

SITE PLANS FOR A
PROPOSED 3,580 SF

MEDICAL OFFICE BUILDING

FOR THE

BRISTOL COUNTY MEDICAL CENTER

1180 HOPE STREET
BRISTOL, RHODE ISLAND
AP 103, LOT 17

ZONE: R-10

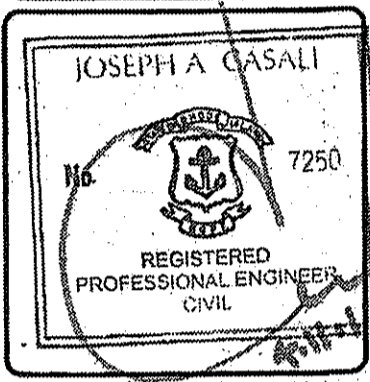
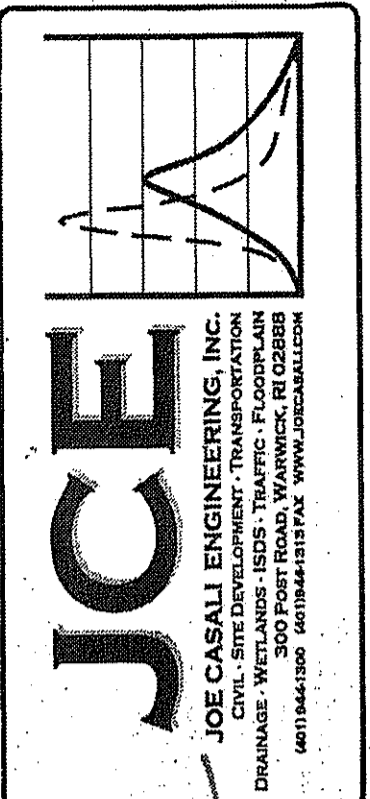
APPROVALS

TOWN OF BRISTOL PLANNING BOARD OF REVIEW PRELIMINARY PLAN APPROVAL: DECEMBER 13, 2011
 TOWN OF BRISTOL ZONING BOARD OF REVIEW APPROVAL: JANUARY 9, 2012
 VARIANCES RECEIVED:
 • EXPANSION OF A NON-CONFORMING USE
 • DIMENSIONAL RELIEF FOR ONE LOADING DOCK AND 32 PARKING SPACES
 TOWN OF BRISTOL PLANNING BOARD OF REVIEW, FINAL PLAN APPROVAL: February 14, 2012
 TOWN OF BRISTOL BUILDING DEPARTMENT
 TOWN OF BRISTOL WATER POLLUTION CONTROL DEPARTMENT

PENDING APPROVALS

RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT, DEPARTMENT OF FRESHWATER WETLANDS

Environmental Management
 APR 12 2012
 Office of Water Resources



BRISTOL COUNTY MEDICAL CENTER
 1180 HOPE STREET
 BRISTOL, RHODE ISLAND
 AP 103, LOT 17

NOTE:
 THESE CONSTRUCTION PLANS ARE ISSUED
 CONTINGENT UPON PENDING APPROVALS
 NOTED ON THIS PLAN.

PROJECT TEAM

OWNER:
 BRISTOL COUNTY MEDICAL ASSOCIATES
 1180 HOPE STREET
 BRISTOL, RI 02809

ARCHITECT:
 EKMAN & ARP ARCHITECTS
 25 MESSENGER DRIVE
 WARWICK, RI 02888
 PHONE: 401-461-3320
 FAX: 401-461-3366

BUILDER:
 PARISEAUT BUILDERS
 69 ILLINOIS AVENUE
 WARWICK, RI 02889
 PHONE: 401-738-0524

ENGINEER:
 JOE CASALI ENGINEERING, INC.
 300 POST ROAD
 WARWICK, RI 02888
 PHONE: 401-944-1300
 FAX: 401-944-1313

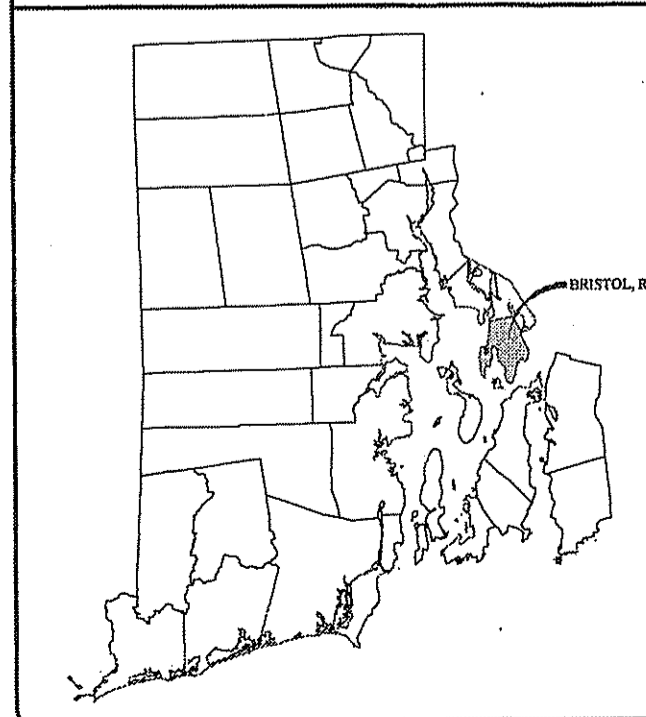
SURVEYOR:
 CAPUTO AND WICK LTD.
 1150 PAWTUCKET AVENUE
 RUMFORD, RI 02916
 PHONE: 401-434-8880
 FAX: 401-434-1615

LANDSCAPE ARCHITECT:
 MUOIO DESIGN GROUP, LLC
 132 ROLLINGWOOD DRIVE
 NORTH KINGSTOWN, RI 02852
 PHONE: 401-487-9532
 FAX: 401-946-8390

LOCUS MAP (NOT TO SCALE)



STATE WIDE MAP



INDEX OF DRAWINGS

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 30 2012 FILE # 12-0013
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/27/12	FIRE COMMENTS
2	3/7/2012	CONSTRUCTION DOCUMENTS
3	3/22/2012	RIDEM COMMENTS
4	4/10/2012	RIDEM COMMENTS

DESIGNED BY: GAA/GBC/AAK
 DRAWN BY: WML/JR
 CHECKED BY: JAC
 DATE: JANUARY 18, 2012
 PROJECT NO: 11-34

ISSUED FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 11

Q:\11-34 Bristol Medical Center\CAD\BRISTOL MEDICAL PLANSSET1.dwg Apr. 10, 2012 9:45am

GENERAL NOTES:

- 1. CLASS I PROPERTY LINE SURVEY AND TOPOGRAPHIC SURVEY PER PLAN ENTITLED, "EXISTING CONDITIONS SURVEY MAP, BRISTOL COUNTY MEDICAL CENTER, 1180 HOPE STREET, BRISTOL, RHODE ISLAND," PREPARED BY CAPUTO AND WICK LTD. 1150 PAWTUCKET AVENUE, RUMFORD, RI 02916, DATED 12-1-95, REVISED 12-21-2011.
2. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
3. THIS SITE LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), AS SHOWN ON THE FIRM MAP FOR BRISTOL COUNTY, RI, MAP NO. 44001C011G, REVISED NOVEMBER 16, 2006.
4. SOILS EXISTING ON THE SITE ARE MANSFIELD (Ma), NEWPORT URBAN LAND (NP), PITTTOWN (Pm1 7 PmB) AND STISSING (Se & Sf).
5. SOIL EVALUATIONS WERE PERFORMED ON-SITE BY ECOSYSTEM SOLUTIONS, INC. ON DECEMBER 6, 2011.
6. FRESHWATER WETLANDS FLAGGED AND LOCATED BY CAPUTO AND WICK, INC. IN DECEMBER OF 2011.
7. EXISTING AND PROPOSED ELEVATIONS SHOWN ON THE SITE PLANS ARE REFERENCED VERTICALLY TO NGVD 29.

SITE NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR OR A RHODE ISLAND REGISTERED PROFESSIONAL ENGINEER.
5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDINGS.
7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER.
8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR TOWN.
9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
16. REFER TO PLUMBING/MECHANICAL PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
17. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

- 1. PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER OF RECORD AND/OR TOWN ENGINEER PRIOR TO CONSTRUCTION.
2. THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
3. OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THESE OPERATIONS.
5. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR TOWN.
6. EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR TOWN RIGHT-OF-WAY.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC, SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE RIDOT SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE SYSTEM NOTES:

- 1. THE PROPOSED DRAINAGE LINES SHALL BE SDR-35 PVC PIPE OR AN APPROVED EQUAL.
2. ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.
3. THE DESIGN ENGINEER MUST SUBMIT AN AS BUILT PLAN AND A CERTIFICATION TO TOWN ENGINEER THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE DESIGN PLANS FOR ALL ELEMENTS OF THE STORM OR DRAINAGE SYSTEM PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- 1. THE SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
2. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
3. ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) AND STAKED HAYBALE WITH SILT FENCE SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
4. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
5. ALL SILT FENCE, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
7. THE SILT FENCE SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SILT FENCE AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE SILT FENCE BECOMES FILLED WITH SEDIMENTS.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
9. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.

BMP MAINTENANCE SCHEDULE:

- 1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
A. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS ALL PIPES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.
B. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.
2. UPON COMPLETION OF THE PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.
3. AFTER THE COMPLETION OF THE ENTIRE PROJECT TO THE SATISFACTION OF THE OWNER OR ENGINEER, ALL MAINTENANCE OF THE DRAINAGE SYSTEM SHALL THEN BE THE RESPONSIBILITY OF MEDICAL ASSOCIATES OF RI OR THEIR APPROVED AGENTS.
4. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED AS FOLLOWS:
A. ANY REQUIRED REPAIR AND REPLACEMENT OF DRAINAGE STRUCTURES OR FACILITIES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE SYSTEM.
B. THE POROUS PAVEMENT OR DEBRIS WITHIN THE AREA SHALL BE REMOVED YEAR AND ANY SEDIMENT OR DEBRIS WITHIN THE AREA SHALL BE REMOVED.
C. ALL DESIGN, CLEANING, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL FOLLOW AT LEAST THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION MINIMUM STANDARDS, SECTION 212 AND SECTION 708. WHERE APPROPRIATE, PROCEDURES REGARDING THE DRAINAGE DESIGN, AND THE INSPECTION AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL BE FOLLOWED AS OUTLINED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" (RIDEM/RCRMC, SEPTEMBER 1, 1993).

POROUS PAVEMENT AREA PROTECTION

- FOR THE LONG-TERM FUNCTION OF THE POROUS PAVEMENT SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):
1. THE POROUS PAVEMENT AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
2. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE POROUS PAVEMENT AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
3. EXCAVATION FOR CONSTRUCTION OF THE POROUS PAVEMENT AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL.
4. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE POROUS PAVEMENT AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

POROUS PAVEMENT OPERATION AND MAINTENANCE NOTES

- PREVENTING CLOGGING OF PERMEABLE PAVEMENT SURFACES
• VACUUM PAVEMENT AT LEAST FOUR TIMES PER YEAR WITH A COMMERCIAL CLEANING UNIT AND PROPERLY DISPOSE OF REMOVED MATERIAL.
• THE USE OF PAVEMENT WASHING SYSTEMS OR COMPRESSED AIR UNITS IS NOT RECOMMENDED AS IT MAY RESULT IN DIMINISHED PERMEABILITY.
• MAINTAIN VEGETATED AREAS ADJACENT TO PERMEABLE ASPHALT PAVEMENT TO PREVENT WASHOUT OF SOIL ONTO SURFACE.
• DO NOT ALLOW CONSTRUCTION STAGING, SOIL/MULCH STORAGE, ETC. ON UNPROTECTED PAVEMENT SURFACE. IF NECESSARY, PLACE TARP OR OTHER IMPERMEABLE MATERIAL BENEATH THE STOCKPILED MATERIALS AND DO NOT ALLOW TO RUNOFF ONTO PAVEMENT.
• DO NOT APPLY ANY TYPE OF SEALANT TO POROUS ASPHALT PAVEMENT.

SNOW AND ICE REMOVAL

- DO NOT STOCKPILE SNOW ON PERMEABLE PAVEMENT SURFACE. SAND AND GRIT IN SNOW WILL CLOG PAVEMENT.
• PLOW PARKING AREAS PAVED WITH PERMEABLE ASPHALT PAVEMENT CAREFULLY. PLOW BLADES SHOULD BE SET APPROXIMATELY 1" HIGHER THAN USUAL TO AVOID SCARRING THE PAVEMENT AND LOOSENING MATERIAL THAT COULD POTENTIALLY CLOG SURFACE PORES.
• DO NOT APPLY ABRASIVES SUCH AS SAND OR GRIT ON OR ADJACENT TO POROUS ASPHALT PAVEMENT.
• MONITOR APPLICATION RATES OF DEICING MATERIALS AND REDUCE APPLICATION RATE ACCORDINGLY. POROUS PAVEMENTS TEND TO REQUIRE LESS DEICER PER UNIT AREA BECAUSE THE WATER IS NOT REQUIRED TO REMAIN LIQUID OVER THE ENTIRE PARKING SURFACE AREA BEFORE DISCHARGE.

INSPECTING THE SYSTEM

- INSPECT AREAS PAVED WITH PERMEABLE ASPHALT PAVEMENT MONTHLY DURING THE FIRST THREE MONTHS FOLLOWING INSTALLATION AND ANNUALLY THEREAFTER.
• INSPECT THE POROUS PAVEMENT SURFACE ANNUALLY FOR DETERIORATION OR SPALLING. ANNUAL INSPECTIONS SHOULD TAKE PLACE AFTER LARGE STORMS, WHEN PUDDLES WILL MAKE ANY CLOGGING OBVIOUS.

POROUS PAVEMENT CONSTRUCTION NOTES

CONTRACTOR SHALL REFER TO UNIVERSITY OF NEW HAMPSHIRE (UNH) STORMWATER CENTER, OCTOBER 2009 "POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS DESIGN SPECIFICATIONS" FOR CONSTRUCTION OF POROUS ASPHALT PAVEMENT. WHERE DISCREPANCIES OCCUR BETWEEN THIS PLAN SET AND THE UNH SPECIFICATIONS, THIS PLAN SET SHALL TAKE PRECEDENCE. THE UNH POROUS ASPHALT SPECIFICATIONS CAN BE OBTAINED AT http://www.unh.edu/unhsc/sites/unh.edu/unhsc/files/pubs_specs_info/unhsc_pa_spec_10_09.pdf OR BY CONTACTING THE ENGINEER.

ORGANIC FILTER MAINTENANCE

- THE ORGANIC FILTERS SHALL BE MOWED A MINIMUM OF THREE TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS OF LESS THAN 12 INCHES.
• MINOR SOIL EROSION GULLIES SHOULD BE REPAIRED WHEN THEY OCCUR.
• SILT/SEDIMENT SHALL BE REMOVED FROM THE FILTER BED WHEN THE ACCUMULATION EXCEEDS 1 INCH. WHEN FILTERING CAPACITY DIMINISHES SUBSTANTIALLY (I.E. WHEN WATER POUNDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHOULD BE REPLACED WITH FRESH MATERIAL.
• DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, FILTER PRACTICES SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, INSPECTIONS SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO THE 1-YEAR, 24 HOUR TYPE III PRECIPITATION EVENT.

MISCELLANEOUS CONSTRUCTION NOTES

- 1. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCES SPECIFIED ON THESE PLANS TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE DESIGN ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF CONSTRUCTION.

LEGEND

Legend symbols and descriptions: EXISTING PROPERTY LINE, PROPOSED PROPERTY LINE, ABUTTING PROPERTY LINE, BUILDING SETBACK LINE, WETLAND EDGE, WETLAND FLAG, 50' PERIMETER WETLAND, 100' RIVERBANK WETLAND, 200' RIVERBANK WETLAND, EXISTING EASEMENT, EXISTING CONTOUR, PROPOSED CONTOUR, SLOPES > 15%, EXISTING STONE WALL, IRON PIN, DRILL HOLE, CONCRETE BOUND, EXISTING CURB, GUARD RAIL, DRAIN LINE, DRAINAGE MANHOLE, CATCH BASIN, UTILITY POLE, OVERHEAD WIRES, UNDERGROUND ELECTRIC, VERIZON LINE, WATER LINE, WATER SHUT OFF VALVE, WELL, SEWER, SMH, NOW OR FORMERLY TREELINE (APPROXIMATE), HAY BALES, LIMIT OF DISTURBANCE, LEDGE TEST, SOIL EVALUATION.

Environmental Management Office of Water Resources stamp dated APR 12 2012.



JOE CASALI ENGINEERING, INC. logo and contact information.

Professional Engineer stamp for JOSEPH A. CASALI, No. 0750, Registered Professional Engineer Civil.

Project title block: BRISTOL COUNTY MEDICAL CENTER, 1180 HOPE STREET, BRISTOL, RHODE ISLAND, AP 103, LOT 17.

REVISIONS table with columns: NO., DATE, DESCRIPTION. Includes revisions for FIRE COMMENTS, CONSTRUCTION DOCUMENTS, RIDEM COMMENTS.

DESIGNED BY: GAA/GE/AAK, DRAWN BY: WML/JR, CHECKED BY: JAC, DATE: JANUARY 18, 2012, PROJECT NO: 11-34.

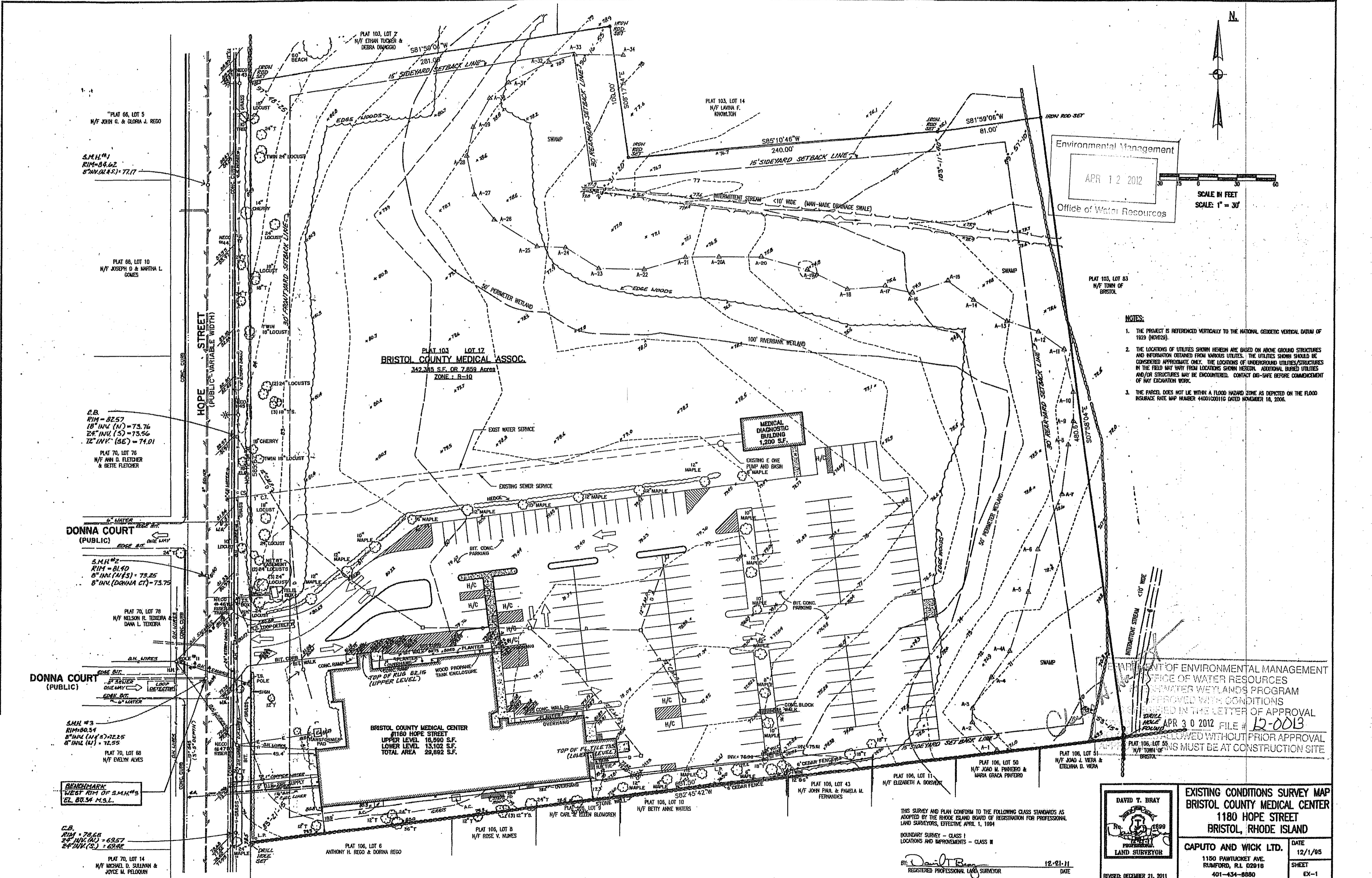
ISSUED FOR CONSTRUCTION.

GENERAL NOTES & LEGEND.

SHEET 2 OF 11.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES stamp, APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL, DATED APR 30 2012, FILE # 12-0013. APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT: 1-888-DIG-SAFE 1-888-344-7233.



Environmental Management
 APR 12 2012
 Office of Water Resources

- NOTES:**
1. THE PROJECT IS REFERENCED VERTICALLY TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
 2. THE LOCATIONS OF UTILITIES SHOWN HEREIN ARE BASED ON ABOVE GROUND STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS UTILITIES. THE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE ONLY. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES IN THE FIELD MAY VARY FROM LOCATIONS SHOWN HEREIN. ADDITIONAL BURIED UTILITIES AND/OR STRUCTURES MAY BE ENCOUNTERED. CONTACT DIG-SAFE BEFORE COMMENCEMENT OF ANY EXCAVATION WORK.
 3. THE PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD ZONE AS DEPICTED ON THE FLOOD INSURANCE RATE MAP NUMBER 44001C0011G DATED NOVEMBER 18, 2006.

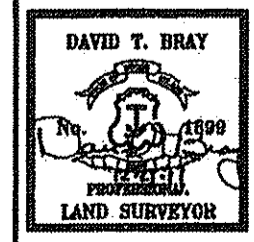
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 STATE WATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 LISTED IN THE LETTER OF APPROVAL
 APR 30 2012 FILE # 12-0013
 APPROVAL ALLOWED WITHOUT PRIOR APPROVAL
 CONDITIONS MUST BE AT CONSTRUCTION SITE

PLAT 103 LOT 17
BRISTOL COUNTY MEDICAL ASSOC.
 347,345 S.F. OR 7,859 ACRES
 ZONE - R-10

BRISTOL COUNTY MEDICAL CENTER
 1180 HOPE STREET
 UPPER LEVEL 16,990 S.F.
 LOWER LEVEL 13,102 S.F.
 TOTAL AREA 29,992 S.F.

THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1994
 BOUNDARY SURVEY - CLASS I
 LOCATIONS AND IMPROVEMENTS - CLASS II

DAVID T. BRAY
 REGISTERED PROFESSIONAL LAND SURVEYOR
 12-21-11
 DATE



EXISTING CONDITIONS SURVEY MAP
BRISTOL COUNTY MEDICAL CENTER
1180 HOPE STREET
BRISTOL, RHODE ISLAND

CAPUTO AND WICK LTD.
 1150 PAWTUCKET AVE.
 PAWTUCKET, R.I. 02861
 401-434-8880

DATE 12/1/05
 SHEET EX-1

PLAT 66, LOT 5
 N/F JOHN G. & GLORIA J. REGO

PLAT 66, LOT 10
 N/F JOSEPH D. & MARTHA L. GOMEZ

P.B.
 RIM - 8257
 18" INCH (N) - 73.76
 24" INCH (S) - 73.56
 12" INCH (SE) - 74.01

PLAT 70, LOT 76
 N/F ANN D. FLETCHER & BETIE FLETCHER

6" WATER
 EDGE BIT
 ONE LAMP
 ONE LAMP

S.M.H.#2
 RIM - 8140
 8" INCH (N/S) - 73.25
 8" INCH (DONNA CT) - 73.75

PLAT 70, LOT 78
 N/F NELSON R. TEZERA & DANA L. TEZERA

S.M.H.#3
 RIM - 8034
 8" INCH (N/S) - 72.25
 8" INCH (S) - 72.55

PLAT 70, LOT 68
 N/F EVELYN ALMES

BENCHMARK
 WEST RIM OF S.M.H.#3
 EL. 80.34 M.S.L.

C.B.
 RIM - 78.65
 24" INCH (N) - 69.57
 24" INCH (S) - 69.92

PLAT 70, LOT 14
 N/F MICHAEL D. SULLIVAN & JOYCE M. PELDORIAN

PLAT 106, LOT 6
 ANTHONY H. REGO & DORINA REGO

PLAT 106, LOT 8
 N/F ROSE V. NUNES

PLAT 106, LOT 10
 N/F BETTY ANNE WATERS

PLAT 106, LOT 43
 N/F JOHN P. & PAMELA M. FERRELLS

PLAT 106, LOT 11
 N/F ELIZABETH A. BOGERT

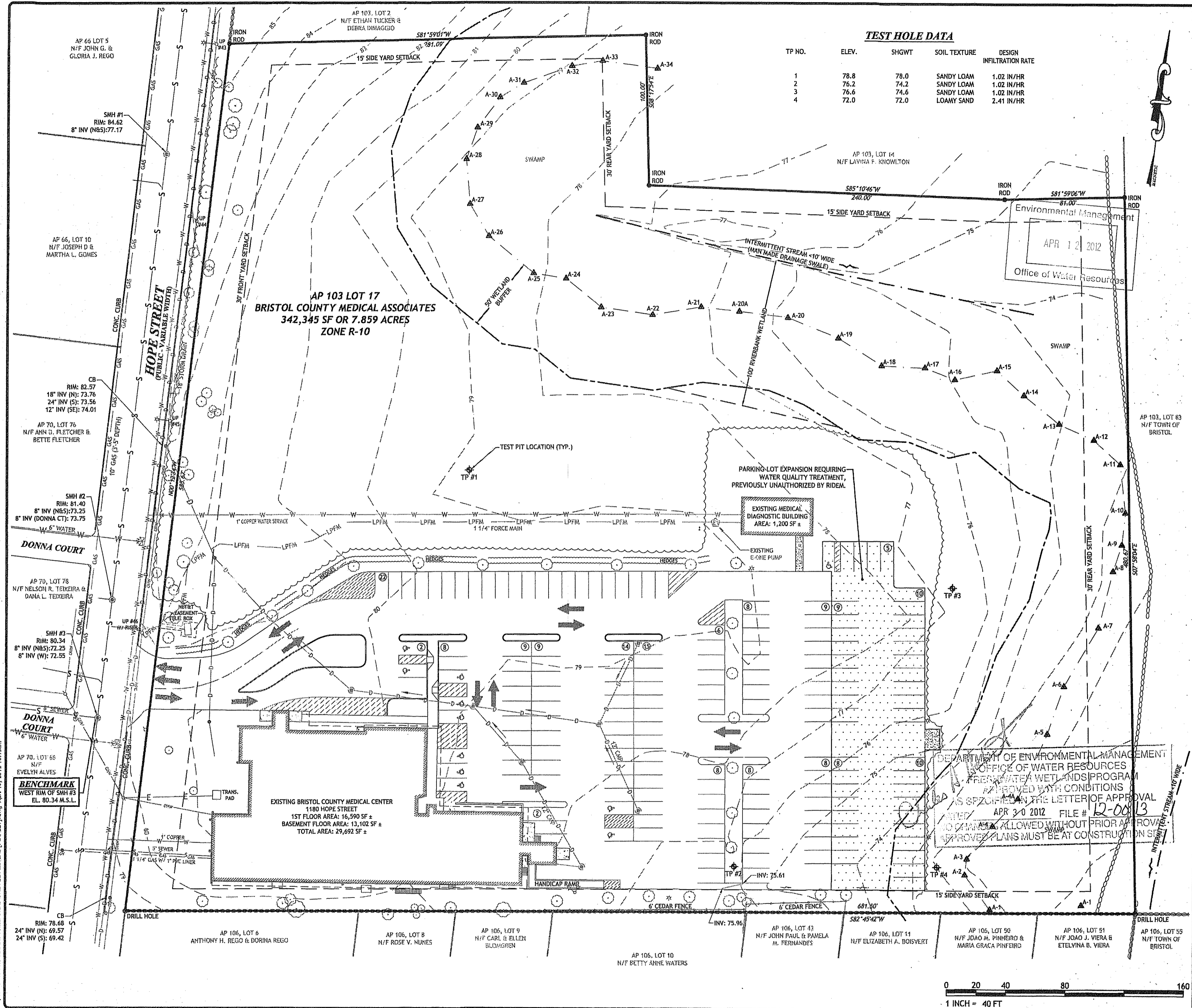
PLAT 106, LOT 50
 N/F JOAO M. PINHEIRO & MARIA GRACA PINHEIRO

PLAT 106, LOT 51
 N/F JOAO J. VIEIRA & ETELINA B. VIEIRA

PLAT 106, LOT 55
 N/F TOWN OF BRISTOL

TEST HOLE DATA

TP NO.	ELEV.	SHGWT	SOIL TEXTURE	DESIGN INFILTRATION RATE
1	78.8	78.0	SANDY LOAM	1.02 IN/HR
2	76.2	74.2	SANDY LOAM	1.02 IN/HR
3	76.6	74.6	SANDY LOAM	1.02 IN/HR
4	72.0	72.0	LOAMY SAND	2.41 IN/HR



Environmental Management
 APR 12 2012
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 APR 30 2012 FILE # 12-00113
 NO DATA ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

BRISTOL COUNTY MEDICAL CENTER
 1180 HOPE STREET
 BRISTOL, RHODE ISLAND
 AP 103, LOT 17

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/27/2012	FIRE COMMENTS
2	3/7/2012	CONSTRUCTION DOCUMENTS
3	3/22/2012	RIDEM COMMENTS
4	4/10/2012	RIDEM COMMENTS

DESIGNED BY: GAA/GCA/AK
 DRAWN BY: WMLJR
 CHECKED BY: JAC
 DATE: JANUARY 18, 2012
 PROJECT NO: 11-34

ISSUED FOR CONSTRUCTION

EXISTING CONDITIONS PLAN

SHEET 4 OF 11

JCE
 JOE CASALI ENGINEERING, INC.
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION
 DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN
 300 POST ROAD, WARWICK, RI 02886
 401.944.1800 401.944.1515 FAX 401.944.1515

Q311-34 Bristol Medical Center/ACAD/BRISTOL MEDICAL PLANSET.dwg Apr. 10, 2012 10:15am

PARKING SCHEDULE

PROPOSED CONDITIONS:

AREA OF EXISTING BUILDINGS (2)	30,892 SF
AREA OF PROPOSED BUILDING	3,580 SF
TOTAL PROPOSED BUILDING AREA	34,472 SF
REQUIRED PARKING SPACES	
34,472/200	173
TOTAL SPACES PROVIDED (WITHOUT NEW PARKING AREA)	141
TOTAL SPACES PROVIDED (WITH NEW PARKING AREA)	173
ZONING RELIEF GRANTED ON JANUARY 19, 2012	32 SPACES

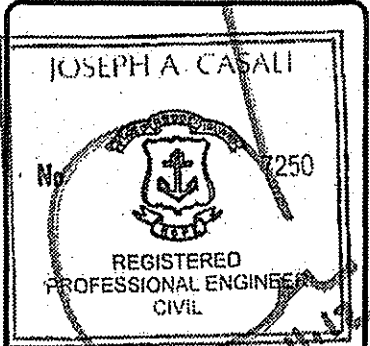
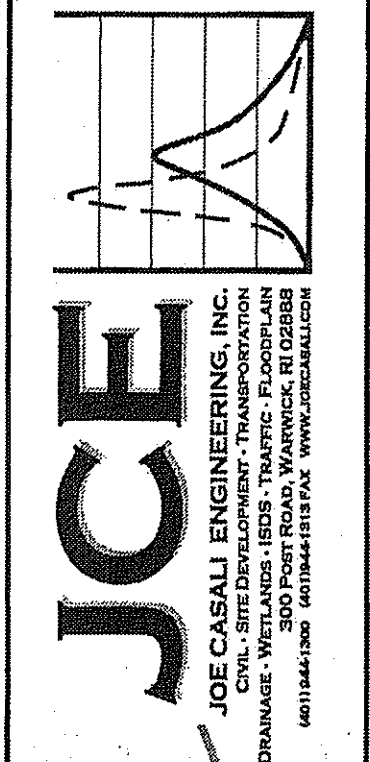
ZONING CRITERIA	REQUIRED	EXISTING LOT 17	PROPOSED LOT 17
ZONING DISTRICT	R-10	R-10	R-10
MINIMUM LOT AREA	10,000 SF	342,345 SF	342,345 SF
MINIMUM LOT WIDTH	80 FT	585.67 FT	585.67 FT
MINIMUM LOT FRONTAGE	80 FT	585.67 FT	585.67 FT
MINIMUM FRONT YARD	30 FT	50.7 FT	50.7 FT
MINIMUM SIDE YARD SETBACK	15 FT	>15 FT	19 FT
MINIMUM REAR YARD SETBACK	30 FT	>30 FT	291.62 FT
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT	23 FT
MAXIMUM LOT COVERAGE BY STRUCTURES	25%	6%	7%

NOTE TO CONTRACTOR:

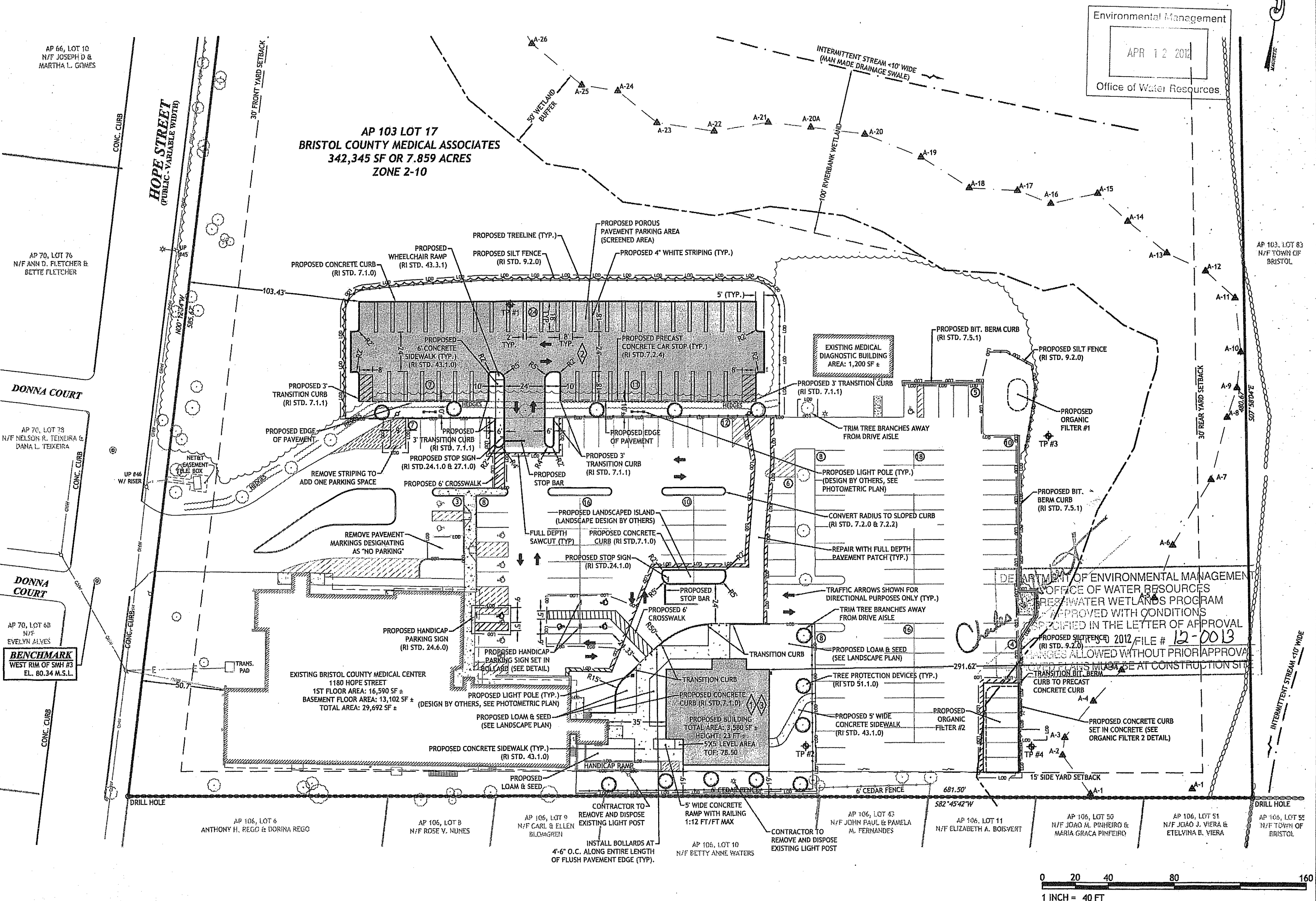
CONTRACTOR TO PROTECT ALL HEDGES ALONG PROPOSED PARKING AREA BY MEANS OF RI STD. 51.2.0

ZONING VARIANCES RECEIVED JANUARY 9, 2012

- 1 EXPANSION OF A NON-CONFORMING USE
- 2 NUMBER OF PARKING SPACES. RELIEF REQUESTED (32 PARKING SPACES)
- 3 NO LOADING AREA PROPOSED



BRISTOL COUNTY MEDICAL CENTER
 1180 HOPE STREET
 BRISTOL, RHODE ISLAND
 AP 103, LOT 17



Environmental Management
 APR 12 2012
 Office of Water Resources

Q:\11-34 Bristol Medical Center\ACAD\BRISTOL MEDICAL PLANS\SET1.dwg APR 10 2012 11:18am

REVISIONS:

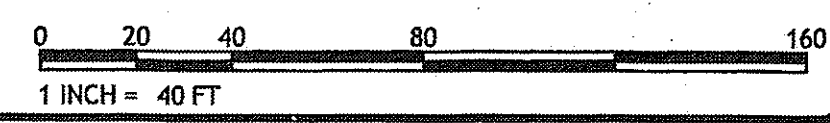
NO.	DATE	DESCRIPTION
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4	4/10/2012	RIDEM COMMENTS

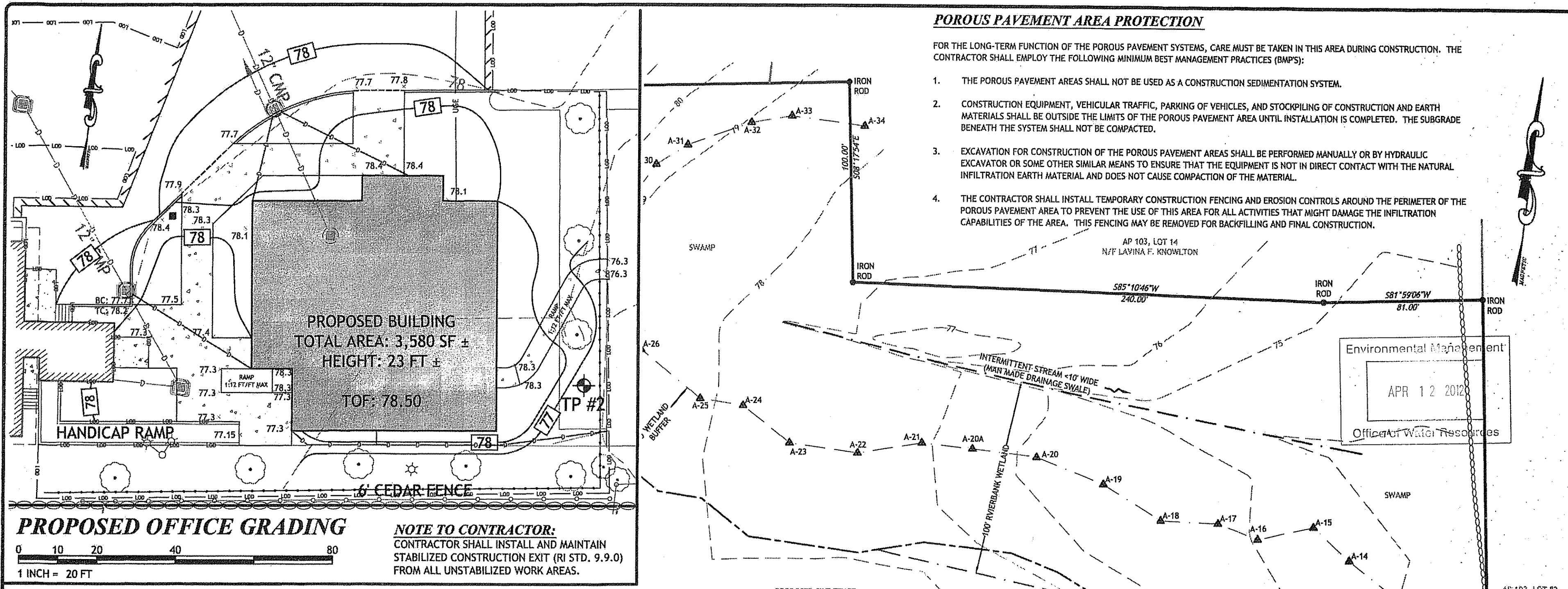
DESIGNED BY: GAA/GBC/AAK
 DRAWN BY: WMLJR
 CHECKED BY: JAC
 DATE: JANUARY 18, 2012
 PROJECT NO: 11-34

ISSUED FOR CONSTRUCTION

SITE PLAN

SHEET 5 OF 11

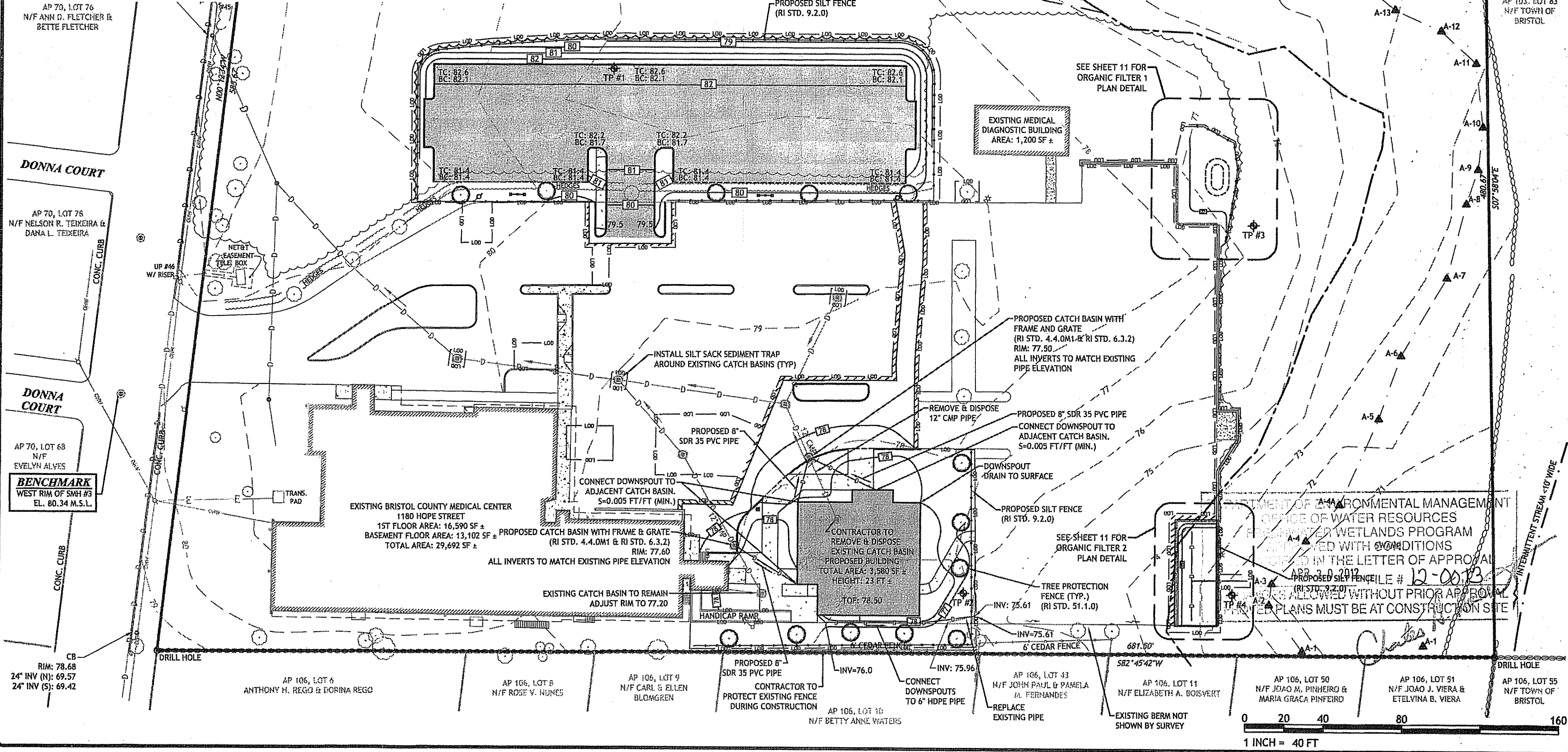
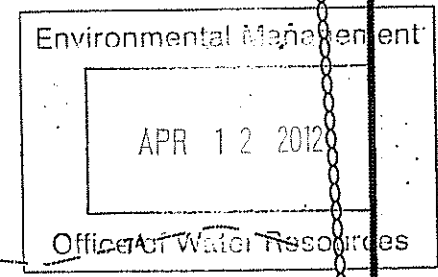




POROUS PAVEMENT AREA PROTECTION

FOR THE LONG-TERM FUNCTION OF THE POROUS PAVEMENT SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

1. THE POROUS PAVEMENT AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
2. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE POROUS PAVEMENT AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
3. EXCAVATION FOR CONSTRUCTION OF THE POROUS PAVEMENT AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL.
4. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE POROUS PAVEMENT AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.



JCE
 JOE CASALI ENGINEERING, INC.
 CIVIL, SITE DEVELOPMENT, TRANSPORTATION
 DRAINAGE, WETLANDS, ISDS, TRAFFIC, FLOODPLAIN
 300 POST ROAD, WARWICK, RI 02886
 (401) 844-1590 (401) 844-9187 FAX WWW.JCE-RI.COM

JOSEPH A. CASALI
 No. 250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

BRISTOL COUNTY MEDICAL CENTER
 1180 HOPE STREET
 BRISTOL, RHODE ISLAND
 AP 103, LOT 17

REVISIONS:

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DESIGNED BY: GAA/GC/AK
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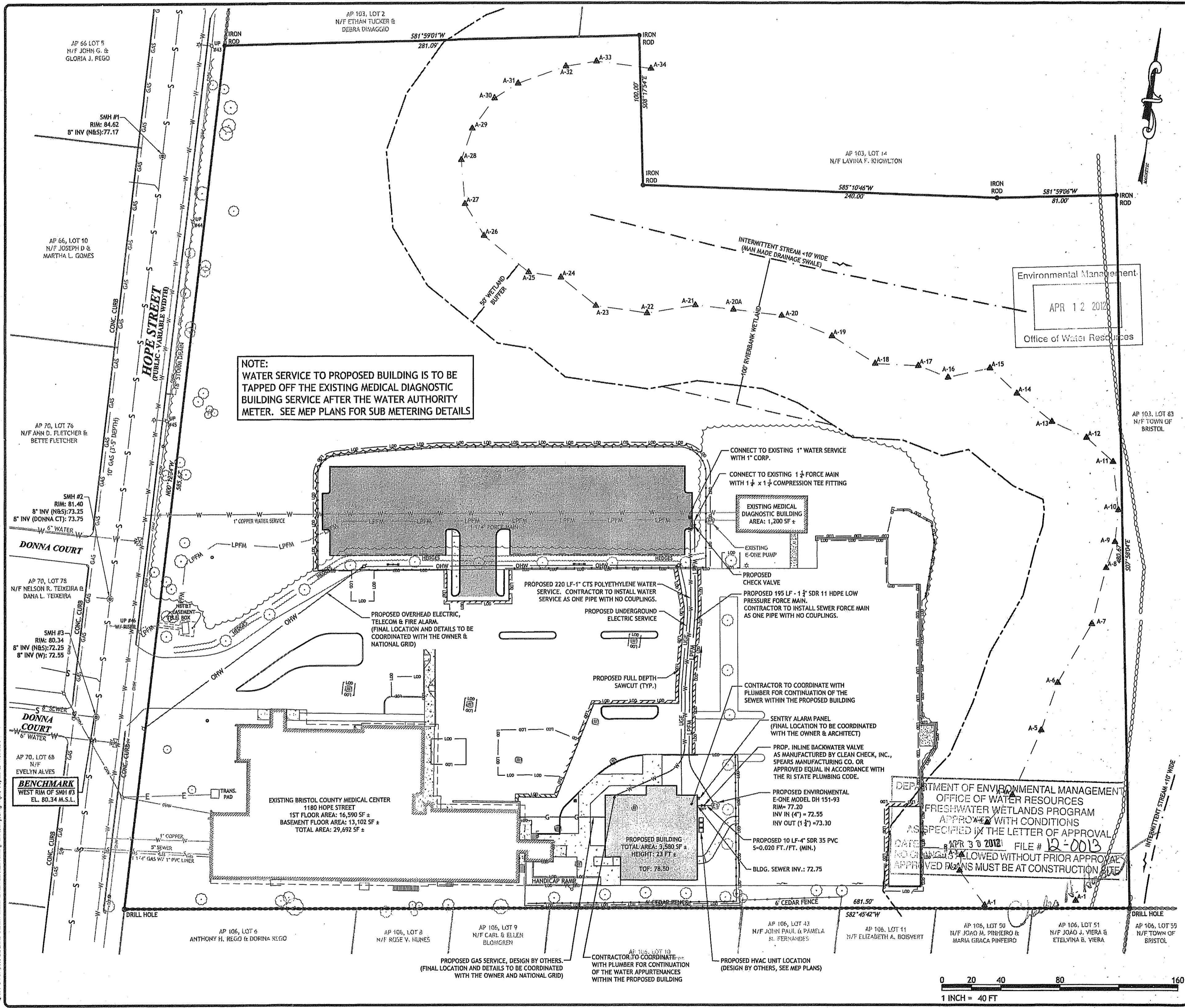
ISSUED FOR CONSTRUCTION

GRADING & DRAINAGE PLAN

SHEET 6 OF 11

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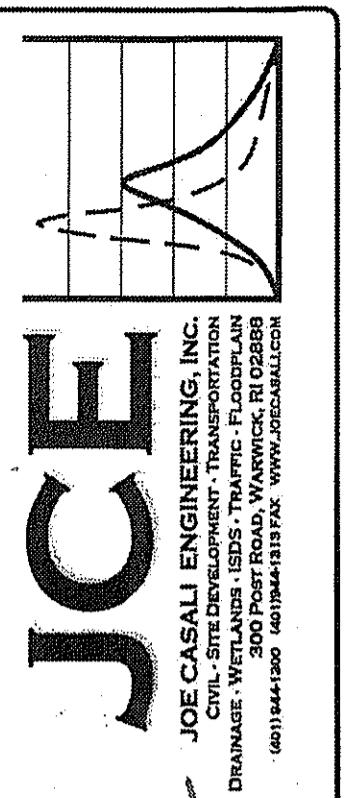
Q:\11-34 Bristol Medical Center\ACAD\BRISTOL MEDICAL PLANSSET.dwg Apr. 10, 2012 11:07:00am



NOTE:
 WATER SERVICE TO PROPOSED BUILDING IS TO BE TAPPED OFF THE EXISTING MEDICAL DIAGNOSTIC BUILDING SERVICE AFTER THE WATER AUTHORITY METER. SEE MEP PLANS FOR SUB METERING DETAILS

Environmental Management
 APR 12 2012
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
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 AS SPECIFIED IN THE LETTER OF APPROVAL
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JOSEPH A. CASALI
 No. 17250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

BRISTOL COUNTY MEDICAL CENTER
 1180 HOPE STREET
 BRISTOL, RHODE ISLAND
 AP 103, LOT 17

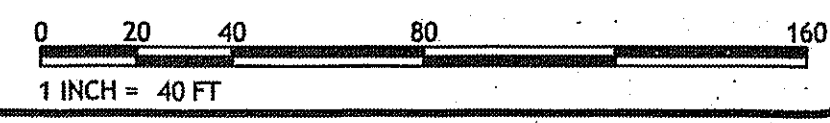
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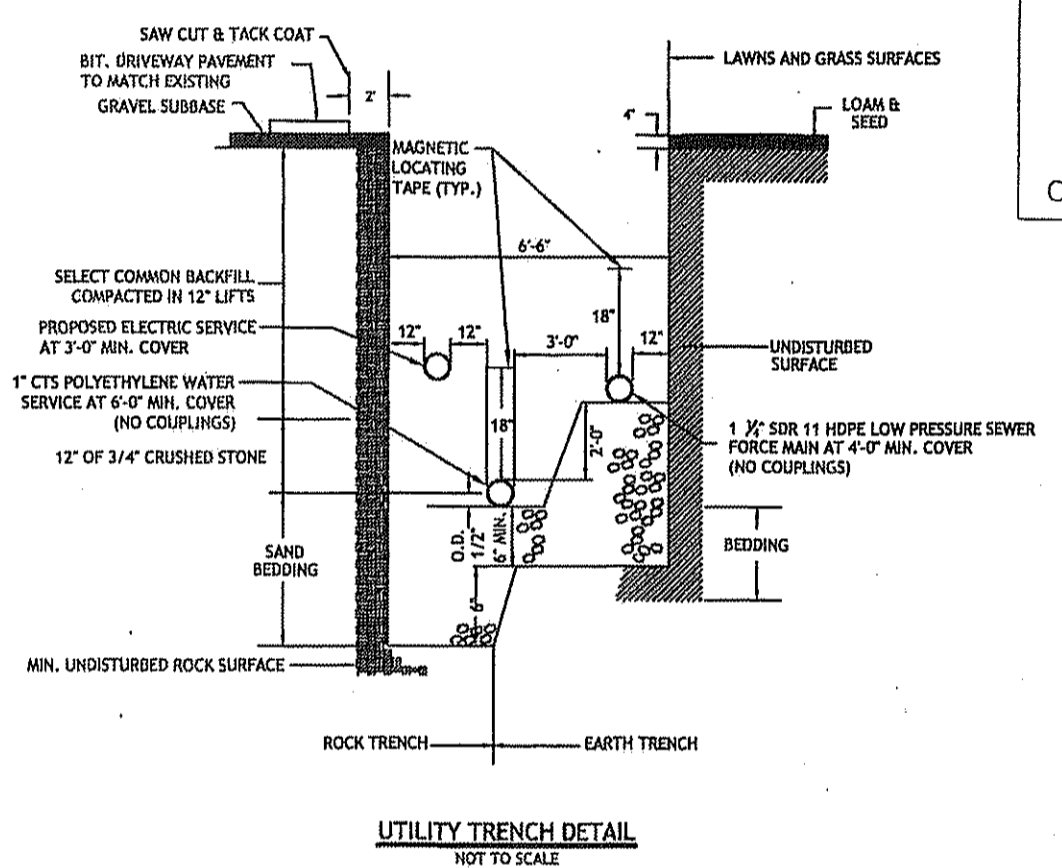
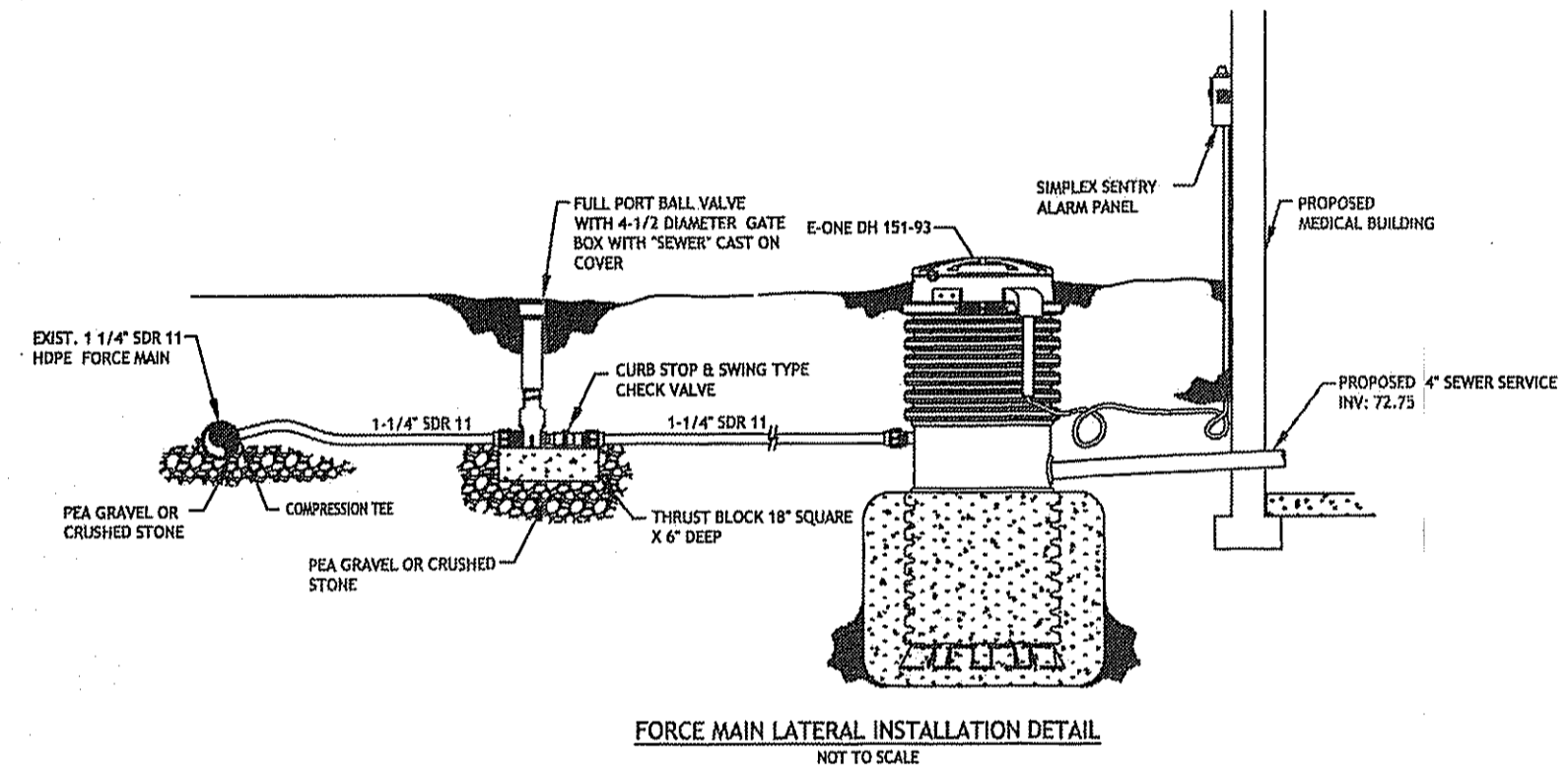
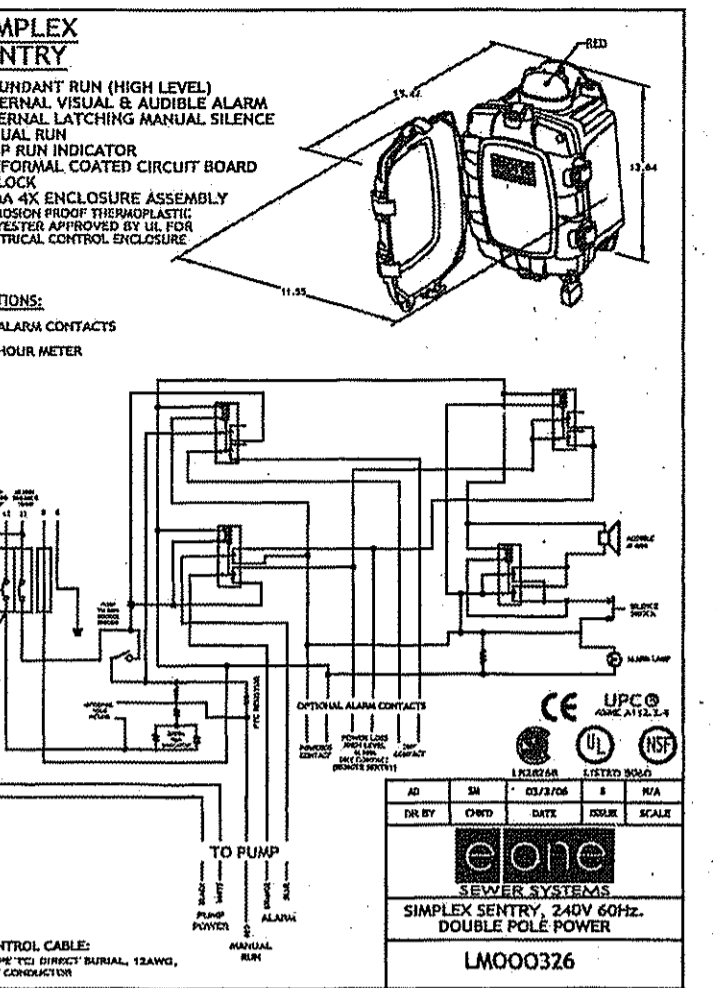
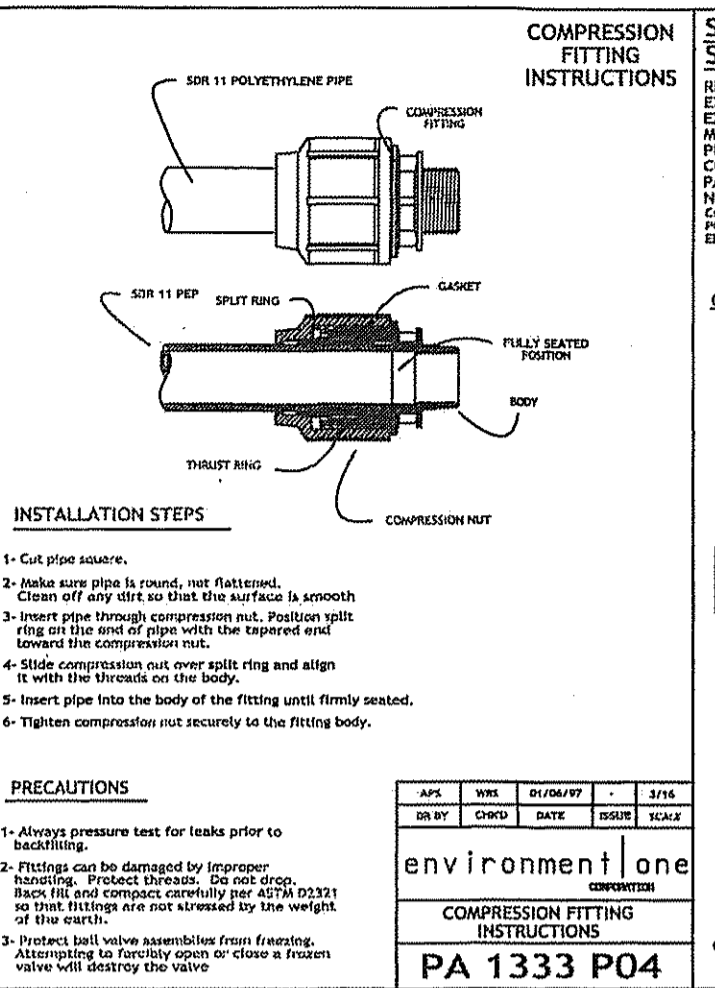
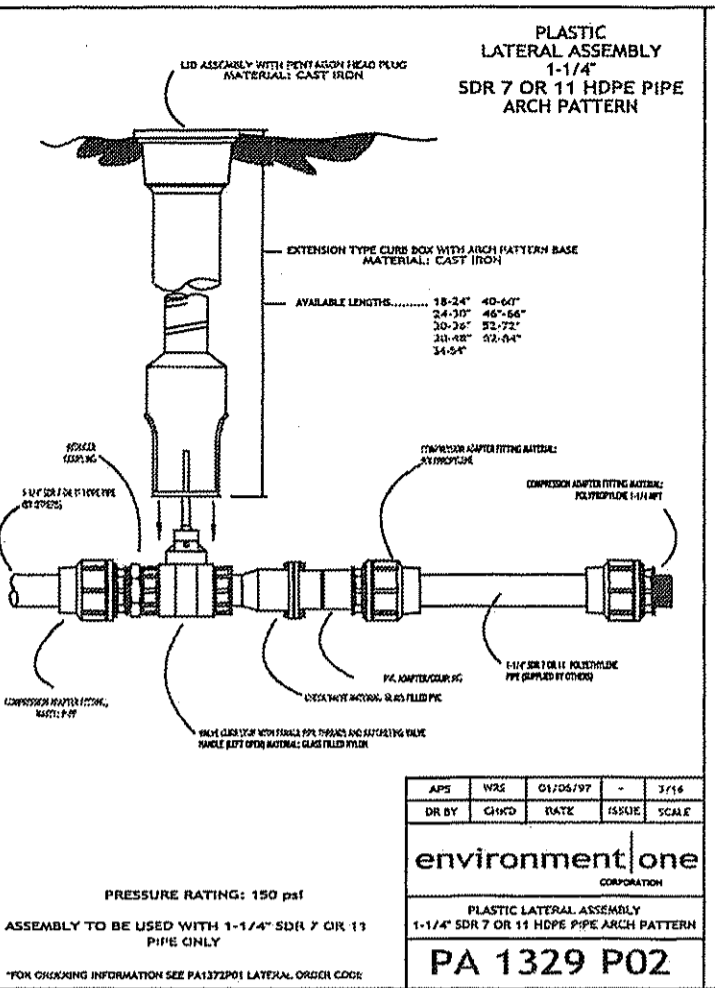
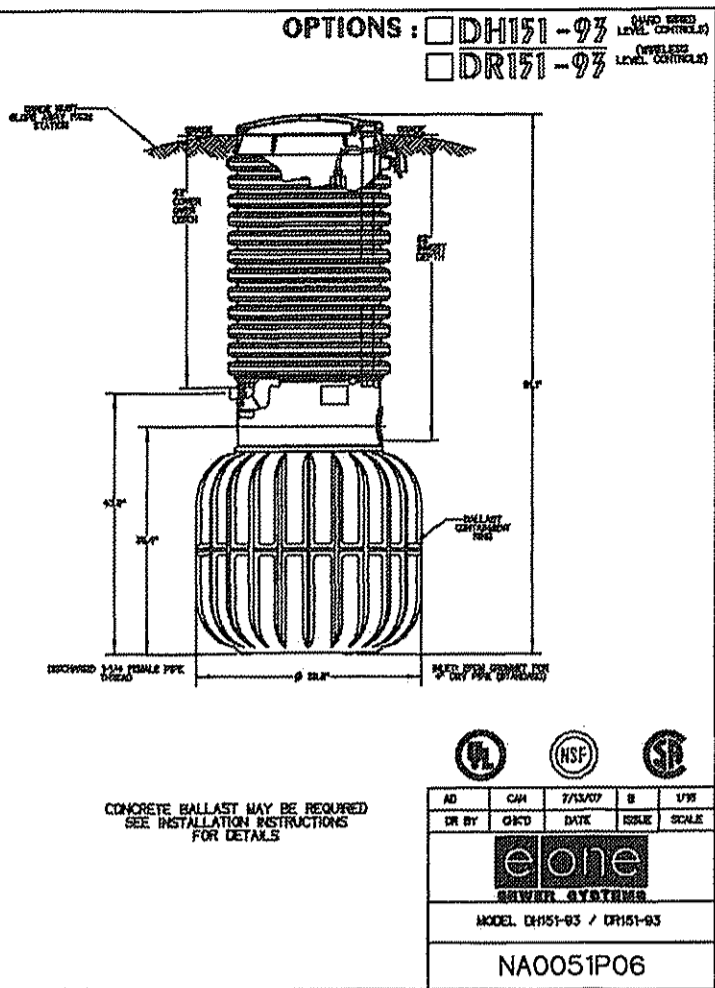
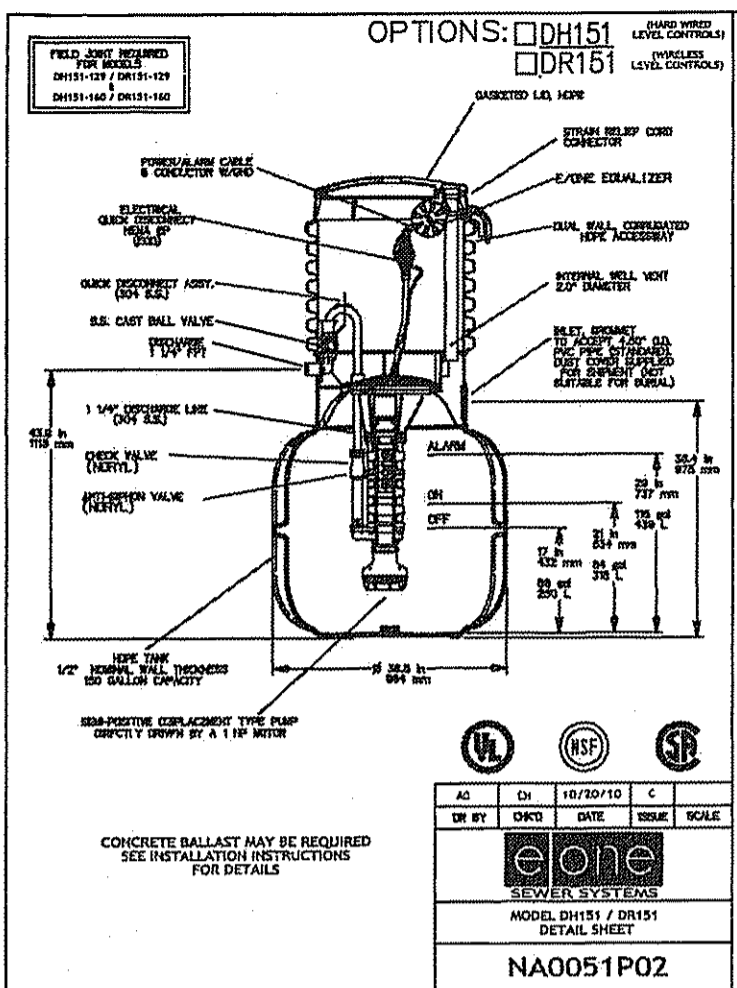
DESIGNED BY: GAA/GBC/AAK
 DRAWN BY: WMLJR
 CHECKED BY: JAC
 DATE: JANUARY 18, 2012
 PROJECT NO: 11-34

ISSUED FOR CONSTRUCTION

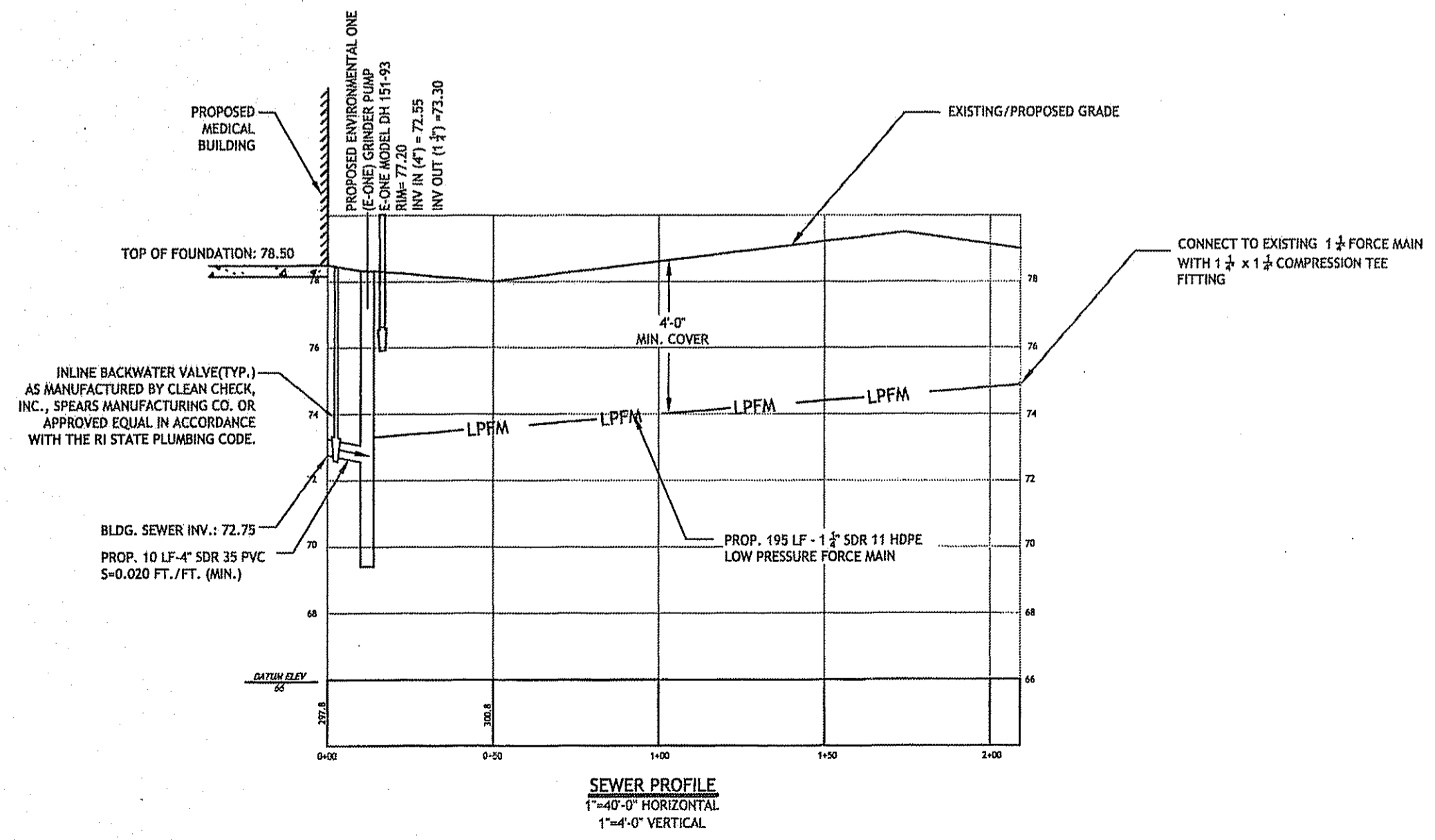
UTILITY PLAN

SHEET 7 OF 11





Environmental Management
APR 12 2012
Office of Water Resources



JCE
JOE CASALI ENGINEERING, INC.
CIVIL - SITE DEVELOPMENT - TRANSPORTATION
1000 POLK ROAD, WARRIOR, AL 36990
(601) 944-1500 (601) 944-1515 FAX WWW.JCEENGINEERING.COM

JOSEPH A. CASALI
No. 1250
REGISTERED PROFESSIONAL ENGINEER
CIVIL

BRISTOL COUNTY MEDICAL CENTER
1180 HOPE STREET
BRISTOL, RHODE ISLAND
AP 103, LOT 17

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/27/2012	FIRE COMMENTS
2	3/7/2012	CONSTRUCTION DOCUMENTS
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4	4/10/2012	RIDEM COMMENTS

DESIGNED BY: GAA/GBC/AAK
DRAWN BY: WMLJR
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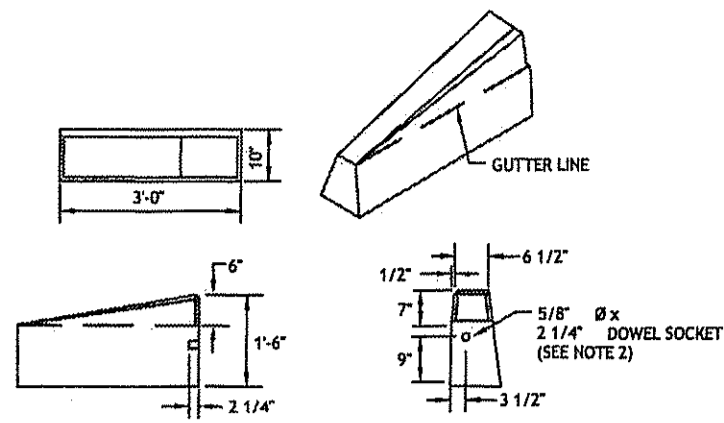
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 30 2012 FILE # 12-0013
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. Wood

ISSUED FOR CONSTRUCTION

UTILITY PROFILE & DETAILS

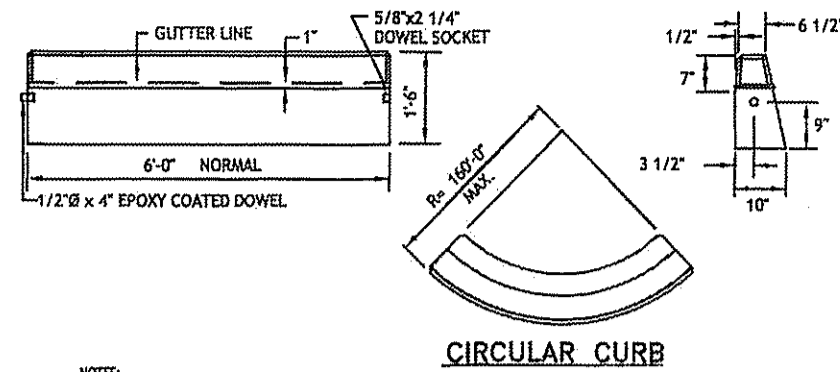
SHEET 8 OF 11



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USED OPPOSITE HAND AND INCLUDE A 1/2" X 4" EPOXY COATED DOWEL.
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 5. LEFT AND RIGHT SECTIONS SHALL BE INSTALLED AS REQUIRED.

3'-0" PRECAST CONCRETE TRANSITION CURB

R.I. STANDARD
7.1.1

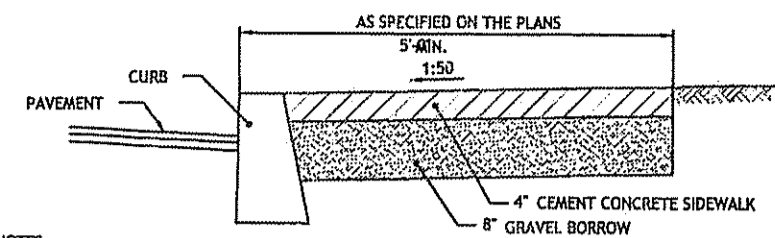


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

CIRCULAR CURB

PRECAST CONCRETE CURB

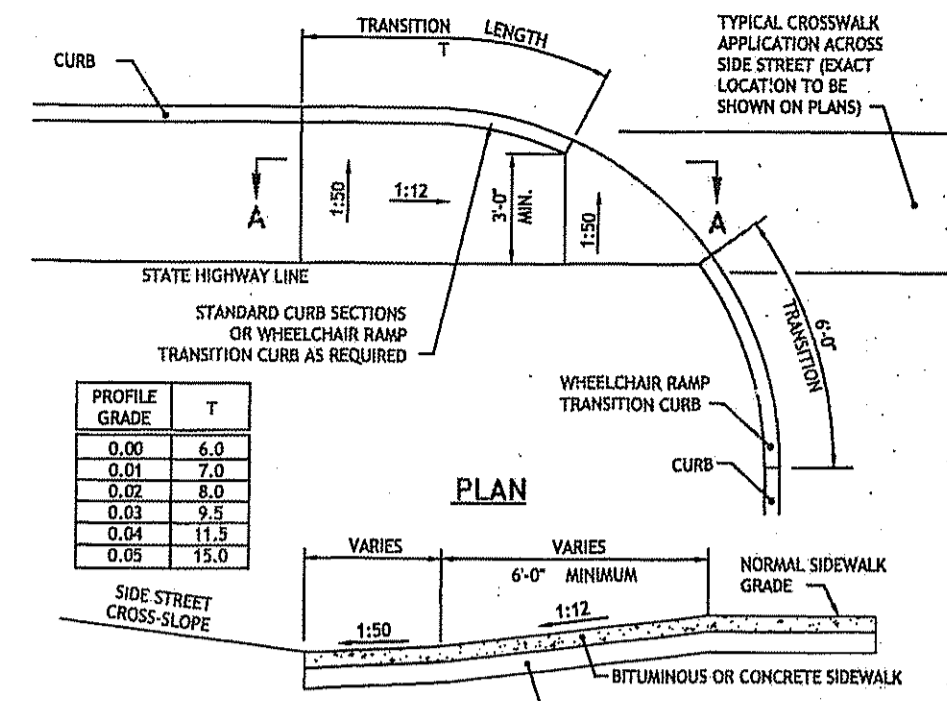
R.I. STANDARD
7.1.0



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

CEMENT CONCRETE SIDEWALK

R.I. STANDARD
43.1.0



PROFILE GRADE	T
0.00	6.0
0.01	7.0
0.02	8.0
0.03	9.5
0.04	11.5
0.05	15.0

SECTION A-A

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THIS DETAIL IS TO BE USED ONLY WHEN STATE RIGHT-OF-WAY IS LIMITED TO BACK OF SIDEWALK, AND SIDEWALK IS NARROW WITH NO PEDESTRIAN TRAFFIC FROM SIDE STREET.
 3. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, IF POSSIBLE, THE OBSTRUCTION WILL BE PLACED SUCH THAT IT FALLS OUTSIDE OF THE RAMP.
 4. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 5. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 6. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 7. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 8. WHERE THE ROAD PROFILE EXCEEDS 5% THE TRANSITION LENGTH (T) SHALL BE EIGHTEEN FEET (18'-0").
 9. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 10. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 11. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3'-0" SHALL BE MAINTAINED.

WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS

R.I. STANDARD
43.3.1

Environmental Management
APR 12 2012
Office of Water Resource

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL

BRISTOL COUNTY MEDICAL CENTER
1180 HOPE STREET
BRISTOL, RHODE ISLAND
AP 103, LOT 17

REVISIONS:

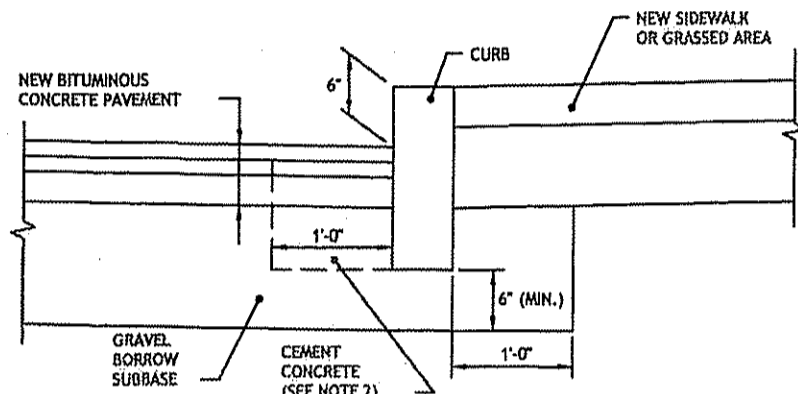
NO.	DATE	DESCRIPTION
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DESIGNED BY: GAA/GBC/AJK
DRAWN BY: WML/JR
CHECKED BY: JAC
DATE: JANUARY 18, 2012
PROJECT NO: 11-34

ISSUED FOR CONSTRUCTION

DETAILS I

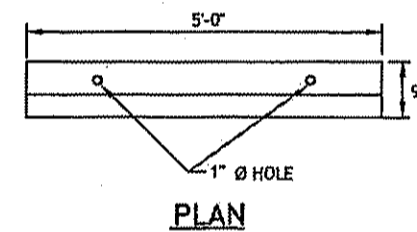
SHEET 9 OF 11



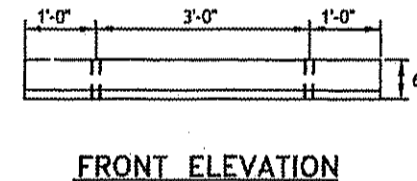
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

CURB SETTING DETAIL

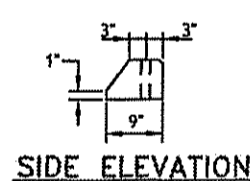
R.I. STANDARD
7.6.0



PLAN



FRONT ELEVATION

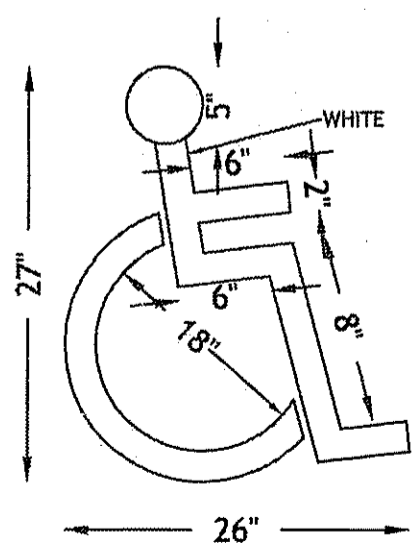


SIDE ELEVATION

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. ALL EXPOSED EDGES TO HAVE A CHAMFER/4"
 3. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.

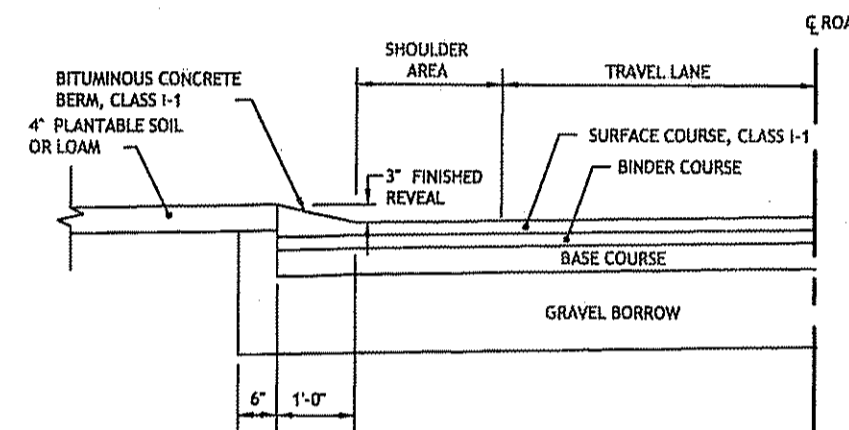
PRECAST CONCRETE CAR STOPS

R.I. STANDARD
7.2.4

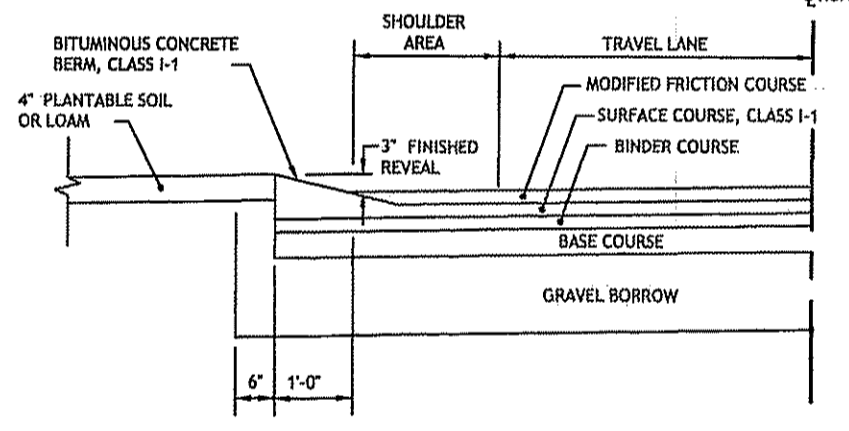


- NOTE:
1. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STAT BUILDING CODE.

HANDICAP PAVEMENT MARKING
NOT TO SCALE



CONSTRUCTION METHOD A

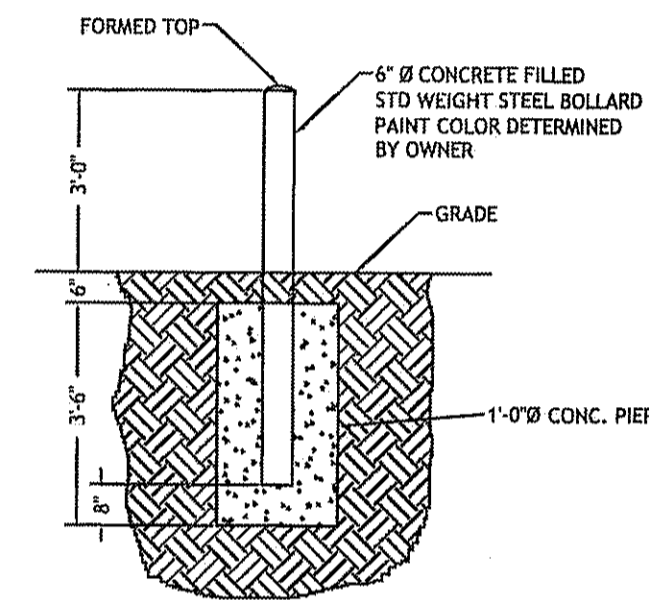


CONSTRUCTION METHOD B

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. BITUMINOUS BERM CAN BE PLACED AT THE SAME TIME THAT THE SURFACE COURSE LAYER IS PLACED ON THE PROJECT ROADWAY, OR IT CAN BE INSTALLED IN A SEPARATE OPERATION.

BITUMINOUS BERM

R.I. STANDARD
7.5.1



TYPICAL BOLLARD DETAIL
NOT TO SCALE

SIGN NUMBER		R1-1	
LEGEND			
COLOR	BACKGROUND COPY	RED	WHITE
SIGN WIDTH	24" 30" 36" 48"	24" 30" 36" 48"	24"
SIGN HEIGHT	24" 30" 36" 48"	24" 30" 36" 48"	24"

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 1-15 OF THE R.I. STANDARD SPECIFICATIONS.
 2. DENOTES TYPE 22 GRADE SHEETING.
 3. REGULATORY SIGNS SHALL BE MOUNTED IN ACCORDANCE WITH STD. 24.1.0, 24.2.0 OR 24.6.0.
 4. THICKNESS OF ALUMINUM SIGN PLATES: LESS THAN 10 SQ. FT. - 0.081 IN. 10 SQ. FT. TO 36 SQ. FT. - 0.102 IN. GREATER THAN 36 SQ. FT. - 0.125 IN.
 5. FOR ADDITIONAL SIGNS SEE THE MUTCD.

REGULATORY SIGNS

R.I. STANDARD
27.1.0

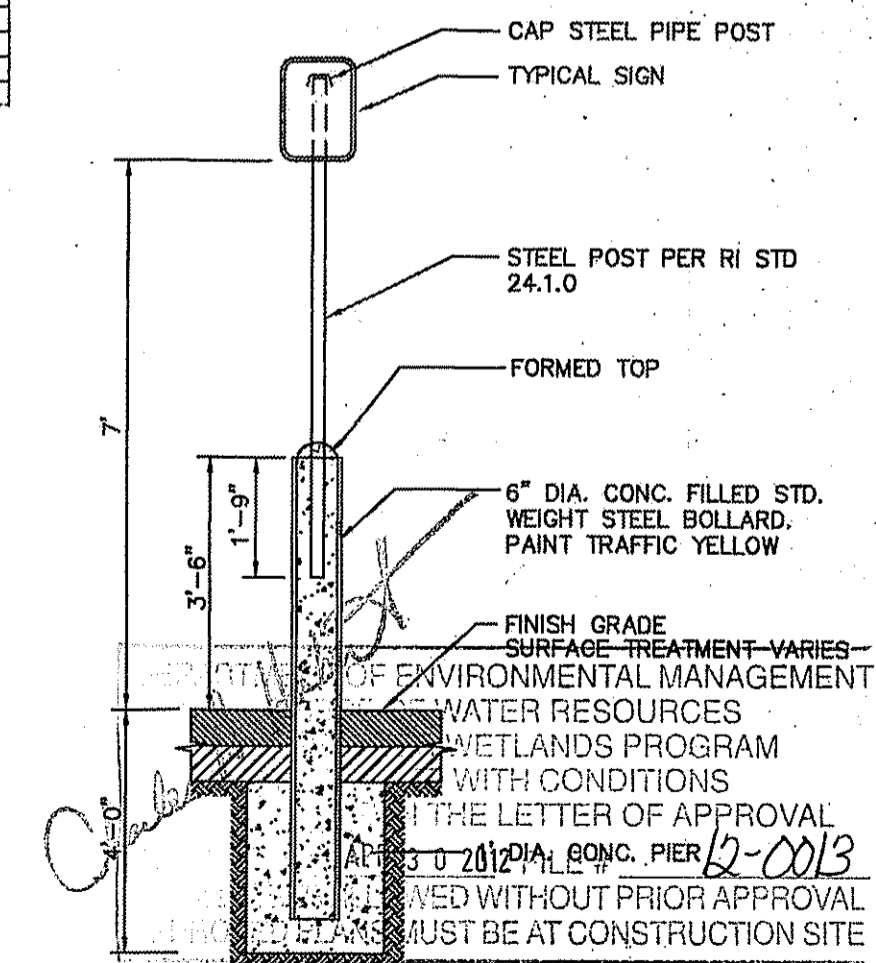


PROPOSED HANDICAPPED PARKING SIGNS
NOT TO SCALE

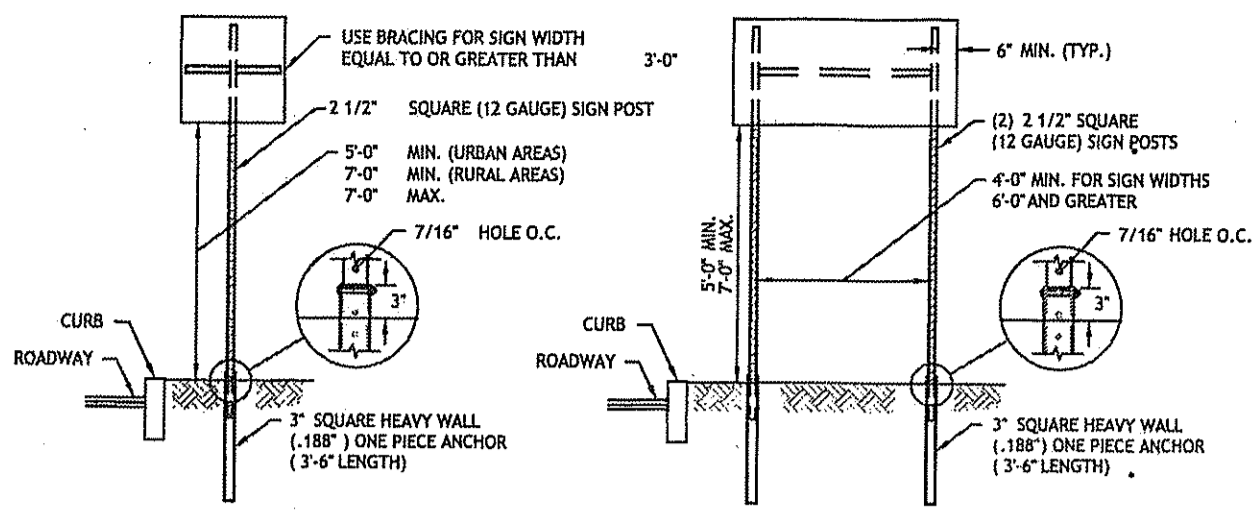
- NOTE:
1. SIGNS ARE TO CONFORM WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

* VAN ACCESSIBLE SIGNS FOR SPACES ADJACENT TO THE 8' STRIPED ISLE.

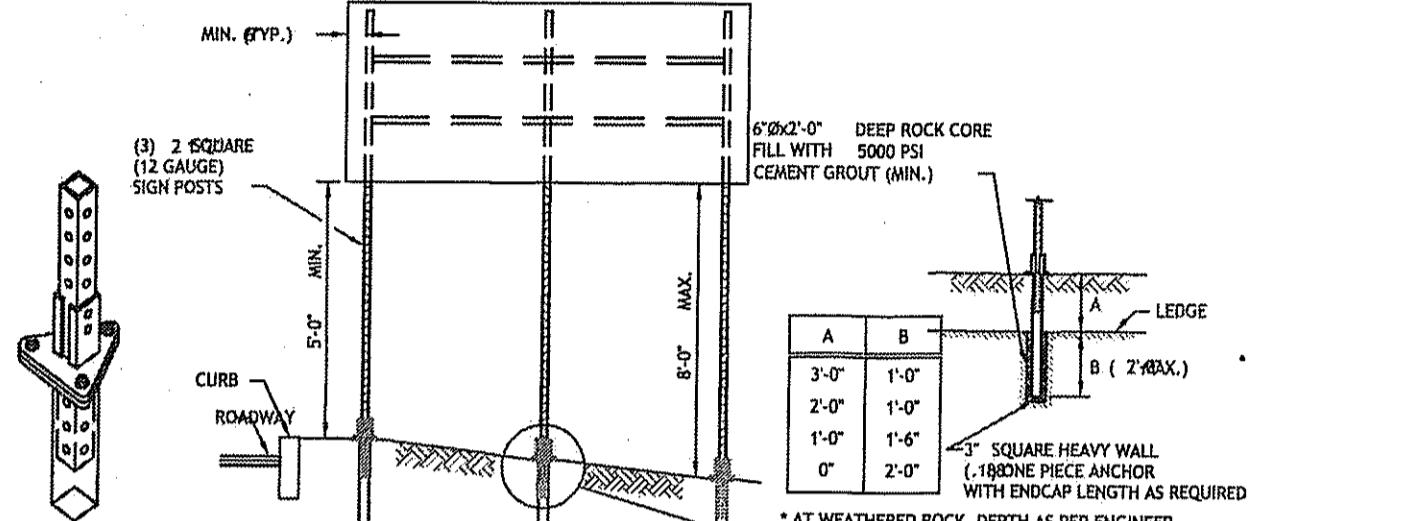
- SIGN NOTES:
1. SIGN POSTS SHALL BE GALVANIZED STEEL U-CHANNEL (3 1/2" WIDE-MIN) AND INSTALLED IN CONFORMANCE TO M.U.T.C.D. AND RHODE ISLAND STANDARD SPECIFICATIONS.
 2. POSTS SHALL BE DRIVEN TO A DEPTH OF 4 FEET (MIN).
 3. THE EDGE OF THE SIGN SHALL BE 18" FROM THE FACE OF THE CURB.
 4. WITHIN SIDEWALK LOCATIONS THE SIGN POST WILL BE INSTALLED WITHIN A 8"X8"X6" SQUARE BOX FORM.



BOLLARD MOUNTED SIGN
DETAIL
NTS



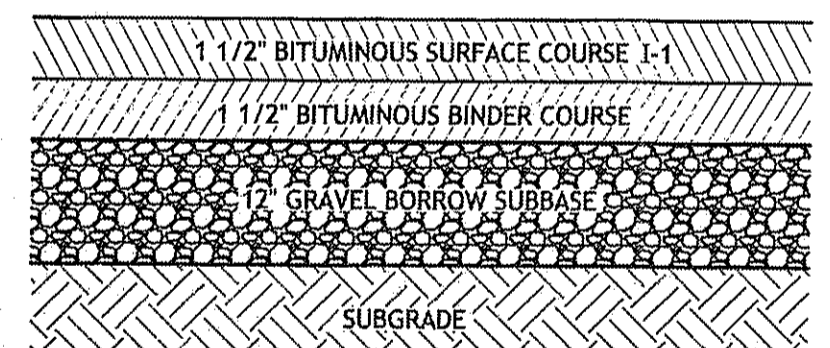
SIGNS UP TO 12 SQ. FT. SIGNS UP TO 28 SQ. FT.



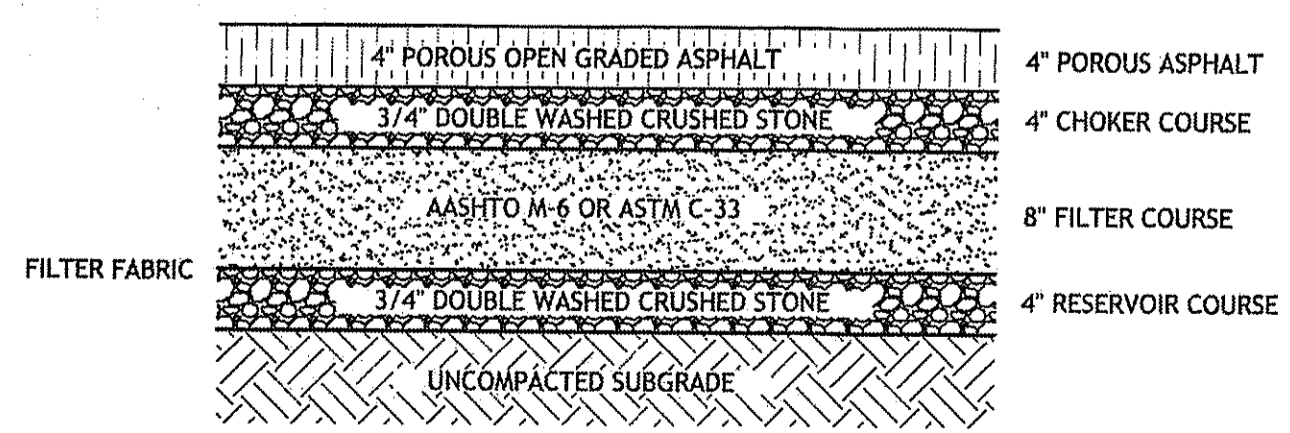
NOTE: RECOMMENDED TORQUE ON SLIP-BASE FLANGE HEAD BOLT AND NUT 40 FT. LBS. DETAIL "A" SIGNS UP TO 8'-0" Wx4'-0" H

- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION T.15 OF THE R.I. STANDARD SPECIFICATIONS.
 - SIGN SUPPORTS HAVE BEEN DESIGNED IN ACCORDANCE WITH AASHTO SPECIFICATIONS FOR A 10-YEAR MEAN WIND RECURRENCE INTERVAL.
 - FOR INSTALLATION IN GROUND OR BITUMINOUS CONCRETE DRIVE SIGN POST ANCHOR TO REQUIRED DEPTH SO THAT THE HOLE WILL MATCH TO SIGN POST ABOVE GROUND FOR THE BOLT CONNECTION. INSERT SIGN POST AND BOLT IN PLACE.
 - FOR INSTALLATION IN CONCRETE SEE STD. 25.3.0 AND FOLLOW THE PROCEDURE IN NOTE 2.
 - FOR INSTALLATION IN LEDGE LESS THAN 3'-0" BELOW GRADE SEE DETAIL ABOVE.
 - EDGE OF SIGN SHALL BE 1'-6" (MIN.) FROM EDGE OF CURB IN URBAN AREAS AND 6'-0" (MIN.) FROM EDGE OF CURB IN EDGE OF CURB IN RURAL AREAS.
 - INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
 - BREAKAWAY SIGN SUPPORTS SHALL BE FABRICATED FROM STEEL AND SHALL CONFORM TO THE BREAKAWAY DESIGN SHOWN ON THIS SHEET.
 - STEEL POSTS SHALL CONFORM TO ASTM-A361, FV= 55 KSI. THE CROSS SECTION OF THE POST SHALL BE SQUARE TUBE FORMED OF 12 GAUGE (.105" U.S.S. GAUGE) COLD-ROLLED CARBON STEEL SHEETS WHICH HAVE BEEN ZINC COATED (1.25 OZ. Y) CONFORMING TO ASTM-A525, CAREFULLY ROLLED TO SIZE AND WELDED DIRECTLY IN THE CORNER BY HIGH FREQUENCY RESISTANCE WELDING OR EQUAL AND EXTERNALLY SCARED TO AGREE WITH CORNER RADII. STANDARD CORNER RADIUS SHALL BE 3/32" PLUS OR MINUS 1/64".
 - ALL BOLTS SHALL CONFORM TO ASTM-A307, CLASS A.
 - ALL BOLTS, NUTS AND WASHERS SHALL BE GALVANIZED AS PER ASTM-A153.
 - FOR SIGNS GREATER THAN 32 SQ. FT. REFER TO STD. 30.1.0, 30.1.1, 30.2.0, 30.2.1, 30.3.0, 30.3.1, 30.4.0, 30.4.1, 30.4.2 AND 30.4.3.

SIGN POST SELECTION AND INSTALLATION DETAILS SQUARE POST (SIGNS UP TO 8'-0" Wx4'-0" H)

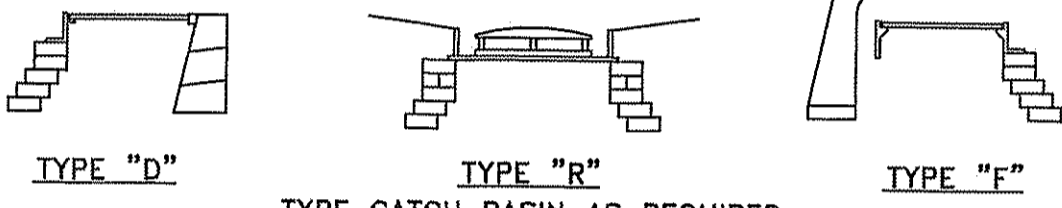
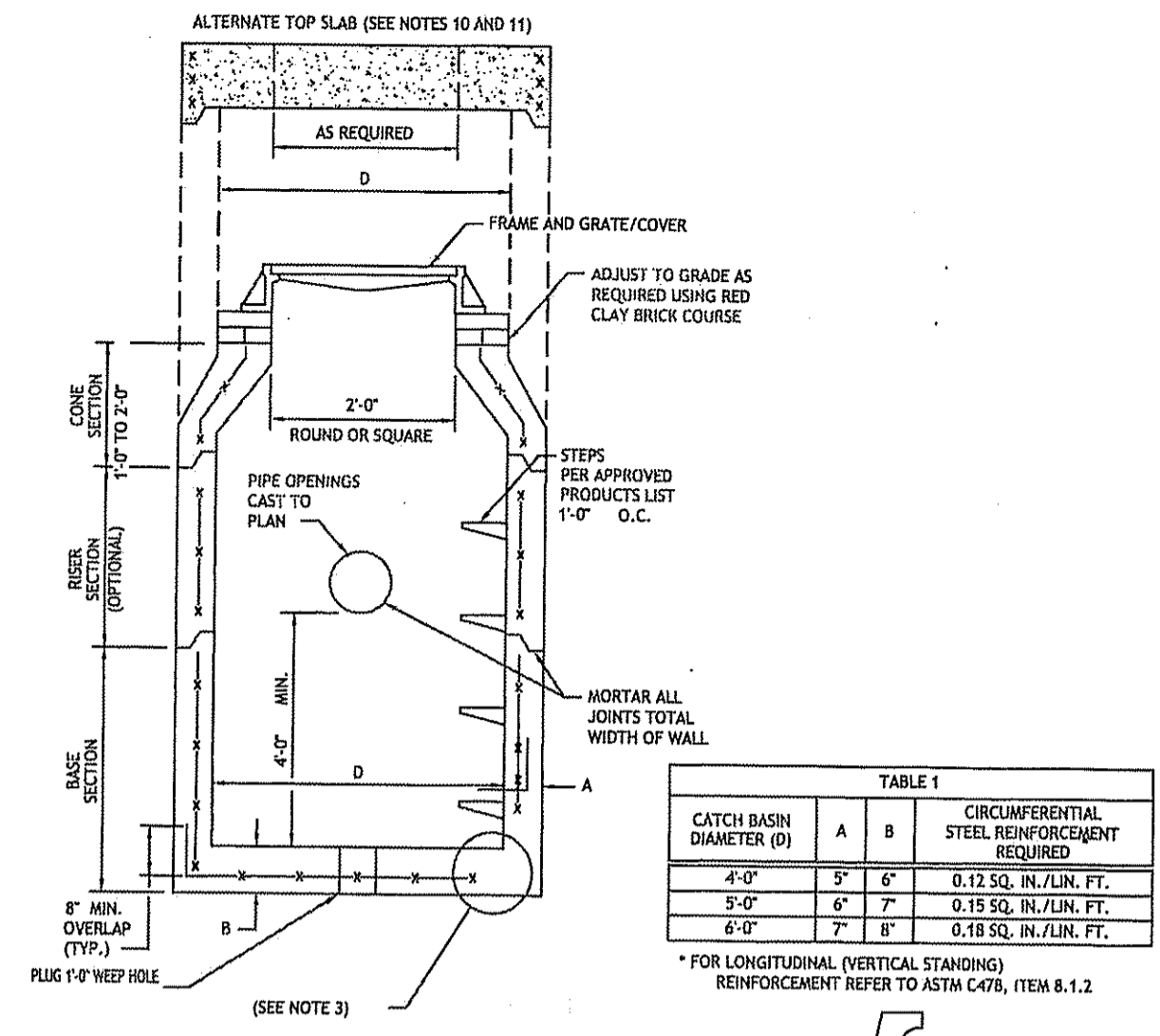


FULL DEPTH PAVEMENT PATCH DETAIL NTS

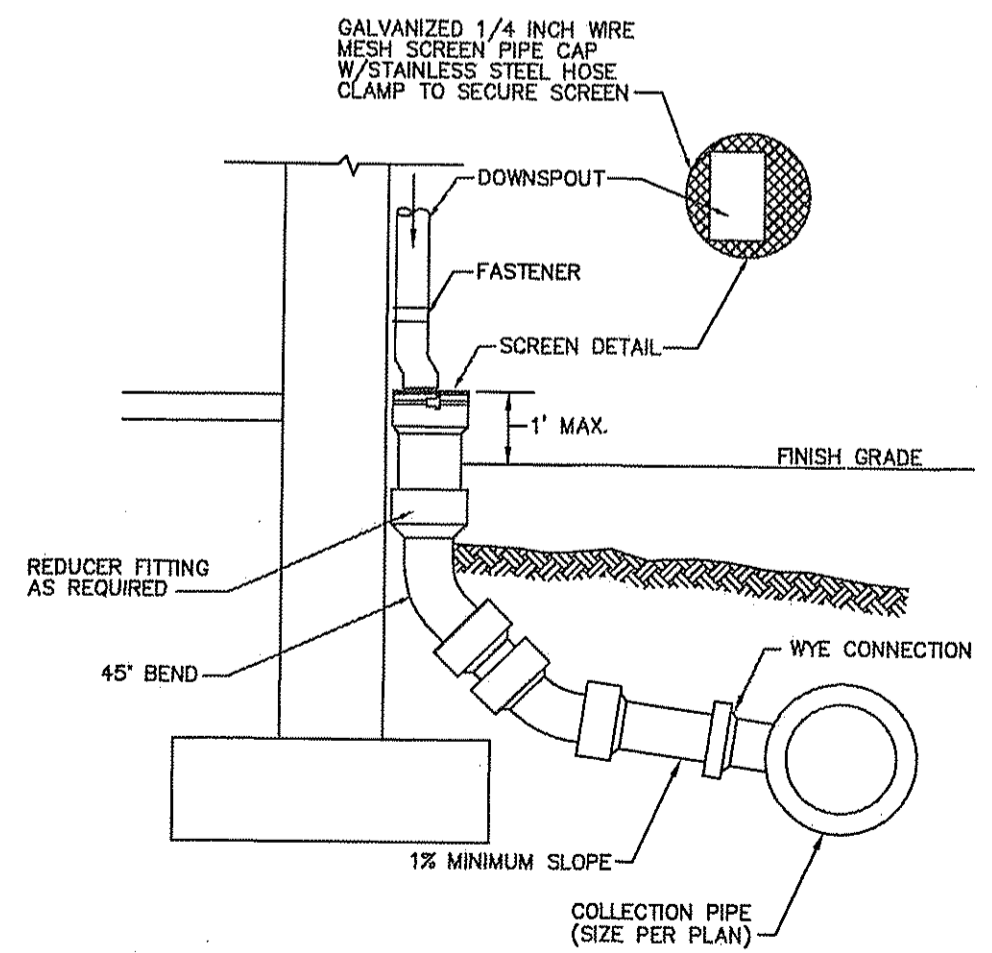


POROUS BITUMINOUS PAVEMENT DETAIL NTS

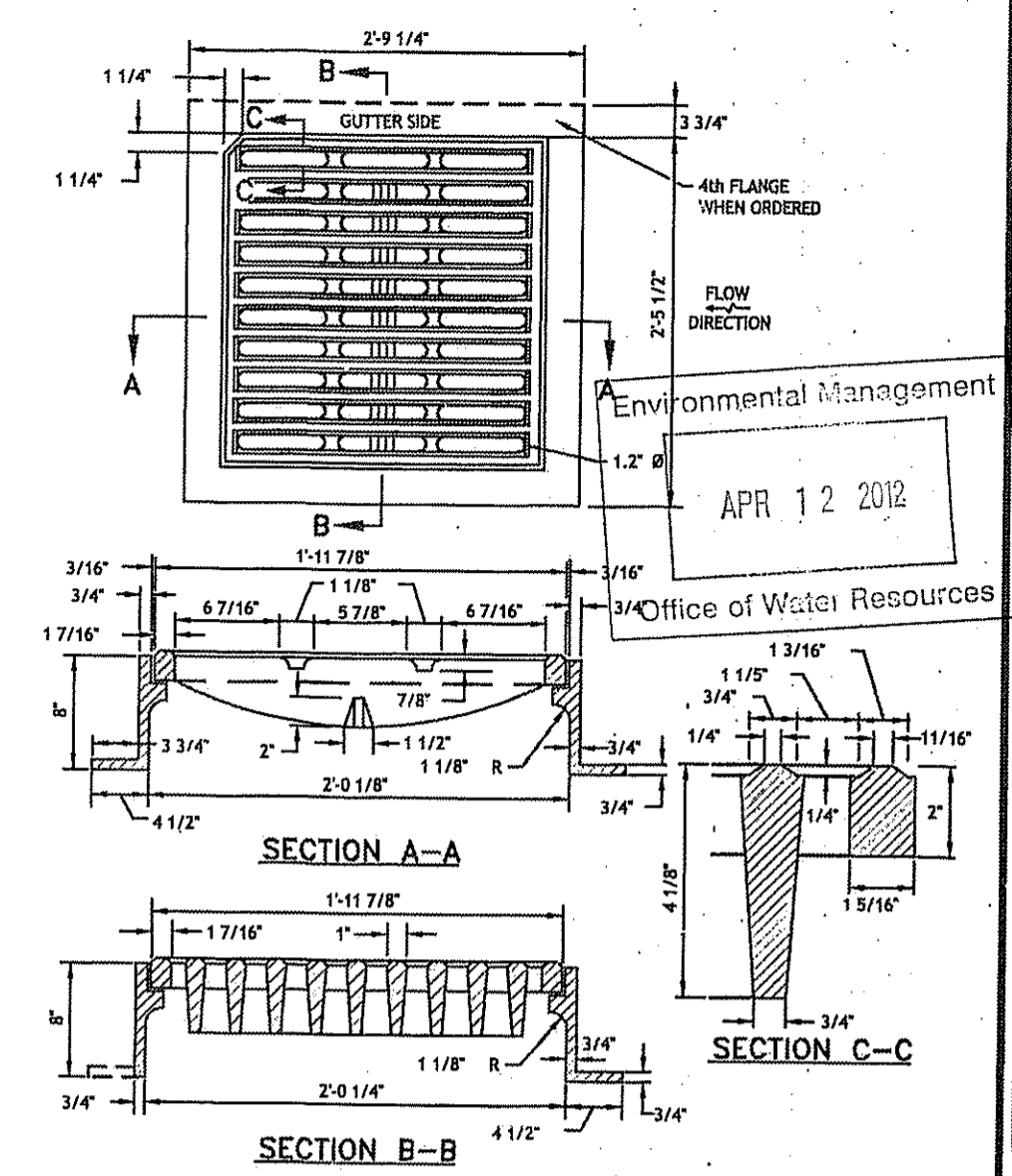
NOTE: THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO INSTALLATION OF POROUS PAVEMENT MEDIA.



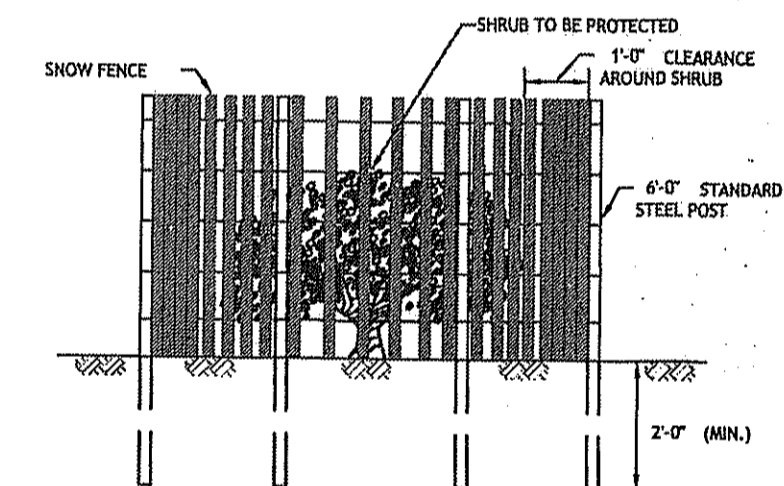
- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 - STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 - FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 - THE CENTERLINE OF THE OPENING MUST BE WITHIN 2'-0" FROM THE STEPS.
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.



DOWNSPOUT LEADER CONNECTION DETAIL NTS

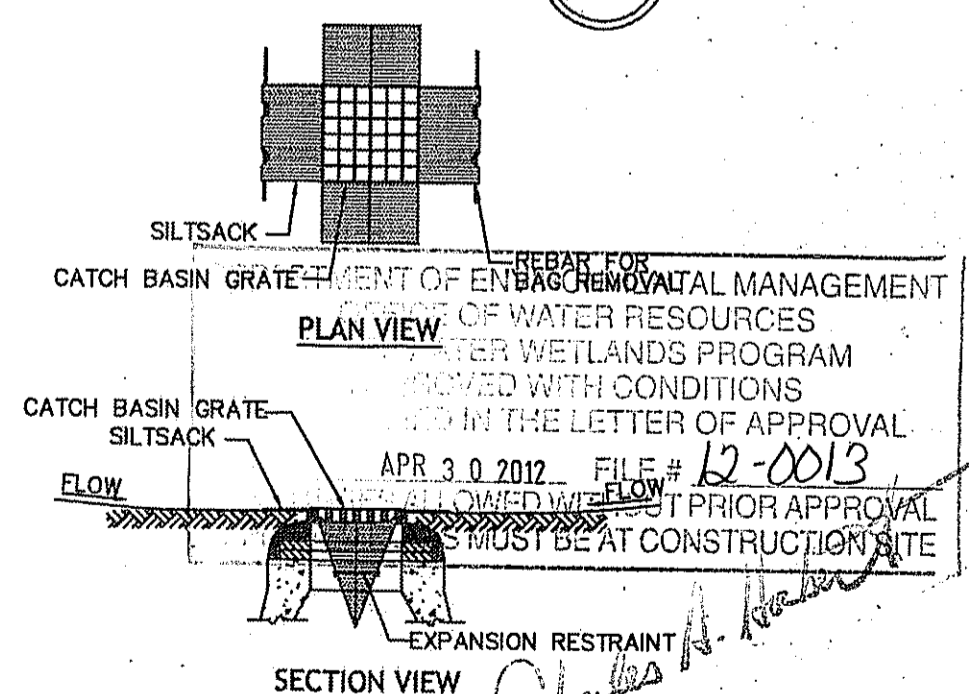


SQUARE FRAME AND GRATE (BICYCLE SAFE)



NOTE: SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE R.I. STANDARD SPECIFICATIONS.

SHRUB PROTECTION DEVICE



- Notes:
- INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILTSACK.
 - SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED

SILTSACK SEDIMENT TRAP NTS

JOE CASALI ENGINEERING, INC.
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION
 DRAINAGE - WETLANDS - EROSION - TRAFFIC - FLOODPLAIN
 300 POST ROAD, WARWICK, RI 02886
 (401) 846-1500 FAX (401) 846-1774 WWW.JOECAE.COM

JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

BRISTOL COUNTY MEDICAL CENTER
 1180 HOPE STREET
 BRISTOL, RHODE ISLAND
 AP 103, LOT 17

REVISIONS:

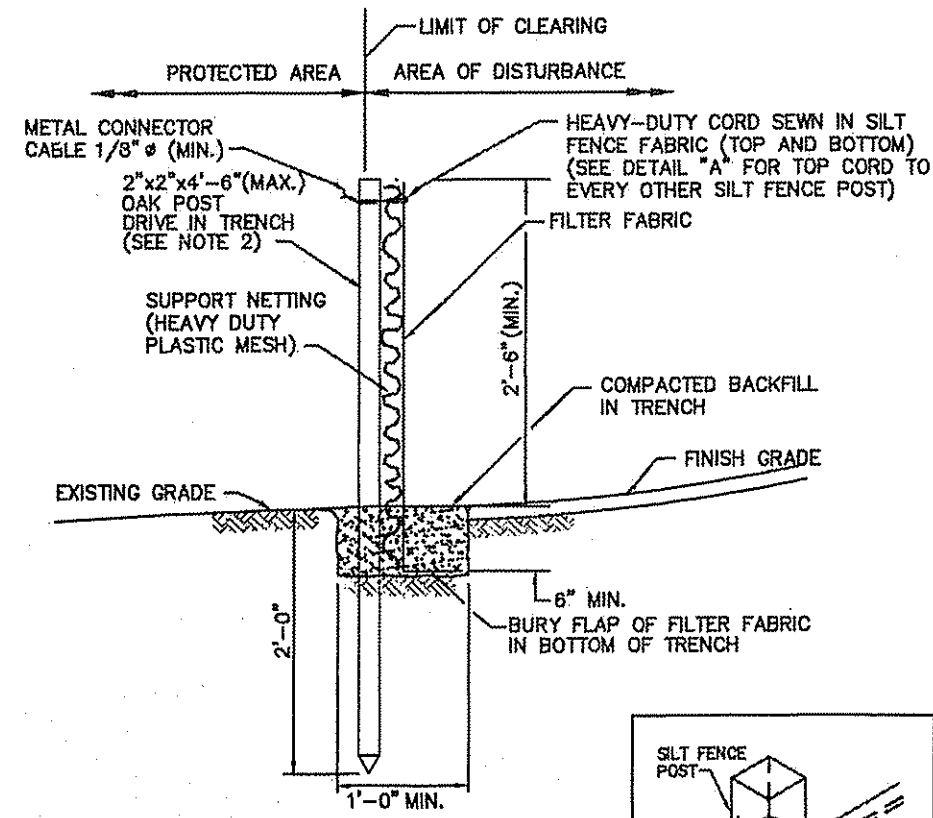
NO.	DATE	DESCRIPTION
1	2/27/2012	FIRE COMMENTS
2	3/7/2012	CONSTRUCTION DOCUMENTS
3	3/22/2012	RIDEM COMMENTS
4	4/10/2012	RIDEM COMMENTS

DESIGNED BY: GAA/GEC/AAK
 DRAWN BY: WMLJR
 CHECKED BY: JAC
 DATE: JANUARY 18, 2012
 PROJECT NO: 11-34

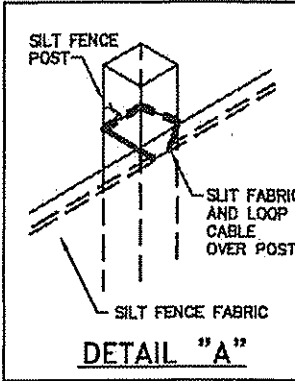
ISSUED FOR CONSTRUCTION

DETAILS II

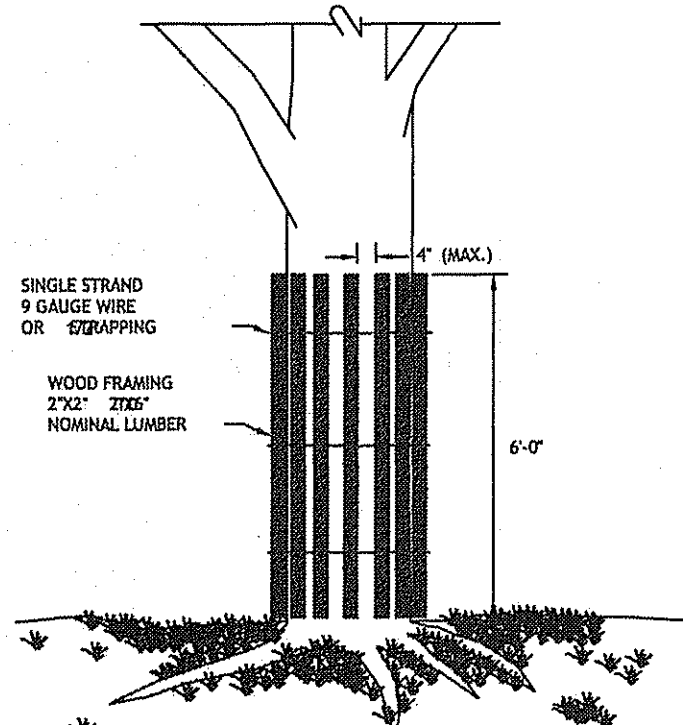
SHEET 10 OF 11



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2" x 2" x 4" - 6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1" x 1" x 4" - 6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

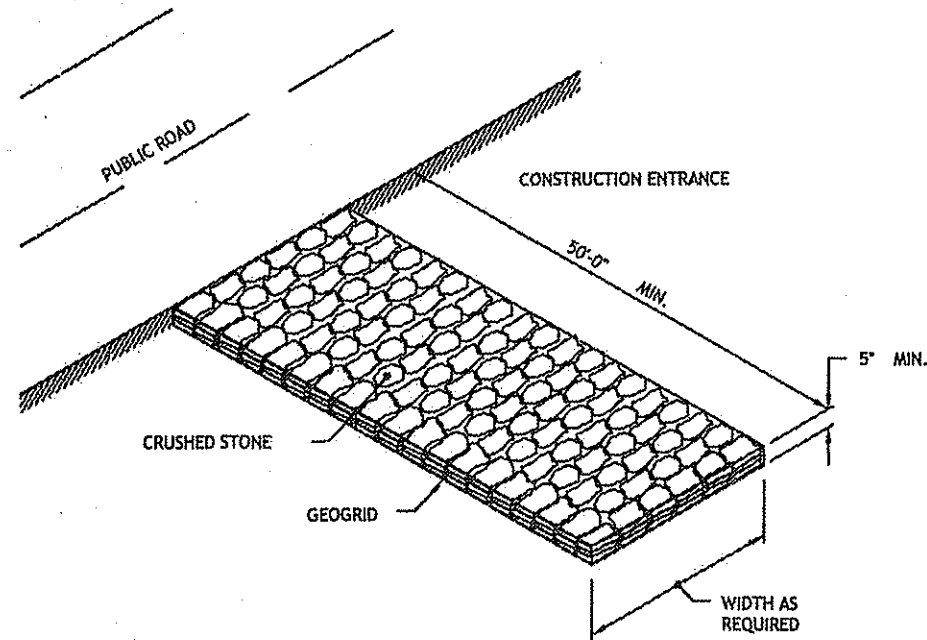


SILT FENCE DETAIL
R.I. STANDARD 9.2.0



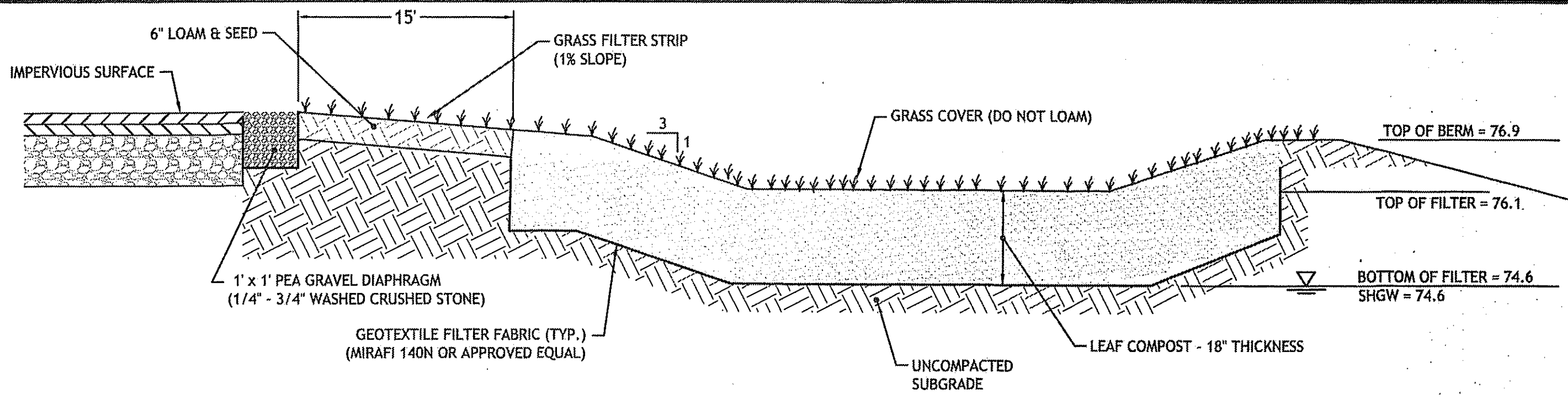
NOTE: SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE STANDARD SPECIFICATIONS.

TREE PROTECTION DEVICE
R.I. STANDARD 51.1.0

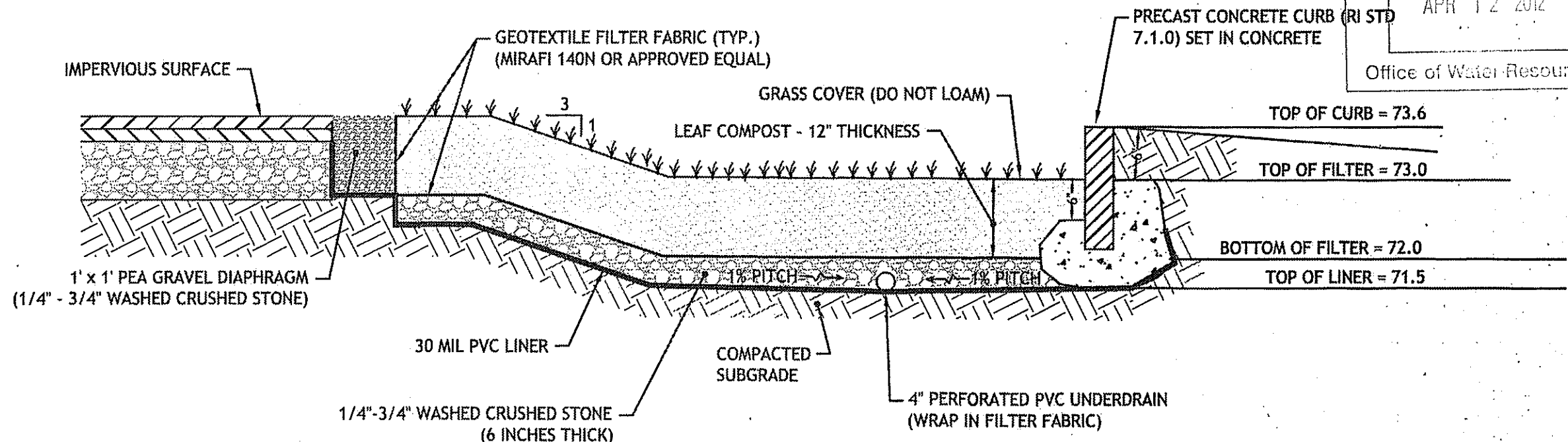


NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

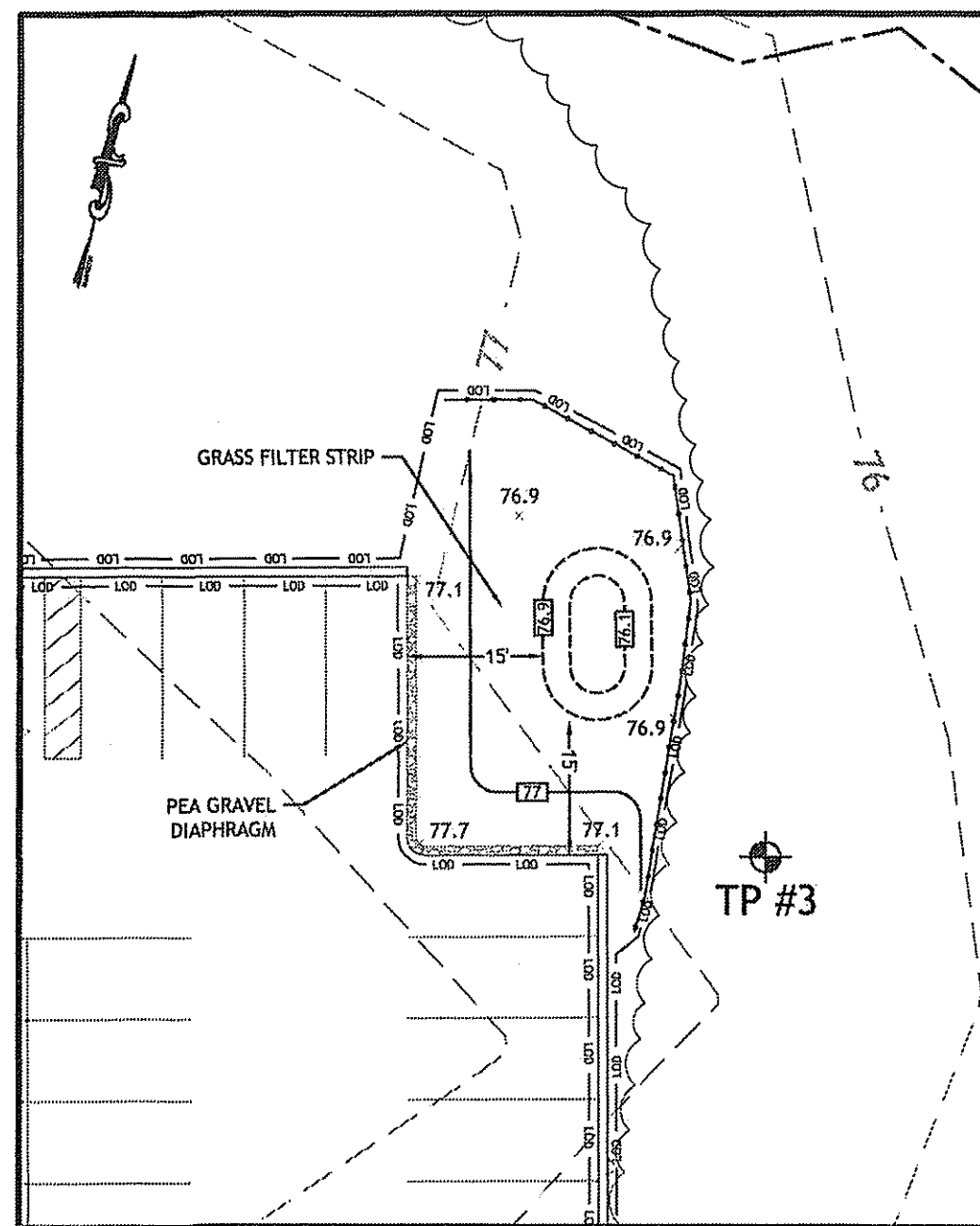
CONSTRUCTION ACCESS
R.I. STANDARD 9.9.0



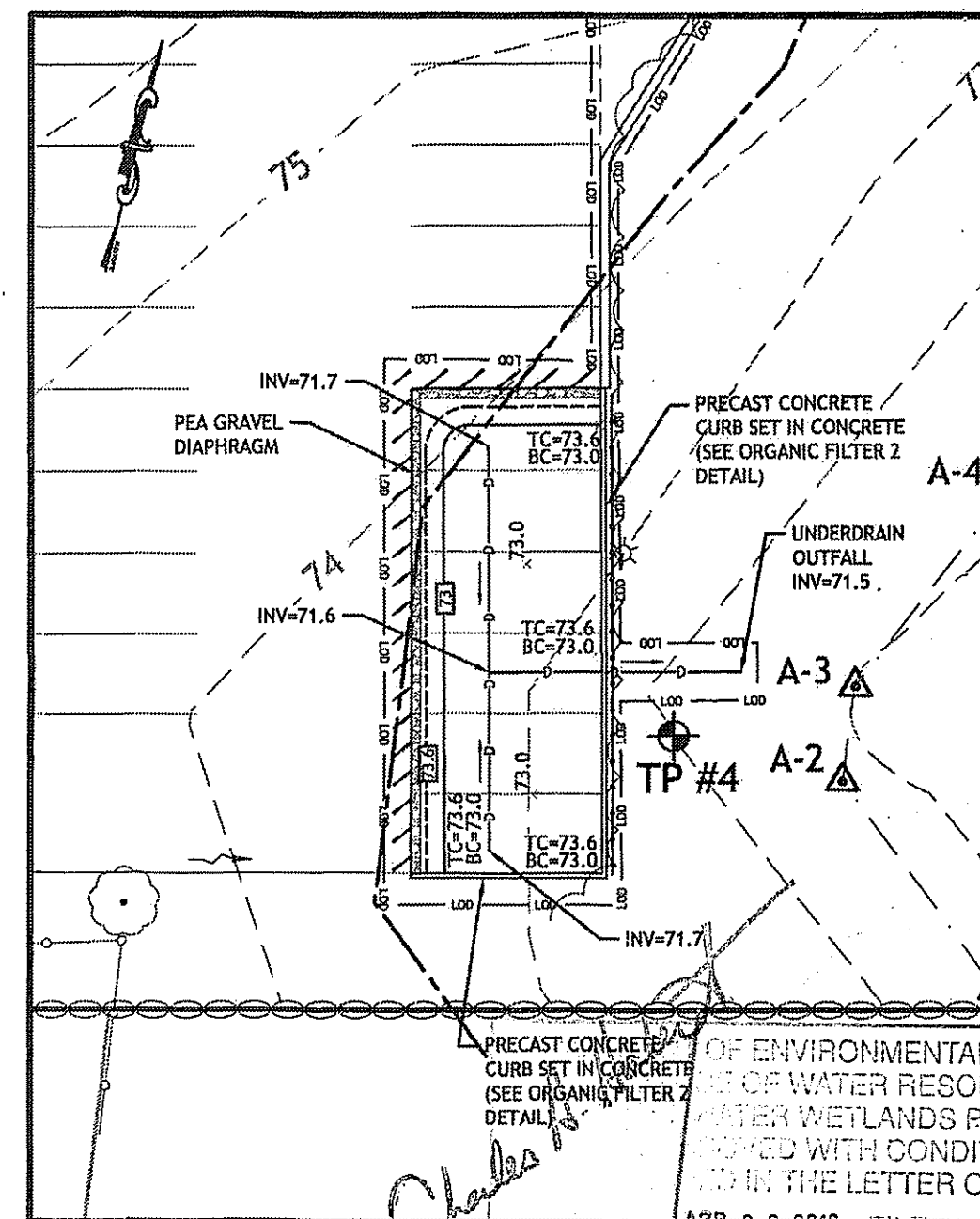
ORGANIC FILTER 1 SECTION DETAIL
SCALE: NOT TO SCALE



ORGANIC FILTER 2 SECTION DETAIL
SCALE: NOT TO SCALE

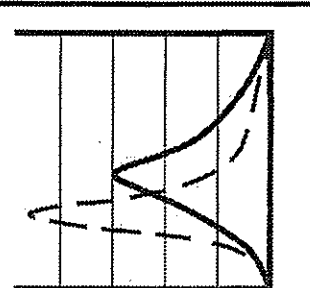


ORGANIC FILTER 1 PLAN DETAIL
SCALE: 1" = 20'



ORGANIC FILTER 2 PLAN DETAIL
SCALE: 1" = 20'

Environmental Management
APR 12 2012
Office of Water Resources



JCE
JOE CASALI ENGINEERING, INC.
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DRAINAGE - WETLANDS - EROSION CONTROL - FLOODPLAIN
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DETAILS III

SHEET 11 OF 11