

SITE PLANS FOR A PROPOSED
5 LOT RURAL RESIDENTIAL COMPOUND

PINE HARBOR ESTATES

2748 WALLUM LAKE ROAD
BURRILLVILLE, RHODE ISLAND

AP 17, LOT 43

ZONE: F-5

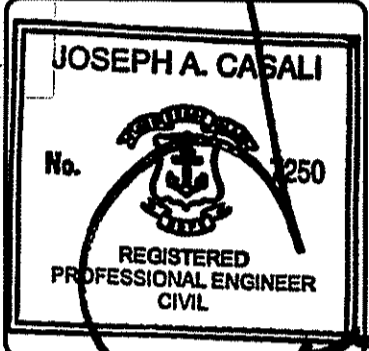
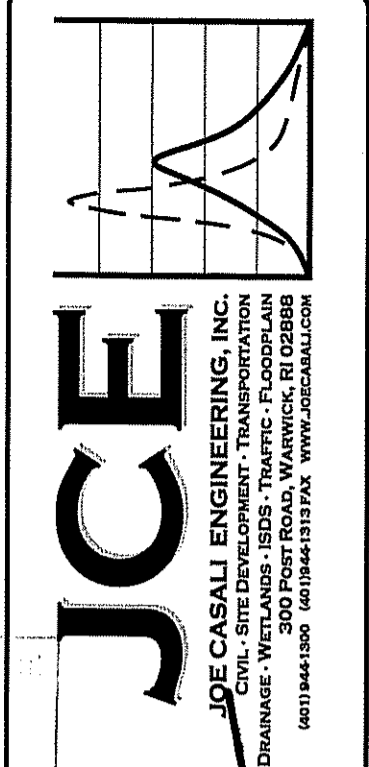
Original Issue Date: May 2012

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Issued For: RIDEM Preliminary Determination Application

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED MAR 18 2013 FILE # 12-0098
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. [Signature]



PINE HARBOR ESTATES
A RURAL RESIDENTIAL COMPOUND
2748 WALLUM LAKE RD
BURRILLVILLE, RHODE ISLAND
AP 17, LOT 43

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/26/2013	RIDEM COMMENTS

DESIGNED BY: GAA
DRAWN BY: WMLJR
CHECKED BY: JAC
DATE: FEBRUARY 5, 2013
PROJECT NO: 04-85h

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET C-1 OF 10

PROJECT TEAM

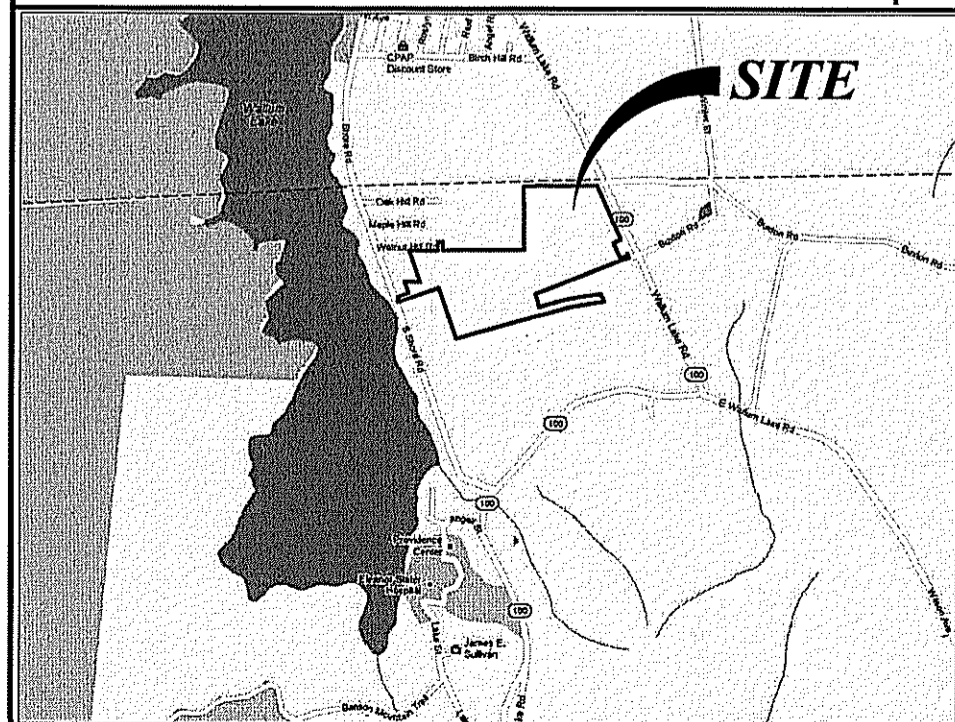
OWNER/APPLICANT: BENOIT DUBE
27 HAMLET AVE.
P.O. BOX 1902
WOONSOCKET, RI 02895

CIVIL ENGINEER: JOE CASALI ENGINEERING, INC
300 POST ROAD
WARWICK, RI 02888
PHONE: 401-944-1300
FAX: 401-944-1313

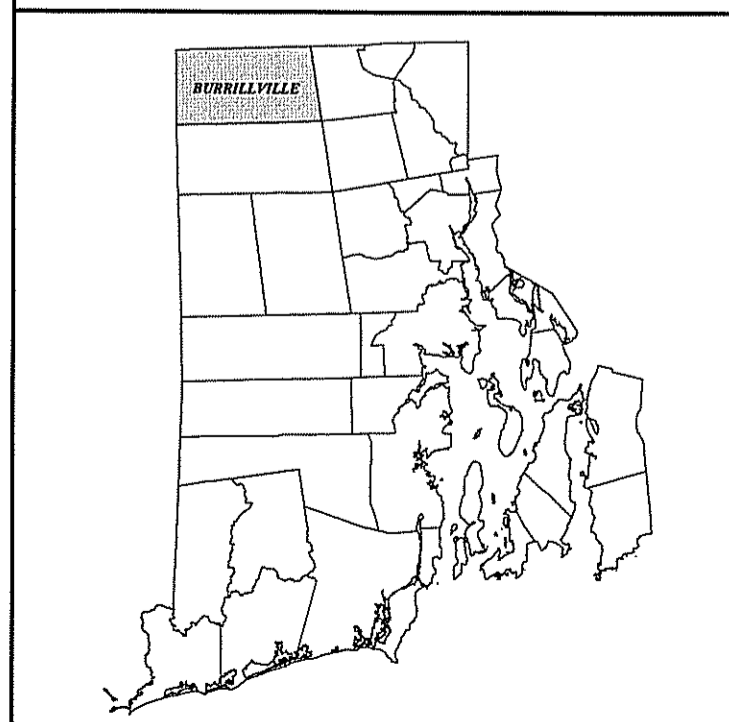
SURVEYOR: INTERNATIONAL MAPPING & SURVEYING CORP.
19 INDUSTRIAL DRIVE
SMITHFIELD, RI 02917
PHONE: 401-232-2620
FAX: 401-232-3820

BIOLOGIST: NATURAL RESOURCE SERVICES, INC.
18 TINKHAM LANE
PO BOX 311
HARRISVILLE, RI 02830
PHONE: 401-568-7390
FAX: 401-568-7490

LOCUS MAP (NOT TO SCALE)



STATE WIDE MAP



INDEX OF DRAWINGS

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REFERENCE PLANS		
BY INTERNATIONAL MAPPING & SURVEYING CORP.		
EX-1	EXISTING CONDITIONS PLAN	5/11/2012

GENERAL NOTES:

- CLASS I PROPERTY LINE AND CLASS III TOPOGRAPHIC SURVEY COMPLETED BY INTERNATIONAL MAPPING AND SURVEYING CORP., 19 INDUSTRIAL DRIVE, SMITHFIELD RI IN NOVEMBER 2011.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THIS SITE LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), AS SHOWN ON THE FIRM MAP FOR PROVIDENCE COUNTY, RI, MAP NUMBER 44007C0020G, EFFECTIVE DATE MARCH 2, 2009.
- SOILS EXISTING ON THE SITE ARE MAPPED AS FOLLOWS:
 ChB CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES (HYDROLOGIC SOIL GROUP D)
 PaA PAXTON FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES (HYDROLOGIC SOIL GROUP C)
 PaB PAXTON FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES (HYDROLOGIC SOIL GROUP C)
 Rf RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS (HYDROLOGIC SOIL GROUP C)
 Wrb WOODBRIDGE EXTREMELY STONY FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES (HYDROLOGIC SOIL GROUP C)

- ON-SITE SOIL EVALUATIONS WERE PERFORMED BY PATRICIA KELLY (LICENSE #4047) ON OCTOBER 24, 2006. MONITORING WELLS WERE INSTALLED AND MONITORED ON 3/19/2007, 3/28/2007, AND 4/9/2007. SOILS WERE FOUND TO RANGE FROM SANDY LOAMS TO LOAMY SANDS WITH SEASONAL HIGH GROUNDWATER TABLES BETWEEN 1.5 AND 2.3 FEET BELOW GRADE.
- A SWAMP AND INTERMITTENT STREAM <10 FEET WIDE HAVE BEEN LOCATED IN THE CENTER OF THE SITE BY NATURAL RESOURCE SERVICES, INC. IN APRIL 2005. THESE RESOURCES HAVE BEEN RIDEM VERIFIED (APPLICATION NO. 06-0254.) THIS PLACES THE SITE INTO JURISDICTION OF THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM). THE SITE DOES NOT FALL UNDER JURISDICTION OF THE RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL (CRMC). THERE IS A RIDEM REQUIRED 50 FOOT PERIMETER WETLAND ASSOCIATED WITH THE SWAMP, AND A 100 FOOT RIVERBANK WETLAND ASSOCIATED WITH THE INTERMITTENT STREAM. ALL CURRENTLY PROPOSED SITE DEVELOPMENT FALLS WITHIN UPLAND AREAS.

SITE NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR OR A RHODE ISLAND REGISTERED PROFESSIONAL ENGINEER.
- ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF RIDOT AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR TOWN.
- THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
- THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
- THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAY'S WORK.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
- OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THESE OPERATIONS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR TOWN.
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR TOWN RIGHTS-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 1988 EDITION, INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE RIDOT SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE SYSTEM NOTES:

- THE PROPOSED DRAINAGE LINES SHALL BE AS NOTED ON THE SITE PLANS.
- ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.
- THE DESIGN ENGINEER MUST SUBMIT AN AS BUILT PLAN AND A CERTIFICATION TO TOWN ENGINEER THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE DESIGN PLANS FOR ALL ELEMENTS OF THE STORM OR DRAINAGE SYSTEM PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) AND STAKED HAYBALE WITH SILT FENCE SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
- ALL SILT FENCE, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.
- THE OPERATOR SHOULD INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.

INFILTRATION BASIN PROTECTION

FOR THE LONG-TERM FUNCTION OF THE BASIN SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

- THE BASIN AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
- CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE BASIN AREAS UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
- EXCAVATION FOR CONSTRUCTION OF THE BASINS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL.
- THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE BASINS TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

INFILTRATION BASIN OPERATION AND MAINTENANCE NOTES

- THE INFILTRATION BASIN SHALL BE INSPECTED ANNUALLY AND AFTER STORMS EQUAL TO OR GREATER THAN THE 1-YEAR, 24-HOUR TYPE III STORM EVENT.
- IF SEDIMENT OR ORGANIC DEBRIS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES TO BELOW THE DESIGN RATE, THE TOP 6 INCHES SHALL BE REMOVED AND THE SURFACE ROTO-TILLED TO A DEPTH OF 12 INCHES. THE BASIN BOTTOM SHOULD BE RESTORED ACCORDING TO ORIGINAL DESIGN SPECIFICATIONS.
- THE INFILTRATION BASIN SHOULD BE MOWED AT LEAST 2 TIMES PER YEAR.
- ERODED BANKS AND AREAS AT THE INFLOW AND OUTFLOW LOCATIONS SHOULD BE REPAIRED AS NECESSARY.

QUALIFIED PVIOUS AREAS OPERATION AND MAINTENANCE NOTES

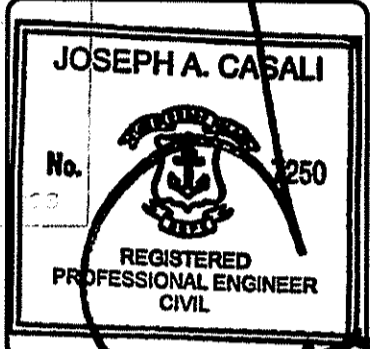
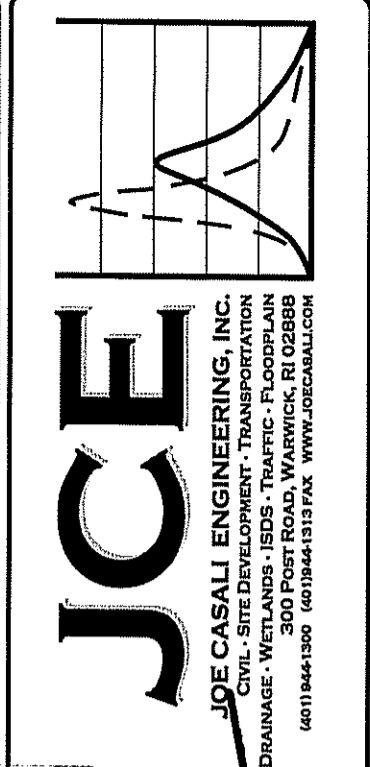
- INSPECT PLANTED AREAS ON A SEMI-ANNUAL BASIS AND REMOVE ANY LITTER.
- MAINTAIN PLANTED AREAS ADJACENT TO PAVEMENT TO PREVENT SOIL WASHOUT.
- IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT.
- RE-SEED BARE AREAS; INSTALL APPROPRIATE EROSION CONTROL MEASURES WHEN NATIVE SOIL IS EXPOSED OR EROSION CHANNELS ARE FORMING.
- PLANT ALTERNATIVE MIXTURE OF GRASS SPECIES IN THE EVENT OF UNSUCCESSFUL ESTABLISHMENT.
- THE GRASS VEGETATION SHOULD BE CUT TO A HEIGHT BETWEEN THREE AND FOUR INCHES.
- PESTICIDE/HERBICIDE USAGE - NO PESTICIDES ARE TO BE USED UNLESS A SINGLE SPOT TREATMENT IS REQUIRED FOR A SPECIFIC CONTROL APPLICATION.
- FERTILIZER USAGE SHOULD BE AVOIDED. IF DEEMED NECESSARY, SLOW RELEASE FERTILIZER SHOULD BE USED. FERTILIZER MAY BE USED TO BEGIN THE ESTABLISHMENT OF VEGETATION IN BARE OR DAMAGED AREAS, BUT SHOULD NOT BE APPLIED ON A REGULAR BASIS UNLESS NECESSARY.

DRY SWALE OPERATION AND MAINTENANCE NOTES

- DRY SWALES SHALL BE INSPECTED ANNUALLY AND AFTER STORMS EQUAL TO OR GREATER THAN THE 1-YEAR, 24 HOUR TYPE III STORM EVENTS.
- SEDIMENT BUILD-UP WITHIN THE BOTTOM OF THE CHANNEL SHALL BE REMOVED WHEN SEDIMENT REACHES A DEPTH OF 4-INCHES.
- ERODED SIDE SLOPES AND CHANNEL BOTTOMS SHALL BE STABILIZED AS NECESSARY.
- IN THE ABSENCE OF EVIDENCE OF CONTAMINATION, REMOVED DEBRIS MAY BE TAKEN TO A LANDFILL OR OTHER PERMITTED FACILITY.
- VEGETATION IN DRY SWALES SHALL BE MOWED AS REQUIRED TO MAINTAIN GRASS HEIGHTS IN THE 4-6 INCH RANGE, WITH MANDATORY MOWING ONCE GRASS HEIGHTS EXCEED 10 INCHES.
- IF THE SURFACE OF THE DRY SWALE BECOMES CLOGGED TO THE POINT THAT STANDING WATER IS OBSERVED ON THE SURFACE 48 HOURS AFTER PRECIPITATION EVENTS, THE BOTTOM SHALL BE ROTOTILLED OR CULTIVATED TO BREAK UP

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- WETLAND EDGE
- WF WETLAND FLAG
- 50' PERIMETER WETLAND
- 100' RIVERBANK WETLAND
- 200' RIVERBANK WETLAND
- EXISTING EASEMENT
- 100' EXISTING CONTOUR
- 100' PROPOSED CONTOUR
- SLOPES > 15%
- EXISTING STONE WALL
- IRON PIN
- DRILL HOLE
- CONCRETE BOUND
- EXISTING CURB
- GUARD RAIL
- DRAIN LINE
- DRAINAGE MANHOLE
- CATCH BASIN
- UTILITY POLE
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC
- VERIZON LINE
- WATER LINE
- WATER SHUT OFF VALVE
- WELL
- SEWER
- SMH
- N/F - NOW OR FORMERLY
- TREELINE
- HAY BALES
- L.O.D. LIMIT OF DISTURBANCE
- SOIL EVALUATION
- SILT FENCE



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 A RURAL RESIDENTIAL COMPOUND
 2748 WALLUM LAKE RD
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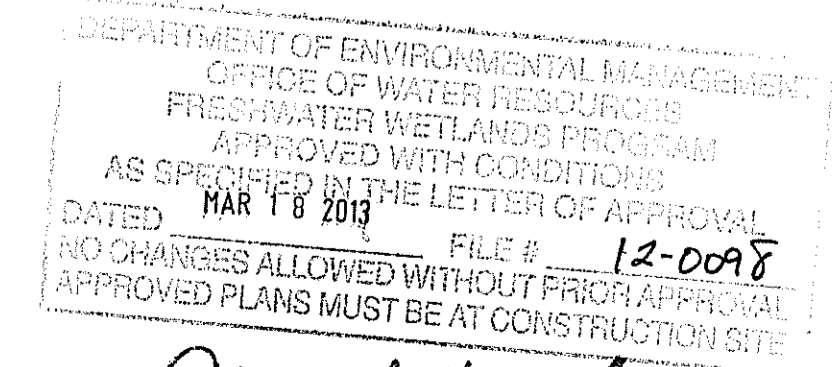
NO.	DATE	DESCRIPTION
1	2/26/2013	RIDEM COMMENTS

DESIGNED BY:	GAA
DRAWN BY:	WMLJR
CHECKED BY:	JAC
DATE:	FEBRUARY 5, 2013
PROJECT NO:	04-85h

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GENERAL NOTES & LEGEND

SHEET C-2 OF 10



Charles A. Haber

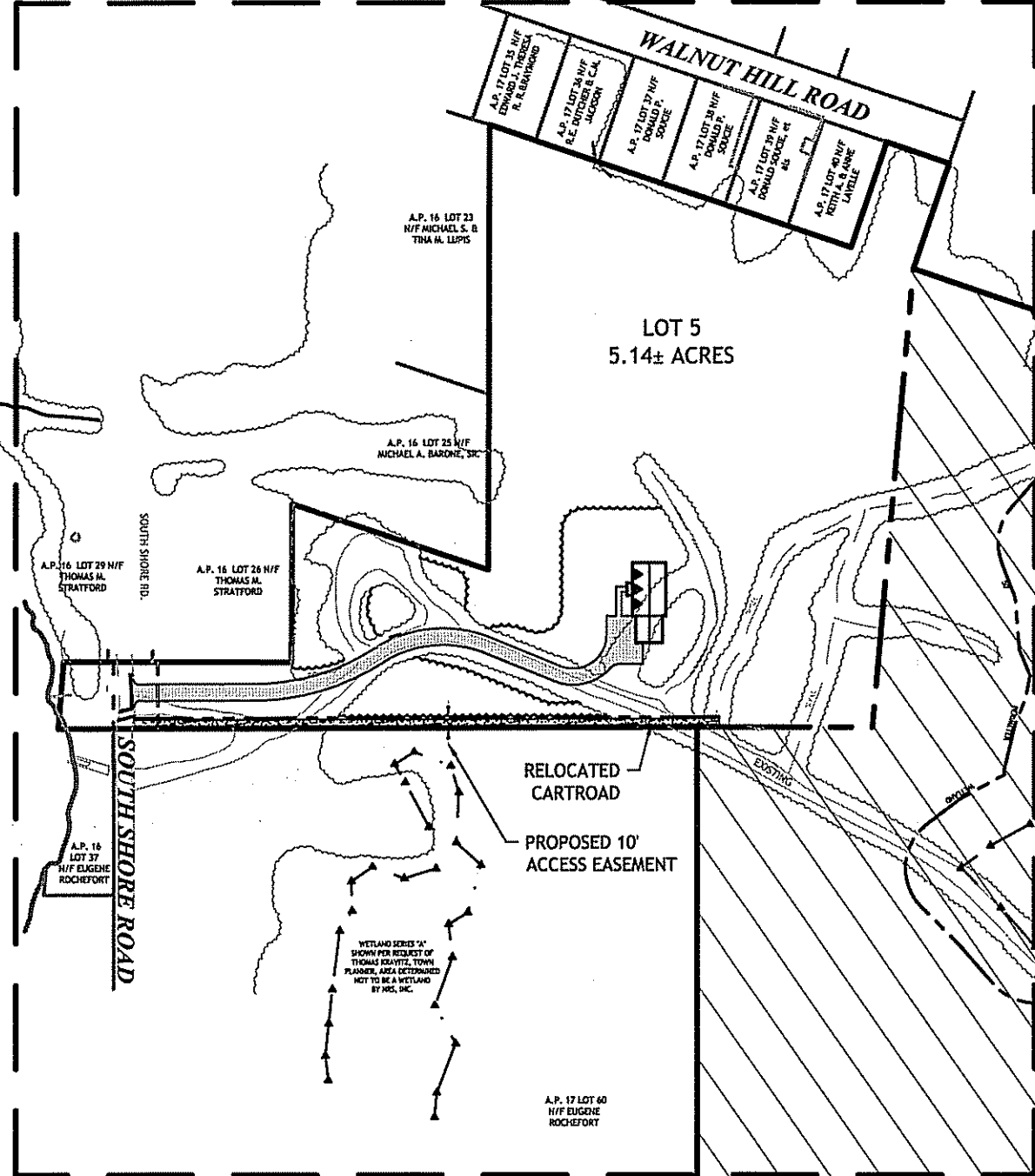
NOTE:

1. A.P. 47, LOT 43 IS NOT LOCATED WITHIN ANY HISTORIC DISTRICTS, THE ROUTE 102 DEVELOPMENT MANAGEMENT DISTRICT, AQUIFER OVERLAY ZONES, STATE OR LOCAL GREENSPACE PRIORITIES OR GREENWAYS, COMMUNITY OR NON-COMMUNITY WELLHEAD PROTECTION AREAS, OR RIDEM NATURAL HERITAGE AREAS.
2. A.P. 17, LOT 43 IS LOCATED IN THE BLACKSTONE RIVER WATERSHED (1). THE EASTERN PORTION OF LOT 43 DRAINS TO THE CLEAR RIVER, WHICH HAS TMDL SCHEDULES FOR LEAD AND ENTEROCOCCUS. THE WESTERN PORTION OF LOT 43 DRAINS TO WALLUM LAKE. RIDEM HAS NOT IDENTIFIED WALLUM LAKE AS AN IMPAIRED WATER.
3. ACCORDING TO FEMA MAP 44007C0020G, EFFECTIVE MARCH 2, 2009, A.P. 17, LOT 43 IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
4. THERE ARE NO KNOWN HISTORICAL SITES, CEMETERIES, OR ARCHEOLOGICAL SITES ON A.P. 17, LOT 43.

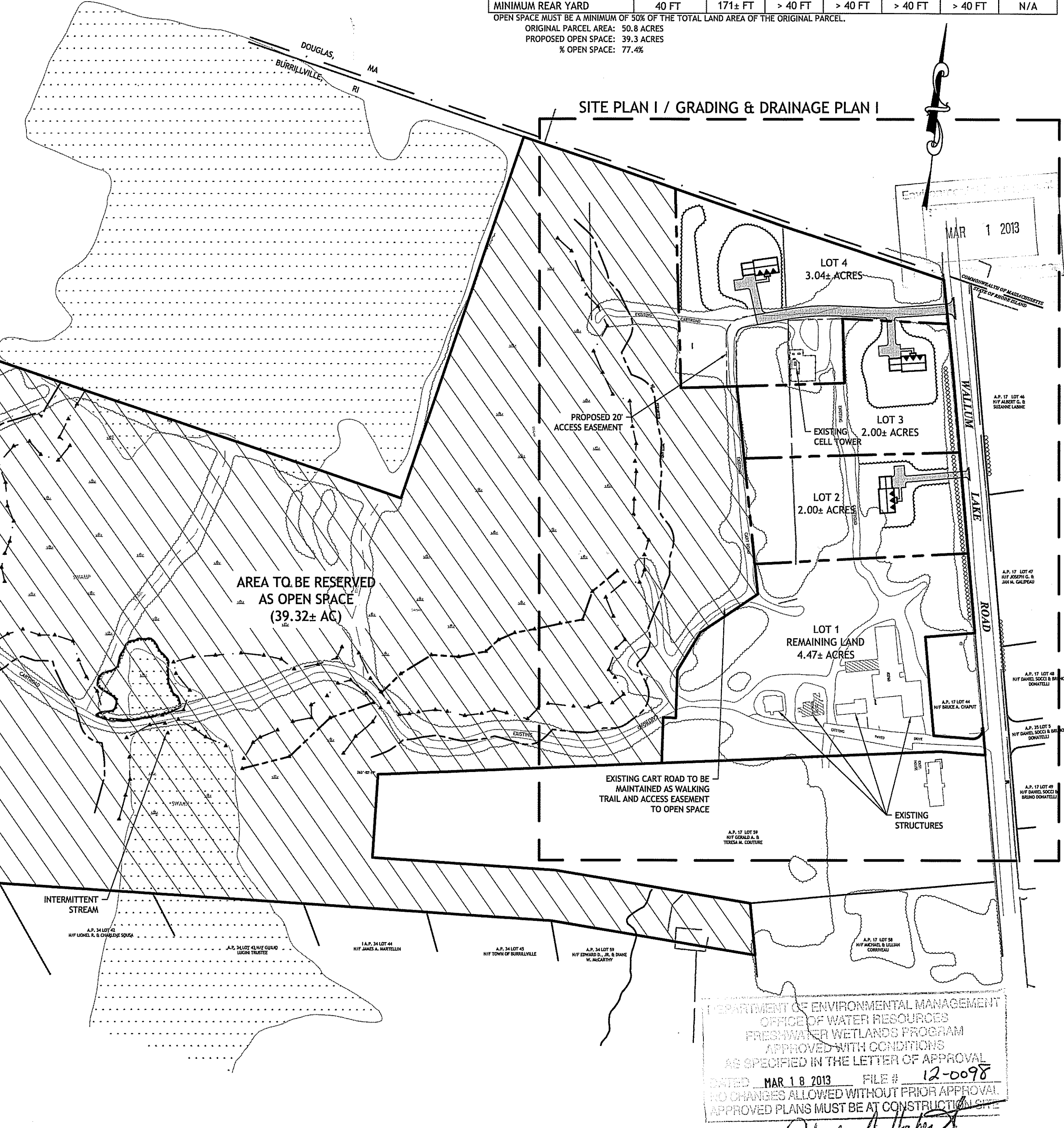
ZONING CRITERIA	F-5 ZONE RR COMPOUND	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	OPEN SPACE
MINIMUM LOT AREA	2 ACRES	4.5 ACRES	2.0 ACRES	2.0 ACRES	3.0 ACRES	5.1 ACRES	39.3 ACRES
MINIMUM FRONT YARD	40 FT	157± FT	>40 FT	>40 FT	>40 FT	>40 FT	N/A
MINIMUM SIDE YARD	15 FT	16± FT	> 15 FT	> 15 FT	> 15 FT	> 15 FT	N/A
MINIMUM REAR YARD	40 FT	171± FT	> 40 FT	> 40 FT	> 40 FT	> 40 FT	N/A

OPEN SPACE MUST BE A MINIMUM OF 50% OF THE TOTAL LAND AREA OF THE ORIGINAL PARCEL.
 ORIGINAL PARCEL AREA: 50.8 ACRES
 PROPOSED OPEN SPACE: 39.3 ACRES
 % OPEN SPACE: 77.4%

SITE PLAN II / GRADING & DRAINAGE PLAN II



SITE PLAN I / GRADING & DRAINAGE PLAN I



JCE

JOE CASALI ENGINEERING, INC.
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION
 DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN
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JOSEPH A. CASALI

No. 250

REGISTERED PROFESSIONAL ENGINEER CIVIL

PINE HARBOR ESTATES
 A RURAL RESIDENTIAL COMPOUND
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 AP 17, LOT 43

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 PROJECT NO: 04-85h

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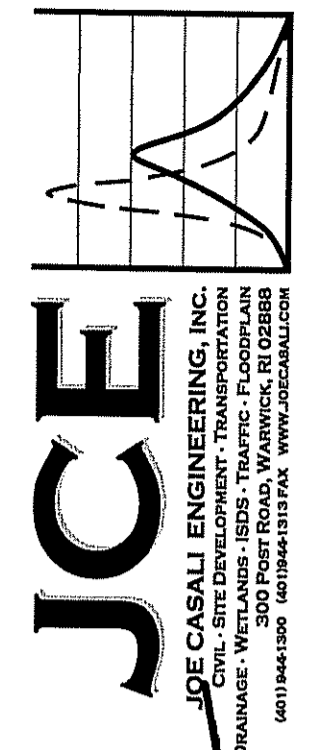
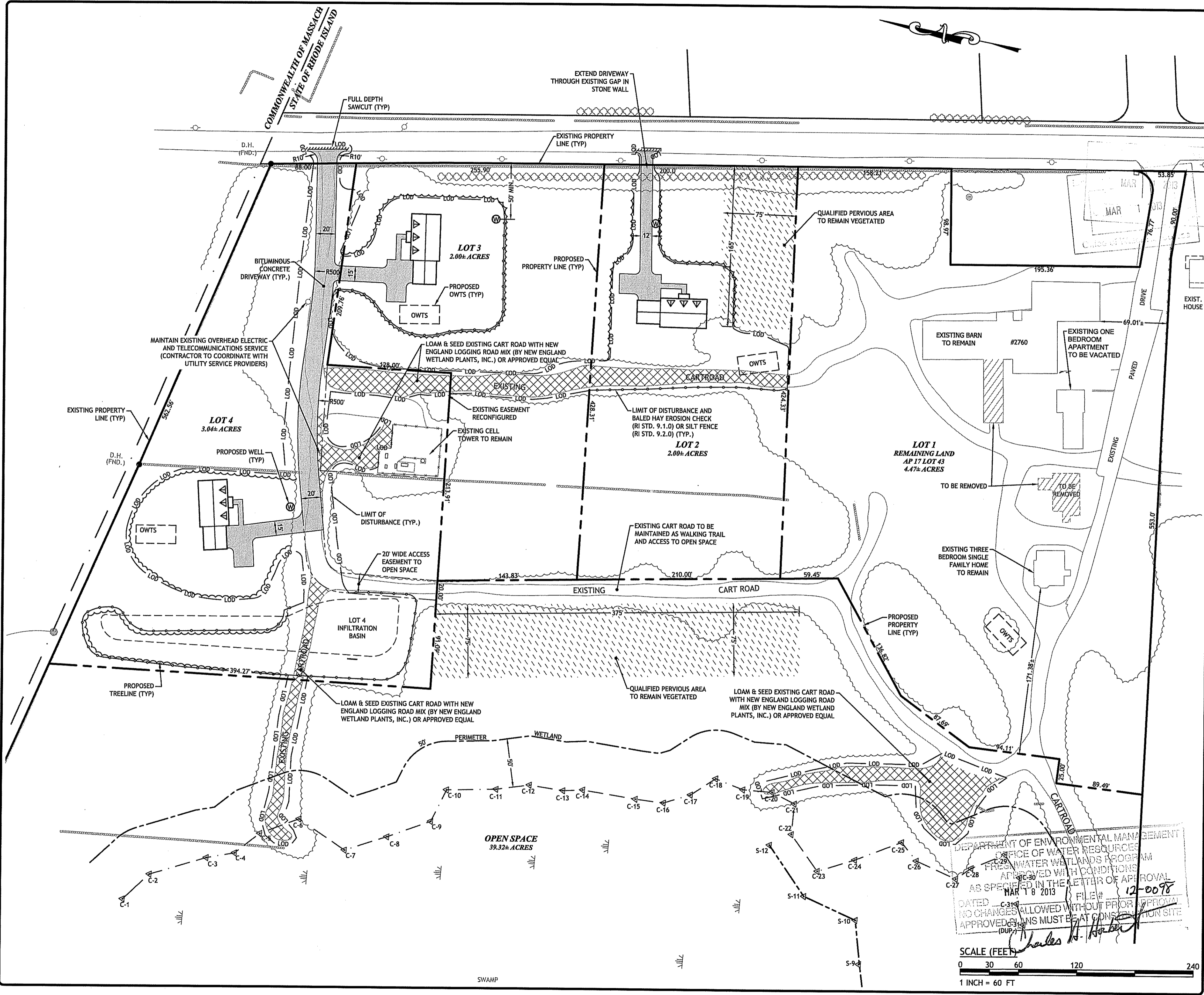
OVERALL SITE PLAN

SHEET C-3 OF 10

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAR 18 2013 FILE # 12-0098
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SCALE: 1" = 150 FT

Q:\04-05 - IMS (International Mapping & Survey Corp.)\04-05 Ben Duba\ACAD\DWG\PLANSET\DWG Feb. 28, 2013 1:57pm



JOSEPH A. CASALI
 No. 250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

PINE HARBOR ESTATES
 A RURAL RESIDENTIAL COMPOUND
 2748 WALLUM LAKE RD
 BURRILLVILLE, RHODE ISLAND
 AP 17, LOT 43

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/26/2013	RIDEM COMMENTS

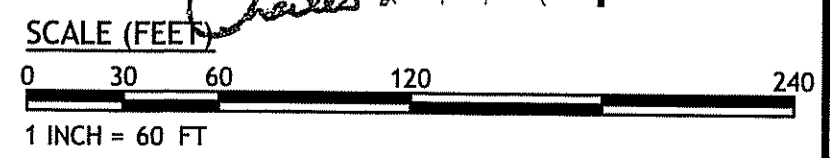
DESIGNED BY: GAA
 DRAWN BY: WMLJR
 CHECKED BY: JAC
 DATE: FEBRUARY 5, 2013
 PROJECT NO: 04-85j

PRELIMINARY, NOT FOR CONSTRUCTION

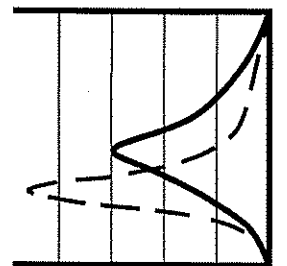
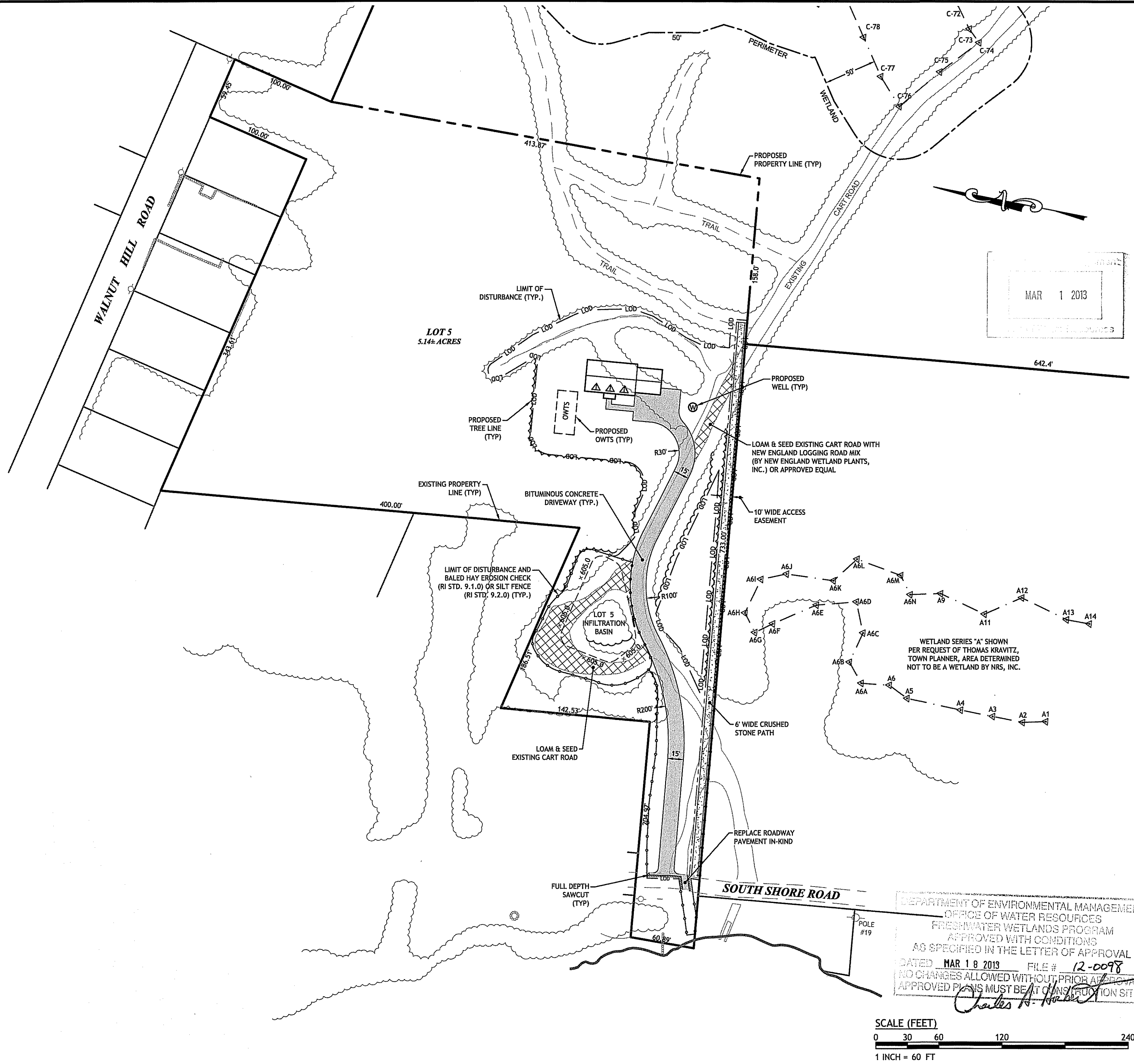
SITE PLAN I

SHEET C-4 OF 10

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESH WATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAR 18 2013 FILE # 12-0098
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED BY: [Signature] INS MUST BE AT CONSTRUCTION SITE
 (Dup.)



C:\04-85 - IMS (International Mapping & Survey Corp.)\04-85\Ben Dubois\ACAD\PlanSet\DUJBE [PLANSET].dwg, Feb. 28, 2013 1:57pm



JCE
 JOE CASALI ENGINEERING, INC.
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION
 DRAINAGE - WETLANDS - ISDS - TRAFFIC - FLOODPLAIN
 SURVEYING - LAND SURVEYING - WETLANDS
 16011844-1302 16011844-1313 16011844-1314 16011844-1315

JOSEPH A. CASALI

No. 250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

PINE HARBOR ESTATES
 A RURAL RESIDENTIAL COMPOUND
 2748 WALLUM LAKE RD
 BURRILLVILLE, RHODE ISLAND
 AP 17, LOT 43

REVISIONS:		
NO.	DATE	DESCRIPTION
1	2/26/2013	RIDEM COMMENTS

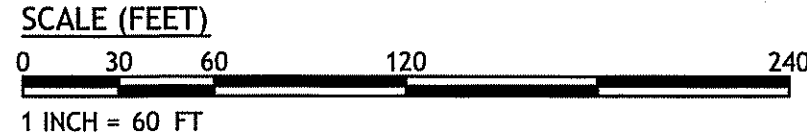
DESIGNED BY: GAA
 DRAWN BY: WMLJR
 CHECKED BY: JAC
 DATE: FEBRUARY 5, 2013
 PROJECT NO: 04-85H

PRELIMINARY, NOT FOR CONSTRUCTION

SITE PLAN II

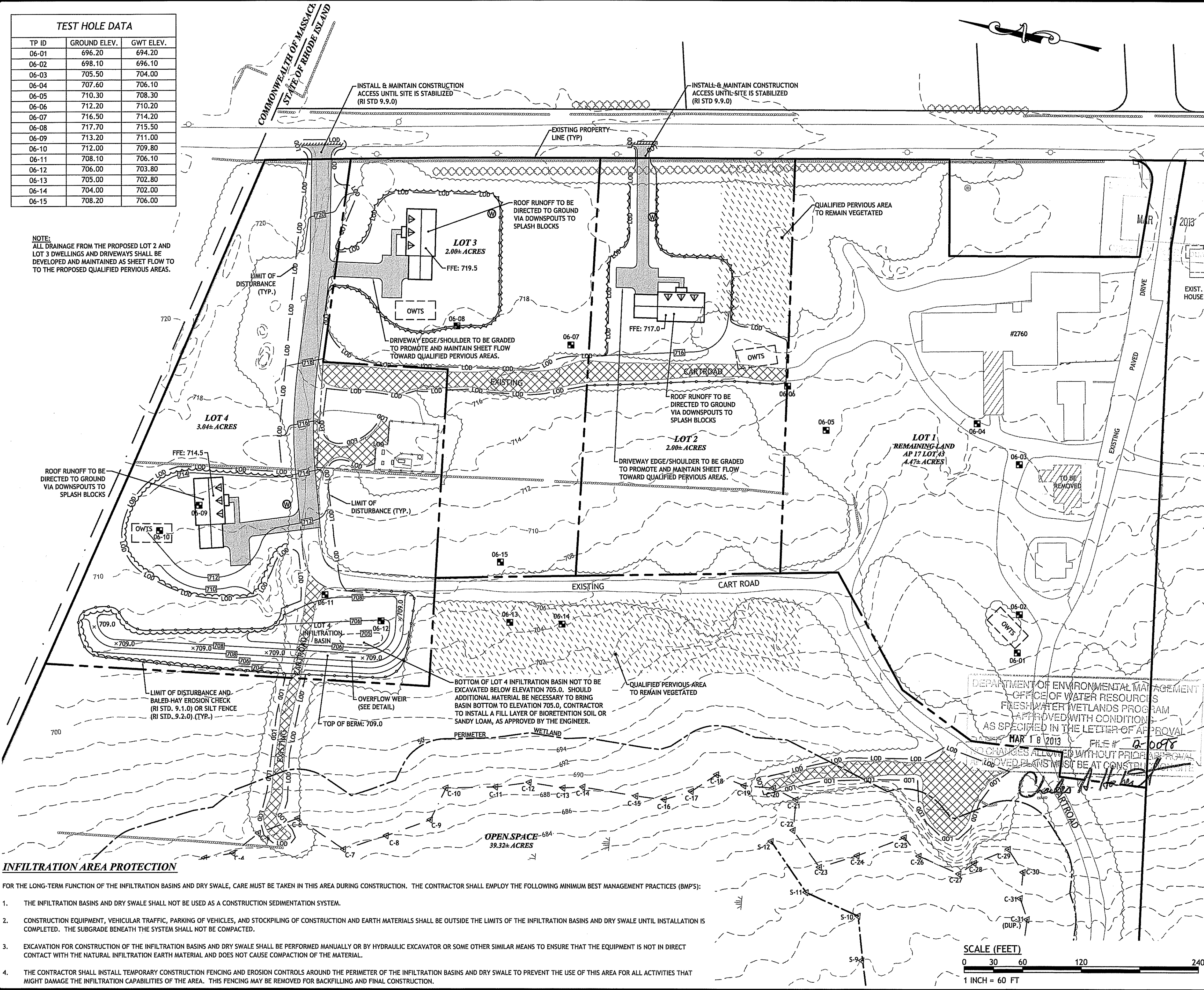
SHEET C-5 OF 10

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Charles A. ...



TEST HOLE DATA		
TP ID	GROUND ELEV.	GWT ELEV.
06-01	696.20	694.20
06-02	698.10	696.10
06-03	705.50	704.00
06-04	707.60	706.10
06-05	710.30	708.30
06-06	712.20	710.20
06-07	716.50	714.20
06-08	717.70	715.50
06-09	713.20	711.00
06-10	712.00	709.80
06-11	708.10	706.10
06-12	706.00	703.80
06-13	705.00	702.80
06-14	704.00	702.00
06-15	708.20	706.00

NOTE:
ALL DRAINAGE FROM THE PROPOSED LOT 2 AND LOT 3 DWELLINGS AND DRIVEWAYS SHALL BE DEVELOPED AND MAINTAINED AS SHEET FLOW TO THE PROPOSED QUALIFIED PERVIOUS AREAS.



C:\04-85 - IAS (International Mapping & Survey Corp.)\04-85\Ben Duba\ACAD\Plan\set\DWG [PLANSET].dwg Feb. 28, 2013 1:57pm

INFILTRATION AREA PROTECTION

- FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASINS AND DRY SWALE, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):
1. THE INFILTRATION BASINS AND DRY SWALE SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
 2. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION BASINS AND DRY SWALE UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
 3. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASINS AND DRY SWALE SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL.
 4. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION BASINS AND DRY SWALE TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

JCE
JOE CASALI ENGINEERING, INC.
CIVIL, SITE DEVELOPMENT, TRANSPORTATION
DRAINAGE, WETLANDS, ISDS, TRAFFIC, FLOODPLAIN
300 POST ROAD, WARWICK, RI 02886
(401) 844-3344 www.jceinc.com

JOSEPH A. CASALI
No. 250
REGISTERED PROFESSIONAL ENGINEER CIVIL

PINE HARBOR ESTATES
A RURAL RESIDENTIAL COMPOUND
2748 WALLUM LAKE RD
BURRILLVILLE, RHODE ISLAND
AP 17, LOT 43

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESH WATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
MAR 18 2013 FILE # 12-0098

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/26/2013	RIDEM COMMENTS

DESIGNED BY: GAA
DRAWN BY: WMLJR
CHECKED BY: JAC
DATE: FEBRUARY 5, 2013
PROJECT NO: 04-85h

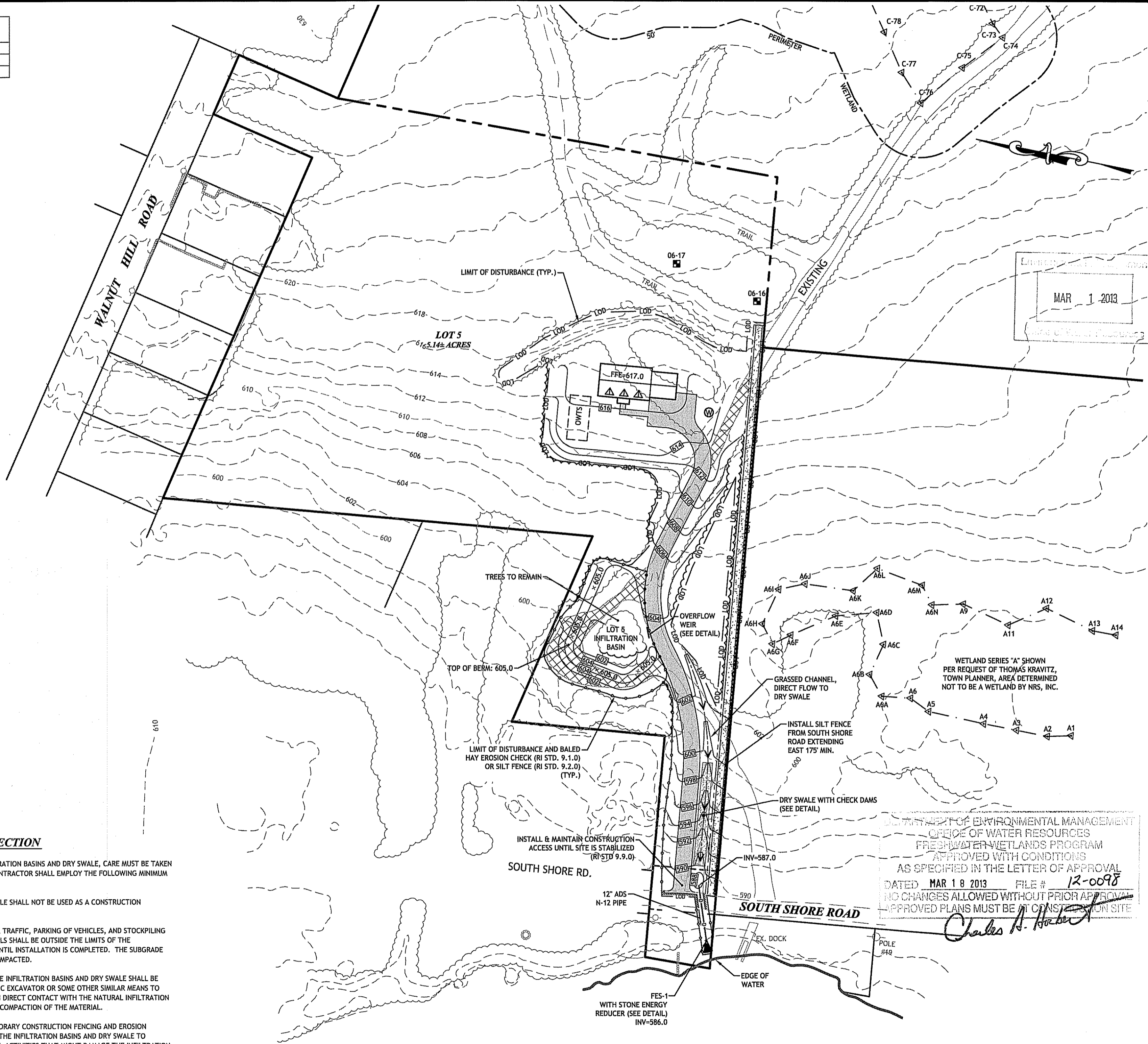
PRELIMINARY, NOT FOR CONSTRUCTION

GRADING & DRAINAGE PLAN I

SHEET C-6 OF 10

TEST HOLE DATA

TP ID	GROUND ELEV.	GWT ELEV.
06-16	616.50	614.50
06-17	618.40	616.40



INFILTRATION AREA PROTECTION

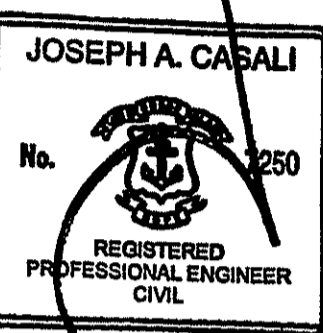
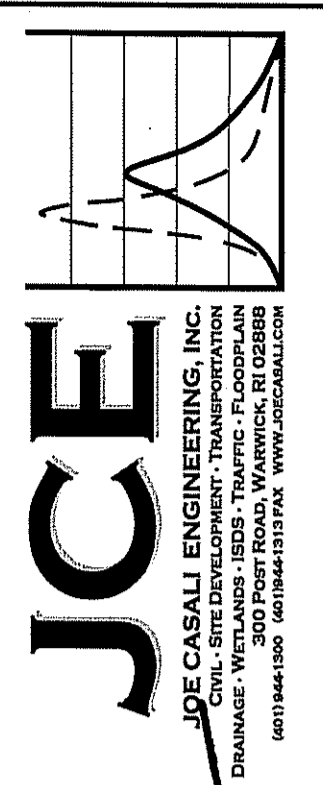
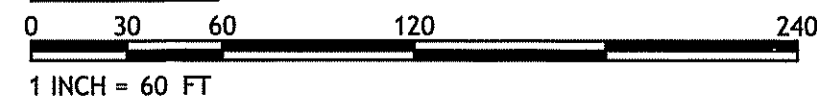
FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASINS AND DRY SWALE, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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Charles A. Casali

SCALE (FEET)



PINE HARBOR ESTATES
 A RURAL RESIDENTIAL COMPOUND
 2748 WALLUM LAKE RD
 BURRILLVILLE, RHODE ISLAND
 AP 17, LOT 43

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/26/2013	RIDEM COMMENTS

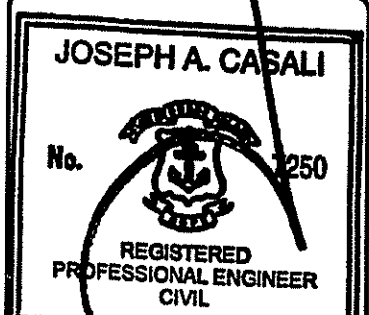
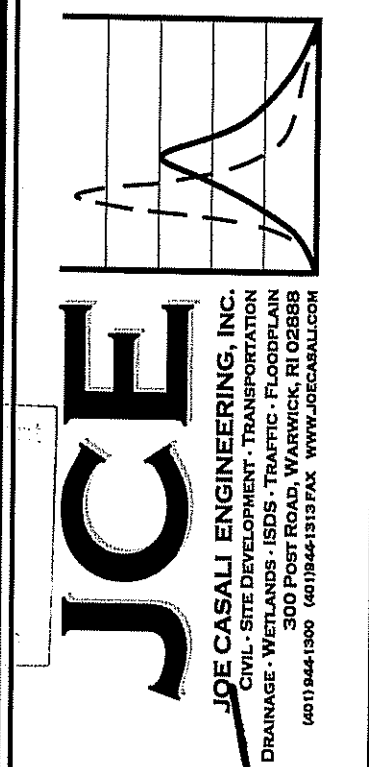
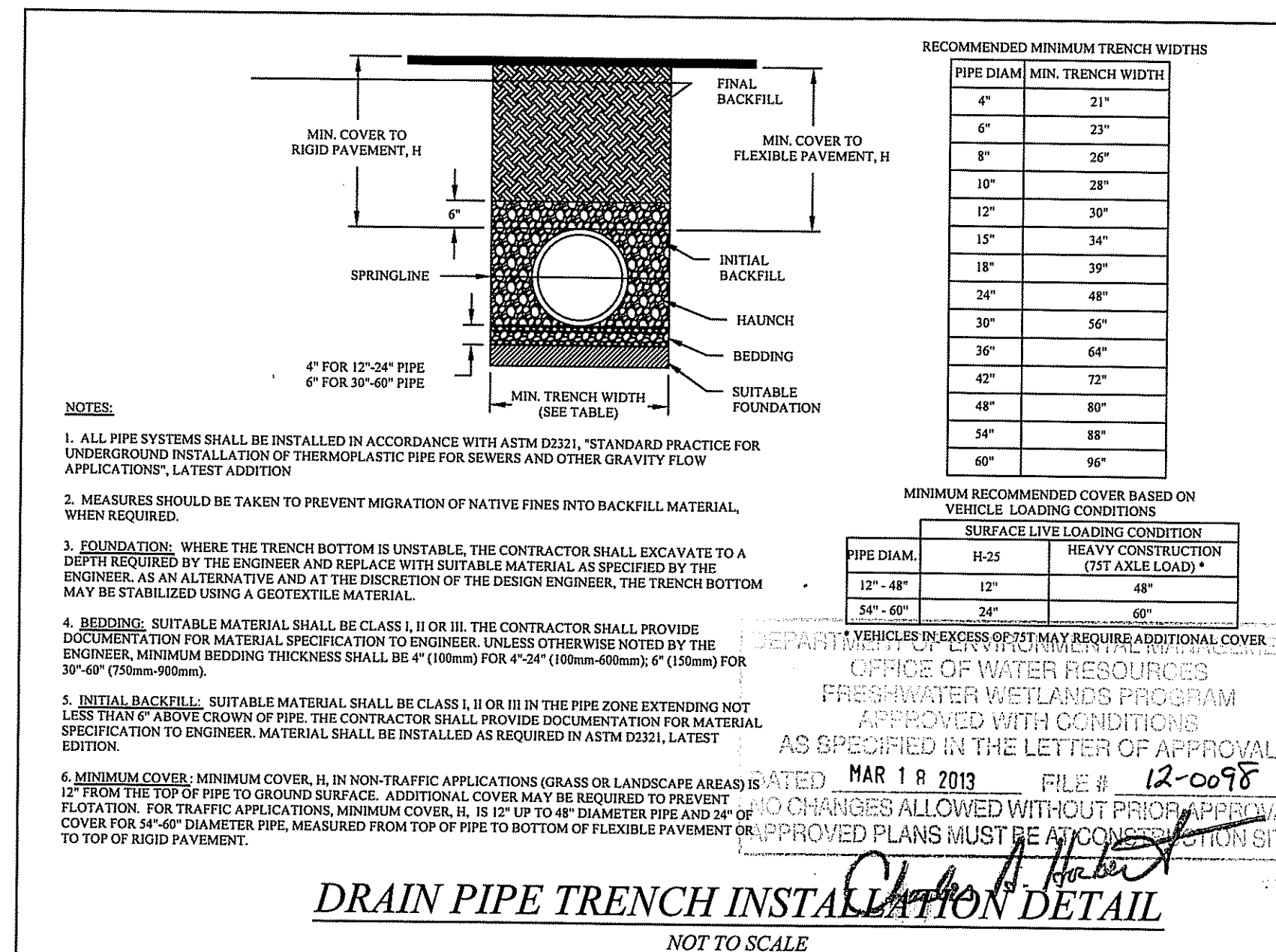
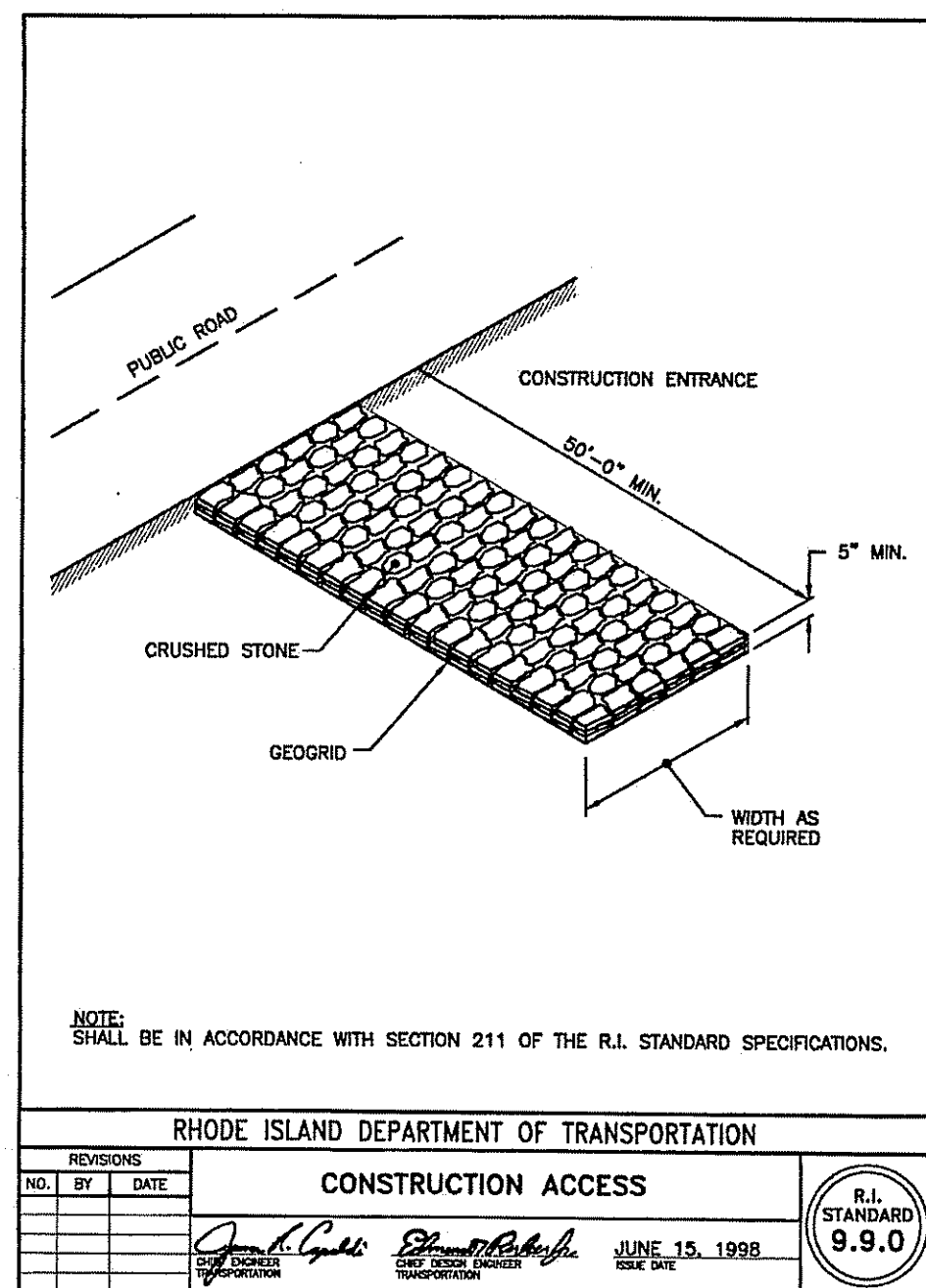
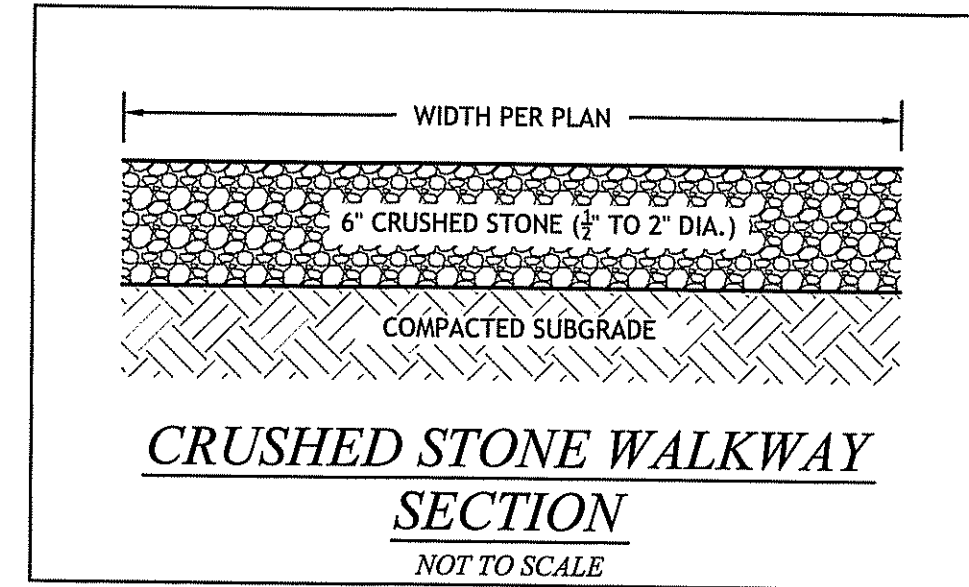
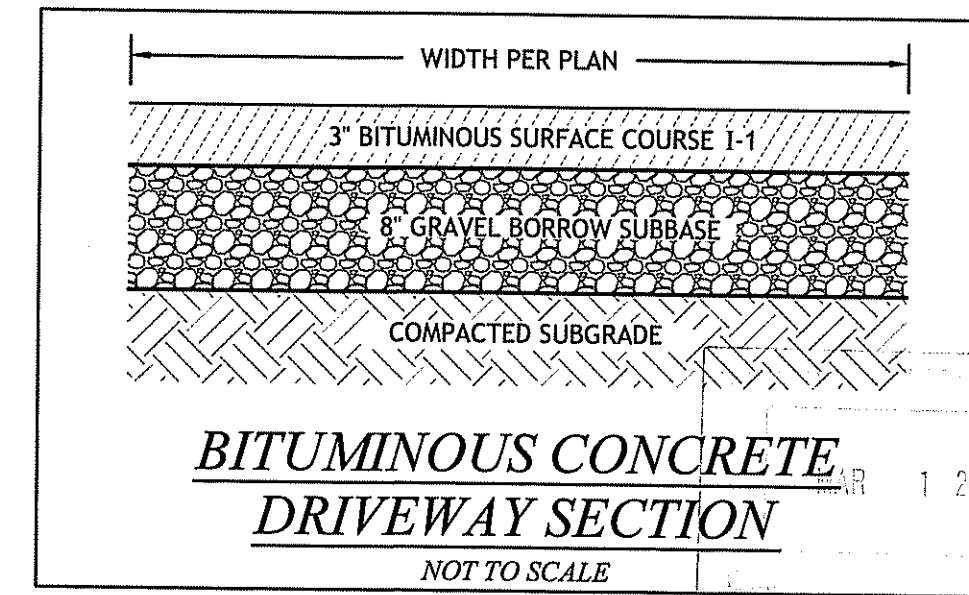
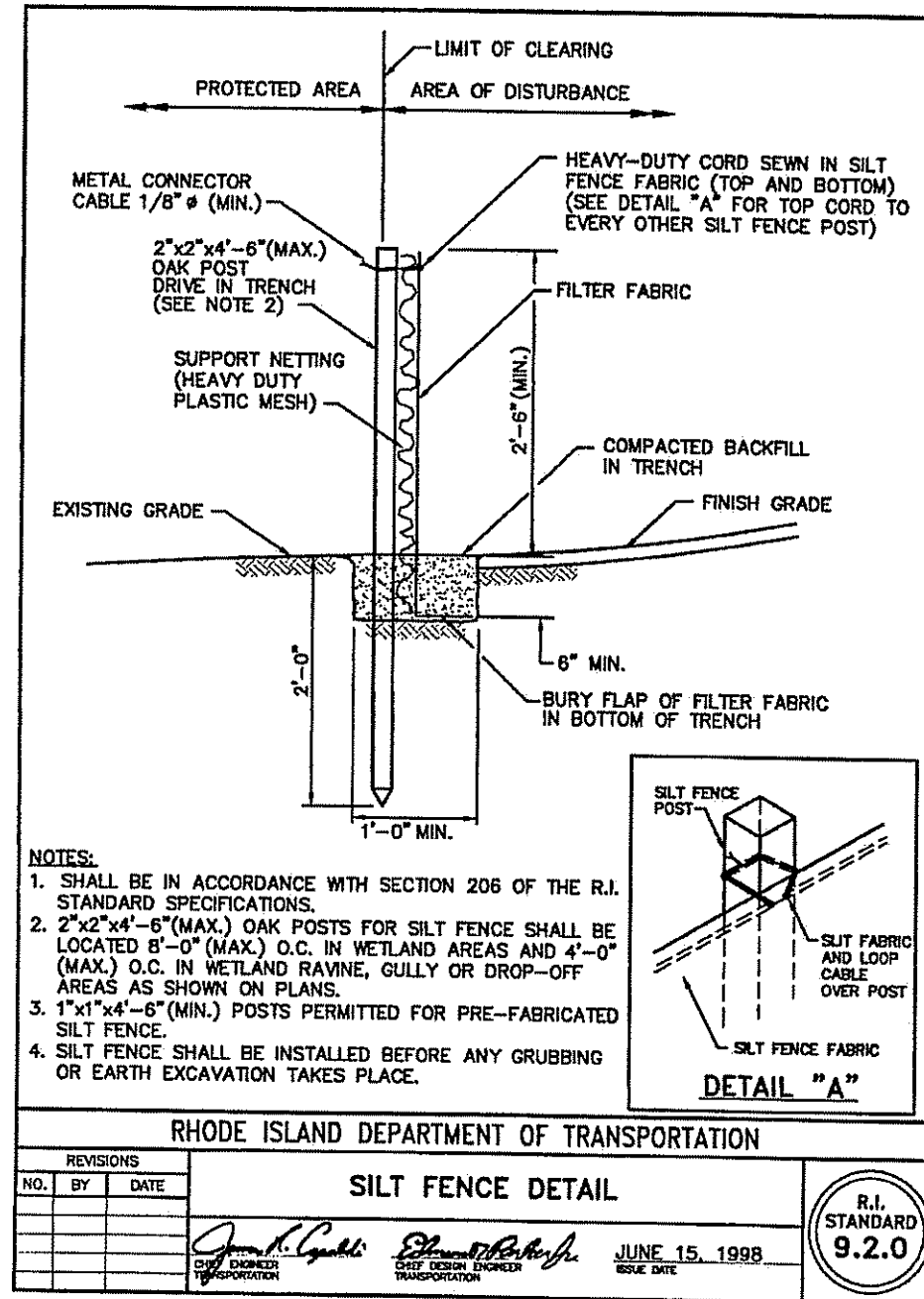
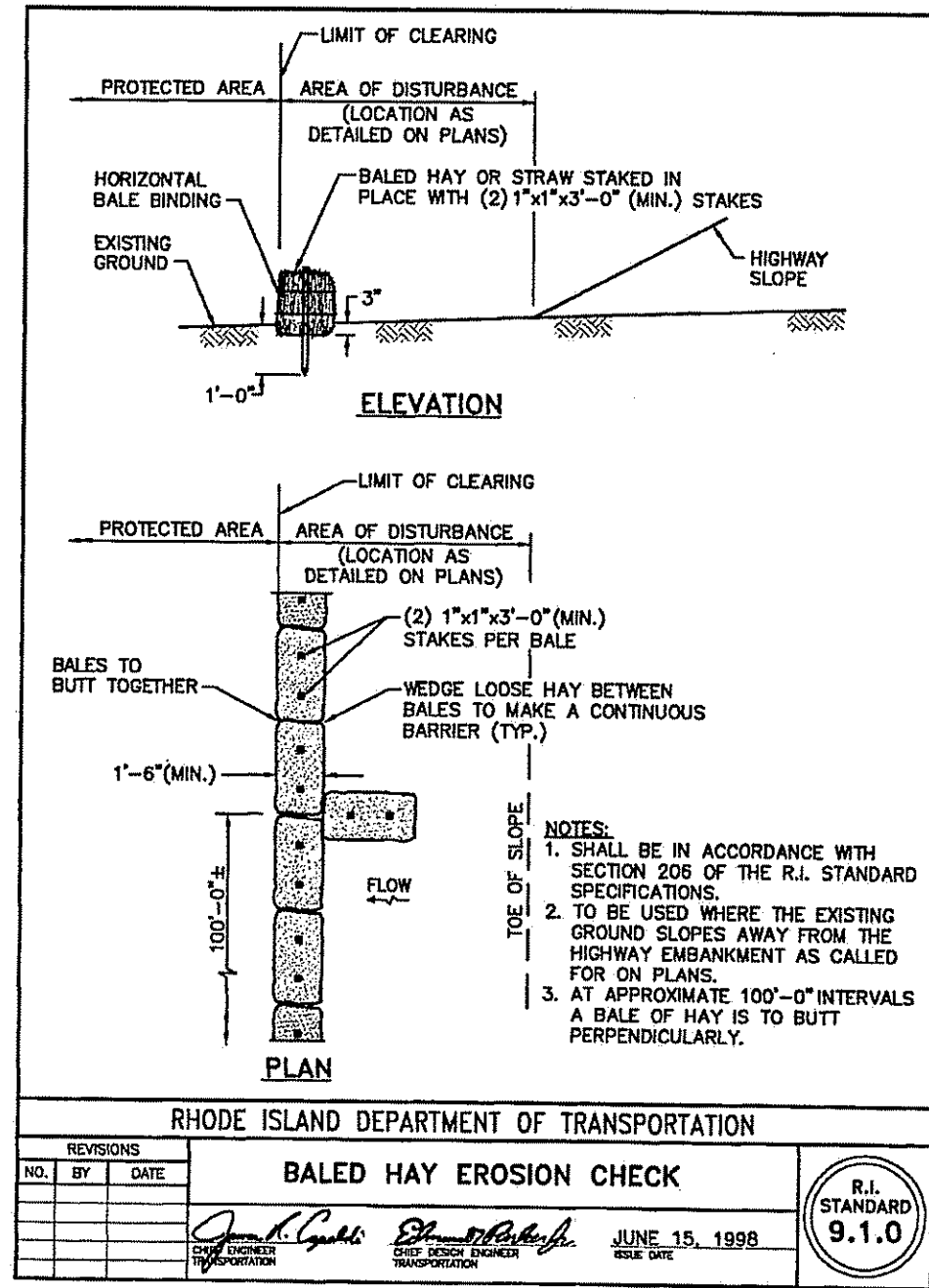
DESIGNED BY:	GAA
DRAWN BY:	WMLJR
CHECKED BY:	JAC
DATE:	FEBRUARY 5, 2013
PROJECT NO:	04-85H

PRELIMINARY, NOT FOR CONSTRUCTION

GRADING & DRAINAGE PLAN II

SHEET C-7 OF 10

Q:\04-85 - IMS (International Mapping & Survey Corp.)\04-85h Ben Dubel\ACAD\PlanSet\DUBE [PLANSET].dwg Feb. 28, 2013 3:32pm



PINE HARBOR ESTATES
 A RURAL RESIDENTIAL COMPOUND
 2748 WALLUM LAKE RD
 BURRILLVILLE, RHODE ISLAND
 AP 17, LOT 43

REVISIONS:

NO.	DATE	DESCRIPTION
1	2/26/2013	RIDEM COMMENTS

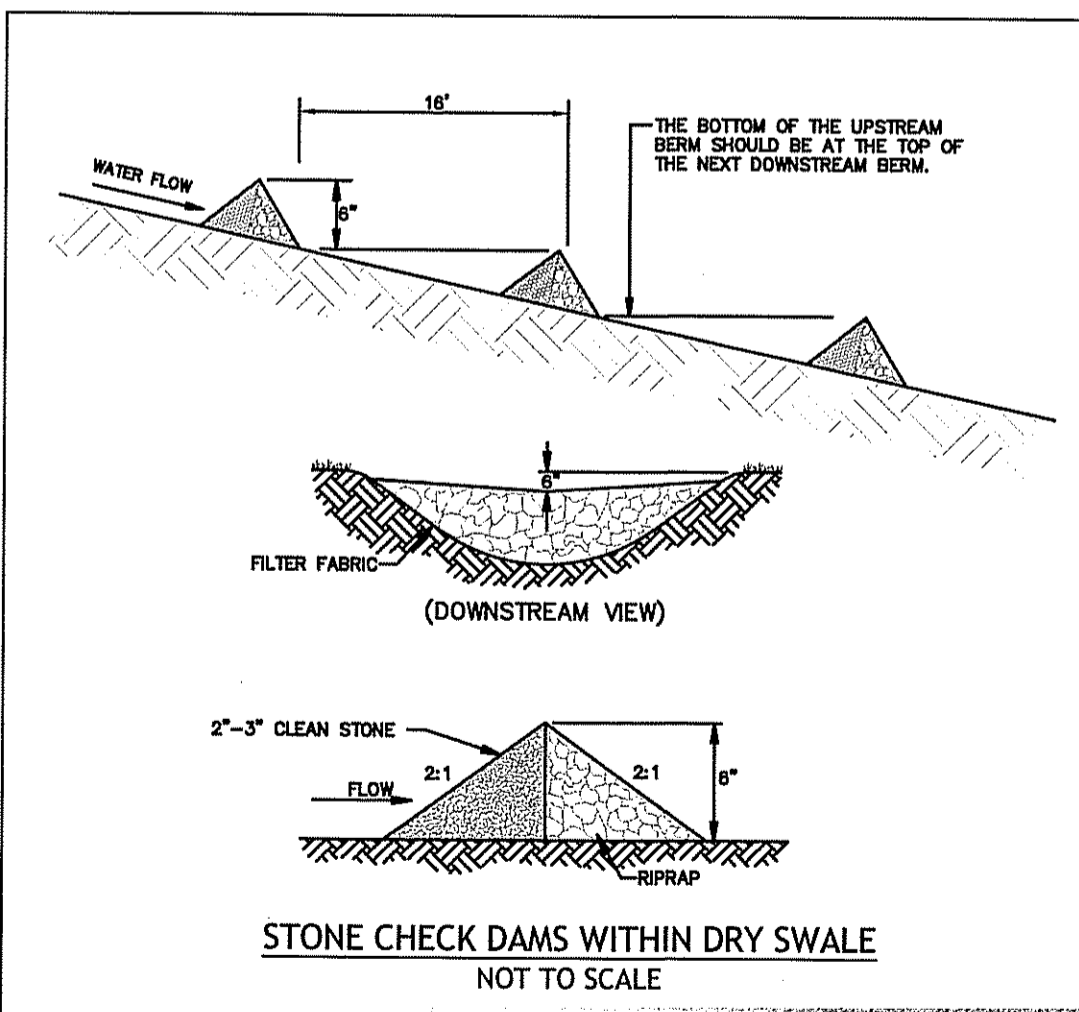
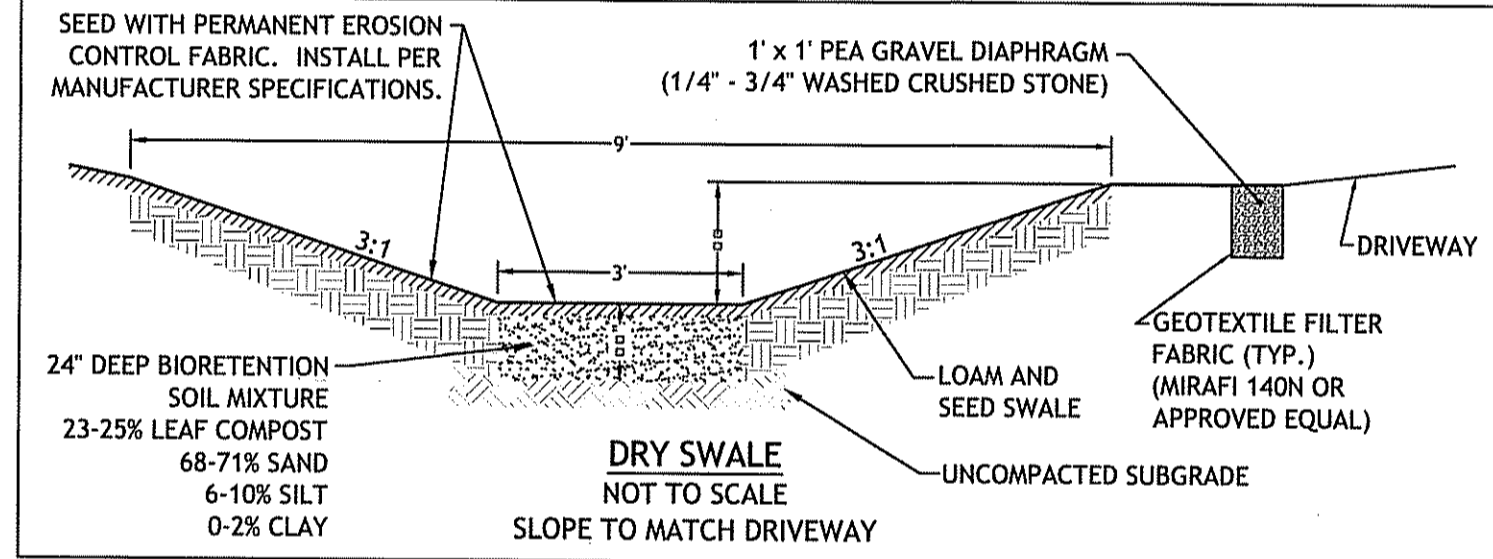
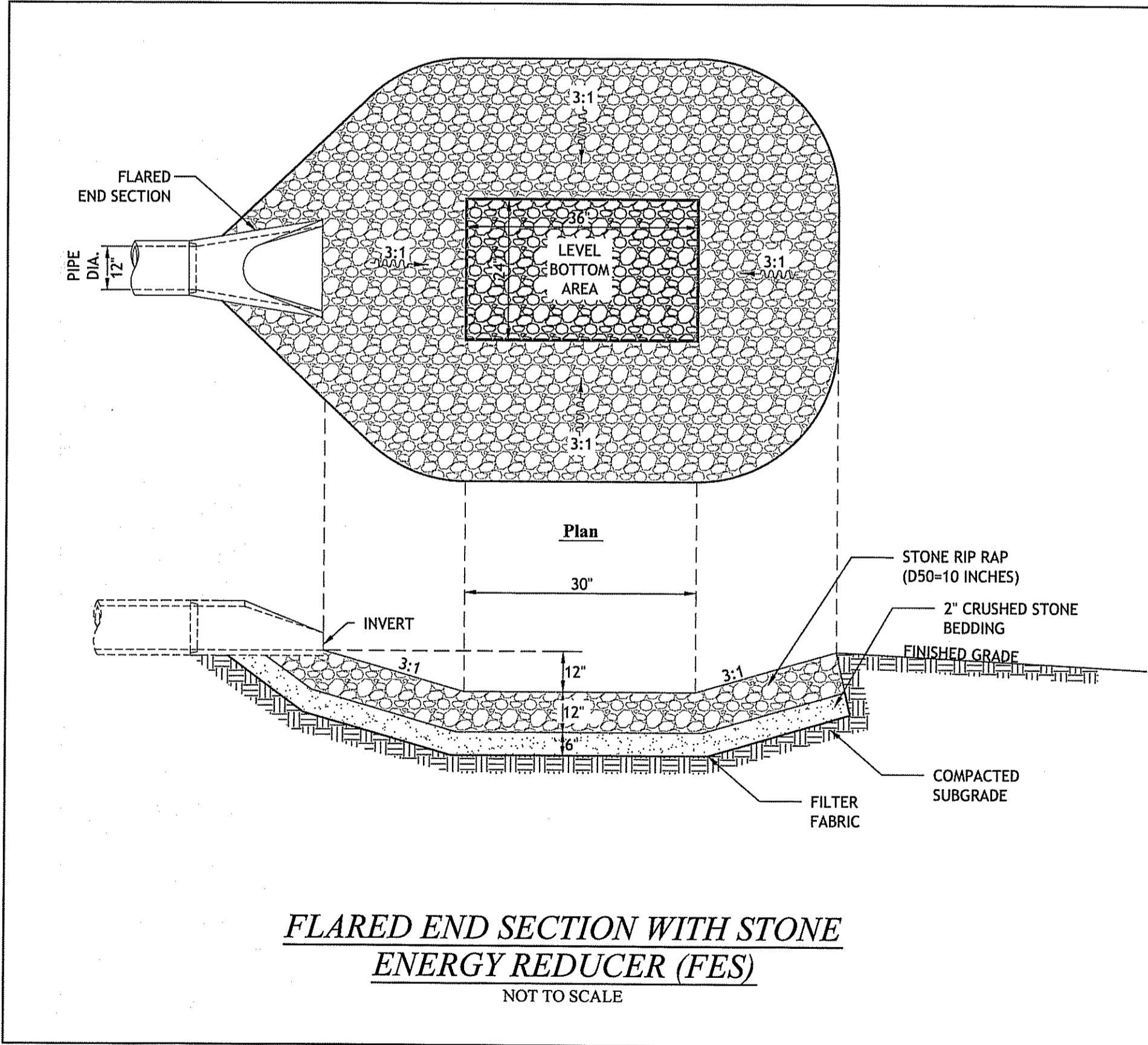
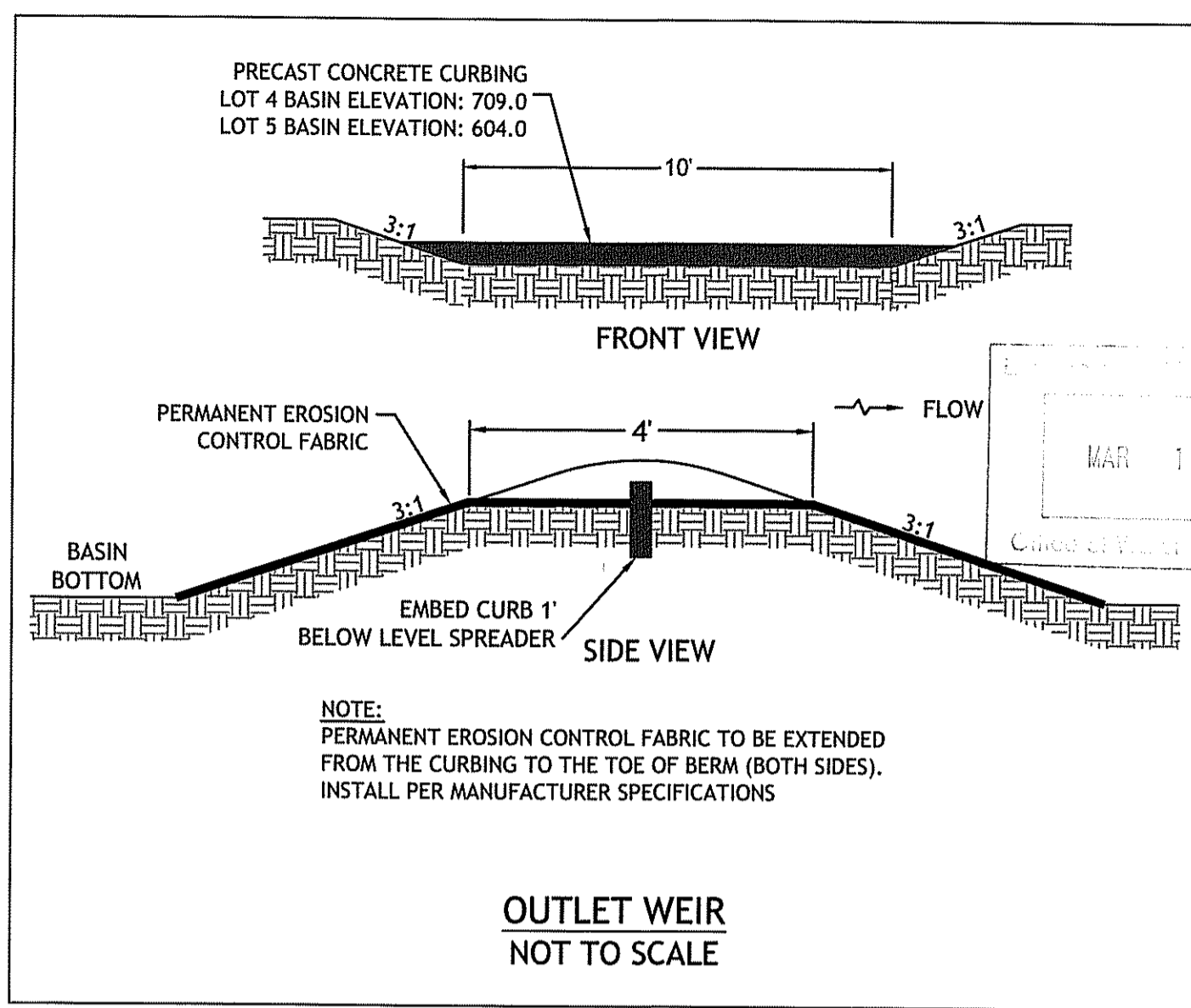
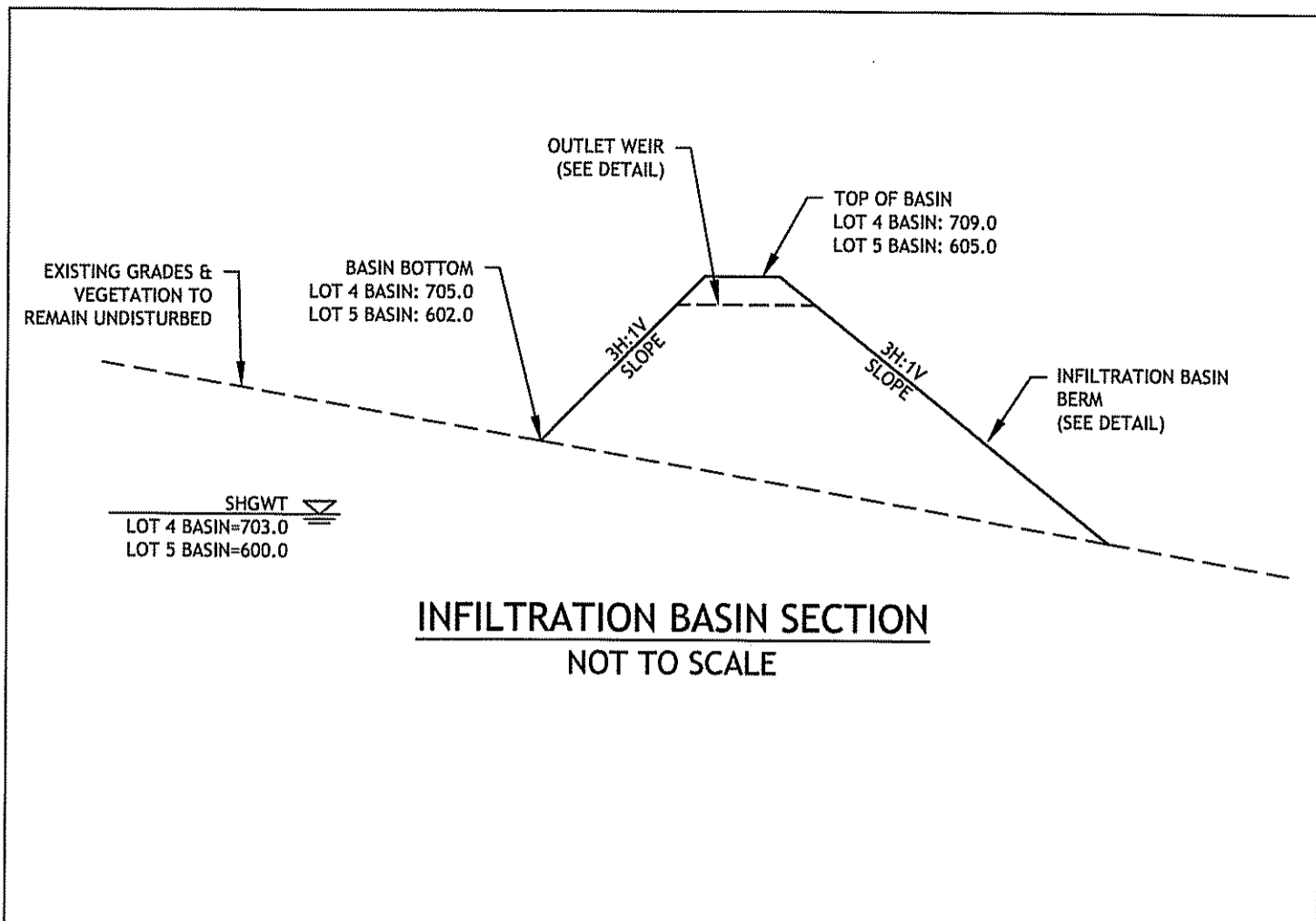
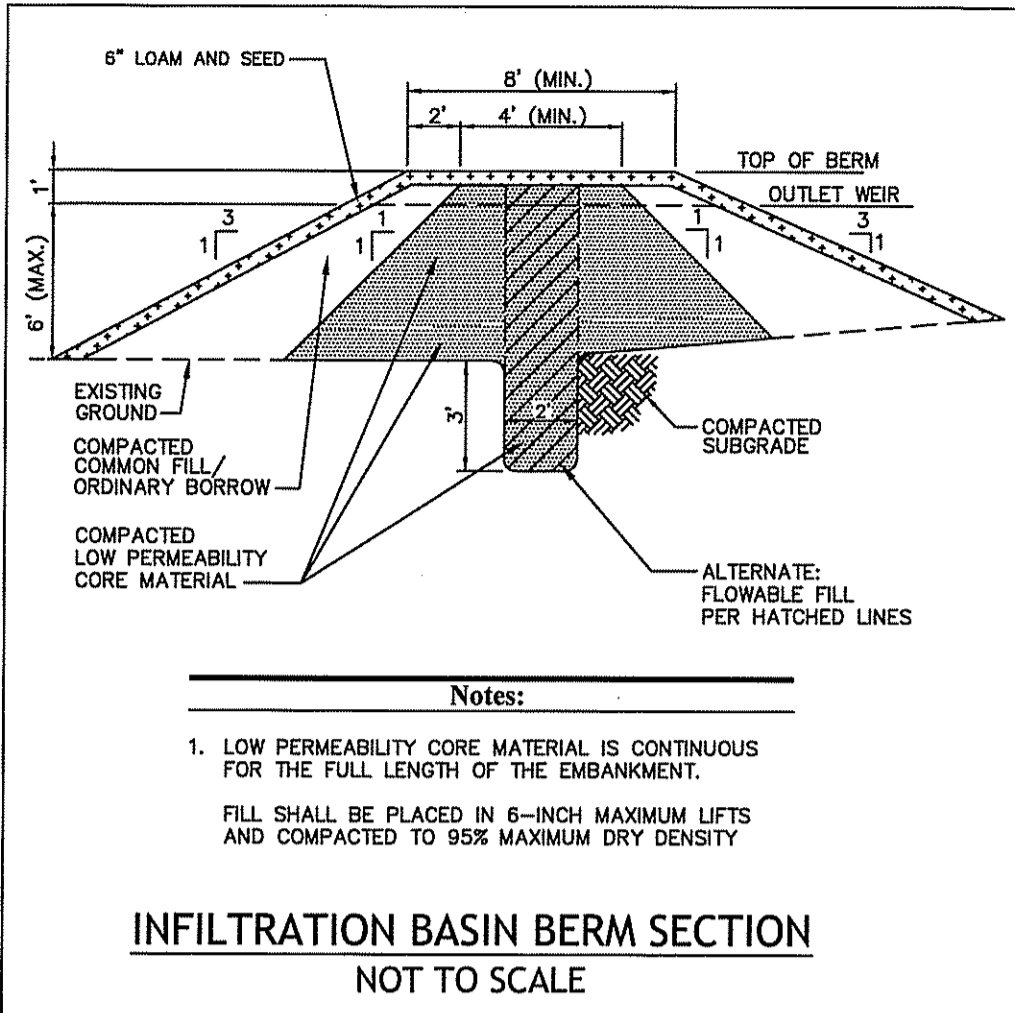
DESIGNED BY: GAA
 DRAWN BY: WMLJR
 CHECKED BY: JAC
 DATE: FEBRUARY 5, 2013
 PROJECT NO: 04-85b

PRELIMINARY, NOT FOR CONSTRUCTION

SITE DETAILS I

SHEET C-8 OF 10

Q:\04-85 - IMS (International Mapping & Survey Corp.)\04-85b Ben Dube\ACAD\Plan\set\UBBE [PLANSET].dwg Feb. 28, 2013 1:57pm



ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED MAR 19 2013 FILE # 12-0098
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLAN MUST BE AT CONSTRUCTION SITE

JOE
 JOE CASALI ENGINEERING, INC.
 CIVIL - SITE DEVELOPMENT - TRANSPORTATION
 DRAINAGE - WETLANDS - I.D.S. - TRAFFIC - FLOODPLAIN
 300 POST ROAD, WARWICK, RI 02888
 (401) 844-1330 (401) 844-1313 FAX WWW.JOEENGINEERING.COM

JOSEPH A. CASALI
 No. 250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

PINE HARBOR ESTATES
 A RURAL RESIDENTIAL COMPOUND
 2748 WALLUM LAKE RD
 BURRILLVILLE, RHODE ISLAND
 AP 17, LOT 43

REVISIONS:

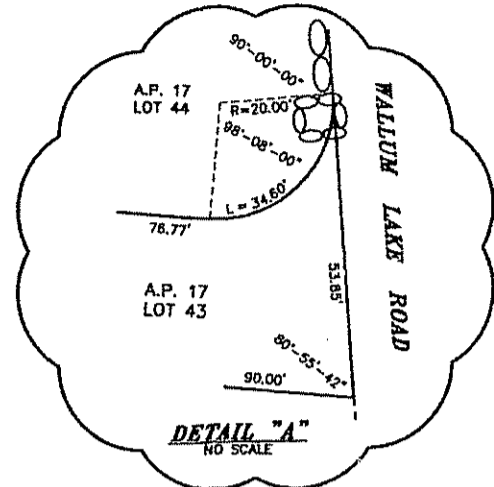
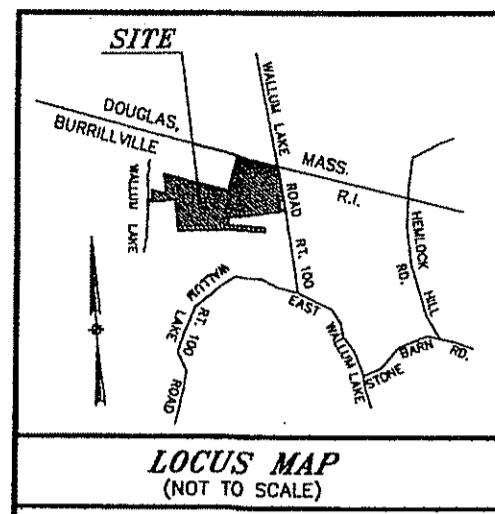
NO.	DATE	DESCRIPTION
1	2/26/2013	RIDEM COMMENTS

DESIGNED BY: GAA
 DRAWN BY: WMLJR
 CHECKED BY: JAC
 DATE: FEBRUARY 5, 2013
 PROJECT NO: 04-85h

PRELIMINARY, NOT FOR CONSTRUCTION

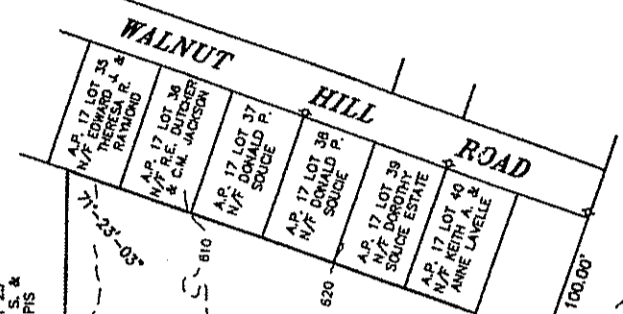
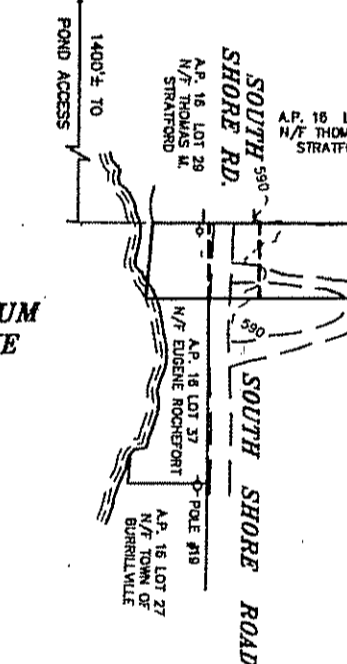
SITE DETAILS II

SHEET C-9 OF 10



MAR 1 2013
Office of Water Resources

- LEGEND:**
- EXISTING CONTOUR ——— 600
 - EXISTING EDGE OF PAVEMENT ———
 - EDGE OF EXISTING GRAVEL CARTRIDGE ———
 - EXISTING STONE WALL ———
 - EXISTING UTILITY POLE ○
 - DRILL HOLE ● D.H.
 - GROUNDWATER TABLE TEST HOLE ■ 06-01



- NOTES:**
- 1) OWNER/APPLICANT: A.P. 17 LOT 43
BENOIT DUBE
520 PROVIDENCE STREET
WOODSOCKET, RI 02895
 - 2) THIS PARCEL HAS RIDEM APPROVED GROUNDWATER TABLE TESTS DATED 10/24/06.
 - 3) THE WETLAND EDGES SHOWN HEREON HAVE BEEN VERIFIED BY RIDEM'S FRESHWATER WETLANDS PROGRAM, APPLICATION NO. 06-0254, DATED AUGUST 22, 2006.

- REFERENCES:**
- 1) SEE RECORDED PLAN ENTITLED: "FINAL - MINOR SUBDIVISION 'ROCHEFORT/VITELLO DIVISION' FOR EUGENE ROCHEFORT, A.P. 34 LOT 50 and EUGENE VITELLO, A.P. 17 LOT 43 on WALLUM LAKE ROAD & SOUTH SHORE ROAD IN BURRILLVILLE, RI, DATED 7/15/02, PREPARED BY INTERNATIONAL MAPPING & SURVEYING CORP. AND FILED IN THE TOWN OF BURRILLVILLE, RI.
 - 2) SEE RECORDED PLAN ENTITLED: "MINOR SUBDIVISION FOR EUGENE & JACQUELINE VITELLO on WALLUM LAKE ROAD IN BURRILLVILLE, RI A.P. 17 LOT 43, DATED 2/8/98, PREPARED BY INTERNATIONAL MAPPING & SURVEYING CORP. AND FILED IN PLAN BOOK 24 PAGE 6 IN THE TOWN OF BURRILLVILLE, RI.
 - 3) SEE RECORDED PLAN ENTITLED: "PLAN SHOWING INCREASE OF AREA FOR LOT 1EV FOR EUGENE & JACQUELINE VITELLO on WALLUM LAKE ROAD IN BURRILLVILLE, RI, DATED 10/26/94, PREPARED BY INTERNATIONAL MAPPING & SURVEYING CORP. AND FILED IN THE TOWN OF BURRILLVILLE, RI.
 - 4) SEE UNRECORDED PLANS ENTITLED: "RIGHT OF WAY PLAN TOWN OF BURRILLVILLE SOUTH SHORE ROAD BURRILLVILLE RHODE ISLAND", DATED APRIL 1, 1999 AND PREPARED BY WATERMAN ENGINEERING CO.

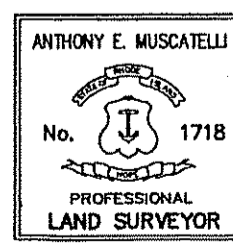
ZONING F5

MINIMUMS:	
AREA	5 ACRES
FRONTAGE	450'
SETBACKS:	
FRONT	40'
SIDE	15'
REAR	40'

CERTIFICATION:
THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BOUNDARY SURVEY CLASS I
TOPOGRAPHIC SURVEY CLASS II

Anthony E. Muscatelli 5-11-12
REGISTERED PROFESSIONAL LAND SURVEYOR DATE



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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1" = 100'

INTERNATIONAL MAPPING & SURVEYING CORP.
LAND SURVEYING CIVIL ENGINEERING PHOTOGRAHIC MAPPING
19 INDUSTRIAL DRIVE, SMITHFIELD, R.I. 02917 (401) 232-2620

EXISTING CONDITIONS PLAN
"PINE HARBOR ESTATES"
for BENOIT J. DUBE
on WALLUM LAKE ROAD & SOUTH SHORE ROAD
in BURRILLVILLE, RI
A.P. 17 LOT 43

NO. ACCESS EASEMENT	9/9/12	1
REVISIONS	DATE	NO.
DRAWN BY	P.A.K.	
CKD. BY	K.R.R.	
APPRD. BY	A.E.M.	
DATE	05/21/11	
SCALE	1"=100'	
SHEET	OF	
DWG. NO.	050304-EX	