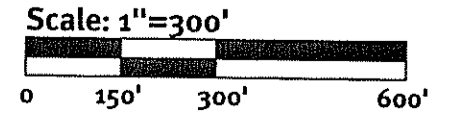


USGS Map Scale: 1"=1000'

Environmental Management  
 APR 13 2012  
 Office of Water Resources



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JUN 0 2012 FILE # 12-0071  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Magdalena D. Womack*

**Diprete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 Tel: 401-943-1000 Fax: 401-664-6006 www.Diprete-Eng.com

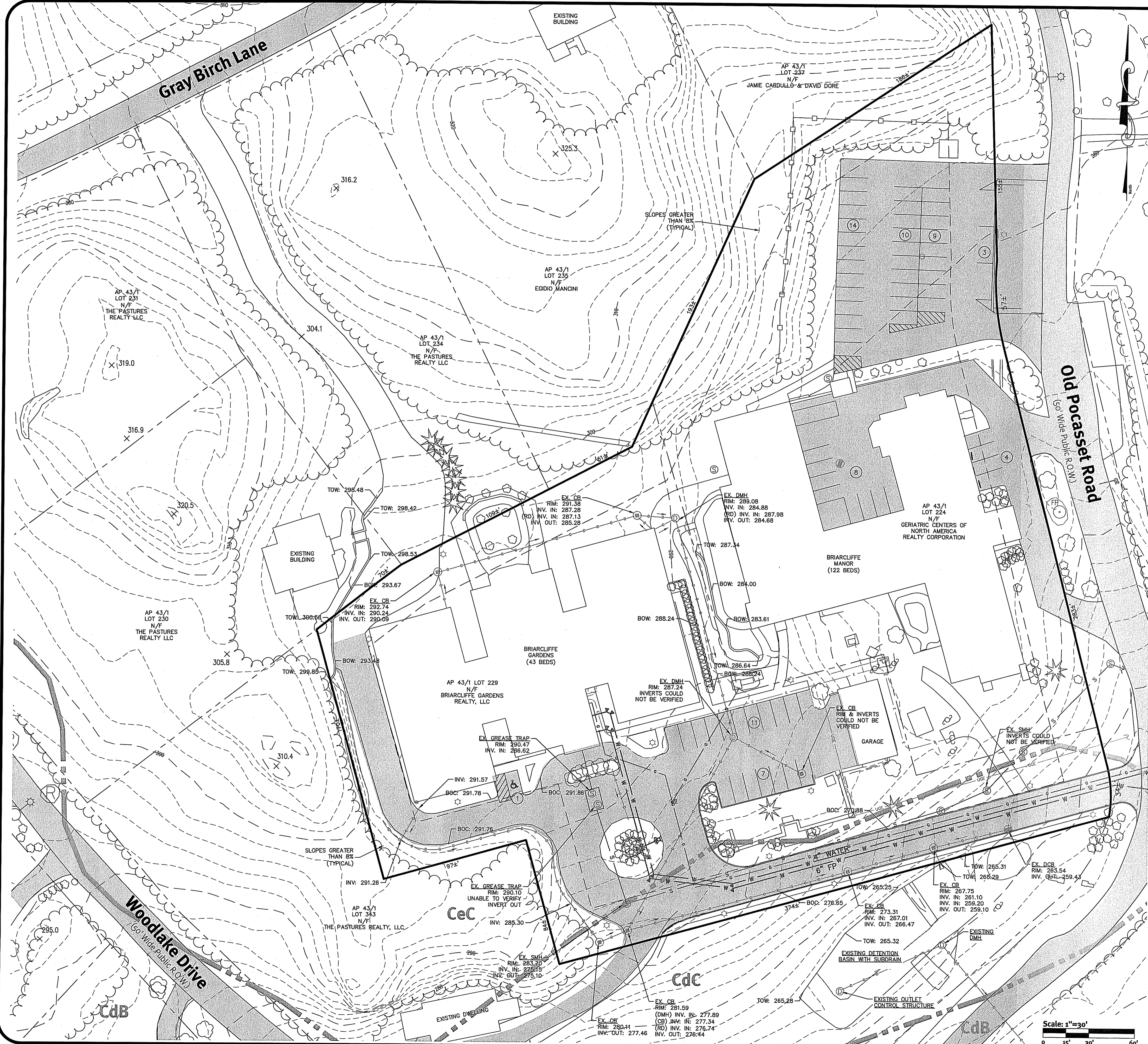
ERIC M. PRIVE  
 No. 8662  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

This regulatory submission set shall not be used for construction unless stamped, issued for construction, and signed by a Diprete Engineering representative.

No.	Date	Description	By:
0	4-23-12	RIDEM Submission	J.A.C.

**RIDEM Submission**

**Aerial Half Mile Radius  
 The Cottage at Briarcliffe**  
 Address: PO Box 1005 224 & 229  
 Johnston, Rhode Island  
 Attention: Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor  
 49 Old Pocasset Road, Johnston, Rhode Island 02919  
 Tel: 401-944-2450 Fax: 401-944-2455  
 DE Job No: 1154-002 Copyright 2011 by Diprete Engineering Associates, Inc.



**General Notes**

1. THE SITE IS LOCATED ON THE TOWN OF JOHNSTON ASSESSOR'S PLAT 43-1 LOTS 224 & 229. THE SITE IS ZONED PLANNED DISTRICT/ CONTINUING CARE RETIREMENT COMMUNITY AND IS APPROXIMATELY 3.98 ACRES.
2. THE OWNERS ARE:  
 AP 43-1 LOT 229  
 BRIARCLIFFE GARDENS REALTY, LLC  
 49 OLD POCASSET ROAD  
 JOHNSTON, RI 02919  
 T: 401-944-2450  
 AP 43-1 LOTS 224  
 GERIATRIC CENTERS OF NORTH AMERICA REALTY CORP.  
 49 OLD POCASSET ROAD  
 JOHNSTON, RI 02919
3. THE APPLICANT IS MEDICAL HOMES OF RHODE ISLAND, INC. d/b/a BRIARCLIFFE MANOR  
 49 OLD POCASSET ROAD  
 JOHNSTON, RI 02919  
 T: 401-944-2450
4. THERE ARE NO EXTRAORDINARY OR UNUSUAL NATURAL FEATURES LOCATED ON THE SUBJECT PROPERTY TO THE BEST OF OUR KNOWLEDGE.
5. THERE ARE NO HISTORIC AREAS, CEMETERIES, FOUNDATIONS LOCATED ON THE SUBJECT PROPERTY.
6. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS BY OTHERS, OR INFORMATION PROVIDED TO DEA AND ARE SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK.
7. COORDINATES, IN U.S. SURVEY FEET, ARE REFERENCED APPROXIMATELY TO THE RHODE ISLAND STATE PLANE COORDINATE SYSTEM, REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83).
8. ELEVATIONS, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BASED PLAN REFERENCE #1. THE CONTOUR INTERVAL IS 1 FOOT. TOPOGRAPHY IS DEPICTED AS ACCURATE TO WITHIN HALF THE CONTOUR INTERVAL.
9. SOIL MAPPING OBTAINED FROM "SOIL SURVEY OF RHODE ISLAND", PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
10. THERE IS NO 100 YEAR FLOOD PLAIN LOCATED ON THE SITE. THE SITE IS LOCATED WITHIN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 4400702846, MAP REVISED MARCH 2, 2009, FOR TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND. ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
11. THERE ARE NO EXISTING LAKES, PONDS, WATERCOURSES, DRAINAGE PATTERNS, OR WETLANDS WITHIN THE AREA OF DEVELOPMENT OTHER THAN SHOWN ON THE PLAN.
12. EXISTING STRUCTURES ARE SHOWN.

**Plan References**

1. "EXISTING CONDITIONS PLAN FOR AP 43 LOTS 224, 229, 236 AND 343 SITUATED ON 49 OLD POCASSET ROAD JOHNSTON, RI PREPARED FOR BRIARCLIFFE NURSING HOME." PLAN BY GAROFALO AND ASSOCIATES, INC. DATED APRIL 13, 2006 UNRECORDED.

**Soil Information** (REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

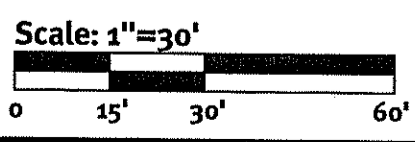
CdC - CANTON AND CHARLTON FINE SANDY LOAMS, 8 TO 15 PERCENT SLOPES  
 CcC - CANTON AND CHARLTON FINE SANDY LOAMS, VERY ROCKY, 3 TO 15 PERCENT SLOPES

**Legend**

PROPERTY LINE	---
ASSESSOR LINE	- - - - -
TWO FOOT CONTOUR	--- 238 ---
TEN FOOT CONTOUR	--- 240 ---
SOIL TYPES	CdC
SOIL BOUNDARY LINE	--- 240 ---
EXISTING TREELINE	~ ~ ~ ~ ~
EXISTING ROADWAY	==
EXISTING BUILDING	▭
EXISTING DRIVEWAY	---
EXISTING TREE	⊗
EXISTING SHRUB	⊙
EXISTING SPOT GRADE	⊗ 305.8
EXISTING LIGHTPOLE	⊙
EXISTING UTILITY POLE	⊙
EXISTING SEWER MANHOLE	⊙
EXISTING DRAINAGE MANHOLE	⊙
EXISTING CATCH BASIN	⊙
EXISTING DOUBLE CATCH BASIN	⊙
EXISTING FLARED END	⊙
EXISTING WATER VALVE	⊙
EXISTING THRUST BLOCK	⊙
EXISTING GAS VALVE	⊙
EXISTING HYDRANT	⊙
EXISTING DRAINAGE FLOW ARROW	→
EXISTING WATER LINE	W
EXISTING GAS LINE	G
EXISTING ELECTRIC	E
EXISTING DRAINAGE	D
EXISTING UNDERGROUND ELECTRIC	UGE
8% SLOPES	XXXX

APR 13 2012  
 Office of Water Resources

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JUN 8 2012 FILE # 12-0074  
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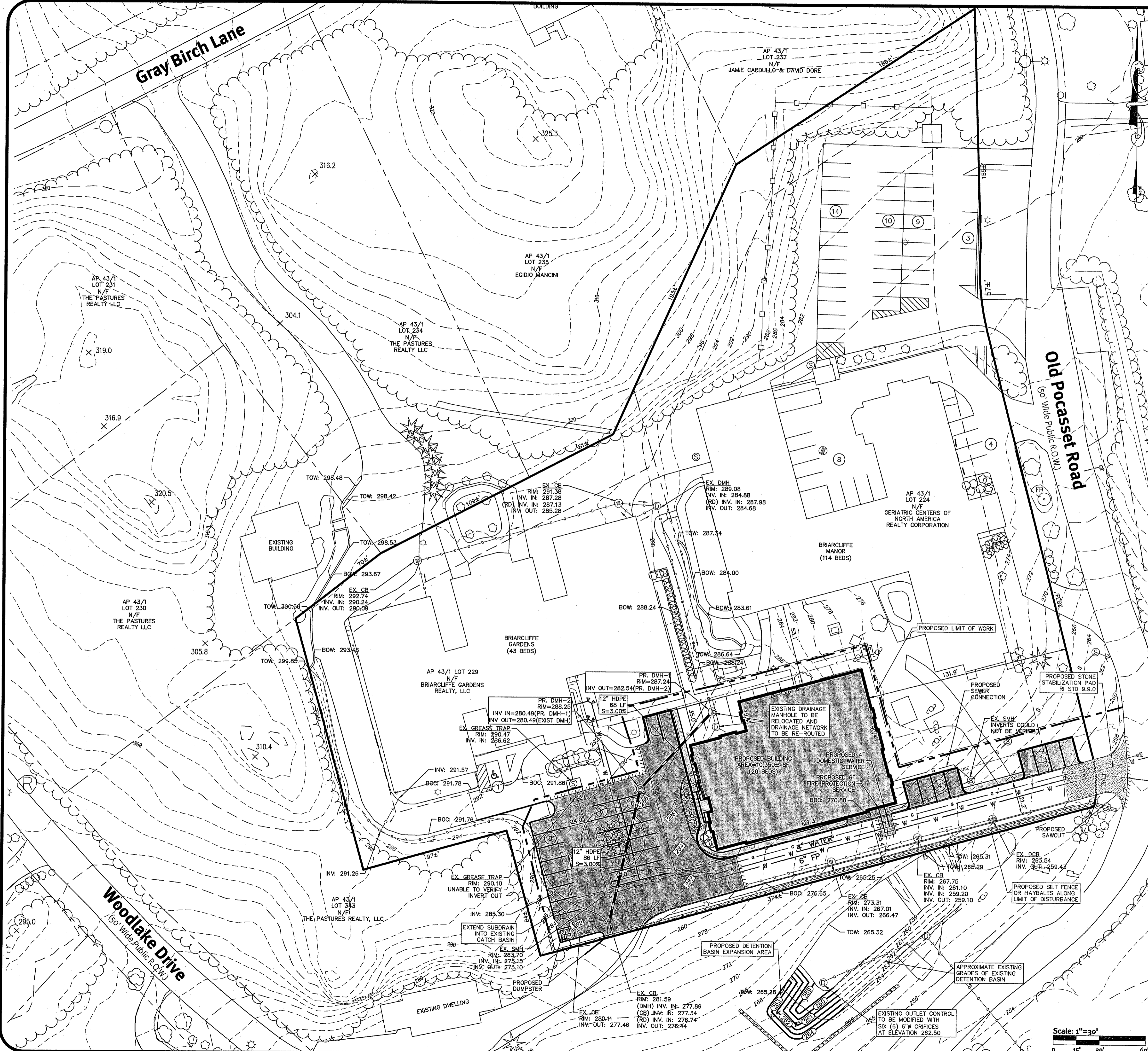
**Diprete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 Tel: 401-943-1000 Fax: 401-464-6006 www.Diprete-Eng.com  
**Engineers • Planners • Surveyors**

**ERIC M. PRIVE**  
 No. 8662  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

The regulatory submission set shall not be used for construction purposes unless it is issued for construction and signed by a Diprete Engineering representative.

Drawn By: J.A.C.	Design By: J.A.C.
Checked By: J.A.C.	Design By: J.A.C.
Date: 4/23/12	Design By: J.A.C.
Revised: 4/23/12	Design By: J.A.C.
By: J.A.C.	Design By: J.A.C.

**RIDEM Submission**  
**Existing Conditions**  
**The Cottage at Briarcliffe**  
 Assessor's Plat 43-1 Lots 224 & 229  
 Johnston, Rhode Island  
**Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor**  
 49 Old Pocasset Road, Johnston, Rhode Island 02919  
 Tel: 401-944-2450 Fax: 401-944-2455  
 DE Job No: 1154-002 Copyright 2011 by Diprete Engineering Associates, Inc.



**Dimensional Regulations**

ZONING:	PLANNED DISTRICT (CONTINUING CARE RETIREMENT COMMUNITY)
MINIMUM LOT AREA:	1
MINIMUM FRONTAGE:	5'
MINIMUM FRONT YARD:	5'
MINIMUM SIDE YARD:	5'
MINIMUM REAR YARD:	5'
MAXIMUM LOT COVERAGE:	50% OF NET TRACT
MAXIMUM BUILDING HEIGHT:	35'
MINIMUM DISTANCE BETWEEN STRUCTURES:	35'

**Development Data**

GROSS AREA OF PARCEL:	3.98 ACRES ±
TOTAL NUMBER OF BUILDING STORIES:	1 STORY
TOTAL AREA OF PROPOSED BUILDING FOOTPRINT:	10,360 S.F. ±
BRIARCLIFFE MANOR:	114 BEDS
BRIARCLIFFE GARDENS:	43 BEDS
PROPOSED "COTTAGE" BUILDING:	20 BEDS
TOTAL BEDS:	177 BEDS

**TOTAL REQUIRED PARKING SPACES:**  
 1 PARKING SPACE FOR EVERY 3 BEDS PLUS AN ADDITIONAL 10%  
 177 BEDS / 3 PARKING SPACES = 59 PARKING SPACES + 10% = 65 REQUIRED PARKING SPACE  
 79 TOTAL PARKING SPACES PROVIDED

**Lot Coverage Calculations**

PER ZONING REGULATION 340-98.A.(3)(b), IF TWENTY FIVE (25%) PERCENT TO FORTY (40%) PERCENT OF THE TOTAL GROSS TRACT IS EXCLUDED DUE TO THE EXISTENCE OF STEEP SLOPES AND/OR WETLANDS, THEN THE MAXIMUM LOT COVERAGE SHALL NOT EXCEED FIFTY (50%) PERCENT OF THE NET TRACT.

TOTAL GROSS TRACT AREA = 3.98 ACRES  
 UNSUITABLE AREA - WETLANDS (0 ACRES), WETLAND BUFFERS (0 ACRES), SLOPES GREATER THAN 8% (1.35 ACRES) = 1.35 ACRES (34% OF TOTAL GROSS TRACT AREA)

TOTAL GROSS TRACT AREA (3.98 ACRES) - UNSUITABLE AREA (1.35 ACRES) = 2.63 ACRES (NET TRACT)  
 50% OF NET TRACT (2.63 X 50%) = 1.32 ACRES (MAXIMUM LOT COVERAGE)

TOTAL ACTUAL LOT COVERAGE = BRIARCLIFFE MANOR (0.42 ACRES) + BRIARCLIFFE GARDENS (0.45 ACRES) + PROPOSED COTTAGE BUILDING (0.24 ACRES) = 1.11 ACRES < 1.32 MAXIMUM LOT COVERAGE

**General Notes**

- ALL BOUNDARY MONUMENTATION SHOWN ON PLAN IS EXISTING. NO NEW MONUMENTATION IS PROPOSED.
- THE SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
- THE SITE IS TO BE SERVICED BY COMMUNITY SEPTIC AND PUBLIC WATER OR, IN THE ALTERNATIVE, WILL BE CONNECTED TO THE MUNICIPAL SEWER SYSTEM, TO BE DETERMINED AT PRELIMINARY REVIEW.
- THE DRAINAGE SYSTEM WILL BE DESIGNED TO MEET THE TOWN OF JOHNSTON SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS AND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM WILL MEET RIDEM BEST MANAGEMENT PRACTICES.
- NO ALTERATION OF FRESHWATER WETLANDS ARE PROPOSED.
- NO EASEMENTS OR RIGHTS-OF-WAY ARE PROPOSED EXCEPT AS MAY BE NECESSARY FOR SEPTIC SYSTEM/SEWER IMPROVEMENTS TO BE DETERMINED AT PRELIMINARY REVIEW.
- NO ADVERSE POTENTIAL IMPACTS ARE FORESEEABLE FROM THE PROPOSED DEVELOPMENT.
- EXISTING LOT 224 (56,784 S.F.) AND EXISTING LOT 229 (79,792 S.F.) WILL BE MERGED AS PART OF THE COMBINED LOT WILL THUS BE 136,576 S.F.

**State Permits Required**

- RIDE M OWS PROGRAM (SEPTIC)
- RIDE M FRESHWATER WETLANDS PROGRAM

**Legend**

PROPERTY LINE	—	PROPOSED BUILDING	■
ASSESSOR LINE	—		
TWO FOOT CONTOUR	- - - 238		
TEN FOOT CONTOUR	- - - 240		
SOIL TYPES	CDC		
SOIL BOUNDARY LINE	—		
EXISTING TREELINE	~		
EXISTING ROADWAY	—		
EXISTING BUILDING	▭		
EXISTING DRIVEWAY	—		
EXISTING TREE	☼		
EXISTING SHRUB	☼		
EXISTING SPOT GRADE	X 305.8		
EXISTING LIGHTPOLE	⊙		
EXISTING UTILITY POLE	⊙		
EXISTING SEWER MANHOLE	⊙		
EXISTING DRAINAGE MANHOLE	⊙		
EXISTING CATCH BASIN	⊙		
EXISTING DOUBLE CATCH BASIN	⊙		
EXISTING FLARED END	⊙		
EXISTING WATER VALVE	⊙		
EXISTING THRUST BLOCK	⊙		
EXISTING GAS VALVE	⊙		
EXISTING HYDRANT	⊙		
EXISTING DRAINAGE FLOW ARROW	—		
EXISTING WATER LINE	—		
EXISTING GAS LINE	—		
EXISTING ELECTRIC	—		
EXISTING DRAINAGE	—		
EXISTING UNDERGROUND ELECTRIC	—		

APR 13 2012  
 Office of Water Resources

**Diprete Engineering**  
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 Tel: 401-943-0000 Fax: 401-464-6006 www.Diprete-Eng.com  
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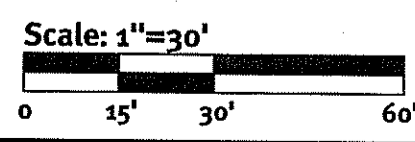
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No.	Date	Description	By
1	4/13/12	DESIGN SUBMISSION	J.A.C.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JUN 8 2012 FILE # 12-0074  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION STAGE

**RIDEM Submission**

**Site Plan**  
**The Cottage at Briarcliffe**  
 Assessors: Plat 43-1, Lots 224 & 229  
 Applicant: Medical Homes of Rhode Island, Inc. c/o Briarcliffe Manor  
 49 Old Pocasset Road, Johnston, Rhode Island 02919  
 Tel: 401-944-2450 Fax: 401-944-2455  
 DE Job No. 1154-002 Copyright 2011 by Diprete Engineering Associates, Inc.



**7.1 Establishment of Vegetative Cover**

7.1.1 Slopes shall not be left unattended or exposed for excessive periods of time such as the inactive winter season. The contractor shall initiate appropriate vegetative practices on all disturbed areas as soon as possible but not more than fourteen (14) days after the construction activity in that area has temporarily or permanently ceased, unless the activity is to resume within twenty-one (21) days.

7.1.2 All disturbed slopes either newly created or currently exposed shall be seeded or protected.

7.1.3 The topsoil shall have a sandy loam texture relatively free of subsoil material, stones, roots, lumps of soil, tree limbs, trash or construction debris and shall conform with Rhode Island Department of Transportation Standard Specifications for Road and Bridge Construction, M.18.01.

7.1.4 The temporary seeding design mix shall be comprised of the following:

Type	% By Weight
Annual Rye Grass	40
Perennial Rye Grass	60

The New England Erosion Control/Restoration seed mix shall be comprised of the following:

Type	% By Weight
Upland Bentgrass	1.0
Creeping Bentgrass	1.0
Big Bluestem	8.0
New England Aster	1.0
Fox Sedge	8.0
Virginia Wild Rye	28.0
Boneset	1.0
Grass Leaved Goldenrod	1.0
Creeping Red Fescue	24.0
Soft Rush	0.5
Sensitive Fern	1.0
Switch Grass	8.0
Little Bluestem	15.0
Green Bullrush	1.0
Wool Grass	0.5
Blue Vervain	1.0

The general purpose seed mix shall be URI #2 and comprised of the following:

Type	% By Weight
Creeping Red Fescue	40
Improved Perennial Rye Grass	20
Improved Kentucky Bluegrass	30

Early spring or late summer seeding is recommended. Seeding schedule shall conform to Rhode Island Department of Transportation Standard Specification, L.02.03.1 Seeding Dates. Permanent seeding shall be done between April 1 to May 31 or August 15 to October 15. Temporary seeding may be done anytime between March 15 and November 15 with the approval of the engineer of record. Seeding at times not defined above shall only be allowed with written permission of the engineer. Fertilize as required by soil testing to complement or upgrade existing conditions. The seed mix shall be inoculated within 24 hours and before mixing and planting, with appropriate inoculums for each variety.

7.1.1 Temporary treatments shall consist of hay, straw, or fiber mulch or protective covers such as a mat or fiber lining. Temporary hay mulch to be tacked in place with nylon mesh netting, jute netting or approved equal. Side slopes of basins shall be treated with North American Green erosion control blankets such as S150 or approved equal. They shall be incorporated into the work as warranted or as ordered by the engineer. Hay or straw applications shall be in the amount of 2 tons/acre.

7.1.2 All hay bales or temporary protection shall remain in place until an acceptable stand of grass or approved ground cover is established. An acceptable stand of grass or ground cover shall be defined as a non erodible surface.

7.1.3 All fill shall be thoroughly compacted upon placement in strict conformance with Johnson requirements and the Rhode Island Standard Specification for Road and Bridge Section 202.

7.1.4 Stockpiles of topsoil shall not be located near waterways. They shall have side slopes no greater than 2:1 and shall be temporarily seeded and/or stabilized.

7.1.5 All areas proposed to be vegetated that are disturbed by construction shall be stabilized with permanent seeding following finish grading according to dates listed above and Rhode Island Department of Transportation Standard Specification L.02.03.1. Permanently seeded areas shall be protected during establishment with mulch. All seeded areas shall be checked regularly to see that a good standard is maintained. Well established vegetation shall be maintained. Bare or eroded areas shall be immediately repaired and reseeded by the contractor. Activities shall be confined to within the limit of work as shown on the plans.

7.1.6 Maximum permanent graded slope within the Site is to be 3:1 unless noted otherwise.

7.1.7 **THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.** The contractor must repair and/or reseed any areas that do not develop within the period of one year and shall do so at no additional expense to the owner.

7.1.8 Reference the "Rhode Island Soil Erosion and Sedimentation Control Handbook" prepared by the USDA Soil Conservation Service 1989 as a guide.

**7.2 Non-Structural Measures**

7.2.1 Construction traffic shall be limited to the access road, utility easements and areas to be graded.

7.2.2 Topsoil shall be stripped from areas to be graded and stockpiled for later use. Stockpile locations shall be subject to approval by the project engineer. A sediment barrier shall surround all topsoil stockpiles.

7.2.3 All types of waste generated at the site shall be disposed of in a manner consistent with federal, state and local regulations. Construction debris shall be disposed of daily to avoid exposure to precipitation.

7.2.4 Dust control shall be used throughout construction. Dust control can be accomplished through the use of vegetative cover, sprinkling and stone stabilization of construction roads.

7.2.5 **THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.**

7.2.6 Reference the "Rhode Island Soil Erosion and Sediment Control Handbook" prepared by the USDA Soil Conservation Service 1989, as a guide.

**7.3 Structural Measures**

7.3.1 Runoff water quality is improved by utilizing the existing drainage network, sediment forebay, and extended detention basin. Construction of the detention basin expansion shall be supervised by the project engineer. The BMPs shall be built to control runoff for 2 through 100 year storm frequencies. A stone stabilization pad (RI Department of Transportation Standard 9.9.0) is located at the site entrance to reduce the tracking or flowing of sediment onto the public right of way.

7.3.2 Hay bales or silt fence shall be installed downstream outside the limits of any proposed construction as shown on the site plans and prior to the commencement of the proposed alteration.

7.3.3 Temporary berms and / or swales shall be used during construction to direct surface runoff to temporary sedimentation basins to capture and treat the maximum amount of stormwater.

7.3.4 Inlet protections shall be used around catch basin grates. Contractor shall maintain inlet protection throughout construction. Inlet protection should be removed once the contributing areas have been completely stabilized.

7.3.5 Surface Roughening shall be used as a temporary measure to improve the success of vegetation stabilization, encourage water infiltration and decrease runoff velocity. The soil surface is roughened by the creation of horizontal grooves or slight depressions (1-3" deep and 6-15" apart) parallel to the slope contour. Roughening can be used with both seeding and planting and temporary mulching to stabilize an area.

7.3.6 **THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.**

7.3.1 Reference the "Rhode Island Soil Erosion and Sediment Control Handbook" prepared by the USDS Soil Conservation Service 1989, as a guide.

**7.4 Maintenance: Short Term / Long Term**

7.4.1 The stone stabilization pad at the site entrance shall be maintained by the contractor. The maintenance shall include top dressing with additional stone or additional length as conditions demand or as directed by the engineer. All sediments spilled, dropped, washed, or tracked on the public right of way must be removed immediately by the contractor.

7.4.2 All hay bales/silt fence, temporary treatments (hay, straw, etc.), and temporary protection shall be maintained by the contractor throughout construction. Hay bales/silt fence shall be inspected by the contractor within 24 hours after each storm event or every 7 days, whichever comes first, for undermining and deterioration. Inspections shall also occur at least daily during prolonged storm events. A storm event shall be defined as 0.25 inches of rain within a 24-hour period. The hay bales/silt fence shall be repaired or replaced as warranted. The contractor shall clean the accumulated sediment if half of the original height of the hay bales/silt fence becomes filled in with sediment. The hay bales/silt fence shall remain in place until an acceptable stand of grass or approved ground cover is established. Following confirmation from the owner and/or the engineer of record that an acceptable stand of grass or approved ground cover has been established the hay bales/silt fence shall be removed.

7.4.3 The contractor shall maintain all topsoil stockpiles and sediment barriers throughout construction. Extreme care shall be taken to ensure that sediments do not spill over the sediment barrier. Hay bales or silt fence shall be staked around the stockpiles.

7.4.4 All disturbed slopes either newly created or currently exposed shall be seeded, protected, and maintained by the contractor following final grading and construction. The contractor shall check all seeded areas regularly to see that a good stand of vegetation is maintained. The contractor must repair or reseed any areas that do not develop within the period of one year and shall do so at no additional expense to the owner.

7.4.5 **THE CONSTRUCTION SUPERINTENDENT IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE STORMWATER MANAGEMENT SYSTEM UNTIL COMPLETION OF CONSTRUCTION AND UNTIL ACCEPTANCE BY THE ENGINEER AND THE OWNER.**

During construction the CONSTRUCTION SUPERINTENDENT'S maintenance/inspection responsibilities shall include:

- Reseeding any un-stabilized areas at no additional expense to the Owner;
- Removing accumulated silt when sediments in the BMP's reach the height specified in the sediment volume calculations.
- Inspection of rip rap pads after each storm and repair as necessary.
- Inspection, maintenance and repair to the drainage network including structures and related appurtenances. Accumulated sediments in all structures shall be removed and drainage pipes flushed by the contractor throughout construction.
- Neighboring catch basin sumps shall be checked weekly and sediments shall be removed if they exceed 6" depth.
- Check BMP's for standing water or other evidence of clogging.
- Check for sediment accumulation, trash, and debris.

- Check for blockages, structural integrity, and evidence of erosion at inlets, outlets, and overflow spillways
- Check for rapid release of stormwater

7.4.1 Following acceptance by the Engineer and Owner the **OWNER** is responsible for inspections, maintenance, and implementing the maintenance program for the stormwater management plan. A legally binding and enforceable maintenance agreement shall be executed between the owner and the responsible authority to ensure the maintenance schedules outlined in this report are followed.

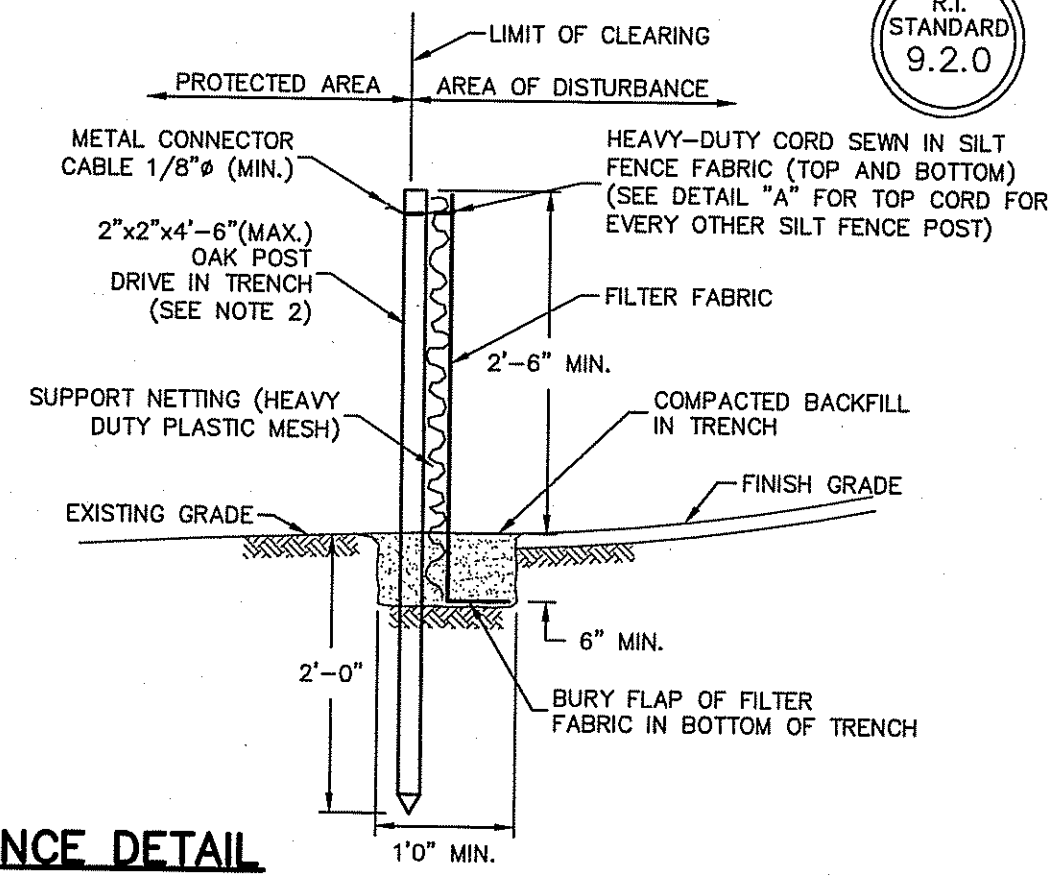
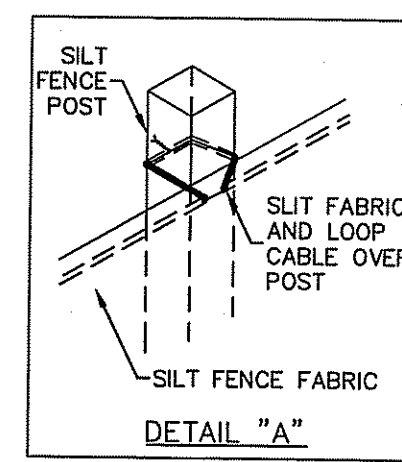
The responsible party and funding source for the Stormwater Management Program is:

Briarcliffe Gardens Realty, LLC  
49 Old Pocasset Road  
Johnston, RI 02919

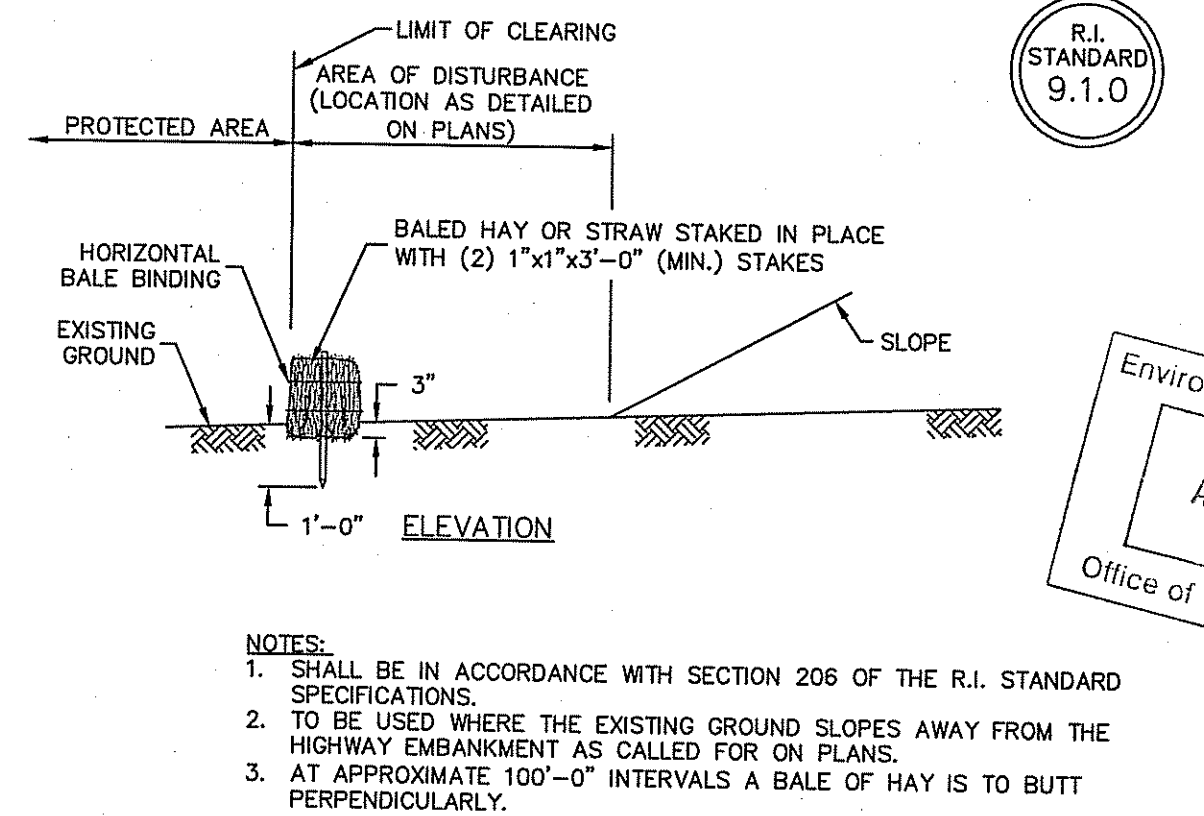
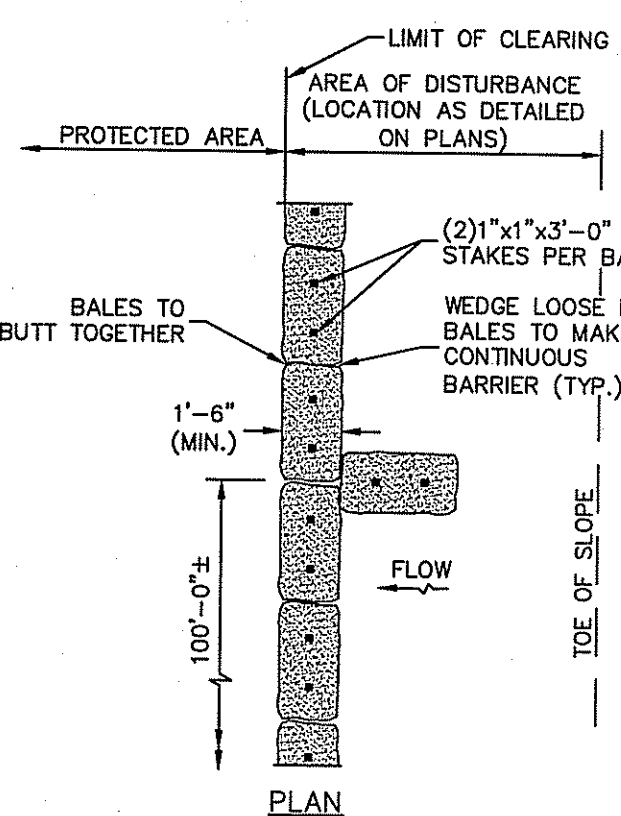
The responsible party maintenance/inspection responsibilities shall include:

- STORMWATER BASIN**
  - Semi-annual inspection of basin slopes for erosion and gullying. If erosion is found areas should be replenished with the original design material and re-vegetated according to design drawings. Slope protection material should be placed in areas prone to erosion.
  - Semi-annual inspection of embankment stability for seepage and burrowing animals.
  - Semi-annual inspection of all structural components, which includes, but are not limited to, trash racks, access gates, valves, pipes, weir walls, office structures, and spillway structures.
  - Semi-annual inspection of sedimentation and removal from the forebay when design depth has been reduced by 50%.
  - 4 times a year grass around the perimeter of the basin is required to be mowed.
  - Annual inspection of vegetation within basin.
    - Prune all dead or dying vegetation within the extents of the basin.
    - Remove all herbaceous vegetation root stock when overcrowding of the maintenance access to the facility, remove any vegetation that has a negative impact on stormwater flowage through facility, and trim any overgrown vegetation within the basin.
    - Any invasive vegetation encroaching upon the perimeter of the facility should be pruned or removed if it is prohibiting access to the facility, compromising sight visibility and/or compromising original design vegetation.
    - Replace any/all original vegetation that has died off or has not fully established, as determined at the time of the inspection.
- DRAINAGE STRUCTURES (CATCH BASINS, DRAINAGE MANHOLES, OUTLET STRUCTURES) MAINTENANCE**
  - Semi-Annually inspect drainage structures for damage.
  - Annually use a vacuum truck to clean out any sediment or debris present in any drainage structure or whenever sediments reach 1/2 of the sump depth, whichever comes first.
- STREET SWEEPING**
  - Street sweep all roadways four times per year. One of these sweepings must occur following winter sanding operations have concluded.

- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
  - 2"x2"x4"-6"(MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
  - 1"x1"x4"-6"(MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
  - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

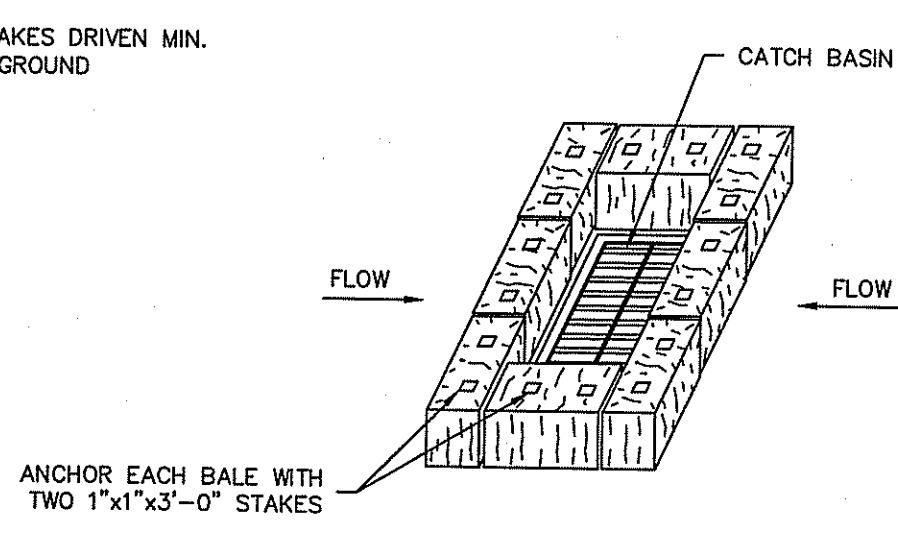
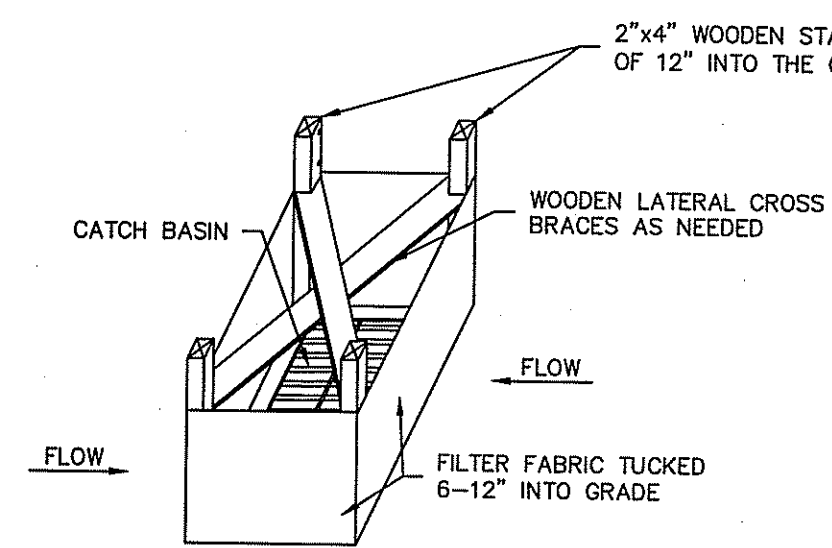


R.I. STANDARD 9.2.0



R.I. STANDARD 9.1.0

- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
  - TO BE USED WHERE THE EXISTING GROUND SLOPES AWAY FROM THE HIGHWAY EMBANKMENT AS CALLED FOR ON PLANS.
  - AT APPROXIMATE 100'-0" INTERVALS A BALE OF HAY IS TO BUTT PERPENDICULARLY.

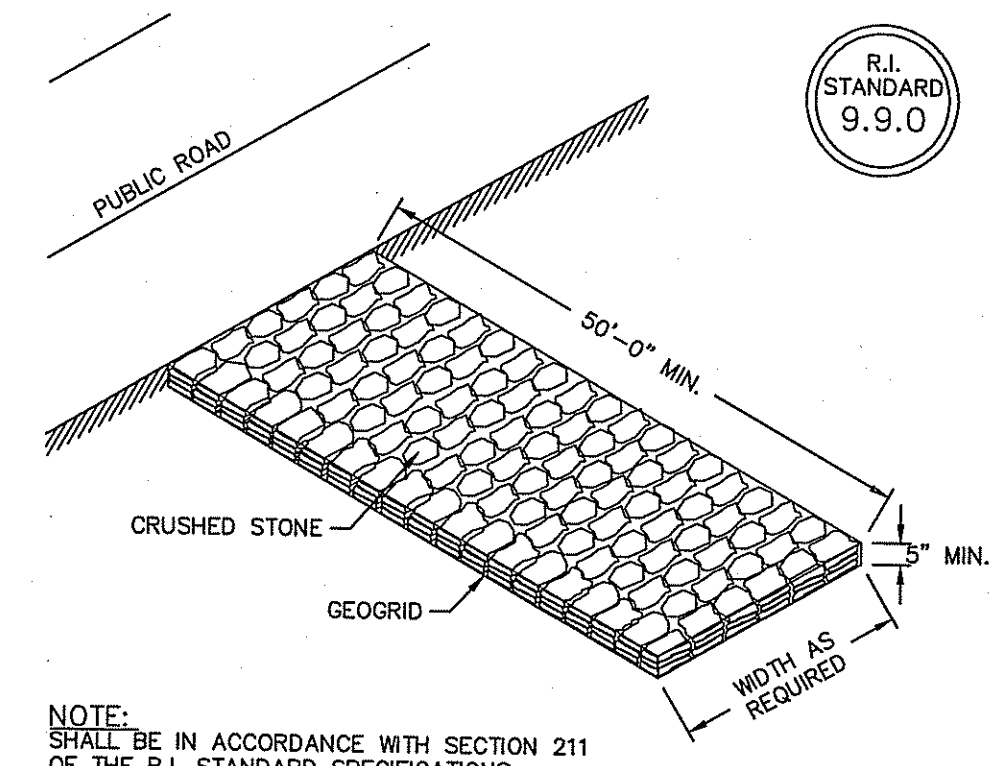


- NOTES:**
- STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
  - SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
  - REFER TO LONG TERM/SHORT TERM MAINTENANCE NOTES FOR TIMING OF PLACEMENT AND REMOVAL OF EROSION CONTROL ELEMENTS.

**CATCH BASIN EROSION CONTROL**

NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 8 2012 FILE # 12-0074  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



R.I. STANDARD 9.9.0

NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

**DIPrete Engineering**  
Two Stafford Court, Cranston, RI 02920  
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Engineers • Planners • Surveyors

ERIC M. PRIVE  
No. 8662  
REGISTERED PROFESSIONAL ENGINEER CIVIL

Environmental Management  
Office of Water Resources  
APR 13 2012

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DIPrete Engineering representative.

No.	DATE	BY	Design By/J.A.C.
0	4-12-12	J.A.C.	J.A.C.

**RIDEM Submission**

**Detail Sheet**

**The Cottage at Briarcliffe**  
Assessor's Plat 03-1 Lots 224 & 229  
Johnston, Rhode Island

Applicant: **Medical Homes of Rhode Island, Inc. d/b/a Briarcliffe Manor**  
49 Old Pocasset Road, Johnston, Rhode Island 02919  
Tel: 401-944-2450 Fax: 401-944-2455

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