plan & Profile - 2
Stone Soup Farm
Assessor's Plat 55-3, Lot 3
South Kingstown, Rhode Island

DiPrete Engineering

Two Stafford Court, Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPreteEng.com
Owner / Applicant:
Stone Soup Cottage Works, LLC
151 Pond Street
Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|---------|---|-----|
| 1 | 9-15-11 | RCDM Preliminary Determination Submission | DKK |
| 2 | 9-15-11 | RCDM Site Suitability Submission | DAR |
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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 REVIEWED SITE PLAN APPLICATION NO.: 11-0179
 DATED NOV 21 2011
 SEE LETTER OF SAME DATE.
Charles A. Herbert

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

THIS REGULATORY SUBMISSION SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED/ISSUED FOR CONSTRUCTION AND SIGNED BY A DIPRETE ENGINEERING REPRESENTATIVE.



Plan & Profile - 4

Stone Soup Farm
 Assessor's Plat 55-3, Lot 3
 South Kingstown, Rhode Island

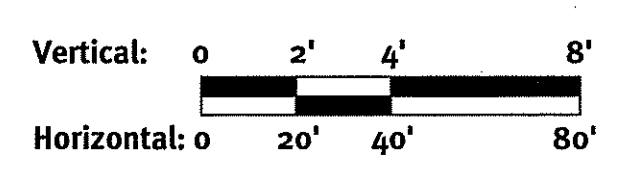
DiPrete Engineering
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Owner / Applicant:
Stone Soup Cottage Works, LLC
 151 Pond Street
 Wakefield, RI 02879

SEP 16 2011
 Office of Water Resources

12 OF 17

| No. | Date | Description | By: |
|-----|---------|--|-----|
| 1 | 9-15-11 | RIDEM Preliminary Determination Submission | DAW |
| 2 | 9-15-11 | RIDEM Site Suitability Submission | DAW |
| 3 | | | |



MAINTENANCE: SHORT TERM / LONG TERM

- THE STONE STABILIZATION PADS AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ON THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- ALL HAY BALES/SILT FENCE, TEMPORARY TREATMENTS (HAY, STRAW, ETC.), AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. HAY BALES/SILT FENCE SHALL BE INSPECTED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH STORM EVENT OR EVERY 7 DAYS, WHICHEVER COMES FIRST, FOR UNDERMINING AND DETERIORATION. A STORM EVENT SHALL BE DEFINED AS 0.25 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE HAY BALES/SILT FENCE SHALL BE REPAIRED OR REPLACED AS WARRANTED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY BALES/SILT FENCE BECOMES FILLED WITH SEDIMENT. THE HAY BALES/SILT FENCE SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. FOLLOWING CONFIRMATION FROM THE CONTRACTOR AND OR THE PROJECT ENGINEER THAT AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER HAS BEEN ESTABLISHED THE HAY BALES/SILT FENCE SHALL BE REMOVED.
- THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER. HAY BALES OR SILT FENCE SHALL BE STAKED AROUND THE STOCKPILES.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR FOLLOWING FINAL GRADING AND CONSTRUCTION. THE CONTRACTOR SHALL CHECK ALL SEEDED AREAS REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE SWALES, SEDIMENT FOREBAYS, AND INFILTRATION BASINS DURING AND UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE HOMEOWNERS ASSOCIATION (H.O.A.). THE H.O.A. IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER. THE CONTRACTOR'S MAINTENANCE/INSPECTION RESPONSIBILITIES SHALL INCLUDE RESEEDING ANY UNSTABILIZED AREAS WITHIN THE DRAINAGE BMPs AT NO ADDITIONAL EXPENSE TO THE OWNER. REMOVING ACCUMULATED SEDIMENTS IN THE BMPs REACH THE HEIGHT SPECIFIED IN THE SEDIMENT VOLUME CALCULATIONS AND MAINTAINING THE GRASS TO A GROWING HEIGHT BETWEEN 2"-10". THE CONTRACTOR SHALL INSPECT RIP RAP PADS AFTER EACH STORM AND REPAIR AS NECESSARY. THE H.O.A.'S MAINTENANCE/INSPECTION RESPONSIBILITIES SHALL INCLUDE INSPECTION OF THE BMPs AND RIP RAP PADS SEMIANNUALLY AND AFTER MAJOR STORMS. IF REPAIRS ARE NEEDED, THEY SHALL BE CARRIED OUT IMMEDIATELY. THE H.O.A. SHALL MAINTAIN A GOOD VEGETATIVE COVER (GRASS BETWEEN 2"-10" OR VEGETATION AS SPECIFIED). THE BOTTOM OF THE BMPs SHALL BE INSPECTED MONTHLY AND ACCUMULATED SEDIMENTS SHALL BE REMOVED AS NEEDED OR EVERY 10 YEARS, WHICHEVER COMES FIRST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRUCTURES AND RELATED APPURTENANCES ON SITE DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION FOR A MAXIMUM OF ONE YEAR, OR UNTIL ACCEPTANCE BY THE ENGINEER AND THE OWNER. THE HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER.
- A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND THE RESPONSIBLE AUTHORITY TO ENSURE THE FOLLOWING MAINTENANCE SCHEDULES ARE FOLLOWED.

THE FOLLOWING MAINTENANCE PROCEDURES SHALL BE FOLLOWED FOR THE INFILTRATION BASINS:

| ACTIVITY | INSPECTION SCHEDULE |
|--|--|
| IF WETLAND COMPONENTS ARE INCLUDED, INSPECT FOR INVASIVE SPECIES | SEMIANNUALLY |
| INSPECT FOR DAMAGE | |
| NOTE SIGNS OF HYDROCARBON BUILD-UP, AND REMOVE IF DETECTED | |
| MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY | ANNUALLY |
| EXAMINE TO ENSURE THAT INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND OPERATIONAL | |
| REPAIR UNDERCUT OR ERODED AREAS | AS NEEDED |
| CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES | MONTHLY |
| MOW SIDE SLOPES. HIGH GRASS ALONG FACILITY EDGE WILL DISCOURAGE WATERFOWL FROM TAKING UP RESIDENCE | MONTHLY |
| REMOVAL OF SEDIMENT FROM THE FOREBAY | 5 YEAR |
| REMOVE SEDIMENT WHEN THE POOL VOLUME HAS BECOME REDUCED SIGNIFICANTLY, OR WHEN SIGNIFICANT ALGAE GROWTH IS OBSERVED. | SEDIMENT VOLUME REACHES 10% TOTAL VOLUME OR 10 YEARS WHICHEVER COMES FIRST |

THE FOLLOWING MAINTENANCE PROCEDURES SHALL BE FOLLOWED FOR THE CATCH BASINS:

| ACTIVITY | INSPECTION SCHEDULE |
|------------|---|
| INSPECTION | SEMIANNUAL (SPRING/FALL) |
| CLEAN OUT | ANNUALLY OR WHEN SEDIMENT DEPTH IS GREATER THAN OR EQUAL TO HALF OF THE SUMP DEPTH. |

- THE CONTRACTOR SHALL MAINTAIN THE DRAINAGE NETWORK DURING CONSTRUCTION. THE ACCUMULATED SEDIMENTS IN THE SWALES AND CATCH BASINS SHALL BE REMOVED AND DRAINAGE PIPES FLUSHED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. DURING CONSTRUCTION, THE CATCH BASIN SUMPS SHALL BE CHECKED WEEKLY AND SEDIMENTS SHALL BE REMOVED IF THEY EXCEED 6" DEPTH.
- DURING THE FIRST SIX (6) MONTHS OF OPERATIONS, INSPECTIONS SHALL BE ACCOMPLISHED IN EACH DRAINAGE BMP AFTER EVERY RAINFALL EVENT, TO CHECK FOR CLOGGING OR, CONVERSELY, TOO RAPID A STORMWATER RELEASE. FOLLOWING THE SIX (6) MONTHS, INSPECTIONS SHALL BE CONDUCTED, AT A MINIMUM, ANNUALLY.
- IF STANDING WATER IS OBSERVED WITHIN THE DRAINAGE BMPs FOR MORE THAN THREE (3) DAYS AFTER A RAINFALL, THEN FAILURE OF THE SYSTEM MAY HAVE OCCURRED AND SHALL BE ADDRESSED THROUGH REPAIR OR REPLACEMENT.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE AND FOR A PERIOD OF ONE YEAR AFTER CONSTRUCTION. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN, AFTER ACCEPTANCE OF THE SITE BY THE HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION SHALL HAVE OVERALL RESPONSIBILITY FOR IMPLEMENTING THE MAINTENANCE PROGRAM FOR THE STORMWATER MANAGEMENT PLAN.
- STREETS SHOULD BE SWEEPED A MINIMUM OF TWICE PER YEAR.

SEQUENCE OF CONSTRUCTION OF CONSTRUCTION AND STAGING OF LAND DISTURBING ACTIVITIES

- CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL (SE & SC) ON SITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL OF THE OWNER OR THE OWNERS REPRESENTATIVE.
- CONSTRUCTION TO BEGIN THE IN THE SPRING 2012 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- SURVEY AND STAKE CENTERLINE OF THE PROPOSED ROADS, SEDIMENT FOREBAYS, INFILTRATION BASINS, DRAINAGE LINES, AND LIMIT OF SEDIMENTATION BARRIERS/LIMIT OF DISTURBANCE.
- PLACE SEDIMENTATION BARRIERS (HAY BALES OR SILT FENCE) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIER. SILT FENCE AND/OR SILT FENCE PLACED AROUND FUTURE INFILTRATION BASIN LOCATIONS. NO CONSTRUCTION TRAFFIC IS PERMITTED IN INFILTRATION AREAS.
- BEGIN CLEARING AND GRUBBING IN AREA OF ROADWAYS, SWALES, AND INFILTRATION BASINS TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN APPROVED LOCATIONS. TOPSOIL STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS AND COVERED OR TEMPORARILY SEEDED.
- EXCAVATE AND GRADE THE PROPOSED SEDIMENT FOREBAYS, INFILTRATION BASINS, SWALES AND ROADWAYS. THE DRAINAGE BMPs SHALL BE PERMANENTLY SEEDING FOLLOWING FINISH GRADING.
- INSTALL DRAIN PIPING, DRAINAGE MANHOLES AND CATCH BASINS BEGINNING AT THE INFILTRATION BASINS AND WORKING UP GRADIENT. PROTECT DISCHARGE OUTLETS WITH RIP-RAP APRONS. PLACE EROSION CONTROLS AT THE DISCHARGE POINTS AND SEED THE DISTURBED AREAS OUTSIDE OF THE AREA TO BE PAVED. THE INFILTRATION BASINS AND DRAINAGE NETWORK ARE TO BE PROTECTED FROM RUNOFF UNTIL ALL UNSTABILIZED AREAS ARE STABILIZED WITH VEGETATION.
- ONCE THE INSTALLATION OF THE DRAINAGE NETWORK IS COMPLETE INSTALL THE UNDERGROUND UTILITIES SUCH AS: WATER, ELECTRIC, TELEPHONE, AND CABLE IN ACCORDANCE WITH THE APPROVED FINAL PLANS.
- ROUGH GRADE THE ROADWAY IN ACCORDANCE WITH THE SITE PLANS AND IN ACCORDANCE WITH THE TOWN OF SOUTH KINGSTOWN, RHODE ISLAND, LAND DEVELOPMENT AND SUBDIVISION REGULATIONS.
- PLACE BITUMINOUS ASPHALT BINDER PER SITE PLANS AND IN ACCORDANCE WITH THE TOWN OF SOUTH KINGSTOWN, RHODE ISLAND, LAND DEVELOPMENT AND SUBDIVISION REGULATIONS.
- ONCE BITUMINOUS ASPHALT BINDER COURSE IS PLACED, CONSTRUCTION OF INDIVIDUAL DWELLINGS MAY COMMENCE. CONSTRUCTION TO INCLUDE SURVEYING AND STAKING OF THE PROPOSED LIMIT OF CLEARING, IF NOT STILL IN PLACE, INSTALLATION OF SEDIMENTATION BARRIERS, CLEARING AND GRUBBING FOR INDIVIDUAL DWELLINGS, REMOVAL OF TOPSOIL, GRADING, EXCAVATION FOR FOUNDATION, DWELLING CONSTRUCTION, PUBLIC WATER SERVICE INSTALLATION, DRIVEWAY INSTALLATION AND LANDSCAPING.
- SWEEP THE ROADWAY TO REMOVE ALL SEDIMENTS.
- ONCE THE ENTIRE SITE IS STABILIZED THE SWALES, INFILTRATION BASINS AND DRAINAGE NETWORK MAY BE BROUGHT ONLINE WITH THE APPROVAL OF THE DESIGN ENGINEER AND THE TOWN ENGINEER. SWALES AND INFILTRATION BASINS CANNOT GO ONLINE UNTIL THE SITE IS 100% STABILIZED AND ALL ROADWAYS ARE CLEANED.
- FINISH PERMANENT STABILIZATION. REPAIR DRAINAGE OUTLETS, SWALES, AND INFILTRATION BASINS AS REQUIRED. TREE LIMBS, LEAVES, COBBLES, BOULDERS, ETC. SHALL BE REMOVED FROM THE BOTTOM OF THE SWALES, SEDIMENT FOREBAYS, AND INFILTRATION BASINS.
- THE CONTRACTOR SHALL CLEAN AND FLUSH THE DRAINAGE STRUCTURES AND PIPES AT THE END OF CONSTRUCTION AND ALL ACCUMULATED SEDIMENTS IN THE SEDIMENT FOREBAYS AND INFILTRATION BASINS SHALL BE REMOVED.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

NON-STRUCTURAL MEASURES

- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE ACCESS ROAD AND AREAS TO BE GRADED.
- TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATION SHALL BE SUBJECT TO APPROVAL BY THE PROJECT ENGINEER. A SEDIMENT BARRIER SHALL SURROUND ALL TOPSOIL STOCKPILES.
- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF DAILY TO AVOID EXPOSURE TO PRECIPITATION.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

STRUCTURAL MEASURES

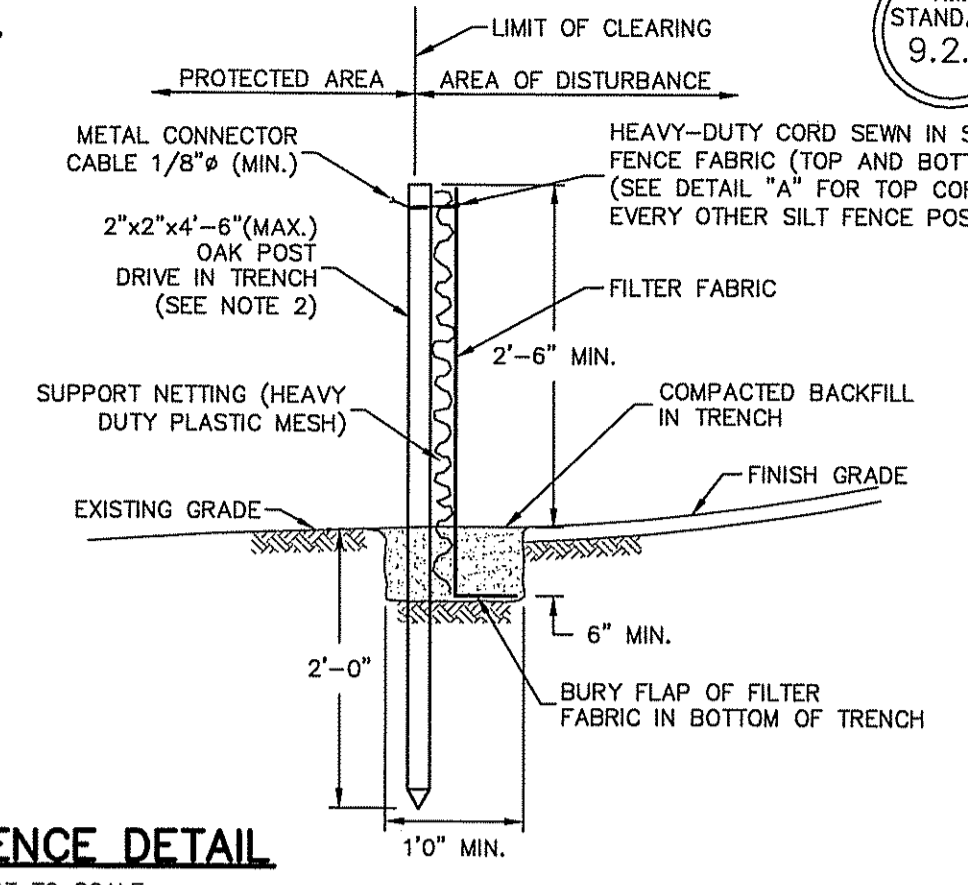
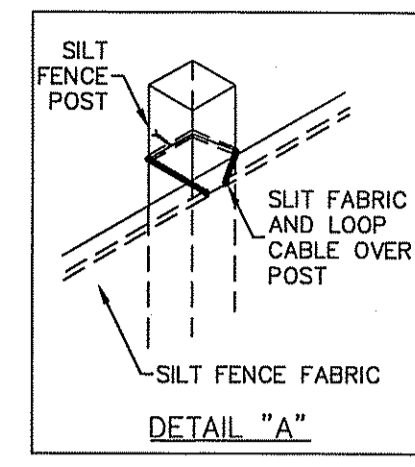
- RUNOFF WATER QUALITY IS IMPROVED UTILIZING SWALES, SEDIMENT FOREBAYS AND INFILTRATION BASINS. CONSTRUCTION OF THE BMPs SHALL BE SUPERVISED BY THE PROJECT ENGINEER. THE BMPs SHALL BE BUILT TO CONTROL RUNOFF FOR 2 THROUGH 100 YEAR STORM FREQUENCIES. SIDE SLOPES WITHIN THE INFILTRATION BASINS SHALL BE 3:1 MAXIMUM, UNLESS NOTED OTHERWISE. ALL EMBANKMENTS OF THE BASINS SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH R.I. STANDARD SPECIFICATION SECTION 202.
- A STONE STABILIZATION PAD IS LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT OF WAY.
- RIP RAP APRONS AND/OR LEVEL SPREADERS SHALL BE INSTALLED AT THE OUTLETS OF ALL DRAINAGE PIPES.
- HAY BALES OR SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
- IF NEEDED TEMPORARY BERMS AND / OR SWALES SHALL BE USED DURING CONSTRUCTION TO DIRECT SURFACE TO TEMPORARY SEDIMENTATION BASINS TO CAPTURE AND TREAT THE MAXIMUM AMOUNT OF STORM WATER.
- INFILTRATION BASINS ARE NOT TO BE USED AS SEDIMENTATION BASINS. THE CONTRACTOR SHALL CONSTRUCT ANY TEMPORARY SEDIMENTATION BASINS WHICH ARE REQUIRED TO MEET ALL GUIDELINES IN THE RHODE ISLAND SOIL EROSION SEDIMENT CONTROL HANDBOOK.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDS SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

ESTABLISHMENT OF VEGETATIVE COVER

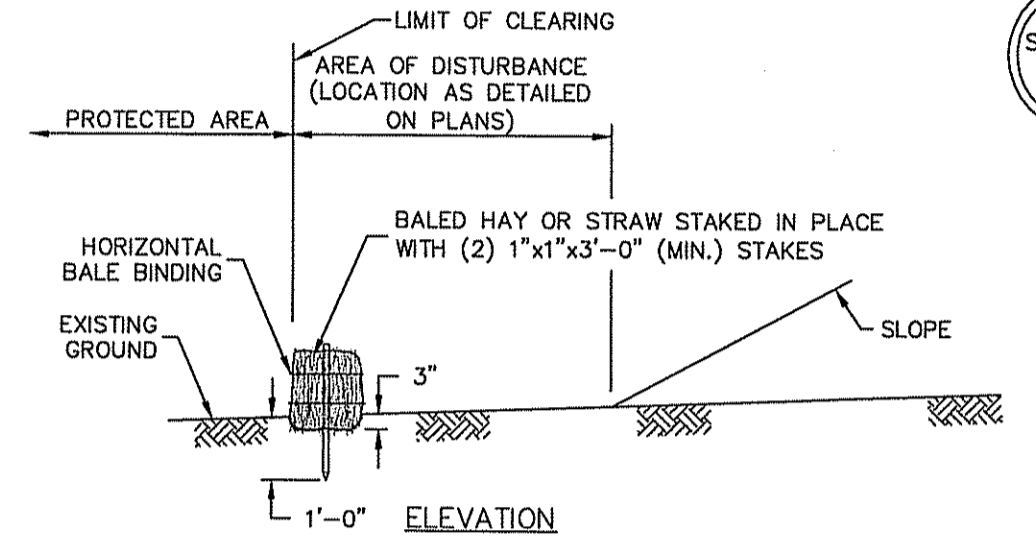
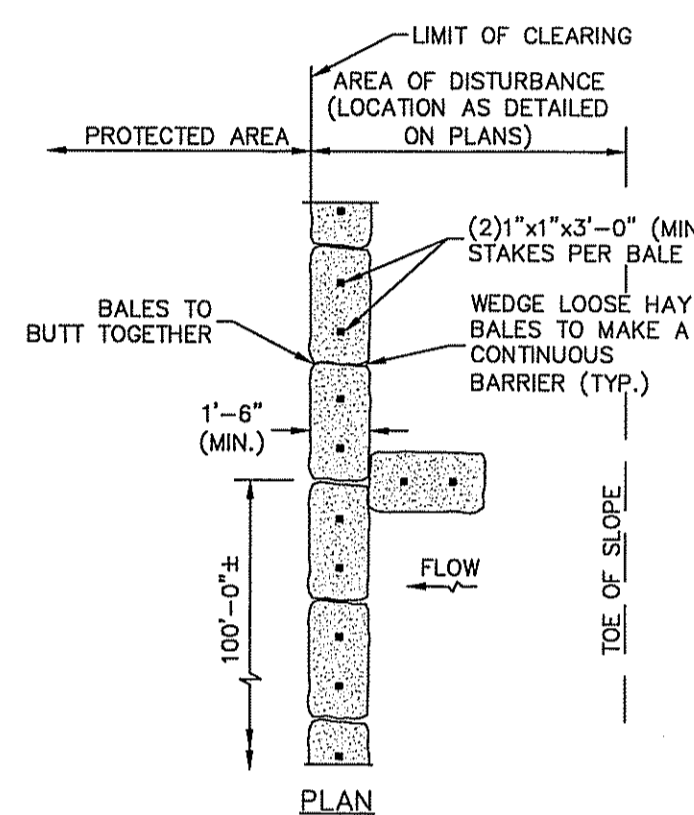
- SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEED OR PROTECTED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M.20.
- THE CONSERVATION SEED MIX SHALL BE COMPRISED OF THE FOLLOWING:

| TYPE | % BY WEIGHT |
|------------------------|-------------|
| FOAL MANNGRASS | 20 |
| PENNSYLVANIA SMARTWEED | 20 |
| JAPANESE MILLET | 20 |
| VIRGINIA WLD RYE | 10 |
| FOX SEDGE | 10 |
| DEER TONGUE | 5 |
| BLACKWELL SWITCHGRASS | 5 |

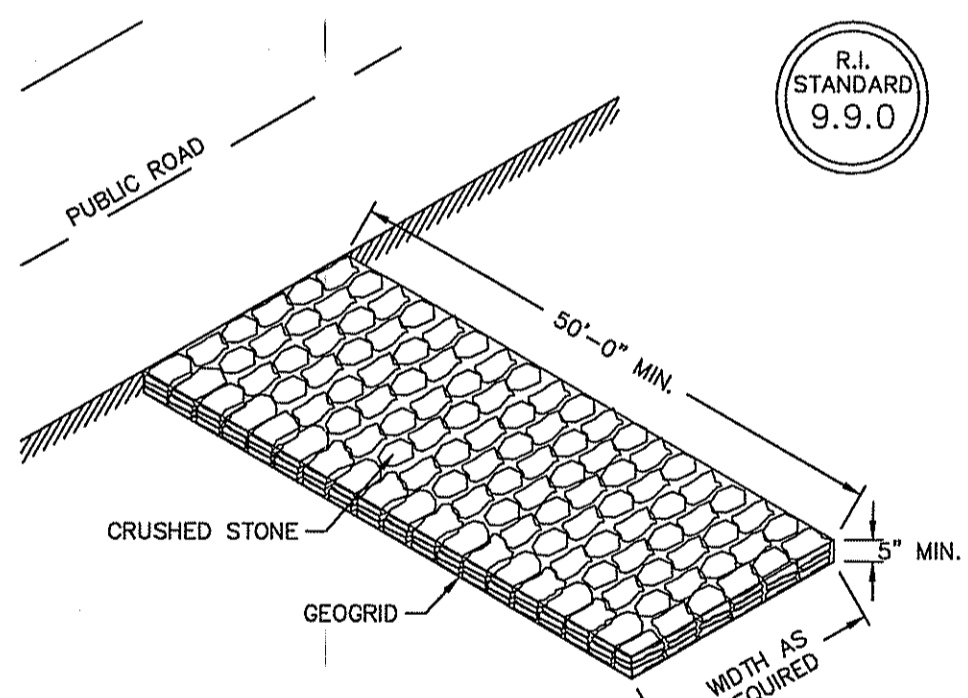
- EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. SEEDING SCHEDULE SHOULD CONFORM WITH RHODE ISLAND'S STANDARD SPECIFICATION, L.02.03.1 SEEDING DATES. PERMANENT SEEDING SHALL BE DURING THE APRIL 1 TO MAY 31 OR AUGUST 15 TO OCTOBER 15. TEMPORARY SEEDING MAY BE DONE ANYTIME BETWEEN MARCH 15 AND NOVEMBER 15 WITH THE APPROVAL OF THE ENGINEER OF RECORD. FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS AND BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUMS FOR EACH VARIETY.
- TEMPORARY TREATMENTS SHALL CONSIST OF HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING. TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING. SIDE SLOPES OF BASINS SHALL BE TREATED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKETS SUCH AS SISO OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
- ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 202.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR INFILTRATION BASINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED.
- ALL AREAS PROPOSED TO BE VEGETATED THAT ARE DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDED AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STANDARD IS MAINTAINED. WELL ESTABLISHED VEGETATION SHALL BE MAINTAINED. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEED BY THE CONTRACTOR. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS.
- MAXIMUM PERMANENT GRADED SLOPE WITHIN THE SITE IS TO BE 3:1 UNLESS NOTED OTHERWISE.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE HOMEOWNERS ASSOCIATION.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989 AS A GUIDE.



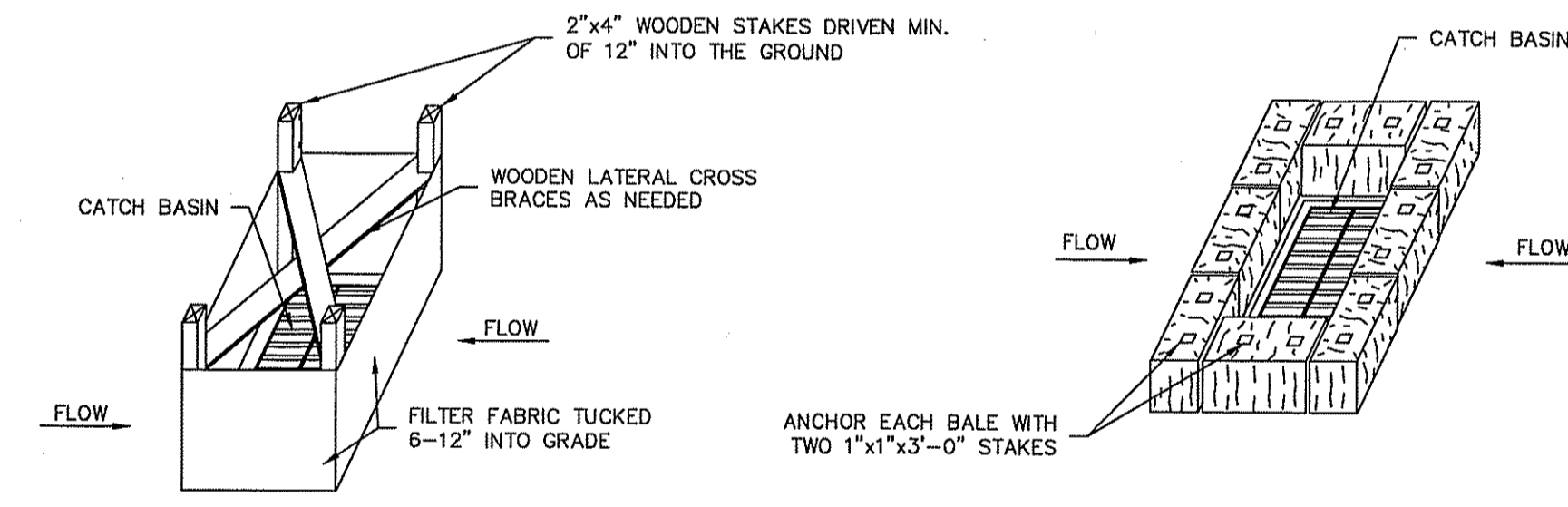
SILT FENCE DETAIL
NOT TO SCALE



BALED HAY EROSION CHECK
NOT TO SCALE



CONSTRUCTION ACCESS
NOT TO SCALE



CATCH BASIN EROSION CONTROL
NOT TO SCALE

R.I. STANDARD 9.2.0

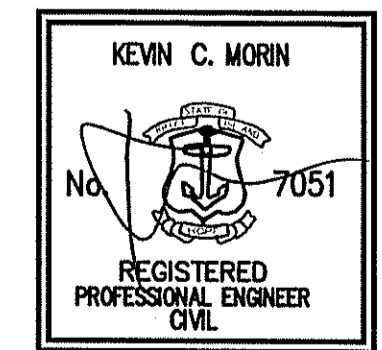
R.I. STANDARD 9.1.0

R.I. STANDARD 9.9.0

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 11-0179
DATED NOV 21 2011
SEE LETTER OF SAME DATE.

Charles A. Haber

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
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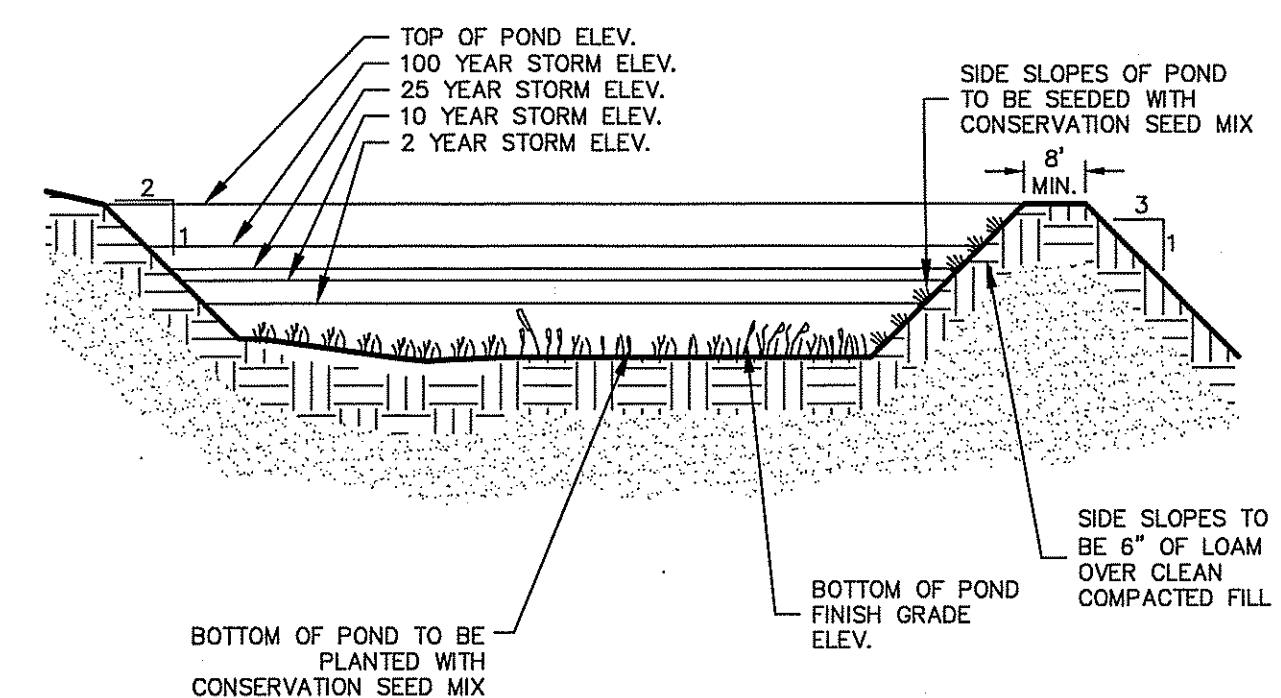
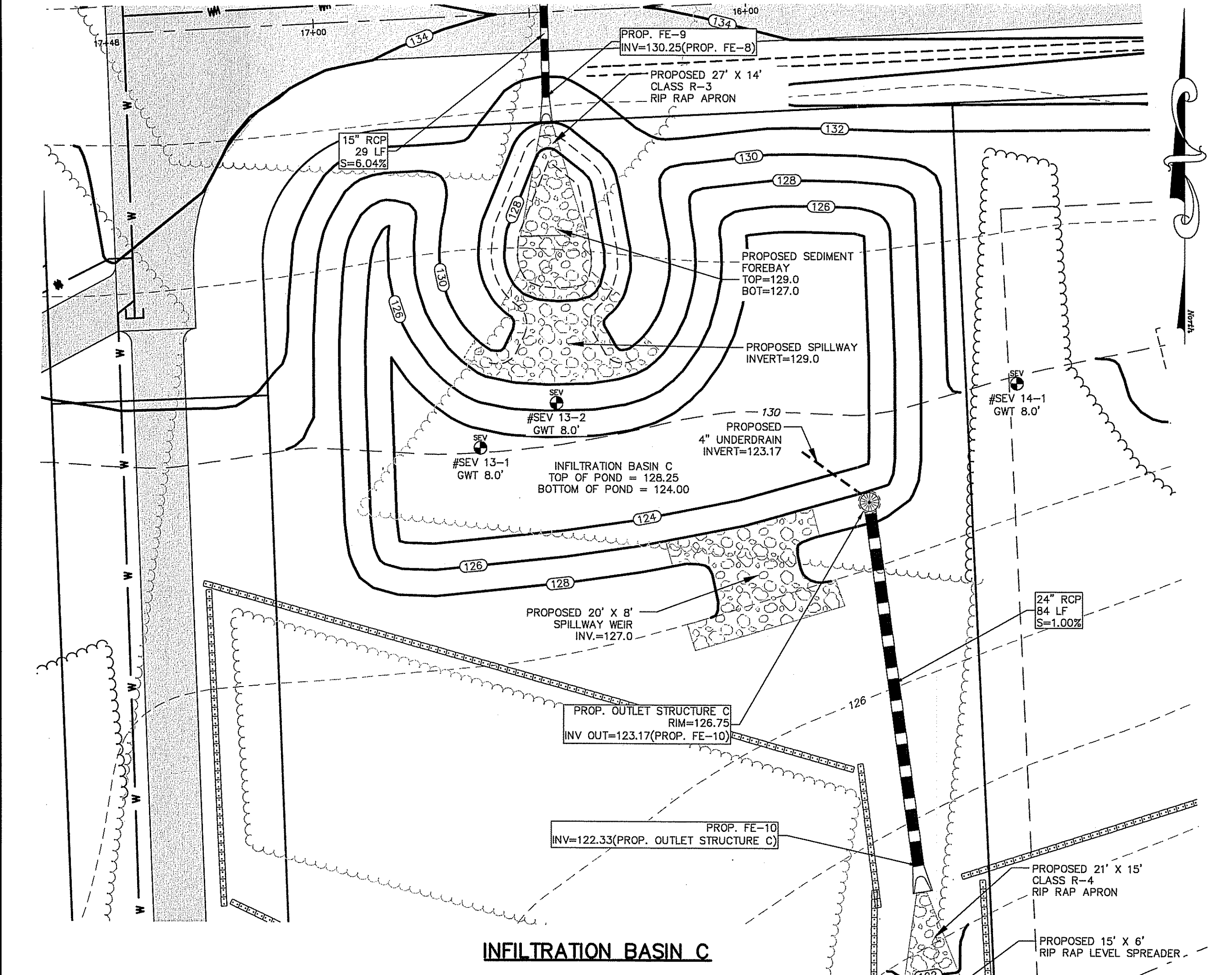
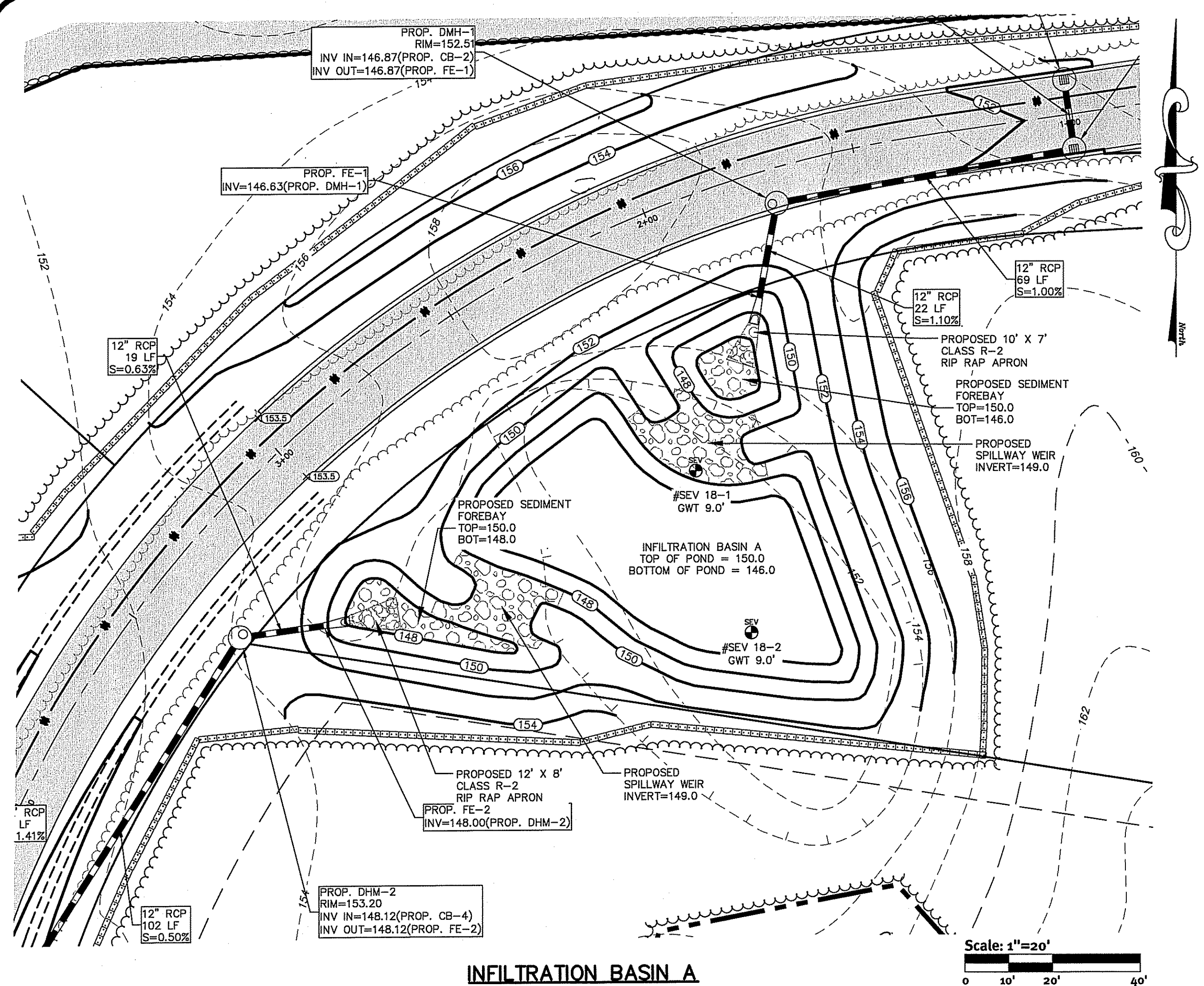
Detail Sheet - 1
Stone Soup Farm
Assessor's Plat 55-3, Lot 3
South Kingstown, Rhode Island

DiPrete Engineering
Office of Water Resources
1000 Main Street
Cranston, RI 02920

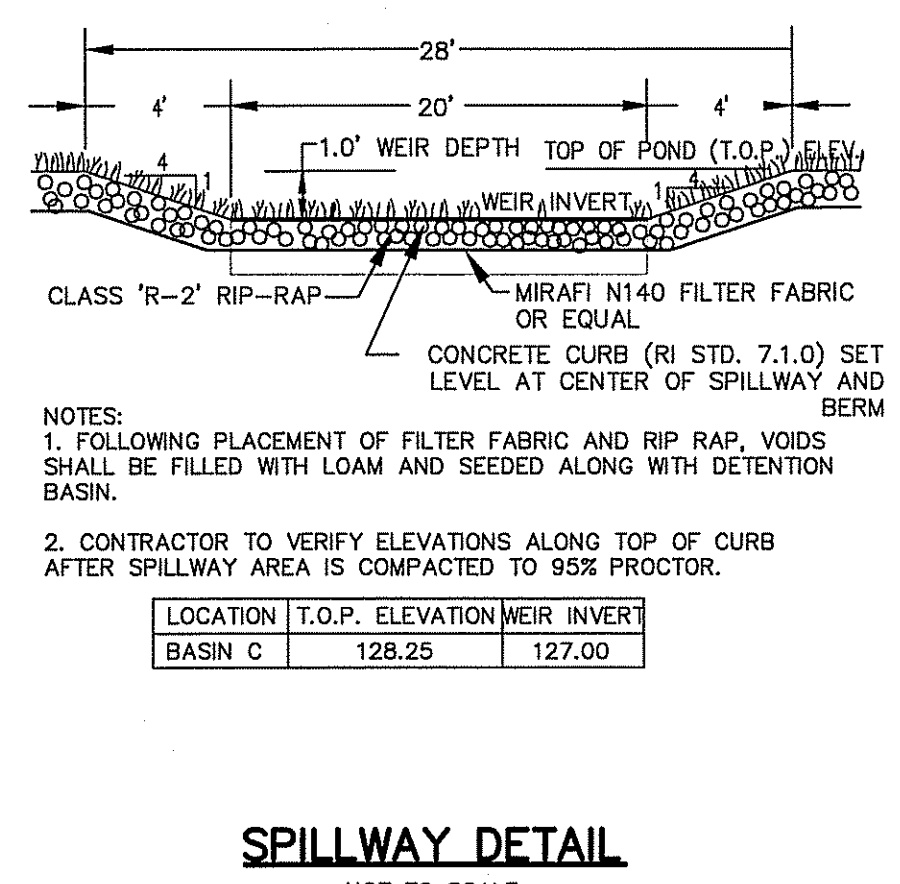
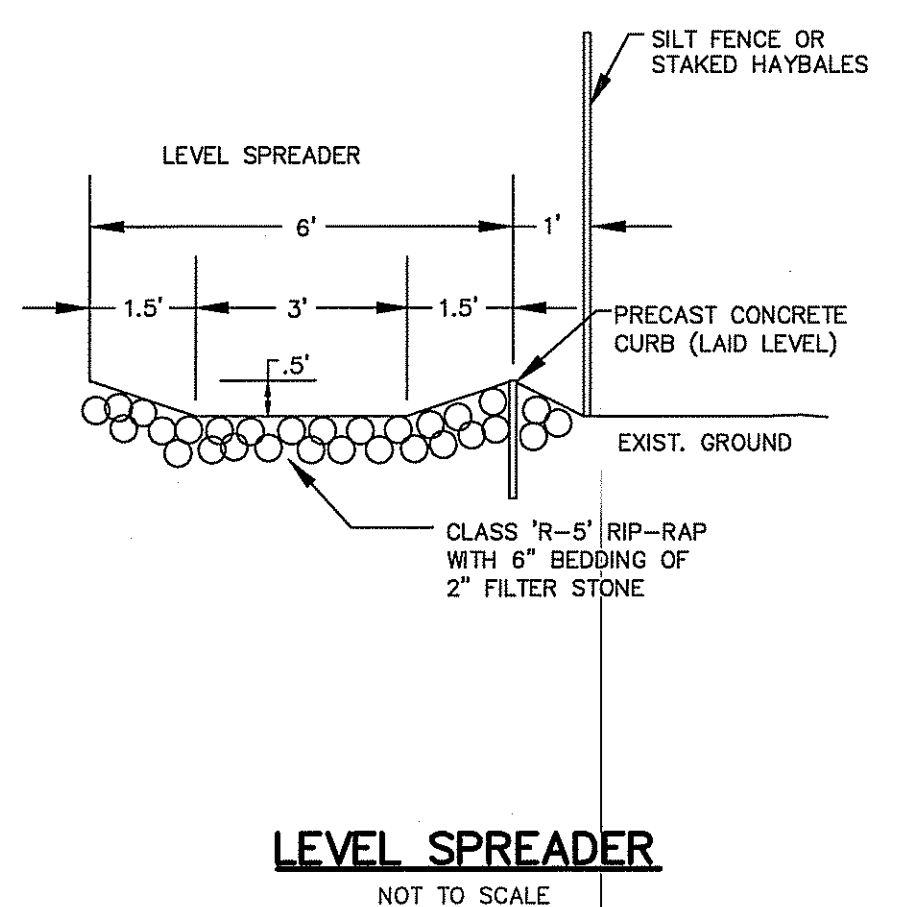
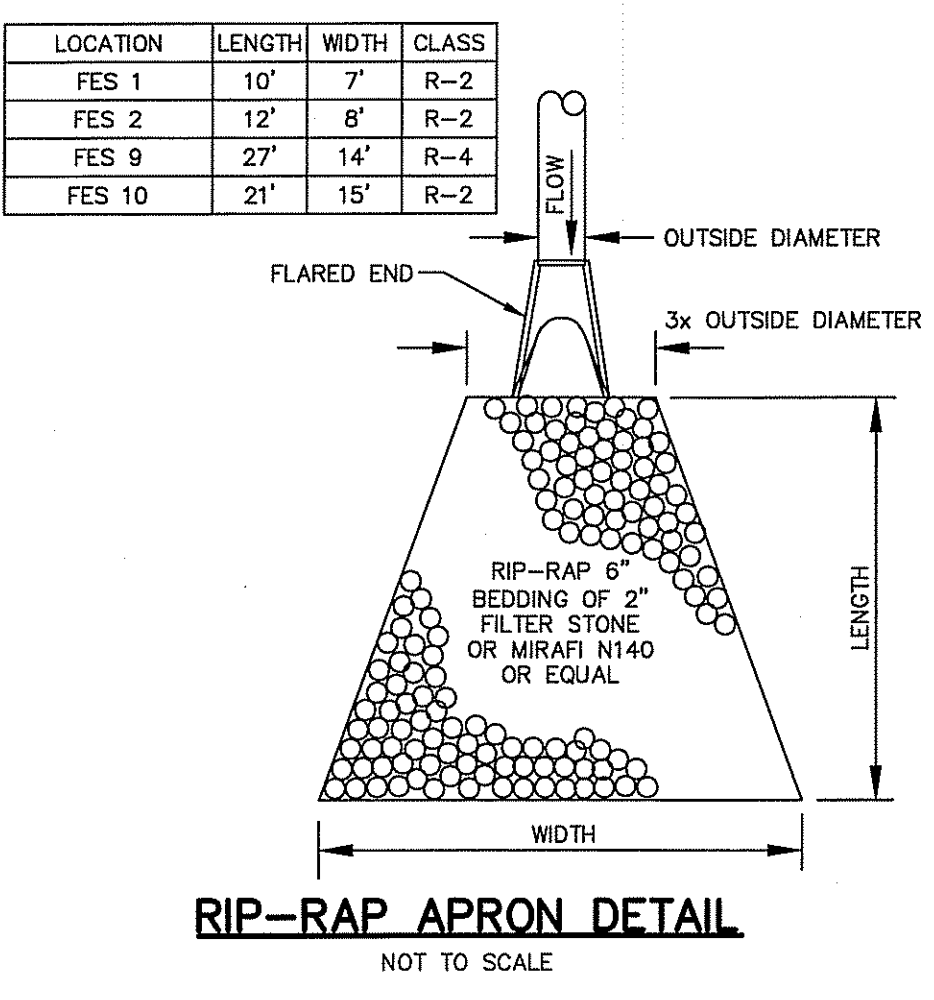
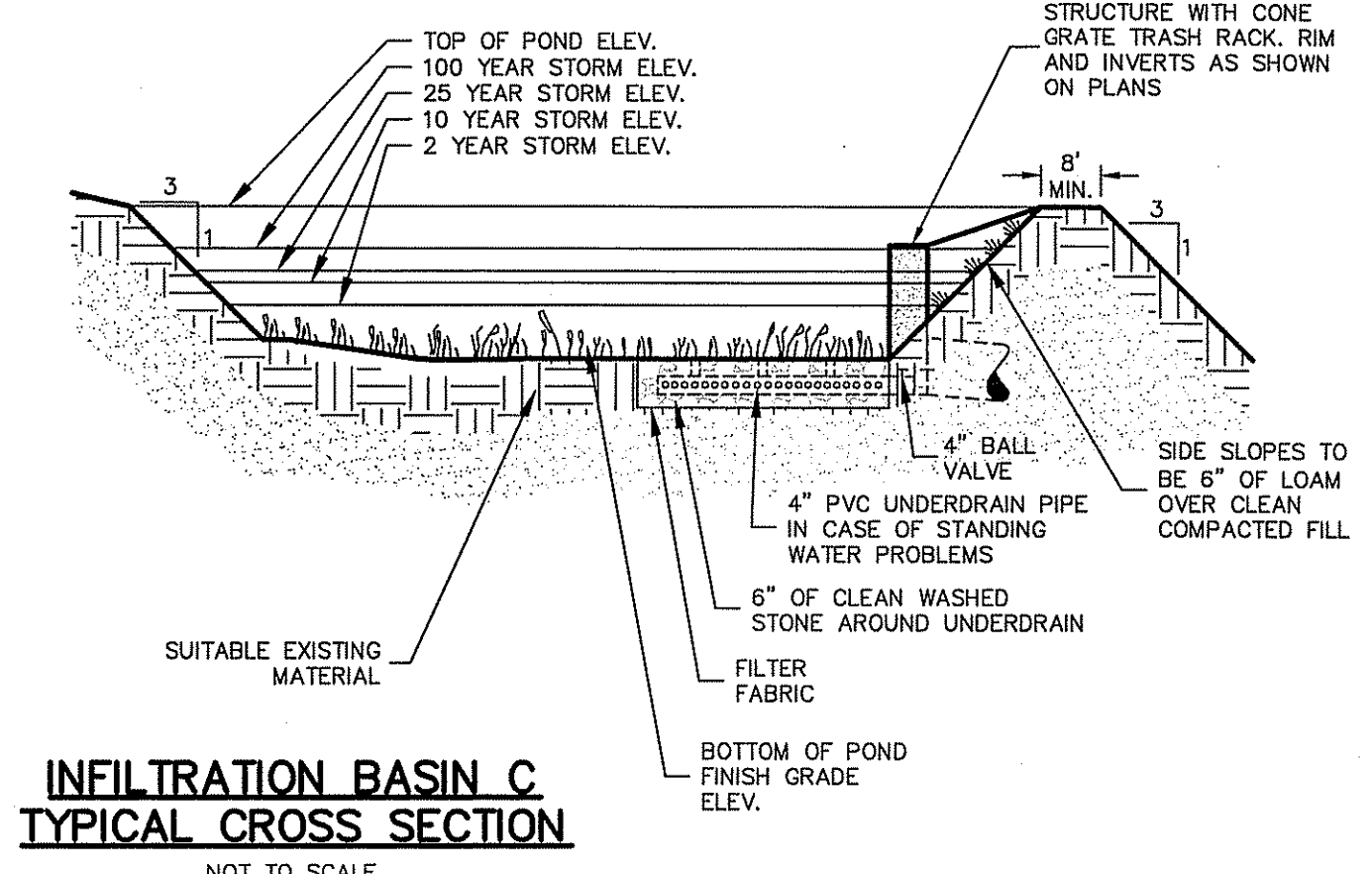
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DIPrete.com
Owner / Applicant:
Stone Soup Cottage Works, LLC
151 Pond Street
Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|---------|--|-----|
| 1 | 9-15-11 | RIDEM Preliminary Determination Submission | DAR |
| 2 | 9-25-11 | RIDEM Site Suitability Submission | DAR |

Engineers • Planners • Surveyors



| DESCRIPTION | BASIN A | BASIN C |
|-----------------------------|---------|---------|
| TOP OF POND ELEVATION | 152.00 | 128.25 |
| BOTTOM OF POND | 146.00 | 124.00 |
| 100 YEAR STORM ELEVATION | 150.60 | 127.25 |
| 25 YEAR STORM ELEVATION | 148.81 | 127.07 |
| 10 YEAR STORM ELEVATION | 147.79 | 126.86 |
| 2 YEAR STORM ELEVATION | 146.53 | 125.42 |
| SEASONAL HIGH GWT ELEVATION | 143.0 | 122.0 |
| SOIL EVALUATION 18-2 | 9.0 | - |
| SOIL EVALUATION 18-1 | 9.0 | - |
| SOIL EVALUATION 13-1 | - | 8.0 |
| SOIL EVALUATION 13-2 | - | 8.0 |

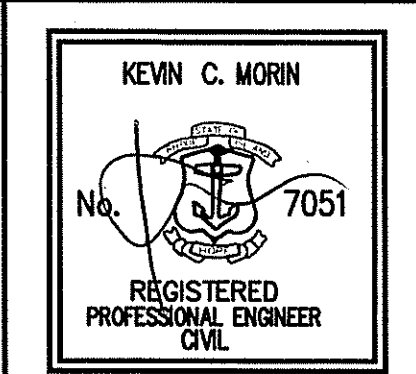


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 11-0179
DATED NOV 21 2011
SEE LETTER OF SAME DATE.

Charles A. Harbert

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Detail Sheet - 2

Stone Soup Farm
Assessor's Plat 55-3, Lot 3
South Kingstown, Rhode Island

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

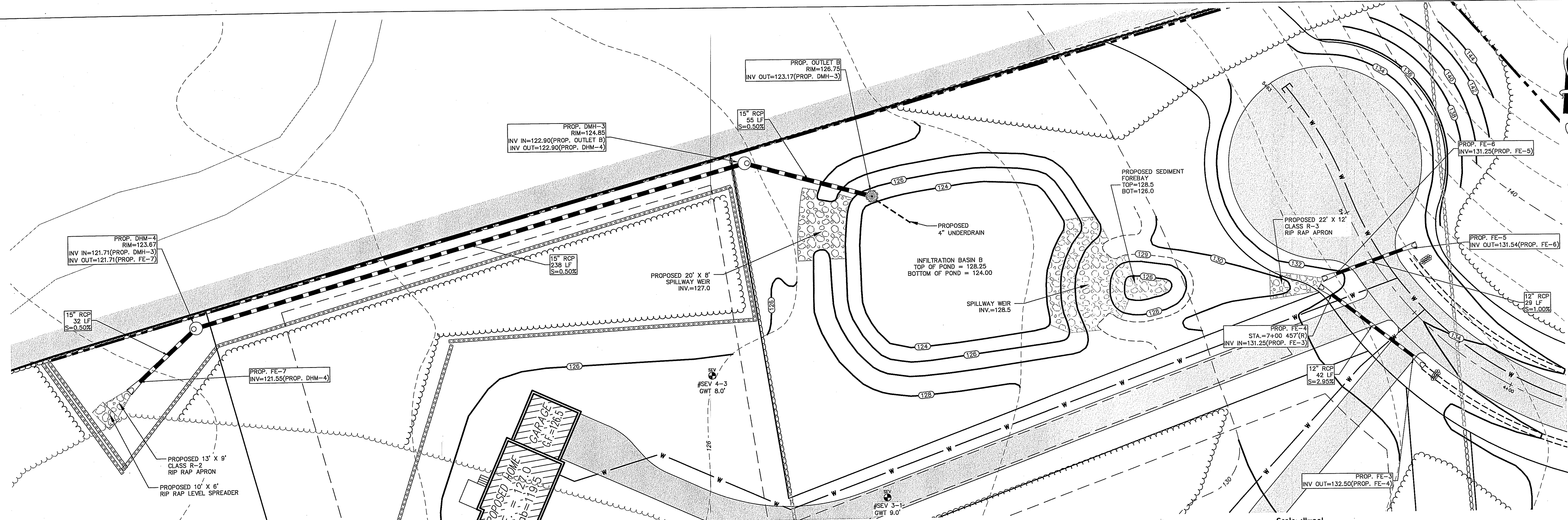
Owner / Applicant:
Stone Soup Cottage Works, LLC
151 Pond Street
Wakefield, RI 02879

REGISTERED PROFESSIONAL ENGINEER CIVIL

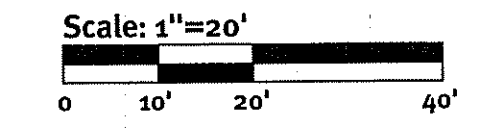
SEP 17 2011
Office of Water Resources

DE Job No: 1762-001 Copyright 2011 by DiPrete Engineering Associates, Inc.

Engineers • Planners • Surveyors

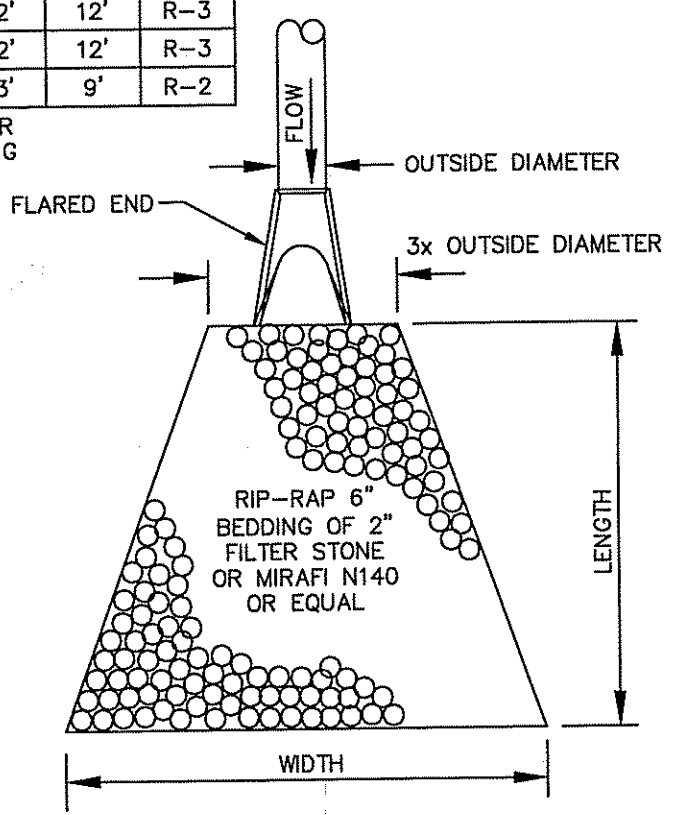


INFILTRATION BASIN B



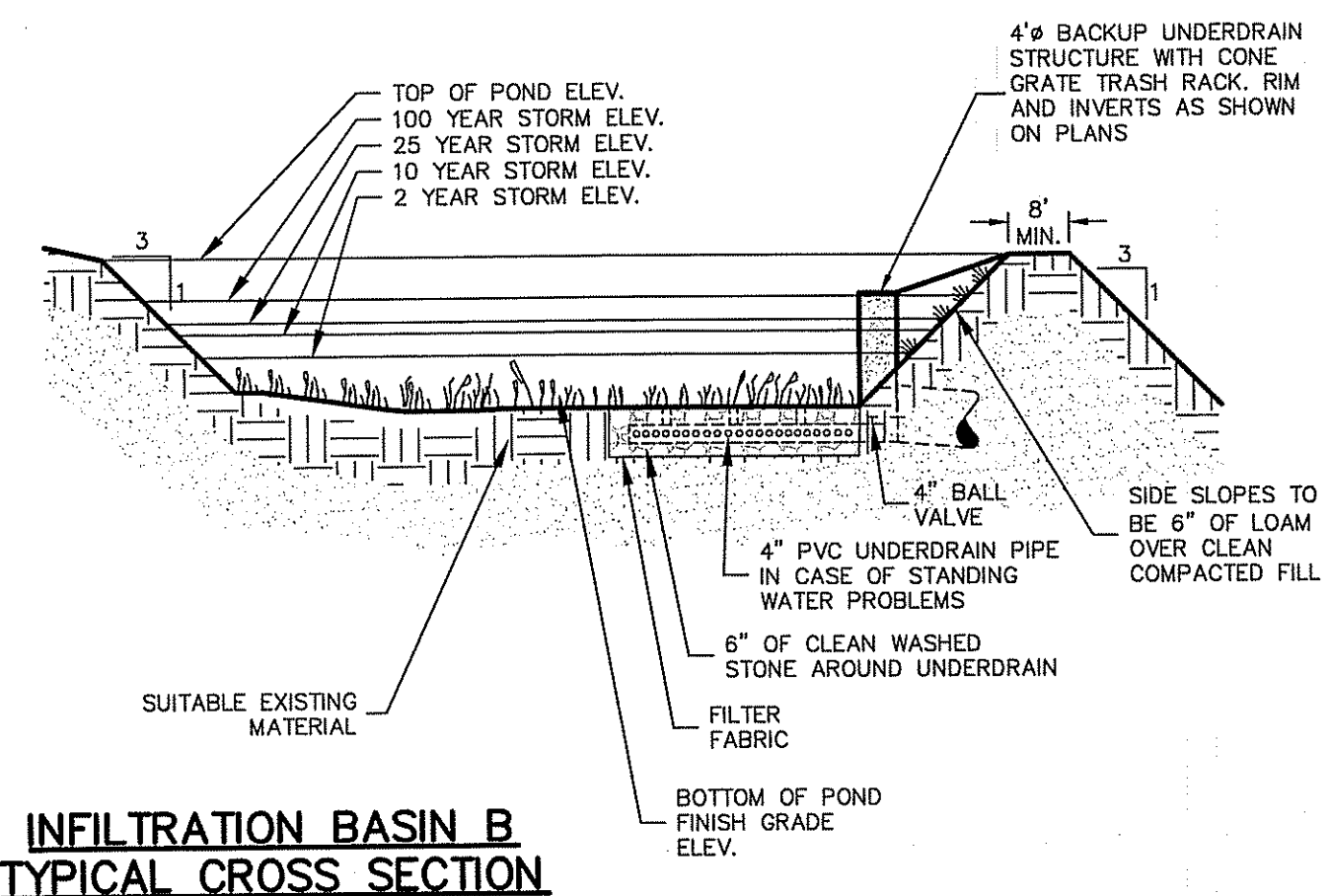
| LOCATION | LENGTH | WIDTH | CLASS |
|----------|--------|-------|-------|
| FES 4* | 22' | 12' | R-3 |
| FES 6* | 22' | 12' | R-3 |
| FES 7 | 13' | 9' | R-2 |

*COMBINED FLOWS FOR RIP RAP APRON SIZING



RIP-RAP APRON DETAIL
NOT TO SCALE

| DESCRIPTION | BASIN B |
|------------------------------|---------|
| TOP OF POND ELEVATION | 128.25 |
| BOTTOM OF POND | 124.00 |
| 100 YEAR STORM ELEVATION | 127.22 |
| 25 YEAR STORM ELEVATION | 126.90 |
| 10 YEAR STORM ELEVATION | 126.56 |
| 2 YEAR STORM ELEVATION | 124.62 |
| SEASONAL HIGH GWT ELEVATION* | 118.00 |
| SOIL EVALUATION 3-1 | 9.0 |

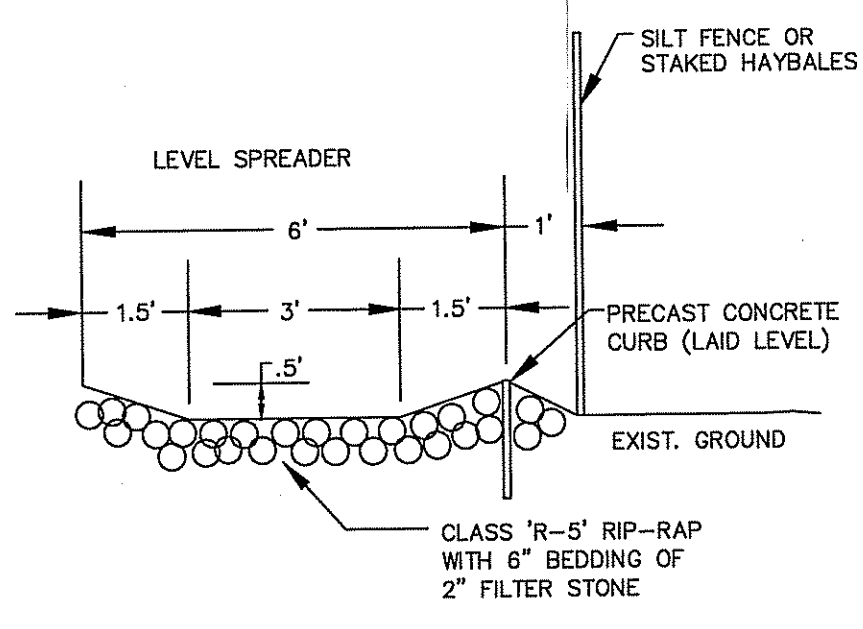


INFILTRATION BASIN B TYPICAL CROSS SECTION
NOT TO SCALE

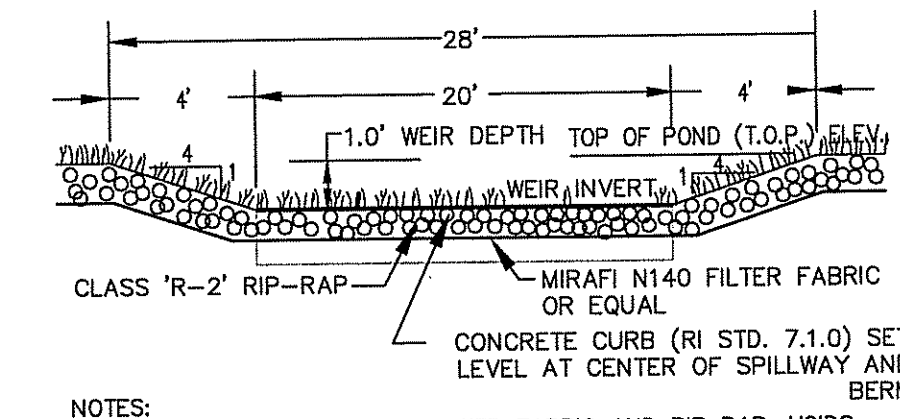
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 11-0179
DATED NOV 21 2011
SEE LETTER OF SAME DATE.

Charles A. Herbert

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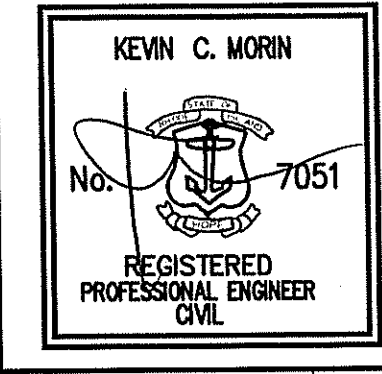
LEVEL SPREADER
NOT TO SCALE



NOTES:
1. FOLLOWING PLACEMENT OF FILTER FABRIC AND RIP RAP, VOIDS SHALL BE FILLED WITH LOAM AND SEEDED ALONG WITH DETENTION BASIN.
2. CONTRACTOR TO VERIFY ELEVATIONS ALONG TOP OF CURB AFTER SPILLWAY AREA IS COMPACTED TO 95% PROCTOR.

| LOCATION | T.O.P. ELEVATION | WEIR INVERT |
|----------|------------------|-------------|
| BASIN B | 128.25 | 127.00 |

SPILLWAY WEIR DETAIL
NOT TO SCALE



Detail Sheet - 3
Stone Soup Farm

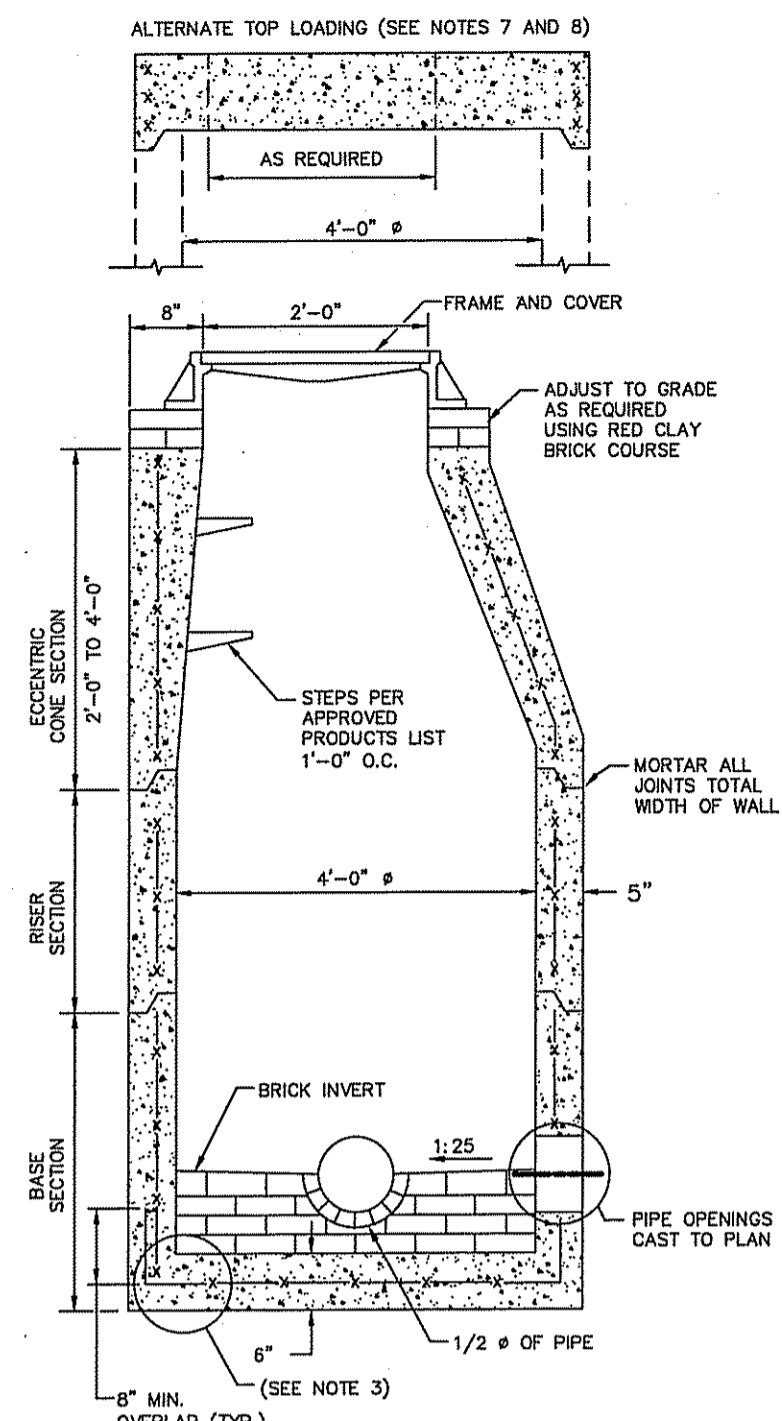
Assessor's Plat 55-3, Lot 3
South Kingstown, Rhode Island



Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

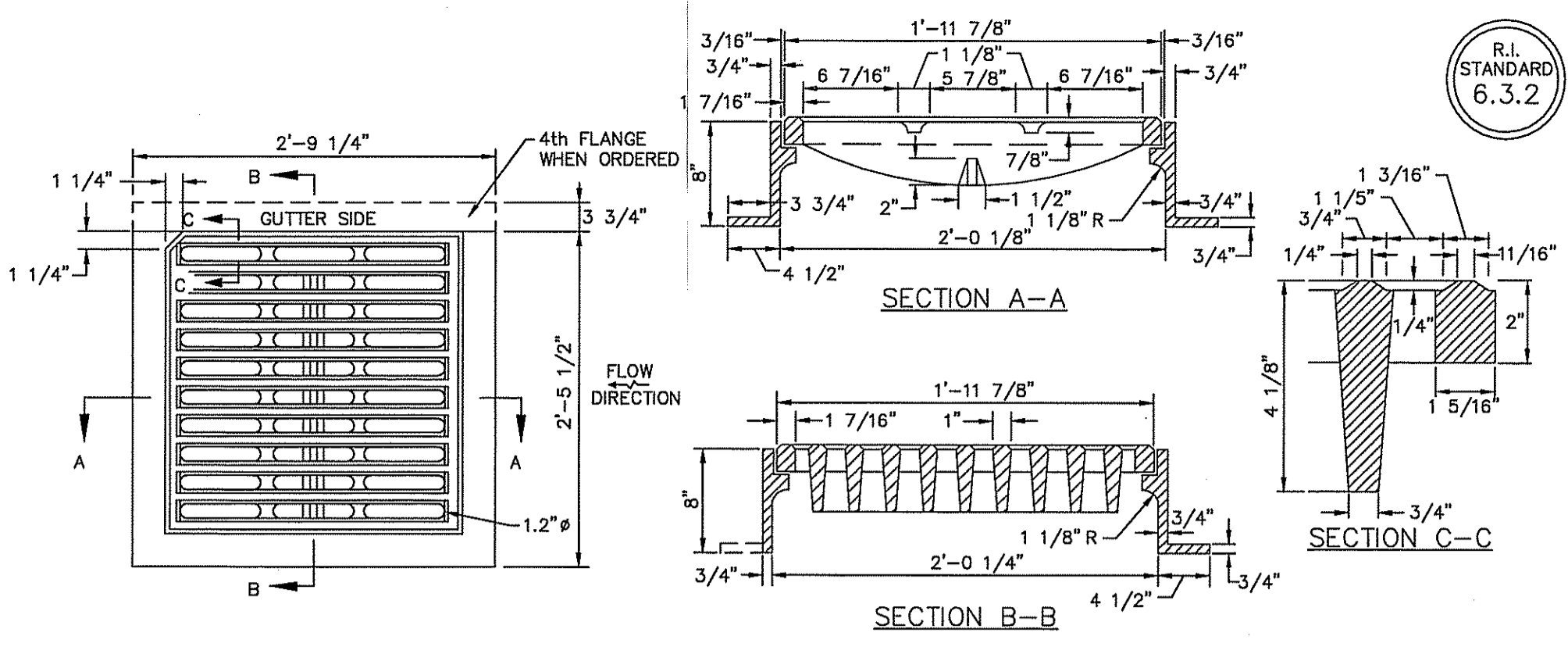
Owner / Applicant:
Stone Soup Cottage Works, LLC
151 Pond Street
Wakefield, RI 02879

| No. | Date | Description | By |
|-----|---------|--|-----|
| 1 | 9-15-11 | RIDEA Preliminary Determination Submission | DMR |
| 2 | 9-15-11 | RIDEA Site Suitability Submission | DMR |

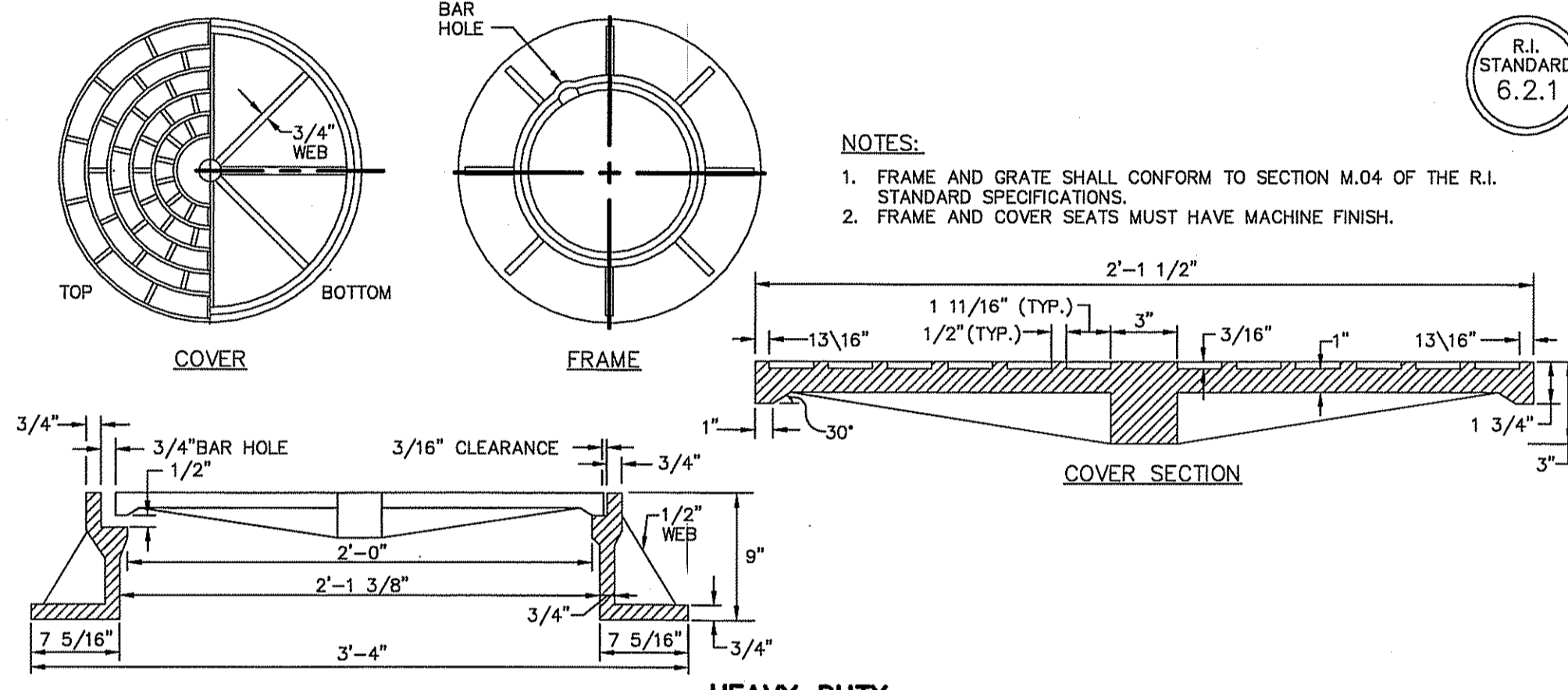


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. MINIMUM.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS OR CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST 4'-0" ROUND MANHOLE
NOT TO SCALE
R.I. STANDARD 4.2.0

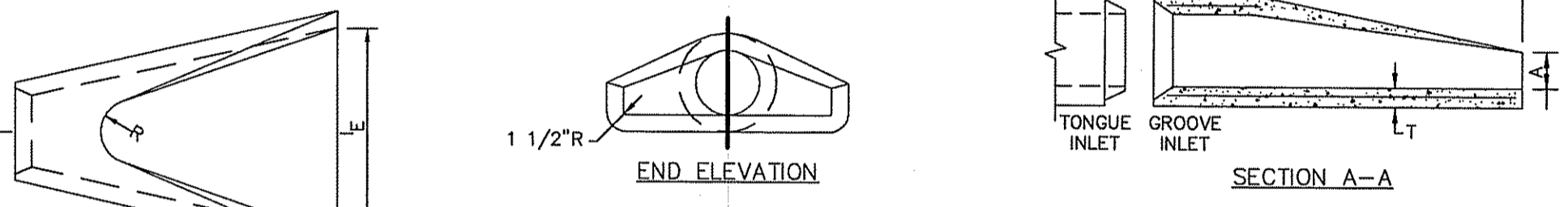


SQUARE FRAME AND GRATE (BICYCLE SAFE)
NOT TO SCALE
R.I. STANDARD 6.3.2

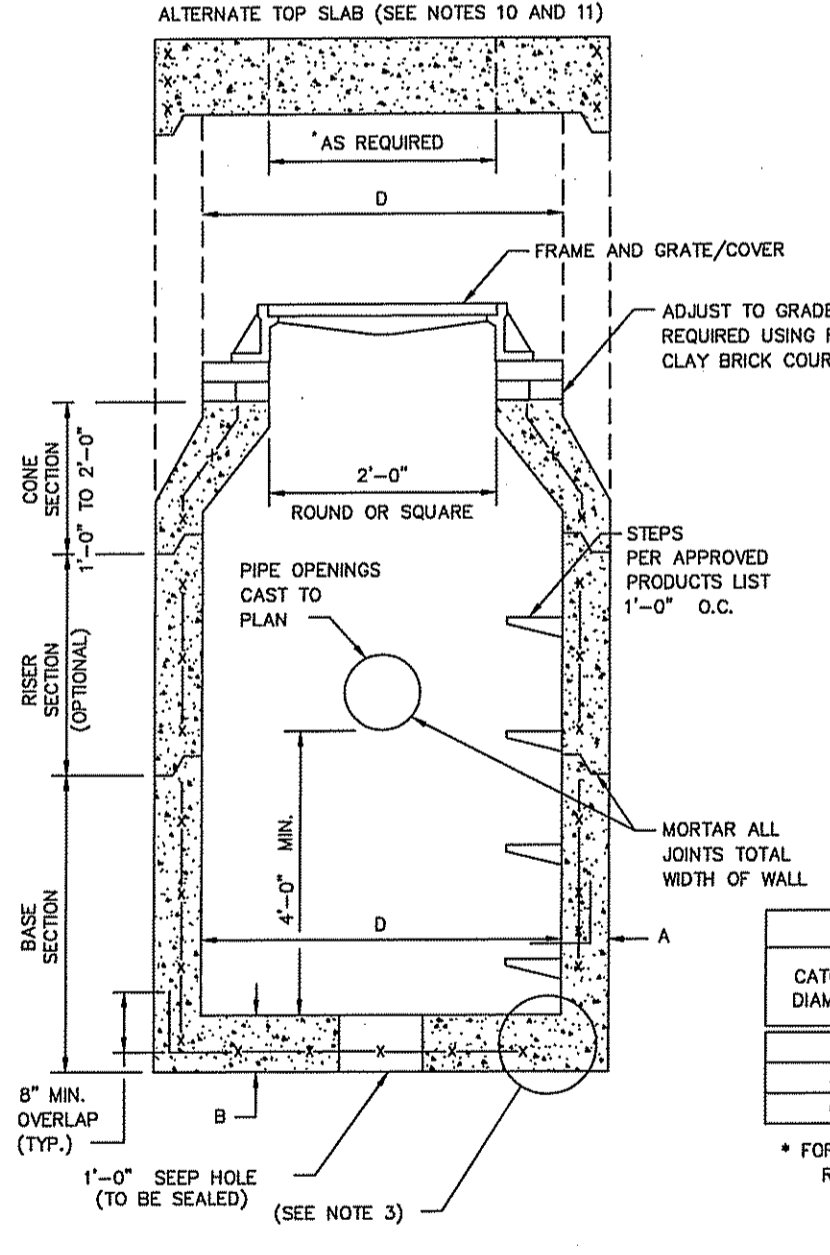


HEAVY-DUTY ROUND FRAME AND COVER
NOT TO SCALE
R.I. STANDARD 6.2.1

| DIMENSIONS | | | | | | | | REINFORCEMENT |
|------------|--------|-----------|------------|-----------|-------|--------|--------|---|
| DIA. | A | B | C | D | E | R | T | ONE LAYER REINFORCEMENT IN CENTER OF WALL MIN. AREA OF EACH WAY (SQ. IN./FT.) |
| 1'-0" | 4" | 2'-0" | 4'-0 7/8" | 6'-0 7/8" | 2'-0" | 9" | 2" | 0.048 |
| 1'-3" | 6" | 2'-3" | 3'-10" | 6'-1" | 2'-6" | 11" | 2 1/4" | 0.054 |
| 1'-6" | 9" | 2'-3" | 3'-10" | 6'-1" | 3'-0" | 12" | 2 1/2" | 0.060 |
| 2'-0" | 9 1/2" | 3'-7 1/2" | 2'-6" | 6'-1 1/2" | 4'-0" | 1'-2" | 3" | 0.072 |
| 2'-6" | 1'-0" | 4'-6" | 1'-7 3/4" | 6'-1 3/4" | 5'-0" | 1'-3" | 3 1/2" | 0.084 |
| 3'-0" | 1'-3" | 5'-3" | 2'-10 3/4" | 6'-1 3/4" | 6'-0" | 1'-8" | 4" | 0.096 |
| 3'-6" | 1'-9" | 5'-3" | 2'-11" | 6'-2" | 6'-6" | 1'-10" | 4 1/2" | 0.108 |
| 4'-0" | 2'-0" | 6'-0" | 2'-2" | 6'-2" | 7'-0" | 1'-10" | 5" | 0.120 |
| 4'-6" | 2'-3" | 5'-5" | 2'-11" | 6'-4" | 7'-6" | 2'-0" | 5 1/2" | 0.132 |
| 5'-0" | 2'-6" | 5'-0" | 3'-3" | 6'-3" | 8'-0" | 2'-0" | 6" | 0.144 |



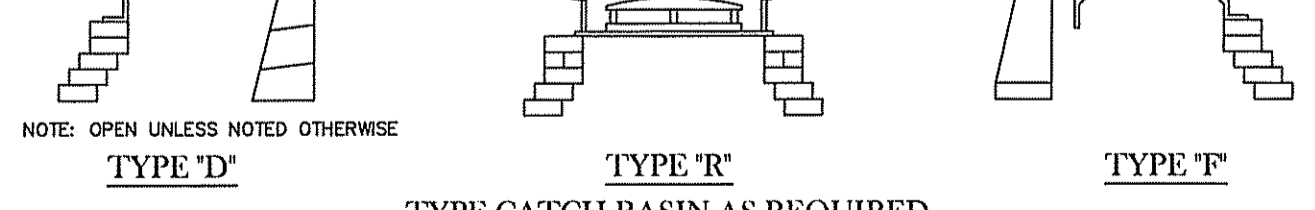
PRECAST CONCRETE FLARED END SECTION
NOT TO SCALE
R.I. STANDARD 2.3.0



NOTE: ALL CATCHBASINS TO BE 4' UNLESS OTHERWISE NOTED.

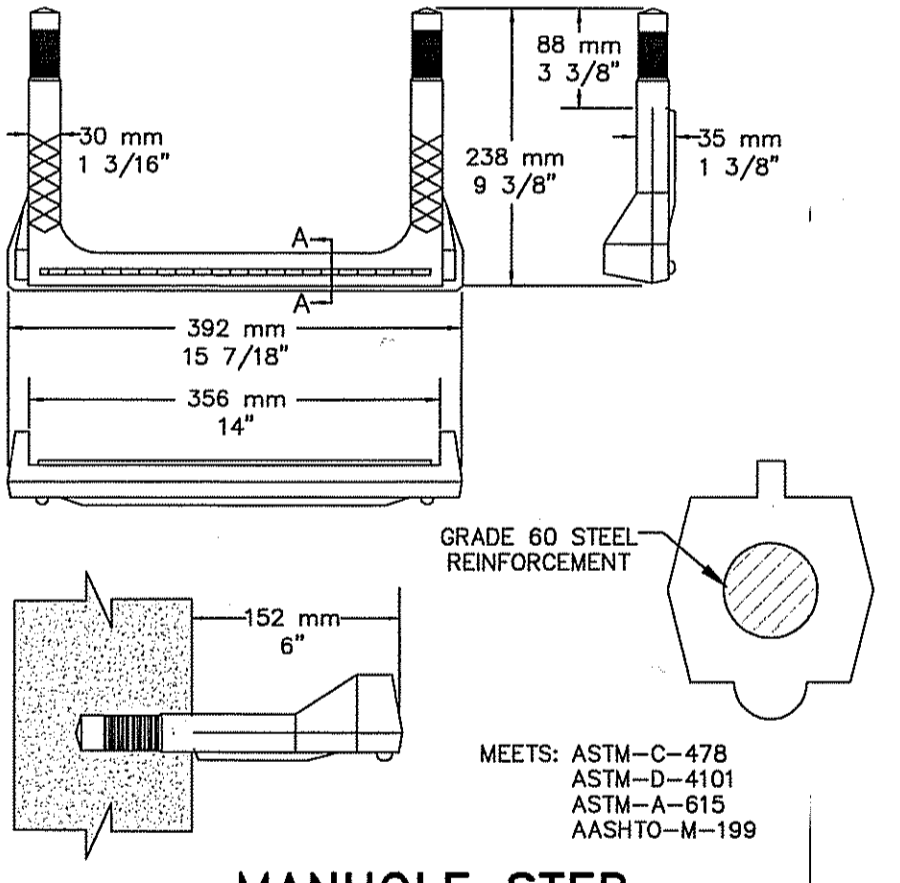
| CATCH BASIN DIAMETER (D) | A | B | CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED * |
|--------------------------|----|----|--|
| 4'-0" | 5" | 6" | 0.12 SQ. IN./LIN. FT. |
| 5'-0" | 6" | 7" | 0.15 SQ. IN./LIN. FT. |
| 6'-0" | 7" | 8" | 0.18 SQ. IN./LIN. FT. |

* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

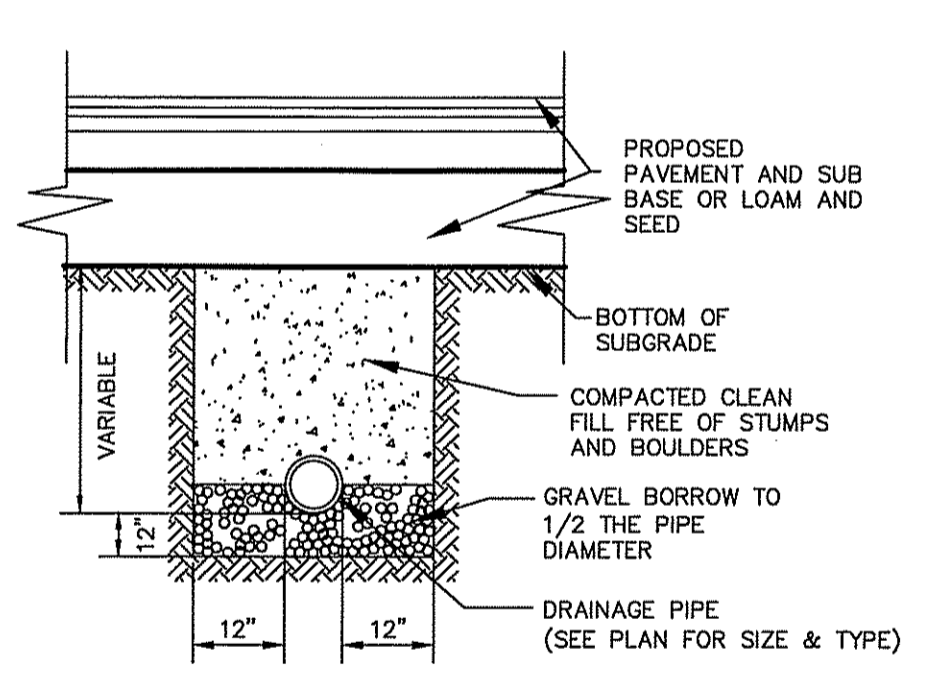


- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 - STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
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 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 - FOR CATCH BASIN TYPES "D" AND "T" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 - THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

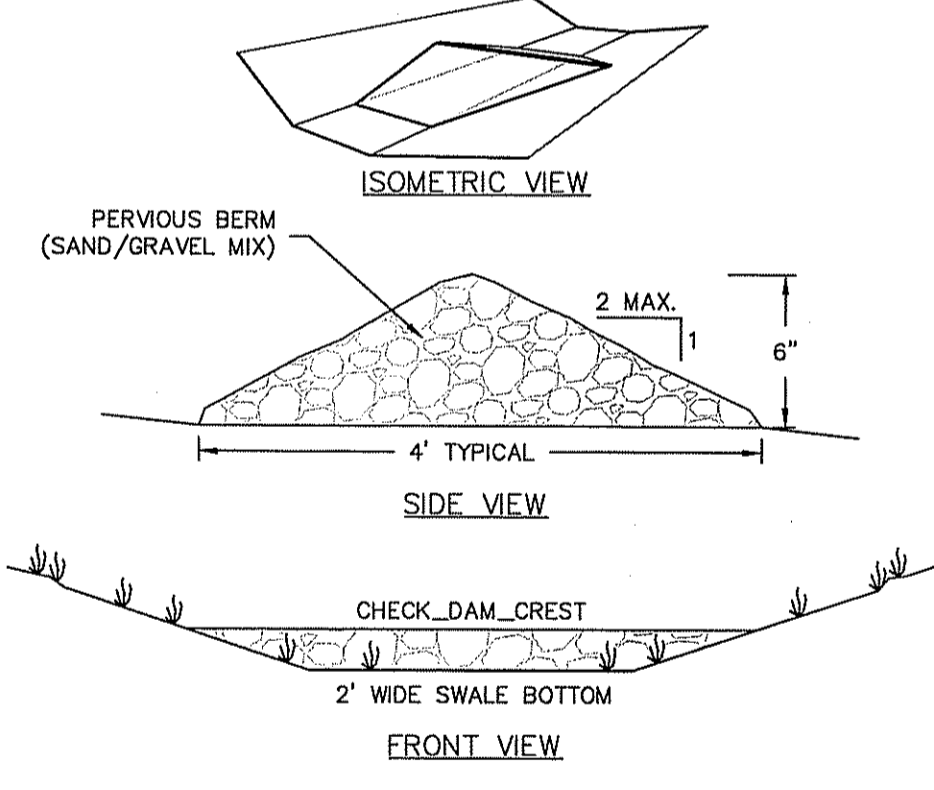
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN
NOT TO SCALE
R.I. STANDARD 4.4.0



MANHOLE STEP
NOT TO SCALE
MEETS: ASTM-C-478, ASTM-D-4101, ASTM-A-615, AASHTO-M-199



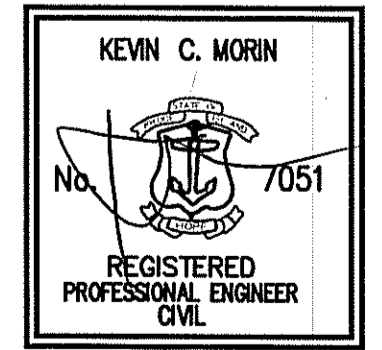
DRAINAGE TRENCH DETAIL
NOT TO SCALE
NOTE: DRAINAGE PIPE TO BE RCP CLASS III UNLESS OTHERWISE NOTED



DRAINAGE SWALE STONE CHECK DAM (LOW IMPACT DEVELOPMENT BMP)
NOT TO SCALE

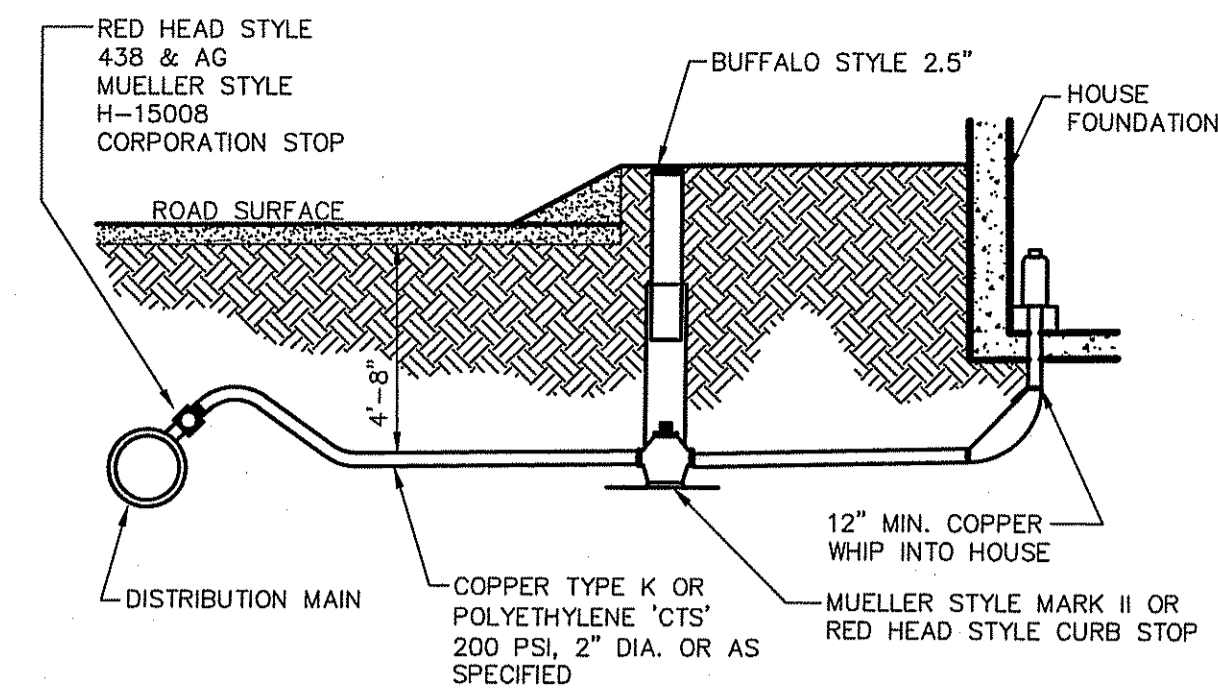
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 11-0179
DATED NOV 21 2011
SEE LETTER OF SAME DATE
Charles A. Harter

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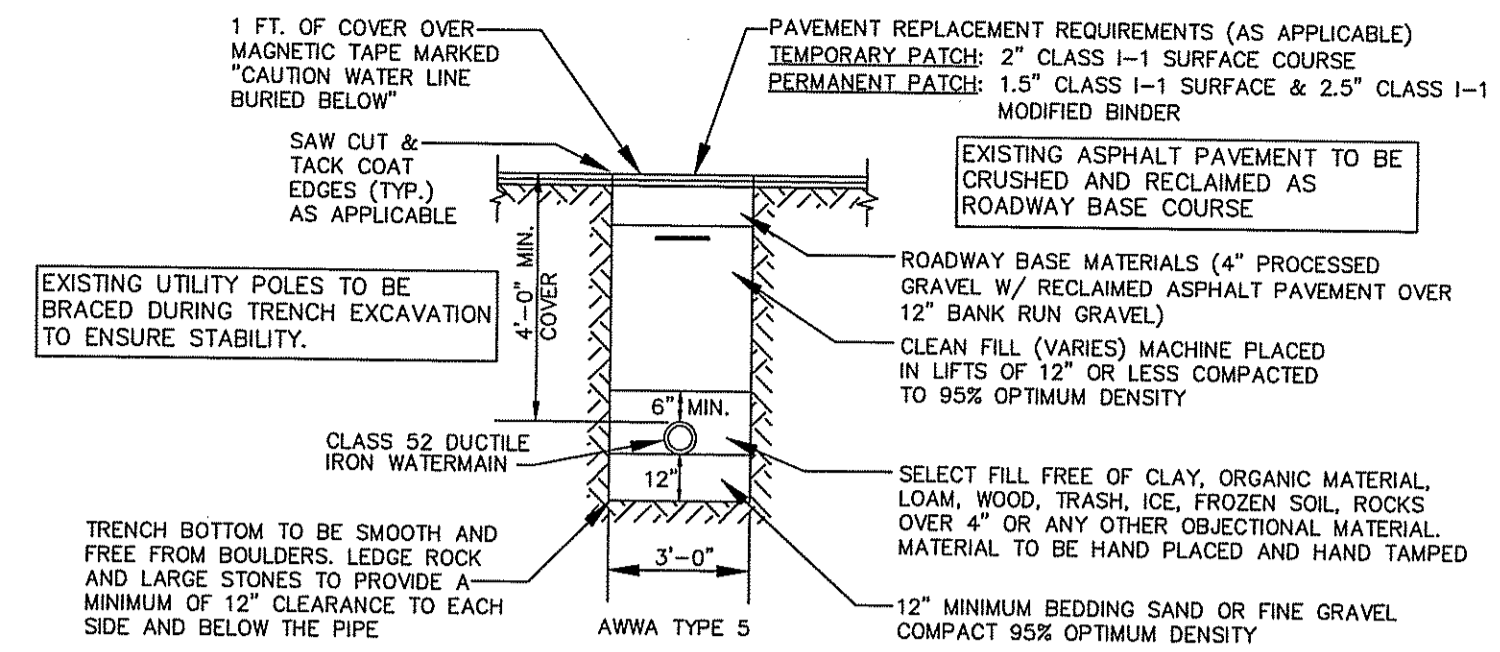


Detail Sheet - 4
Stone Soup Farm
Assessor's Plat 55-3, Lot 3
South Kingstown, Rhode Island
DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPreteEng.com
Owner / Applicant:
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151 Pond Street
Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|---------|---|-----|
| 1 | 9-25-11 | RIDEEM Preliminary Determination Submission | JAR |
| 0 | 9-25-11 | RIDEEM Site Suitability Submission | JAR |



TYPICAL 2" OR SMALLER WATER SERVICE N.T.S.



WATER TRENCH DETAIL N.T.S.

LEAKAGE AND PRESSURE TESTING FOR WATERMANS

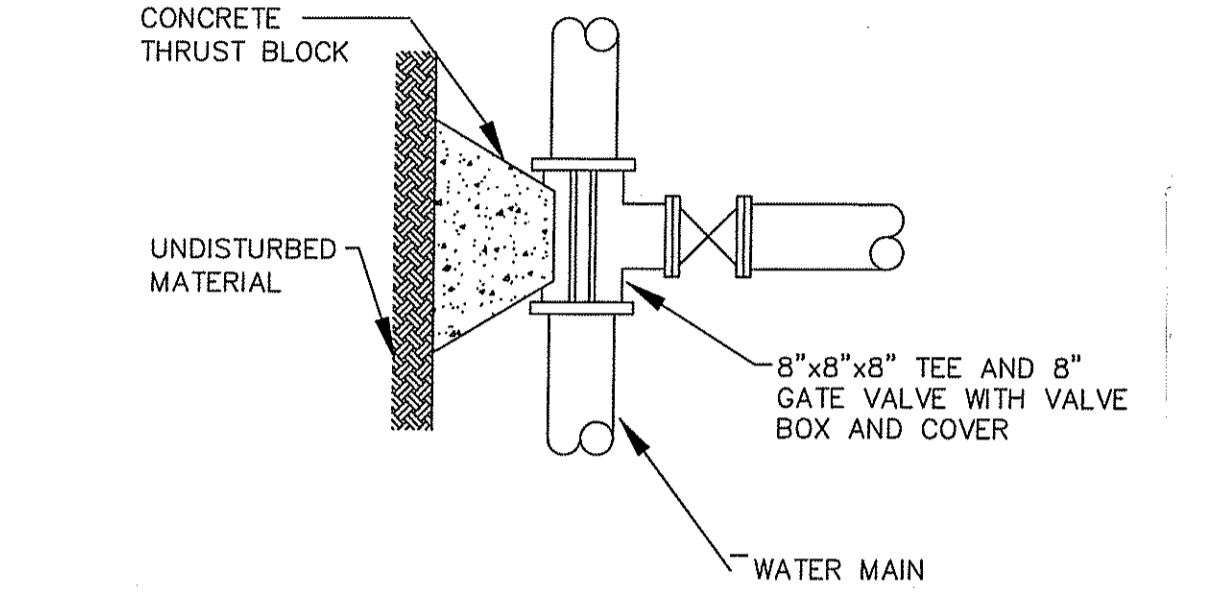
- GENERAL**
HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED WATERMAIN PIPELINE IN ACCORDANCE WITH AWWA C600, UNITED WATER, THE TOWN OF SOUTH KINGSTOWN, AND AS SPECIFIED BELOW.
THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR TESTING.
- TESTING PROCEDURES**
ALL AIR SHALL BE EXPELLED AT THE HIGH POINTS AND THE PIPELINE SLOWLY FILLED WITH POTABLE WATER.
THE INTERNAL PRESSURE SHALL BE BUILT UP TO 150 PSI AND MAINTAINED FOR A PERIOD OF NOT LESS THAN ONE (1) HOUR.
ALL LEAKS IN THE PIPELINE SHALL BE STOPPED; CRACKED OR DEFECTIVE PIPE, FITTINGS OR ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR.
THE PIPELINE SHALL BE RETESTED AS MAY BE REQUIRED AND NECESSARY UNTIL THE LEAKAGE FALLS WITHIN THE ALLOWABLE DETERMINED FOR THE PIPE NETWORK, AT WHICH TIME THE PIPELINE MAY BE CONSIDERED READY FOR:
a. WATERMANS - DISINFECTON STEP

WATER DETAILS

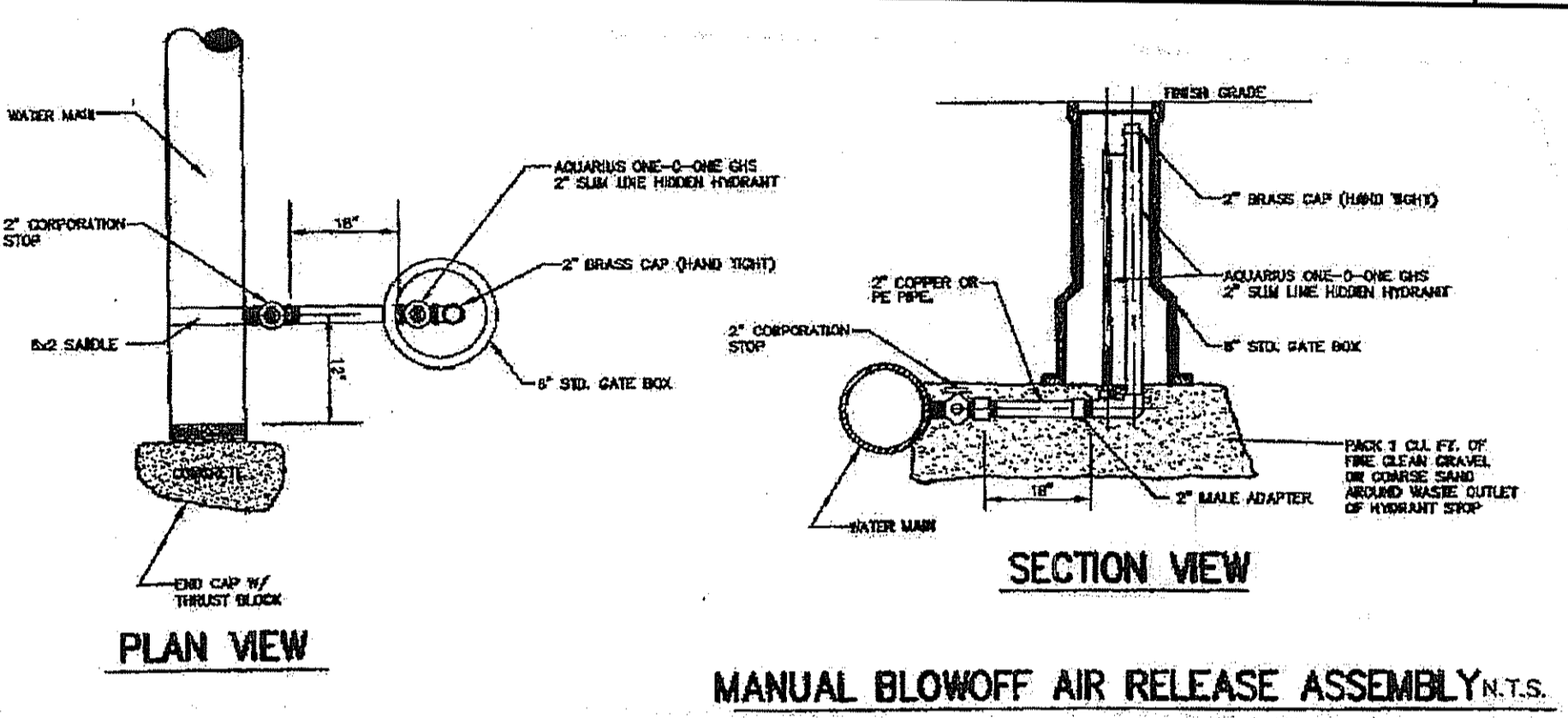
- ALL WORK AND MATERIAL OF WATER LINE SHALL BE IN ACCORDANCE WITH RULES AND REGULATIONS SET FORTH BY UNITED WATER RHODE ISLAND. INSTALLATION PROCEDURES AND MATERIALS TO CONFORM TO UNITED WATER R.I. AWWA SPECIFICATIONS AND ART. III OF THE SOUTH KINGSTOWN TOWN ORDINANCES. A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO ORDER OF MATERIALS AND WATER MAIN INSTALLATION.
- WATER MAIN INSTALLATION SHALL BE INSPECTED BY UNITED WATER R.I. PRIOR TO BACKFILLING THE TRENCH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNITED WATER R.I. FIVE (5) DAYS PRIOR TO START OF CONSTRUCTION.
- CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO AWWA REQUIREMENTS FOR SERVICE AND MAIN INSTALLATIONS.
- THE CONTRACTOR SHALL NOTIFY THE DIRECTOR OF WATER SUPPLY AT LEAST TWO WORKING DAYS IN ADVANCE FOR FINAL INSPECTION.
- WHENEVER, IN THESE SPECIFICATIONS, REFERENCE IS MADE TO THE REQUIREMENTS OF AWWA, ANSI, ASTM OR ANY OTHER STANDARD SPECIFICATION, THE REFERENCE IS MADE TO THE LATEST REVISIONS OR MODIFICATIONS OF SUCH REQUIREMENTS AND SPECIFICATIONS.
- ALL PIPE, FITTINGS, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA AND ANSI STANDARDS AND THE MANUFACTURER'S SUGGESTED RECOMMENDATIONS FOR INSTALLATIONS.
- PIPELINES SHALL BE CONSTRUCTED IN DRY TRENCHES AND LAID TO THE LINE GRADE. WHENEVER PIPE IS TO BE INSTALLED IN SATURATED SOIL CONDITIONS A BEDDING OF PROCESSED GRANULAR FILTER MATERIAL SHALL BE PROVIDED.
- ALL BENDS, CROSSES, TEES, END CAPS AND PLUGS, VALVES AND ANY OTHER APPURTENANCES SHALL BE RESTRAINED WITH THRUST BLOCKS, STRAPPING OR ANCHORS.
- JOINTING OF MECHANICAL AND PUSH ON TYPE JOINTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH AWWA STANDARD C-600, UNITED WATER, RI AND SOUTH KINGSTOWN SPECIFICATIONS. RUBBER GASKETS AND RINGS SHALL BE SUITABLE FOR USE WITH POTABLE WATER AND THOROUGHLY CLEANED TO REMOVE OIL, GRIT, AND OTHER FOREIGN MATTER PRIOR TO ASSEMBLY. THE GASKETS SHALL BE INSPECTED BY THE DIRECTOR OF WATER SUPPLY OR HIS AGENT TO INSURE THAT THEY ARE ACCEPTABLE.
- ALL FITTINGS USED FOR SERVICE CONNECTIONS SHALL BE IN ACCORDANCE WITH AWWA C-800, UNITED WATER, R.I., AND SOUTH KINGSTOWN SPECIFICATIONS.
- VALVES USED SHALL BE IN ACCORDANCE WITH AWWA C-500 SERIES, UNITED WATER, R.I. AND THE TOWN OF SOUTH KINGSTOWN REGULATIONS. VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS:
a. MUELLER CORPORATION STOP DOUBLE DISC PARALLEL SEAT.
b. AMERICAN DARLING VALVE RESILIENT MODEL CRS-80.
- BLOW-OFF ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C-800 SERIES, UNITED WATER, R.I., AND THE TOWN OF SOUTH KINGSTOWN.
- FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH MUELLER A421, AWWA C-502 "DRY BARREL FIRE HYDRANTS", UNITED WATER, R.I., AND TOWN SPECIFICATIONS.
- HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED PIPELINE IN ACCORDANCE WITH AWWA C-600, UNITED WATER, R.I. AND TOWN SPECIFICATIONS.
- ALL PIPE SHALL BE DISINFECTED PRIOR TO BEING ACTIVATED IN ACCORDANCE WITH AWWA B-300, AWWA C-601, UNITED WATER, R.I., AND TOWN SPECIFICATIONS.
- DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED, WITH PUSH ON JOINTS. PIPE SHALL MEET ANSI/AWWA C151/A21.51. JOINTS SHALL MEET ANSI/AWWA /C111/A21.11. AMERICAN MANUFACTURER ONLY.
- FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CL350 CEMENT MORTAR LINED AND MEET ANSI/AWWA/C153/A21.53. MECHANICAL JOINTS SHALL MEET ANSI/AWWA/C111/A21.11. AMERICAN MANUFACTURER ONLY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL STATE AND TOWN PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS RELATED TO INSTALLATION OF THE WATER MAIN.
- EXCAVATIONS THAT EXTEND INTO PUBLIC RIGHT -OF-WAY SHALL BE BACKFILLED AND COMPACTED IN 12" LIFTS. A TEMPORARY SURFACE COURSE IS TO BE APPLIED. FINAL BINDER AND FINISH COURSE TO BE PLACED AFTER REMOVAL OF TEMPORARY PAVEMENT AND COMPACTION OF GRAVEL BASE. CONTRACTOR SHALL MAKE ROAD PASSABLE FOR ONE LANE OF TRAFFIC AT ALL TIMES.
- CONTRACTOR SHALL NOTIFY DIG SAFE PRIOR TO DIGGING ANY TRENCHES.
- WHEN WORK IS NOT IN PROGRESS AND AT THE END OF EACH DAY, ALL OPEN ENDS OF THE PIPE AND FITTINGS SHALL BE SECURELY CLOSED.
- DIPRETE ENGINEERING DOES NOT CERTIFY AS TO THE WATER FLOW RATE OR RESIDUAL PRESSURE OF THIS WATER MAIN EXTENSION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
REVIEWED SITE PLAN APPLICATION NO.: 11-0179
DATED Nov 21 2011
SEE LETTER OF SAME DATE.
Charles A. Harkin

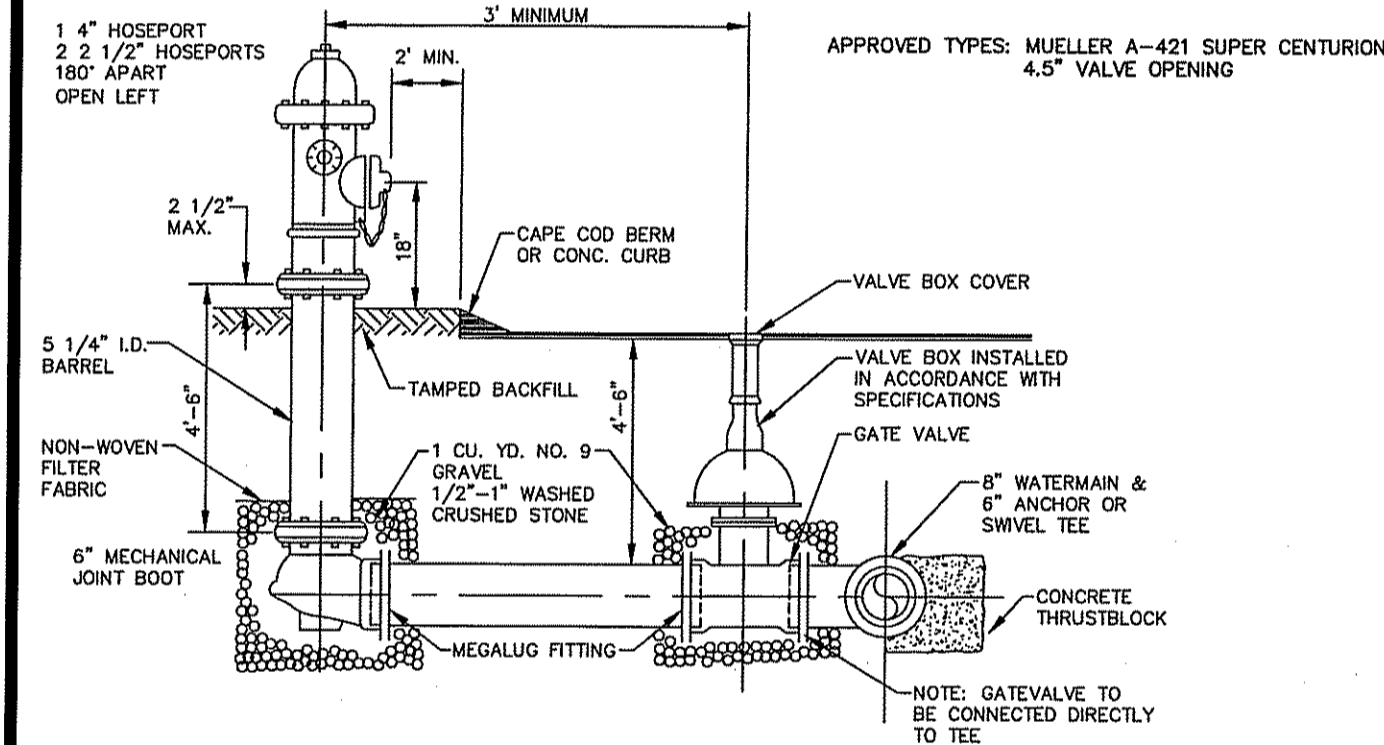
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
THIS REGULATORY SUBMISSION SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY A DIPRETE ENGINEERING REPRESENTATIVE.



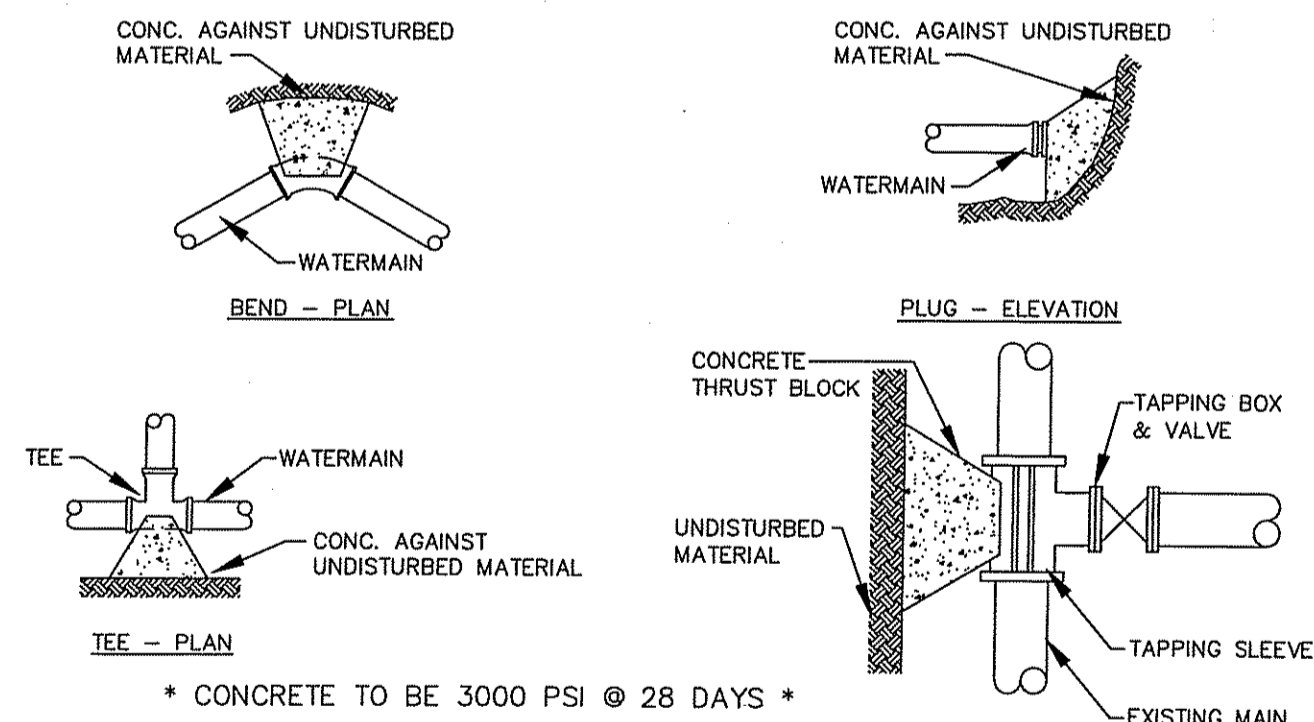
TYPICAL 4" OR GREATER WATER SERVICE N.T.S.



MANUAL BLOWOFF AIR RELEASE ASSEMBLY N.T.S.



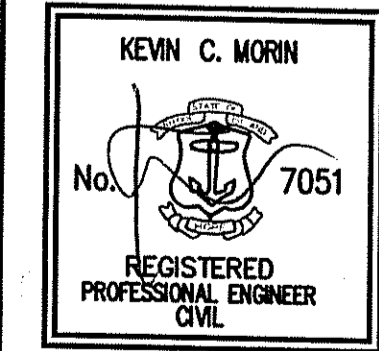
AWWA C502 DRY BARREL FIRE HYDRANT N.T.S.



* CONCRETE TO BE 3000 PSI @ 28 DAYS *

| THRUST BLOCK SCHEDULE BEARING AREA | | |
|------------------------------------|------------------|----------------|
| PIPE SIZE | 45° BEND OR LESS | TEE & DEAD END |
| 8" | 2.5' x 2.5' | 3.0' x 3.0' |
| 12" | 3.0' x 3.0' | 3.5' x 3.5' |

THRUST BLOCK DETAILS N.T.S.



Detail Sheet - 5
Stone Soup Farm
Assessor's Plat 55-3, Lot 3
South Kingstown, Rhode Island

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPreteEng.com
Owner / Applicant:
Stone Soup Cottage Works, LLC
151 Pond Street
Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|---------|--|-----|
| 1 | 9-15-11 | RIDEM Preliminary Determination Submission | DAR |
| 2 | 9-15-11 | RIDEM Site Suitability Submission | DAR |