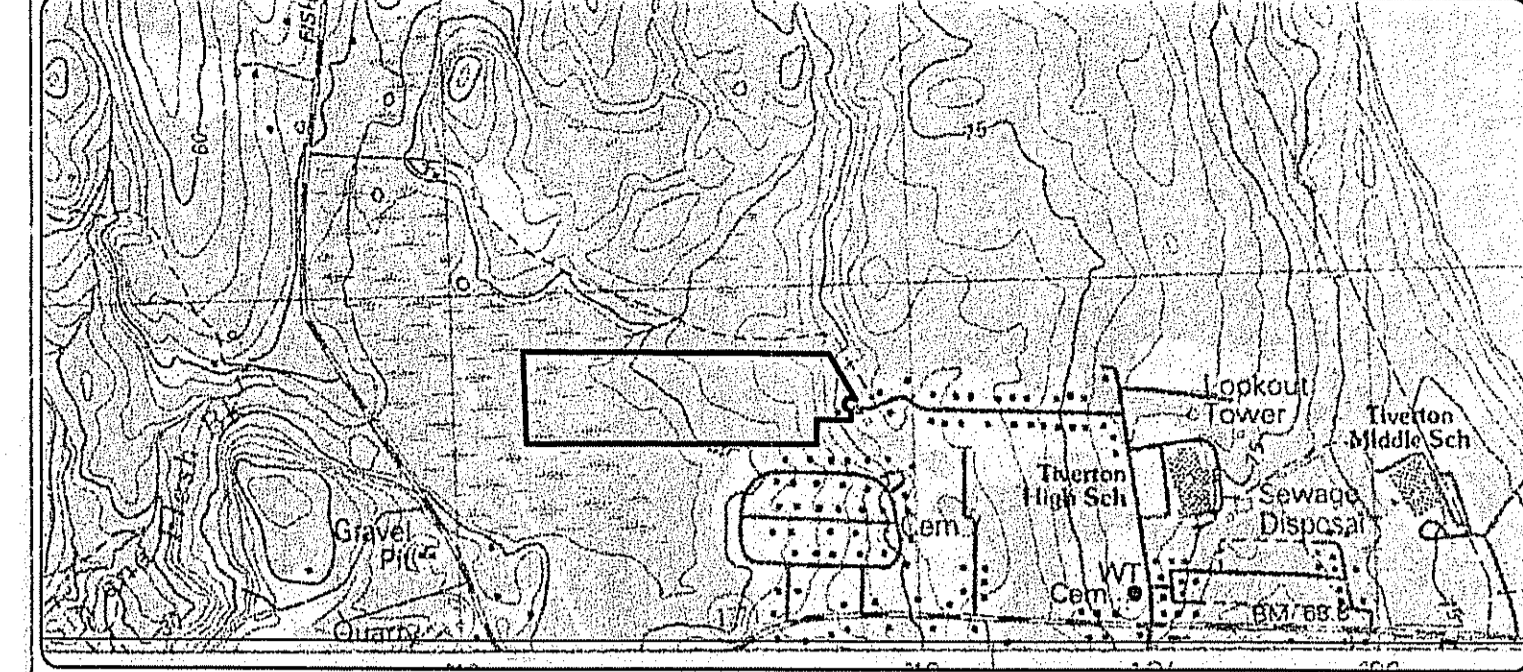


313-107
N/F
JASON &
ALYSSA POLOFSKY
1390 FISH ROAD
TIVERTON, RI
BK 663 PG 8

LOCATION (NOT TO SCALE) MAP



GENERAL NOTES:

1. PARCEL SHOWN IS DESIGNATED AS LOT 620 ON TIVERTON ASSESSORS MAP 219.
2. OWNER OF RECORD: CARLSON PROPERTIES
7 SHADOW FARM ROAD
WAKEFIELD, R.I. 02879
3. WETLANDS FLAGGED BY ECOSYSTEM SOLUTIONS, INC. PREVIOUS RIDEM PERMIT # II-0211
4. WETLAND EDGE OF FRESHWATER WETLANDS WAS VERIFIED BY RIDEM UNDER DEM WETLAND APPLICATION #II-0211.
5. PLAN REFERENCES:
A.) PLAN FOR HENRY J. CHABOT AND JOAN B. CHABOT, AND LESLIE POLDERVAART; DATED OCTOBER 31, 1989, BY ISLAND ENGINEERING; RECORDED IN THE TIVERTON LAND EVIDENCE RECORDS PLAT BOOK 18 PAGE 65.
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6. ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
7. PROPOSED LOTS ARE IN ZONING DISTRICT : RURAL RESIDENTIAL YIELD
"R-60"
MINIMUM AREA = 25,000 S.F.
MINIMUM FRONTAGE AT STREET = 50'
MINIMUM LOT WIDTH REQUIRED = 120'
MINIMUM SETBACKS - FRONT = 35'
SIDE = 20'
REAR = 35'
8. THE MOST WESTERLY LINE COMPILED FROM PLANS OF RECORD AND IS SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.

JAN 23 2013

LEGEND

PROPOSED BOUND	■	STONE WALL	⊞
EXISTING BOUND	■	UTILITY POLE	⊞
IRON ROD	●	EXISTING CONTOURS	- - - -
DRILL HOLE	⊙	GAS LINE	- G - - -
RR SPIKE	⊙	OVERHEAD WIRES	- OW - - -
DRAIN MANHOLE	⊙	GAS VALVE	⊞
CATCH BASIN	□		

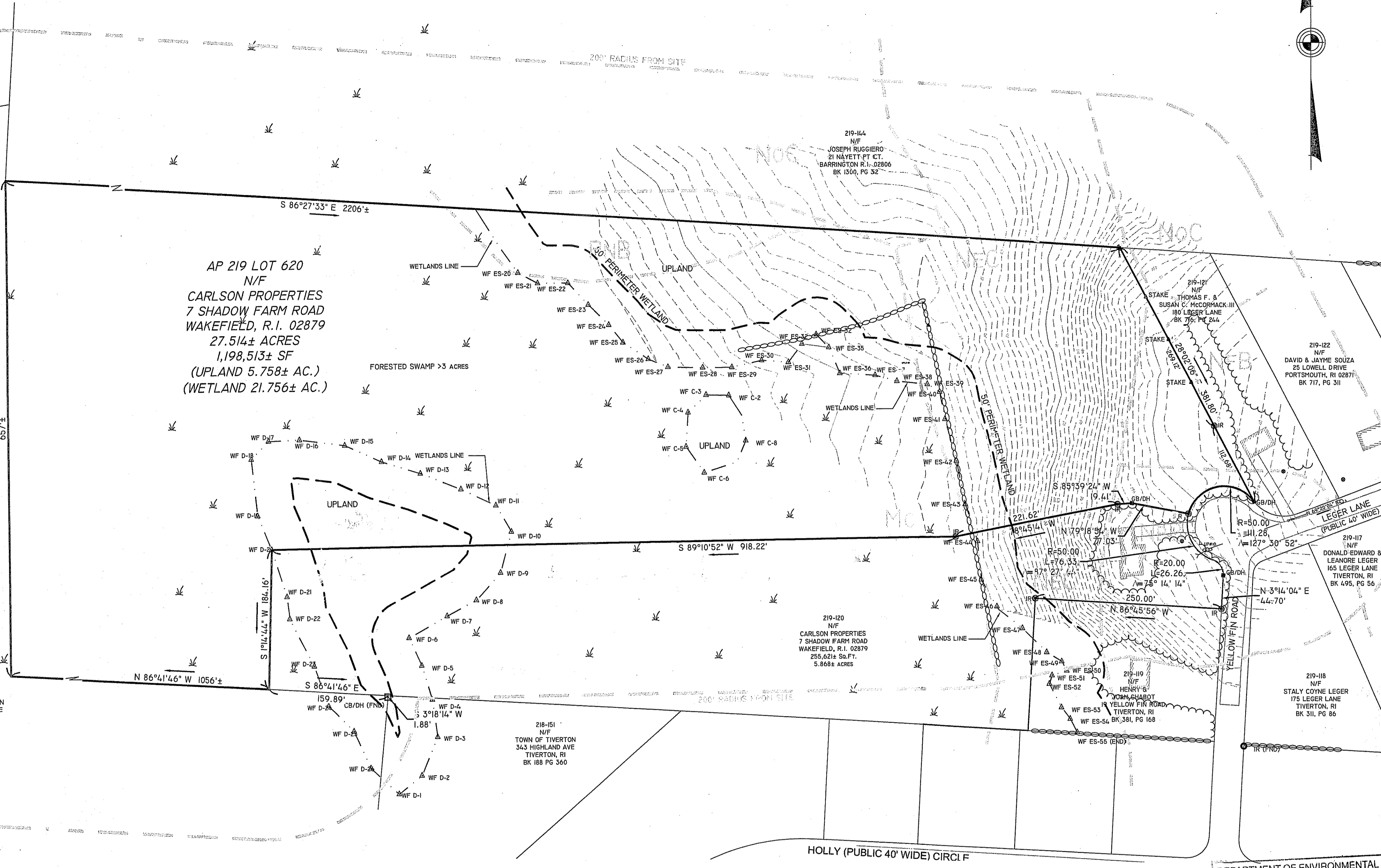
CERTIFICATION:

THIS SURVEY AND PLAN CONFORM TO A CLASS I SURVEY FOR PROPERTY LINE, FORESTED WETLAND AREAS CONFORM TO A CLASS II SURVEY EXCEPT AS NOTED AND CLASS III FOR PLANIMETRICS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

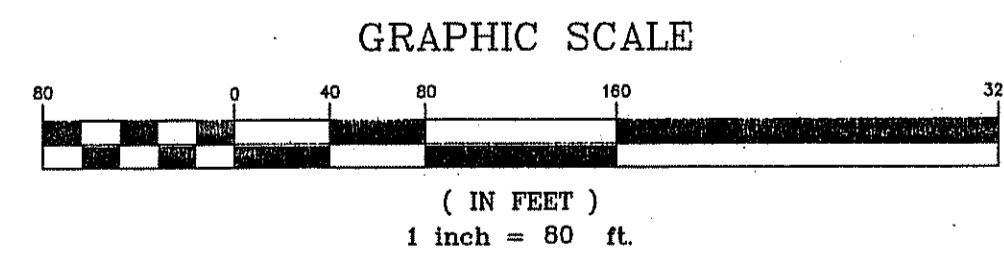
BY: *[Signature]* 01-18-2013 DATE
REGISTERED PROFESSIONAL LAND SURVEYOR

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 15 2013 FILE # 12-0160
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE.

Nancy L. Freeman



AP 219 LOT 620
N/F
CARLSON PROPERTIES
7 SHADOW FARM ROAD
WAKEFIELD, R.I. 02879
27.514± ACRES
1,198,513± SF
(UPLAND 5.758± AC.)
(WETLAND 21.756± AC.)



SOILS INDEX

- Mc—MANSFIELD VERY STONY MUCKY SILT LOAM
- NbB—NARRAGANSETT VERY STONY SILT LOAM
- NEC—NEWPORT SILT LOAM
- NFB—NEWPORT VERY STONY SILT LOAM
- NoC—NEWPORT EXTREMELY STONY SILT LOAM
- PNB—PITTSBURY VERY STONY SILT LOAM

EXISTING CONDITIONS PLAN

"PRELIMINARY PLAN - LEGER LANE"
MINOR SUBDIVISION - RURAL RESIDENTIAL COMPOUND
225 LEGER LANE, TIVERTON, RHODE ISLAND
ASSESSORS MAP 219 LOT 620

Applicant: **DAN CARLSON**
7 SHADOW FARM WAY, WAKEFIELD, RI 02879

Job # 11-046 Scale: 1"=80' Drawn By: SCA Date: SEPT. 19, 2012

Revised: January 18, 2013 DEM Comments

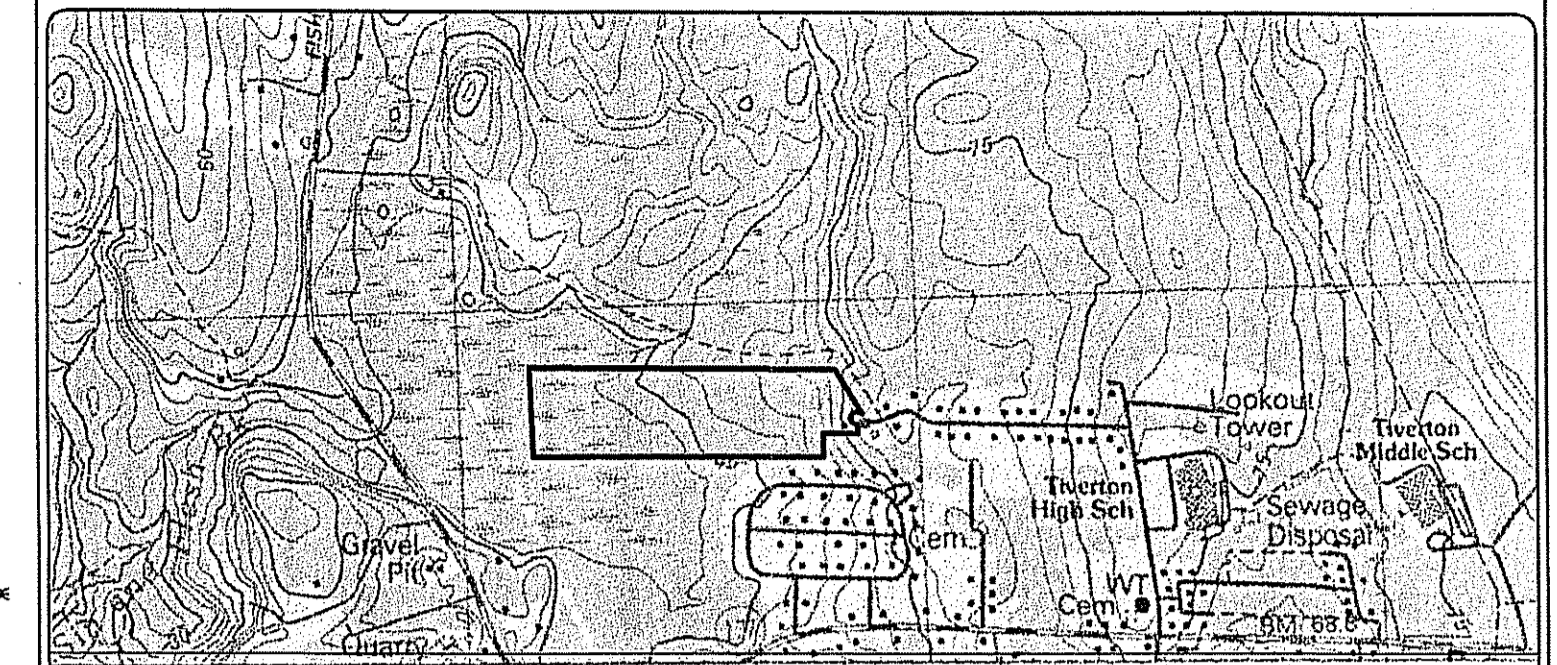
EDWARD J. OBRIEN
No. 1926
PROFESSIONAL LAND SURVEYOR
PROFESSIONAL SEAL

INSITE
Engineering Services, LLC
PROFESSIONAL ENGINEERS AND LAND SURVEYORS
INSITE PROFESSIONAL COMPLEX, SUITE 1
1539 FALL RIVER AVENUE
SECONK, MA 02771
PHONE: (508) 336-4500
FAX: (508) 336-4558

SHEET 1 OF 5

I:\11-046 LEGER LANE - TIVERTON - CARLSON\CADD\11-046 SUB PLAN.DWG, EXISTING CONDITIONS PLAN, 1/22/2013 11:55:30 AM, I1

LOCATION (NOT TO SCALE) MAP



GENERAL NOTES:

- PARCEL SHOWN IS DESIGNATED AS LOT 620 ON TIVERTON ASSESSORS MAP 219.
- OWNER OF RECORD: CARLSON PROPERTIES
7 SHADOW FARM ROAD
WAKEFIELD, R.I. 02879
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- ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
- PROPOSED LOTS ARE IN ZONING DISTRICT : RURAL RESIDENTIAL YIELD

"R-60"	MINIMUM AREA	= 25,000 S.F.
	MINIMUM FRONTAGE AT STREET	= 50'
	MINIMUM LOT WIDTH REQUIRED	= 120'
	MINIMUM SETBACKS -	FRONT = 35'
		SIDE = 20'
		REAR = 35'
- THE MOST WESTERLY LINE COMPILED FROM PLANS OF RECORD AND IS SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.
- PROPOSED LOTS SUITABLE / UNSUITABLE BREAKDOWN:

	TOTAL AREA	WETLANDS	REMAINING SUITABLE
LOT 1	11.340± AC.	9.612± AC.	1.728± AC.
LOT 2	7.934± AC.	6.489± AC.	1.445± AC.
LOT 3	8.240± AC.	5.656± AC.	2.584± AC.
- THE PROPOSED "MARGARET DRIVE" SHALL REMAIN PRIVATE AND WILL RECEIVE NO TOWN SERVICES. ALL FUTURE MAINTENANCE AND REPAIRS WILL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 1, 2 AND 3.
- TRASH MUST BE BROUGHT TO THE END OF THE PRIVATE ROAD AT LEGER LANE FOR TOWN COLLECTION.
- THERE WILL NO FURTHER SUBDIVISION ALLOWED.
- PROPOSED FIRE CISTERN TO MEET REQUIREMENTS OF THE TIVERTON FIRE DEPT.

JAN 23 2013

LEGEND

PROPOSED BOUND	■	STONE WALL	⊘⊘⊘⊘⊘⊘
EXISTING BOUND	■	UTILITY POLE	⊕
IRON ROD	●	EXISTING CONTOURS	---38---
DRILL HOLE	⊙	GAS LINE	—G—
RR SPIKE	⊙	OVERHEAD WIRES	---OW---
DRAIN MANHOLE	⊙	GAS VALVE	⊕
CATCH BASIN	□		

CERTIFICATION:

THIS SURVEY AND PLAN CONFORM TO A CLASS I SURVEY FOR PROPERTY LINE, FORESTED WETLAND AREAS CONFORM TO A CLASS II SURVEY EXCEPT AS NOTED AND CLASS III FOR PLANIMETRICS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.
 BY: *[Signature]* 9-18-2013
 REGISTERED PROFESSIONAL LAND SURVEYOR DATE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 15 2013 FILE # 12-0160
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION

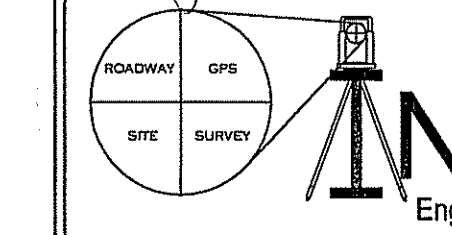
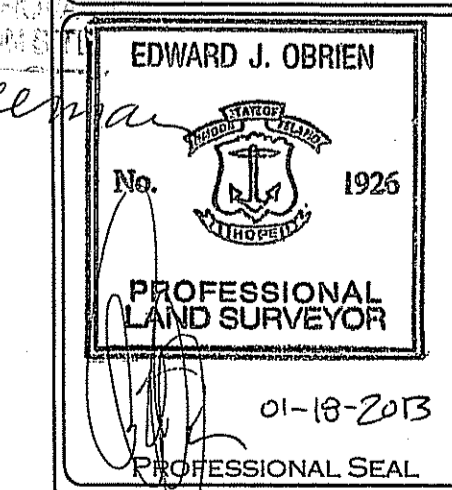
SUBDIVISION PLAN

"PRELIMINARY PLAN - LEGER LANE"
 MINOR SUBDIVISION - RURAL RESIDENTIAL COMPOUND
 225 LEGER LANE, TIVERTON, RHODE ISLAND
 ASSESSORS MAP 219 LOT 620

Applicant: DAN CARLSON
 7 SHADOW FARM WAY, WAKEFIELD, RI 02879

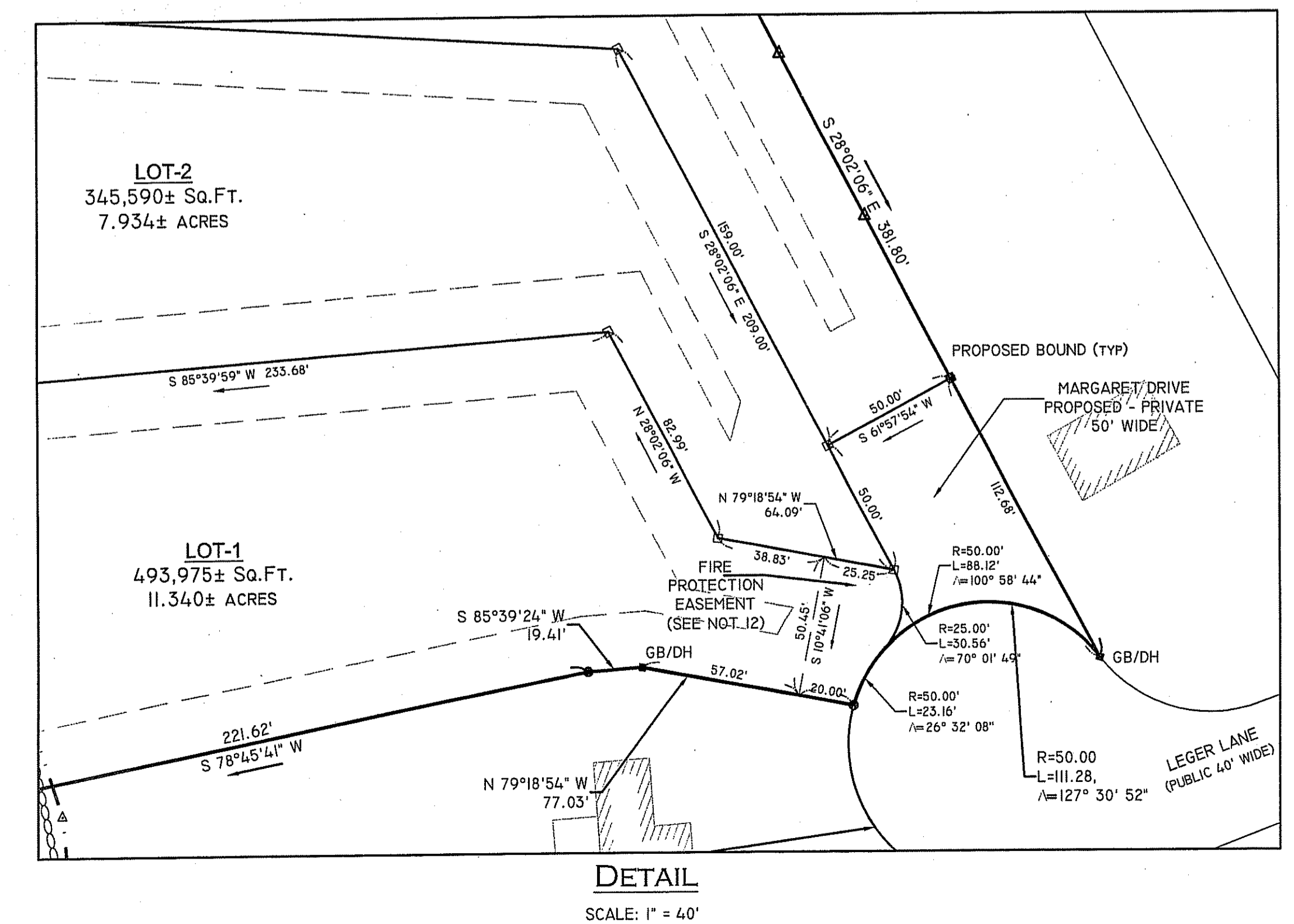
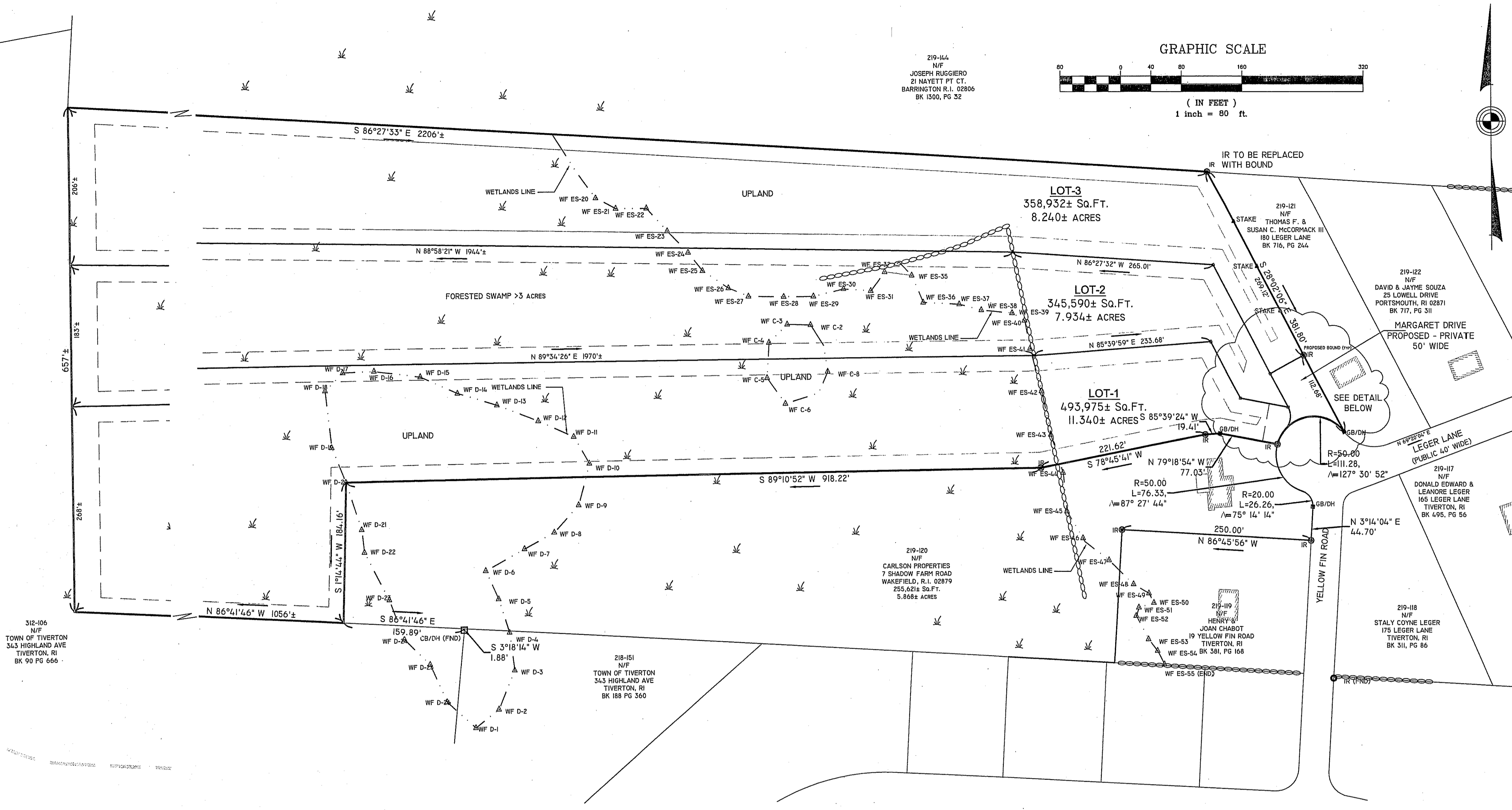
Job # 11-046 Scale: 1"=20' Drawn By: SCA Date: SEPT. 19, 2012

Revised: January 18, 2013 DEM Comments

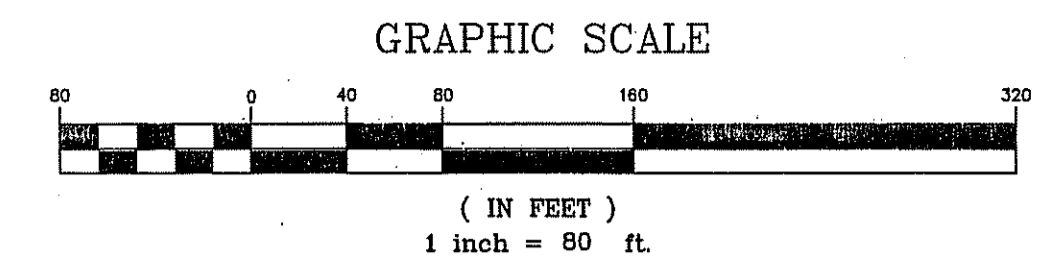


PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 INSITE PROFESSIONAL COMPLEX, SUITE 1
 1539 FALL RIVER AVENUE
 SEEKONK, MA 02771
 PHONE: (508) 336-4500
 FAX: (508) 336-4558

SHEET 2 OF 5



DETAIL
 SCALE: 1" = 40'



219-114
 N/F
 JOSEPH RUGGIERO
 21 NAYETT PT. CT.
 BARRINGTON R.I. 02806
 BK 1500, PG 32

219-121
 N/F
 STAKE THOMAS F. &
 SUSAN C. MCCORPACK III
 180 LEGER LANE
 BK 716, PG 244

219-122
 N/F
 DAVID & JAYME SOUZA
 25 LOWELL DRIVE
 PORTSMOUTH, RI 02871
 BK 717, PG 311

219-117
 N/F
 DONALD EDWARD &
 LEANDRE LEGER
 165 LEGER LANE
 TIVERTON, RI
 BK 495, PG 66

219-118
 N/F
 STALY COYNE LEGER
 175 LEGER LANE
 TIVERTON, RI
 BK 311, PG 86

218-151
 N/F
 TOWN OF TIVERTON
 343 HIGHLAND AVE
 TIVERTON, RI
 BK 189 PG 360

219-120
 N/F
 CARLSON PROPERTIES
 7 SHADOW FARM ROAD
 WAKEFIELD, R.I. 02879
 255,621± SQ.FT.
 5.868± ACRES

312-106
 N/F
 TOWN OF TIVERTON
 343 HIGHLAND AVE
 TIVERTON, RI
 BK 90 PG 669

11-046 LEGER LANE - TIVERTON - CARLSON CADDO 11-046 SUB SUIT PLAN.DWG, SUBDIVISION-PLAN, 1/22/2013 11:55:34 AM, I1



State of Rhode Island Department of Environmental Management
On-site Wastewater Treatment System Program
Phone: 401-222-4003
Fax: 401-222-4177

APPLICATION NUMBER: 225-1-016

PROJECT: PRELIMINARY PLAN - LAGER LANE

OWNER: DAN CARLSON

ADDRESS: 7 SHADOW FARM ROAD, WAKEFIELD, RI 02879

DATE: FEB 15 2013

APPLICANT: DAN CARLSON

DESIGNER: INSITE ENGINEERING, LLC

SCALE: 1" = 20'

DATE: SEPT 19, 2012

REVISIONS:

REVISION 1: 1-18-13

REVISION 2: 1-18-13

REVISION 3: 1-18-13

REVISION 4: 1-18-13

REVISION 5: 1-18-13

REVISION 6: 1-18-13

REVISION 7: 1-18-13

REVISION 8: 1-18-13

REVISION 9: 1-18-13

REVISION 10: 1-18-13

REVISION 11: 1-18-13

REVISION 12: 1-18-13

REVISION 13: 1-18-13

REVISION 14: 1-18-13

REVISION 15: 1-18-13

REVISION 16: 1-18-13

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REVISION 19: 1-18-13

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REVISION 37: 1-18-13

REVISION 38: 1-18-13

REVISION 39: 1-18-13

REVISION 40: 1-18-13

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REVISION 44: 1-18-13

REVISION 45: 1-18-13

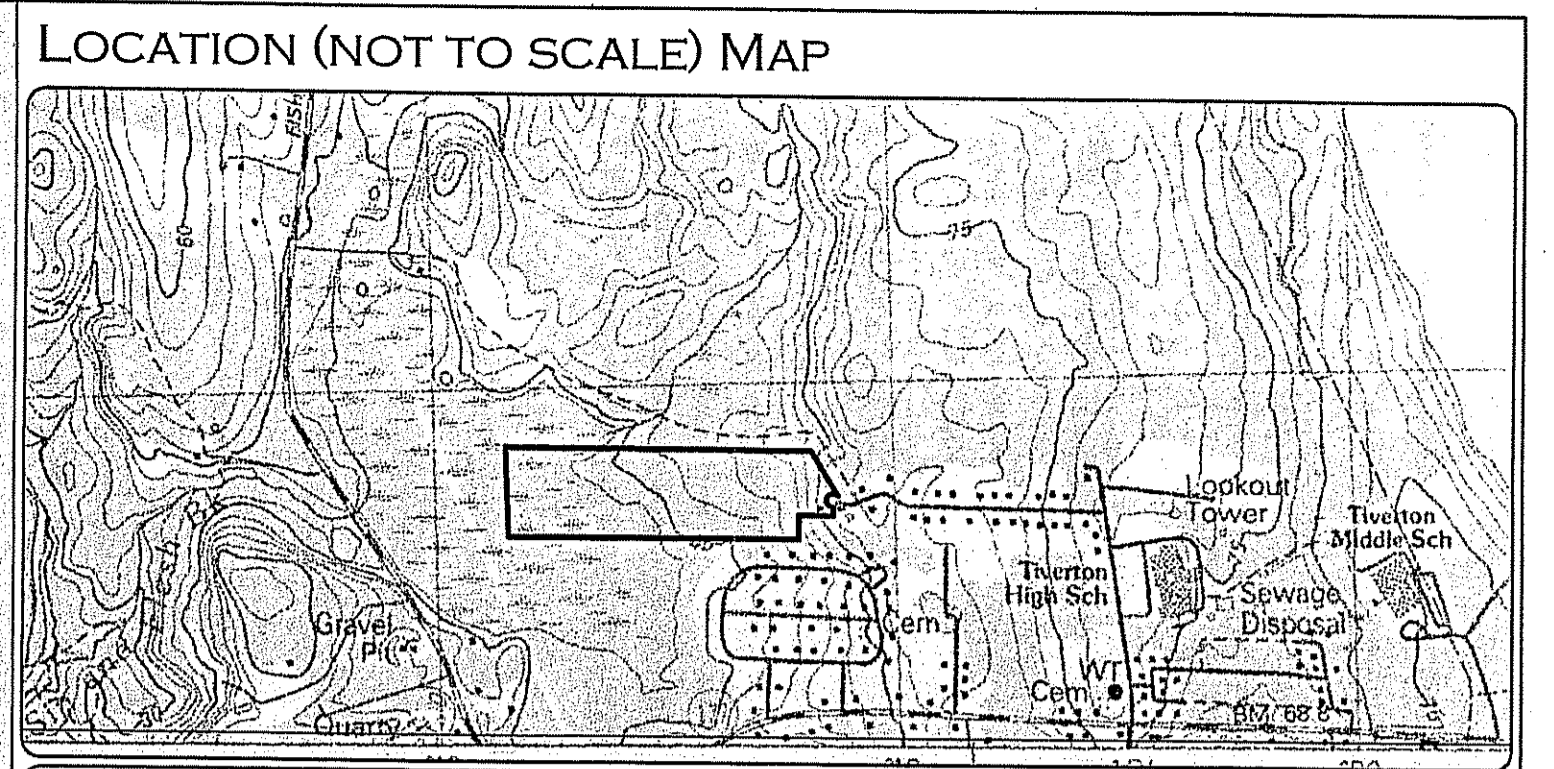
REVISION 46: 1-18-13

REVISION 47: 1-18-13

REVISION 48: 1-18-13

REVISION 49: 1-18-13

REVISION 50: 1-18-13



- GENERAL NOTES:**
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State of Rhode Island Department of Environmental Management
On-site Wastewater Treatment System Program
Phone: 401-222-4003
Fax: 401-222-4177

APPLICATION NUMBER: 225-1-016

PROJECT: PRELIMINARY PLAN - LAGER LANE

OWNER: DAN CARLSON

ADDRESS: 7 SHADOW FARM ROAD, WAKEFIELD, RI 02879

DATE: FEB 15 2013

APPLICANT: DAN CARLSON

DESIGNER: INSITE ENGINEERING, LLC

SCALE: 1" = 20'

DATE: SEPT 19, 2012

REVISIONS:

REVISION 1: 1-18-13

REVISION 2: 1-18-13

REVISION 3: 1-18-13

REVISION 4: 1-18-13

REVISION 5: 1-18-13

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REVISION 48: 1-18-13

REVISION 49: 1-18-13

REVISION 50: 1-18-13

SOIL LOGS

LEGEND

PROPOSED BOUND	■	STONE WALL	⊖
EXISTING BOUND	■	UTILITY POLE	⊕
IRON ROD	●	EXISTING CONTOURS	- - - - -
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RR SPIKE	⊙	OVERHEAD WIRES	⊖
DRAIN MANHOLE	⊙	GAS VALVE	⊕
CATCH BASIN	□		

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
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AS SPECIFIED IN THE LETTERS OF APPROVAL
DATED FEB 15 2013 FILE # 12-0160
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APPROVED PLANS
Nancy L. Freeman

SEE SHEET 3 OF 5 FOR EROSION AND SEDIMENT CONTROLS / MEASURES

GRADING AND DRAINAGE PLAN

"PRELIMINARY PLAN - LAGER LANE"
MINOR SUBDIVISION - RURAL RESIDENTIAL COMPOUND
225 LAGER LANE, TIVERTON, RHODE ISLAND
ASSESSORS MAP 219 LOT 620

Applicant: **DAN CARLSON**
7 SHADOW FARM WAY, WAKEFIELD, RI 02879

Job # **11-046** Scale: **1" = 20'** Drawn By: **SCA** Date: **SEPT. 19, 2012**

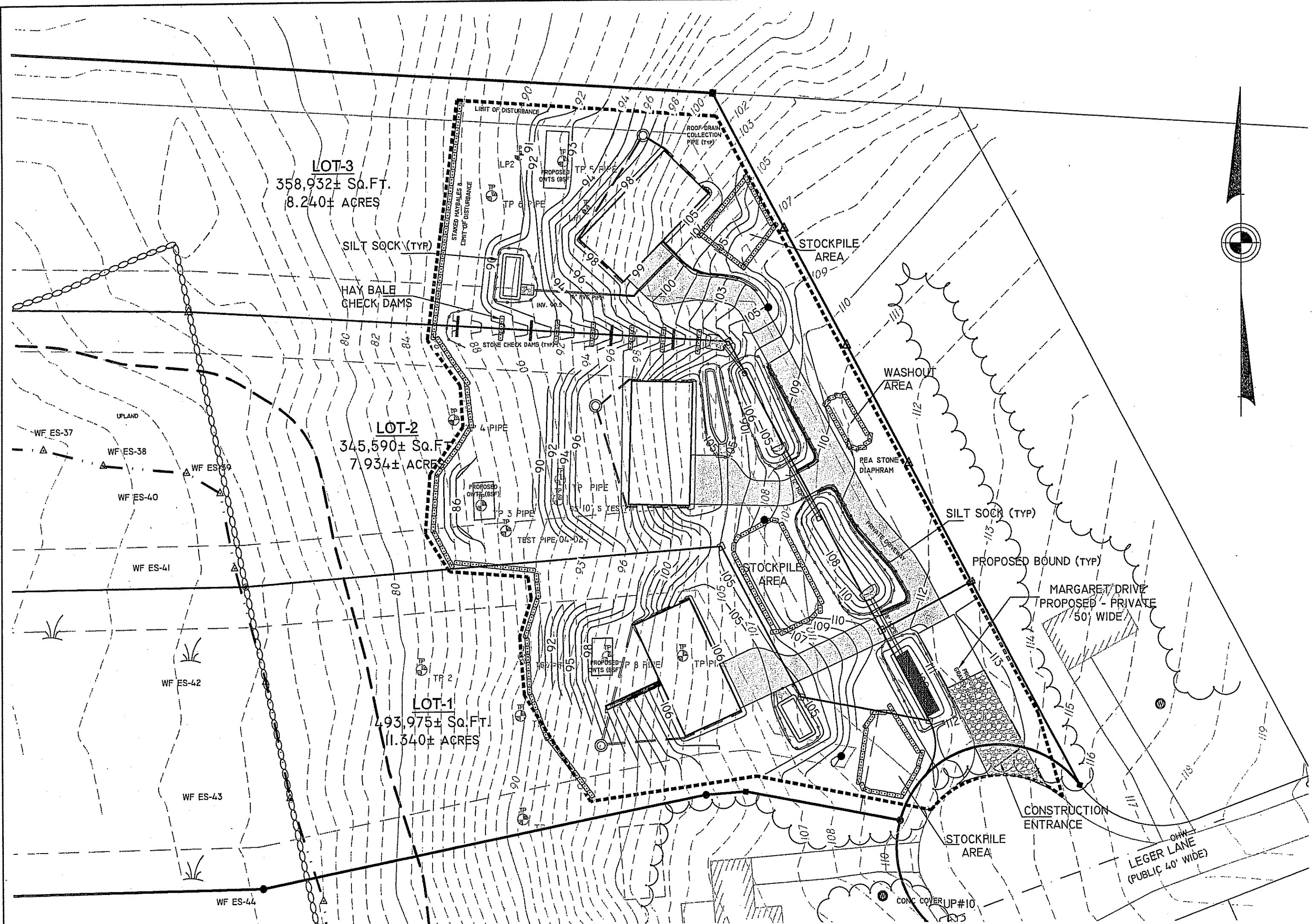
Revised: **January 18, 2013** DEM Comments

INSITE
Engineering Services, LLC

PROFESSIONAL ENGINEERS AND LAND SURVEYORS
INSITE PROFESSIONAL COMPLEX, SUITE 1
1539 FALL RIVER AVENUE
SEEKONK, MA 02771
PHONE: (508) 336-4500
FAX: (508) 336-4558

SHEET 3 OF 5

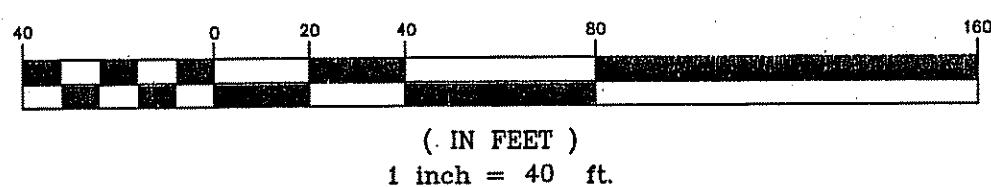
1:11-046 LAGER LANE - TIVERTON - CARLSON/CADD/11-046 SUB SUIT PLAN, DWG, GRADING AND DRAINAGE, 1/22/2013 11:09:21 AM, I:1



PLAN VIEW

SCALE: 1" = 40'

GRAPHIC SCALE



EROSION & SEDIMENT CONTROL NOTES:

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF PROJECT AREA BEGINS. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF TIVERTON REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE ENGINEER OR TOWN AGENCIES.
4. EACH BUILDING LOT SHALL BE REQUIRED TO MAINTAIN EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. ADDITIONAL MEASURES WILL BE REQUIRED TO PREVENT SEDIMENT DISCHARGE INTO THE STREET, DRAINAGE SYSTEM.
5. SEEDING MIXTURE FOR FINISHED GRASSED AREAS WILL BE AS FOLLOWS:
 KENTUCKY BLUE GRASS = 45
 CREEPING RED FESCUE = 45
 PERENNIAL RYE GRASS = 10
 SEED TO BE APPLIED AT A RATE OF 5 LBS / 1000 S.F. FERTILIZER SHALL BE APPLIED AT A RATE OF 2 LBS / 1000 S.F. PLANTING SEASON SHALL BE APRIL 1 TO OCTOBER 15. AFTER OCTOBER 15 AREAS NOT SEEDING SHALL BE STABILIZED WITH HAY BALE CHECK, FILTER FABRIC OF WOODEN MULCH AS REQUIRED TO CONTROL EROSION.
6. AREAS LEFT BARE BEFORE FINISH GRADING AND SEEDING IS ACHIEVED, SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYE GRASS APPLIED TO A RATE OF 2 LBS / 1000 S.F. AT A DEPTH OF 1/2". LIMESTONE (EQUIVALENT TO BE 50% CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 90 LBS / 1000 S.F.. WHERE GRASS PREDOMINATES, FERTILIZE ACCORDING TO A SOIL TEST AT A MINIMUM APPLICATION RATE OF 1 LB OF NITROGEN PER 1000 S.F. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COURSE MATTER, TREATED WITH 12 LBS NITROGEN PER TON, APPLIED AT A RATE OF 185-275 LBS / 1000 S.F.
7. CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFY THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
8. THE CONTRACTOR SHALL REQUEST THE APPROPRIATE TOWN AGENCIES TO INSPECT AND APPROVE THE INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. PERIODIC INSPECTIONS OF EROSION CONTROL MEASURES MAY BE PERFORMED BY THE AGENCIES, THE CONTRACTOR SHALL REPAIR, UPGRADE OR REPAIR ANY MEASURES THE TOWN MAY FEEL ARE IN NEED OF SUCH.
9. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FIFTEEN (15) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAY BALES. SIDE SLOPES SHALL NOT EXCEED 2 : 1.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
11. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE SILT FENCE, HAY BALE OR SILT SOCK.
12. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS
13. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
14. ALL FACILITIES USED AS TEMPORARY MEASURES SHALL BE CLEANED PRIOR TO BEING PUT INTO FINAL OPERATION.

NOTES

- CONSTRUCTION PROCEDURES AND SEQUENCING**
- THE DESIGN ENGINEER SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. HE SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF THE PROVISIONS ON THE PLANS.
- THE CONTRACTOR SHALL ORGANIZE SITE CONSTRUCTION IN A MANNER WHICH WILL ENSURE THE IMMEDIATE STABILIZATION OF SURFACES. PERIMETER CONTROLS EQUAL APPROVED PROJECT LIMITS.
- PRIOR TO ANY CONSTRUCTION ON SITE, THE CONTRACTOR SHALL SETUP PRE-CONSTRUCTION MEETING WITH OWNER, ENGINEER, PLANNING AND DPW PERSONAL.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A LINE OF STAKED HAY BALES OR SILT SOCK WILL BE PLACED AT ALL CONSTRUCTION TOE OF SLOPES IN THE AREA OF ROADWAY, LANDSCAPED AREAS, AND ALONG PERIMETER OF PROJECT LIMIT OF DISTURBANCE WHERE INDICATED ON PROJECT PLANS.
- RESERVE EROSION CONTROL DEVICES SHALL BE STOCKPILED ON SITE IN THE EVENT OF EMERGENCIES.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROPER STORAGE AND/OR REMOVAL OF DEBRIS ON SITE TO AVOID UNNECESSARY ACCUMULATION ON SITE.
- TO PROTECT THE INFILTRATION SURFACES (BENEATH AND ADJACENT TO THE RECHARGE SYSTEMS) FROM DEGRADATION BY CONSTRUCTION ACTIVITIES INCLUDE:
1. PREVENTION OF CONTAMINATION OF THE EXPOSED SUB-GRADE BY CONSTRUCTION VEHICLES.
 2. PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES.
 3. PREVENTION OF THE DISCHARGE OF WATER FROM CONSTRUCTION DE-WATERING ACTIVITIES INTO THESE FACILITIES.
 4. PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED, UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE.
- CONSTRUCTION INSPECTION**
- THE DESIGN ENGINEER SHALL BE CALLED ON SITE DURING THE CONSTRUCTION OF THE BIO-RETENTION PONDS AND ROOF DRAIN INFILTRATION SYSTEMS.
- CLEARING**
- CONSIDERATION SHALL BE GIVEN TO PRESERVING SPECIMEN TREES. THE ENGINEER SHALL BE CONTACTED TO REVIEW DESIGN IMPACTS AND APPROVE METHOD OF TREE PRESERVATION.
- BRUSH AND BRANCHES SHALL BE CHIPPED TO BE UTILIZED FOR WOOD MULCH WHERE FEASIBLE.
- GRUBBING AND STRIPPING**
- SUITABLE TOPSOIL SHALL BE STRIPPED FROM THE AREAS TO BE GRADED AND STOCKPILED FOR SUBSEQUENT USE AND/OR FOR LANDSCAPE PURPOSES.
- ROUGH GRADING**
- DURING GRADING, THE POTENTIAL FOR EROSION IS HIGH. DURING GRADING OPERATIONS, DISTURBED SLOPES WILL BE MULCHED AND VEGETATION ESTABLISHED TO PREVENT SEDIMENT EROSION TO THE SATISFACTION OF THE ENGINEER.

OPERATION & MAINTENANCE PLAN

THIS PLAN SHOULD BE USED IN CONJUNCTION WITH SEPARATE OPERATIONS AND MAINTENANCE PLAN DOCUMENT FOR "LEGER LANE" DATED NOVEMBER 7, 2012.

THIS PLAN SHOULD BE USED IN CONJUNCTION WITH SEPARATE STORMWATER POLLUTION PREVENTION PLAN DOCUMENT FOR "LEGER LANE" DATED NOVEMBER 7, 2012.

THE MAINTENANCE AND UPKEEP ON THE EXISTING ROADWAY WILL INCLUDE THE FOLLOWING ELEMENTS:

CONSTRUCTION VEHICLES SHALL BE LIMITED TO ONE ACCESS POINT ON EACH LOT WHERE A CRUSHED-STONE CONSTRUCTION PAD ENTRANCE SHALL BE INSTALLED IN THE AREA OF THE PERMANENT DRIVEWAY TO ENSURE THAT MUD AND DEBRIS ARE NOT TRACKED ONTO THE ROADWAY. IF MUD IS INADVERTENTLY TRACKED ONTO THE ROAD, IT SHOULD BE REMOVED PROMPTLY.

GENERAL MAINTENANCE OF EROSION CONTROL ELEMENTS INCLUDING REGRADE, REVEGETATION, REPLACING RIPRAP, ETC., ON AN AS NEEDED BASIS.

THE BIO-RETENTION PONDS AND INFILTRATION SYSTEMS WILL BE INSPECTED SEMI-ANNUALLY BY THE OWNER AND WILL BE MAINTAINED AS REQUIRED.

BUILD UP OF SEDIMENTATION AND DEBRIS SHALL BE MONITORED AND REMOVED ON A SEMI-ANNUAL BASIS IN ORDER TO KEEP THE DISCHARGES AND FLOWS INTO THE INFILTRATION FACILITY FUNCTIONING PROPERLY.

ALL STORMWATER MANAGEMENT SYSTEMS MUST HAVE AN OPERATION AND MAINTENANCE PLAN TO ENSURE THAT SYSTEMS FUNCTION AS DESIGNED.

THE OWNER WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM AND ALL OF ITS APPURTENANCES. THE FOLLOWING MAINTENANCE PROGRAM SHALL BE IMPLEMENTED:

A. BIO-RETENTION PONDS

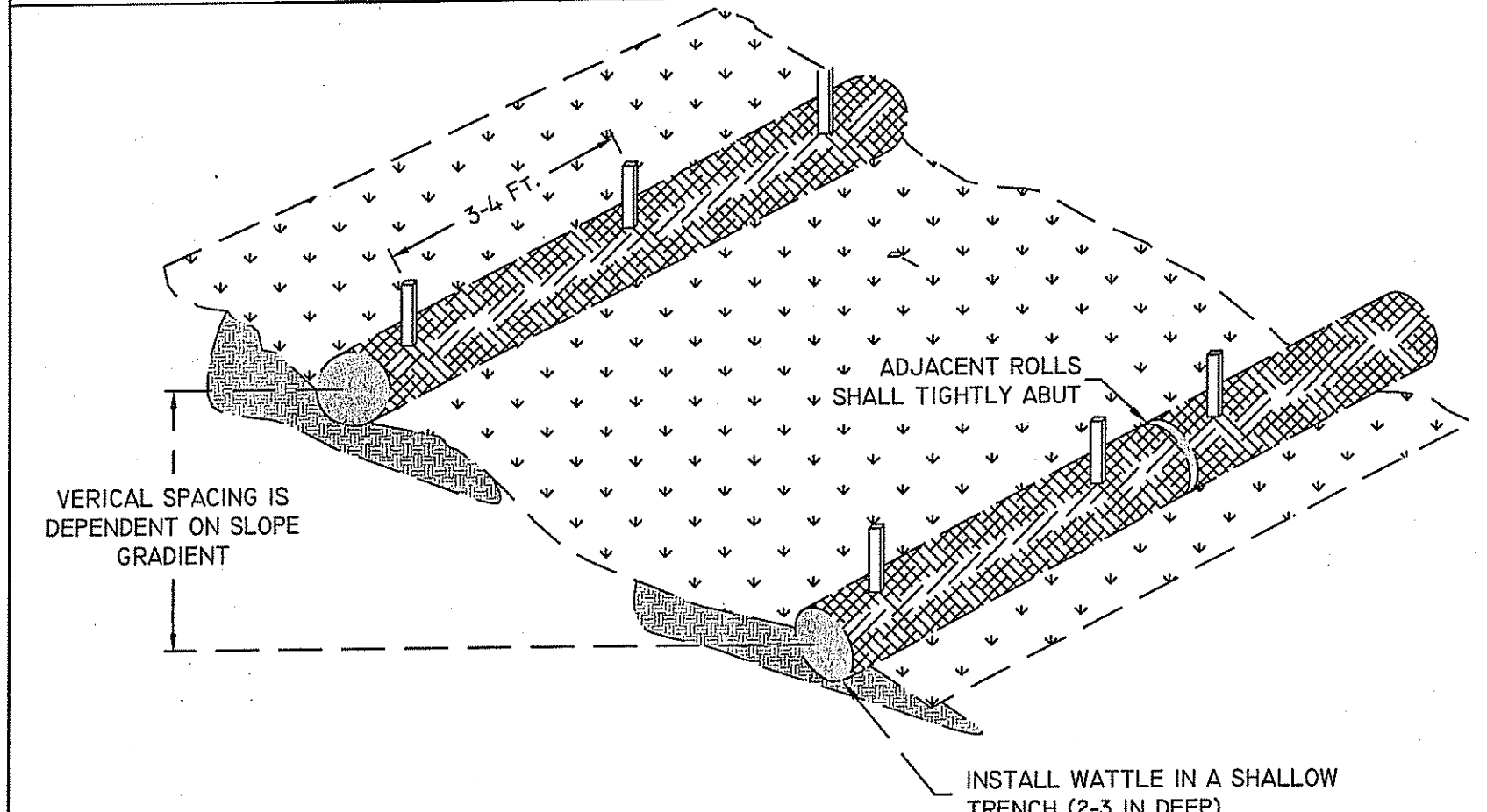
1. BIO-RETENTION PONDS SHALL BE INSPECTED THE FIRST FEW MONTHS AFTER CONSTRUCTION AND TWICE PER YEAR AFTER. INSPECTIONS CONDUCTED BEFORE AND AFTER A STORM EVENT WILL HELP DETERMINE IF THE BIO-RETENTION PONDS ARE WORKING AS DESIGNED.
2. INSPECT BIO-RETENTION PONDS TO MAKE SURE VEGETATION IS ADEQUATE AND SLOPES ARE NOT ERODING. CHECK FOR RILING AND GULLYING.
3. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY.
4. TRASH AND OTHER DEBRIS SHOULD BE REMOVED.
5. SEDIMENTS SHOULD BE REMOVED FROM THE BIO-RETENTION PONDS AS NECESSARY, AND AT LEAST ONCE EVERY YEAR OR WHEN ACCUMULATED DEPTH REACHES SIX INCHES (6"). ALL SEDIMENTS SHALL BE HANDLED PROPERLY AND DISPOSED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

B. ROOF DRAIN INFILTRATION SYSTEMS

1. INSPECT FACILITY FOR SIGNS OF WETNESS OR DAMAGE TO STRUCTURES TWICE A YEAR.
2. SEED OR SOD TO RESTORE GROUND COVER.
3. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY.
4. SCRAPE BOTTOM AND REMOVE SEDIMENT. RESTORE ORIGINAL CROSS-SECTION AND INFILTRATION RATE EVERY FIVE YEARS

THE OWNER SHALL KEEP A WRITTEN RECORD OF INSPECTION DATES AND FINDINGS, MAINTENANCE OPERATIONS, AND ALL REPAIRS. AN INSPECTION/MAINTENANCE CHECKLIST SHALL BE USED IN THE SPECIFIED INSPECTIONS. RECORDS OF INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR AT LEAST THREE YEARS, AND AVAILABLE ON REASONABLE NOTICE FOR INSPECTION BY THE APPROPRIATE TOWN AGENCY.

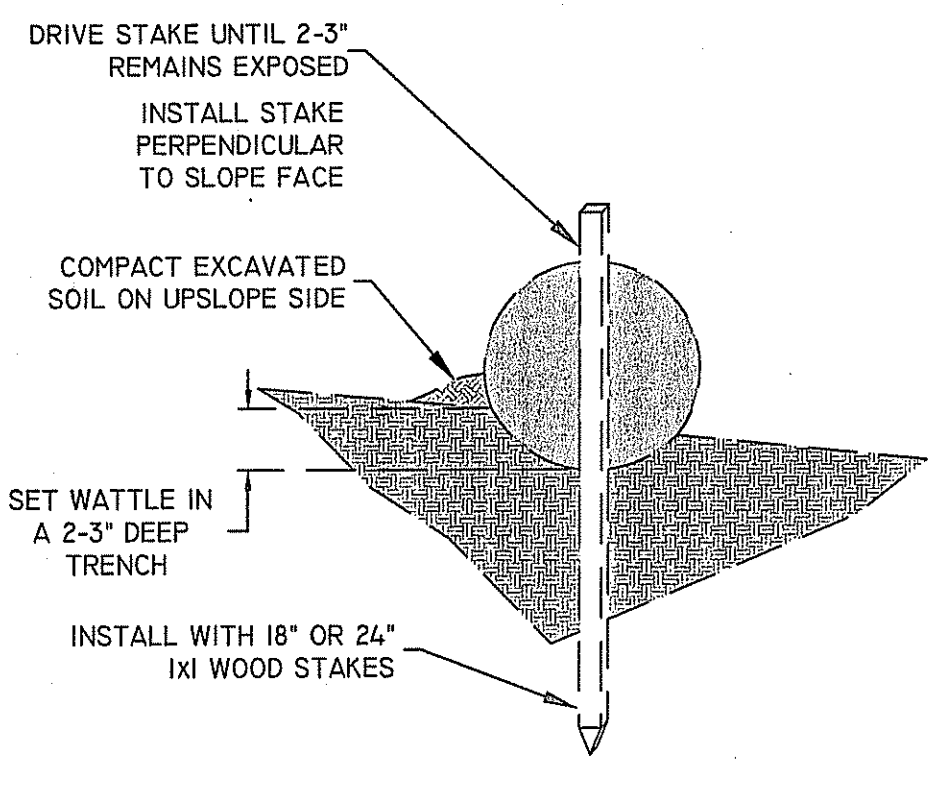
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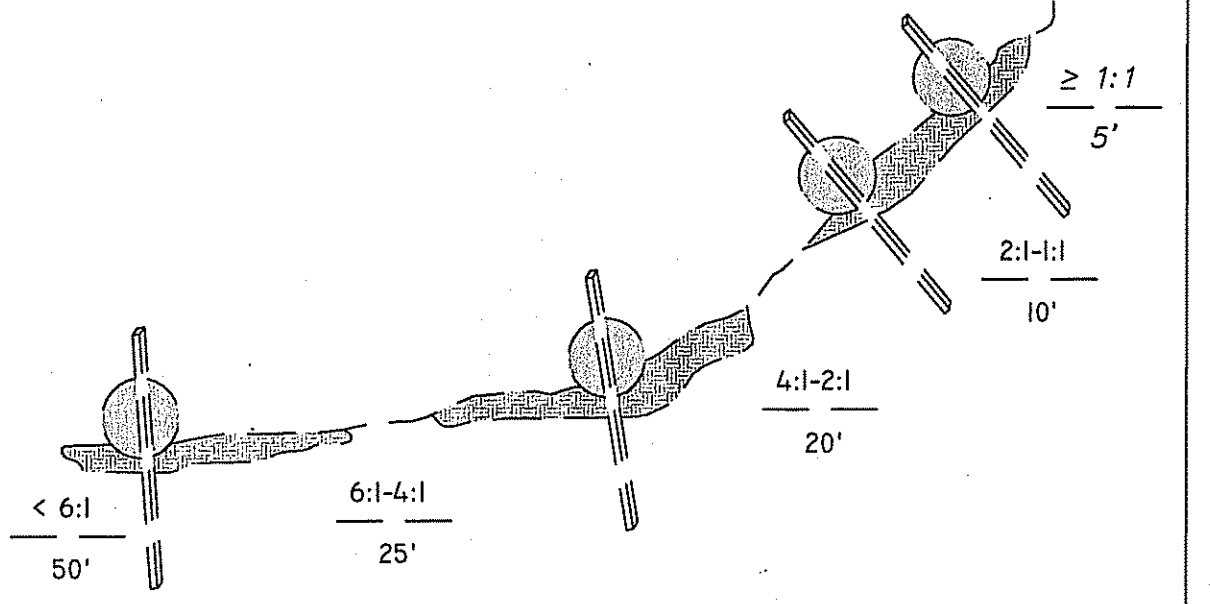
- GENERAL NOTES:**
1. BEGIN AT THE LOCATION WHERE WATTLE IS TO BE INSTALLED BY EXCAVATING 2-3" DEED x 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
 2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 3. SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE OF THE WATTLE LEAVING AT LEAST 2-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
 4. CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF STRAW WATTLE FOR DURATION OF CONSTRUCTION.
 5. EROSION CONTROLS TO REMAIN UNTIL SOIL CONDITIONS STABILIZE.
 6. LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.

STRAW WATTLE (OR SILT SOCK) DETAIL

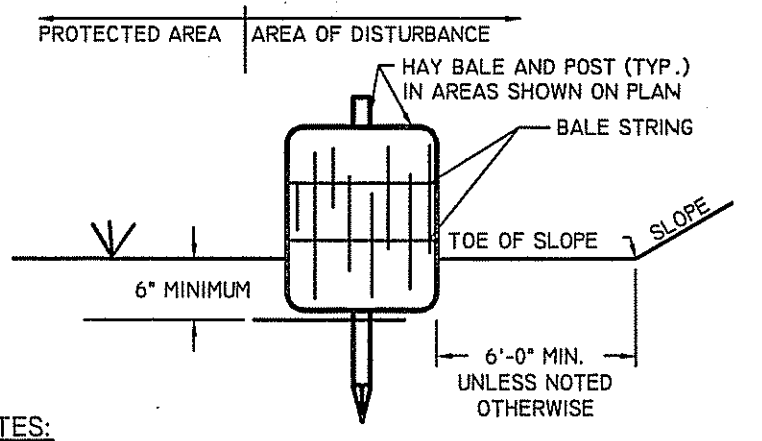
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CROSS SECTION



TYPICAL SPACING BASED ON SLOPE GRADIENT



NOTES:

1. HAY BALES ARE TO BE PLACED WITHIN A 6" MINIMUM TRENCH PRIOR TO CONSTRUCTION.
2. THOROUGHLY COMPACT EXCAVATED SOILS BACK INTO THE TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICES.
3. BALE STRING SHALL BE LAID PARALLEL TO THE GROUND SURFACE.
4. EACH BALE TO BE SECURELY STAKED INTO THE GROUND WITH (2) 1"x1/2" OAK BEAN POLE.
5. CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF HAY BALE LINE FOR DURATION OF CONSTRUCTION.
6. EROSION CONTROLS TO REMAIN UNTIL SOIL CONDITIONS STABILIZE.
7. LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.

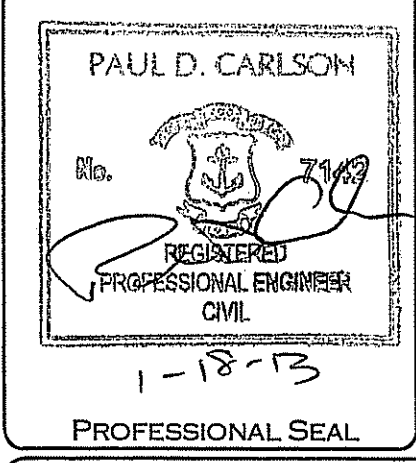
HAY BALE DETAIL

NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS
 APPROVED WITH COMMENTS
 AS SPECIFIED IN THE LETTER
 DATED FEB 15 2013 FILE # 12-0160
 NO CHANGES ALLOWED WITHOUT
 APPROVED PLANS MUST BE AT CONSTRUCTION
 Nancy L. Freeman

EROSION CONTROL PLAN

"PRELIMINARY PLAN - LEGER LANE"
 MINOR SUBDIVISION - RURAL RESIDENTIAL COMPOUND
 225 LEGER LANE, TIVERTON, RHODE ISLAND
 ASSESSORS MAP 219 LOT 620

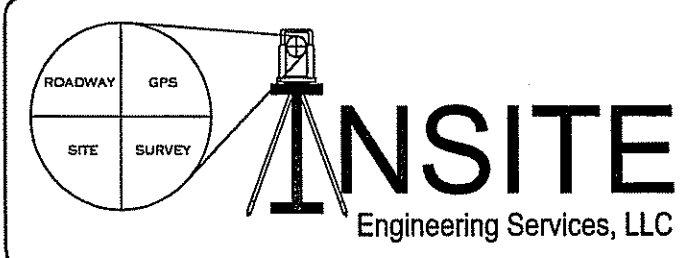


Applicant: **DAN CARLSON**

7 SHADOW FARM WAY, WAKEFIELD, RI 02879

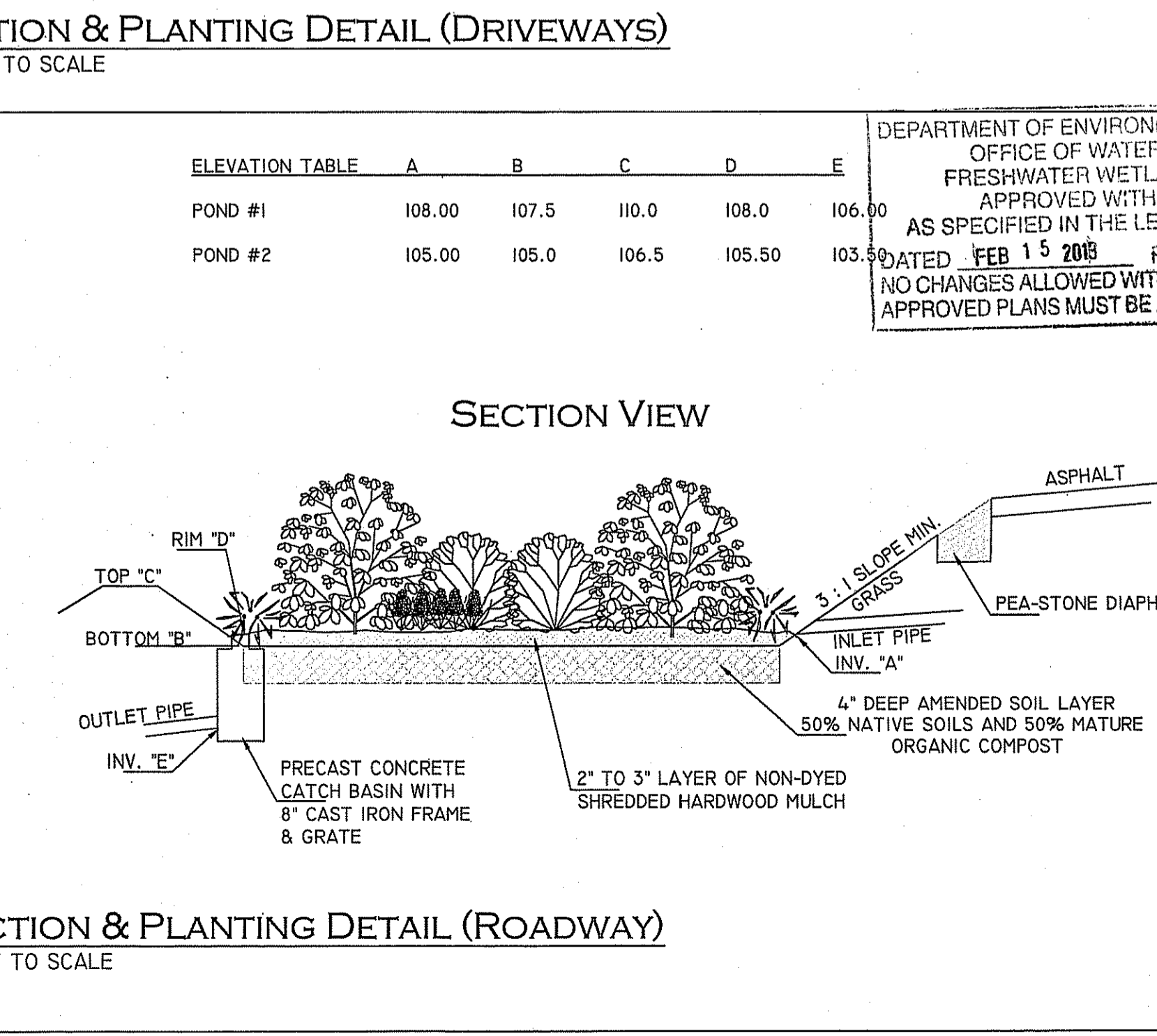
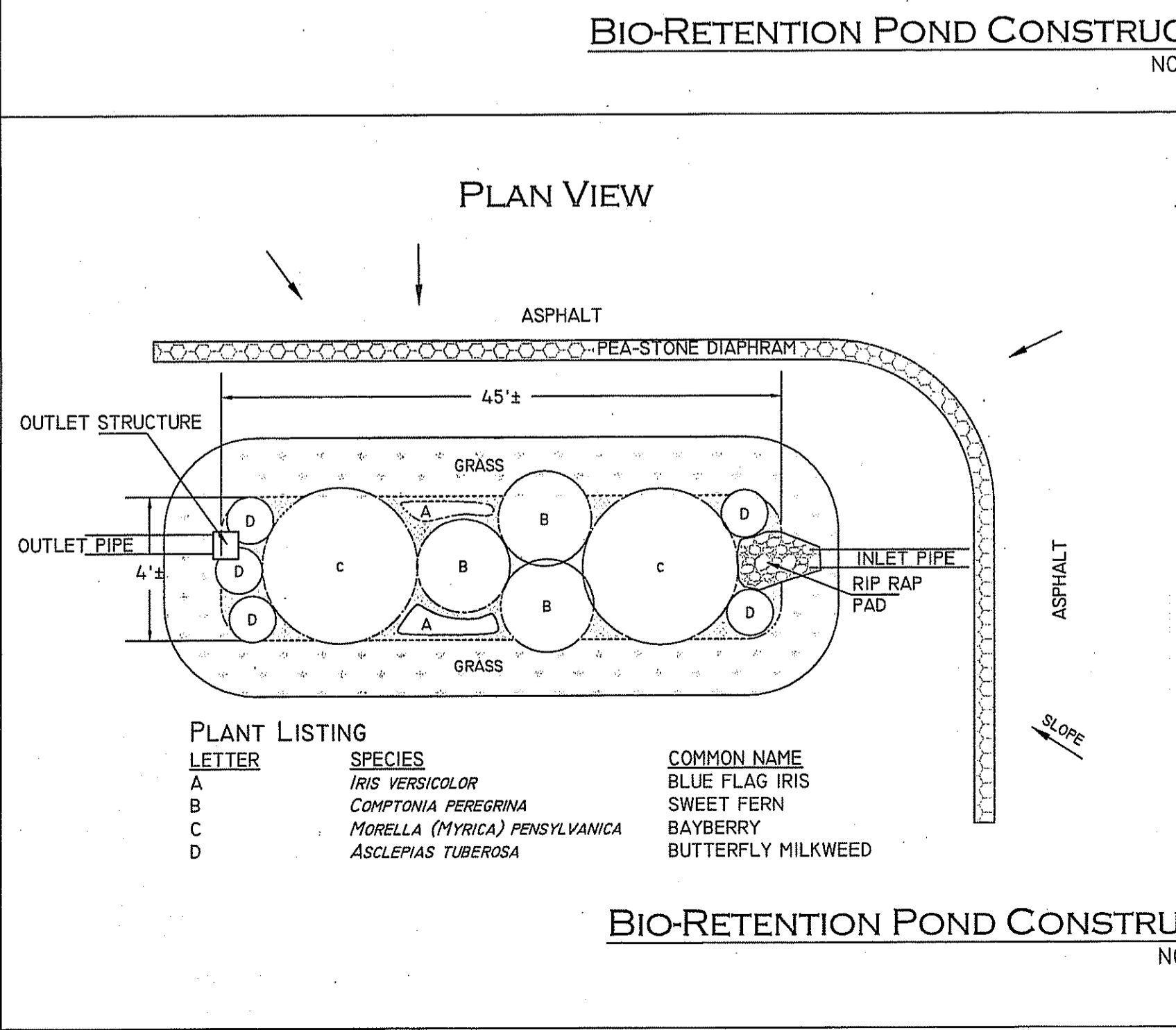
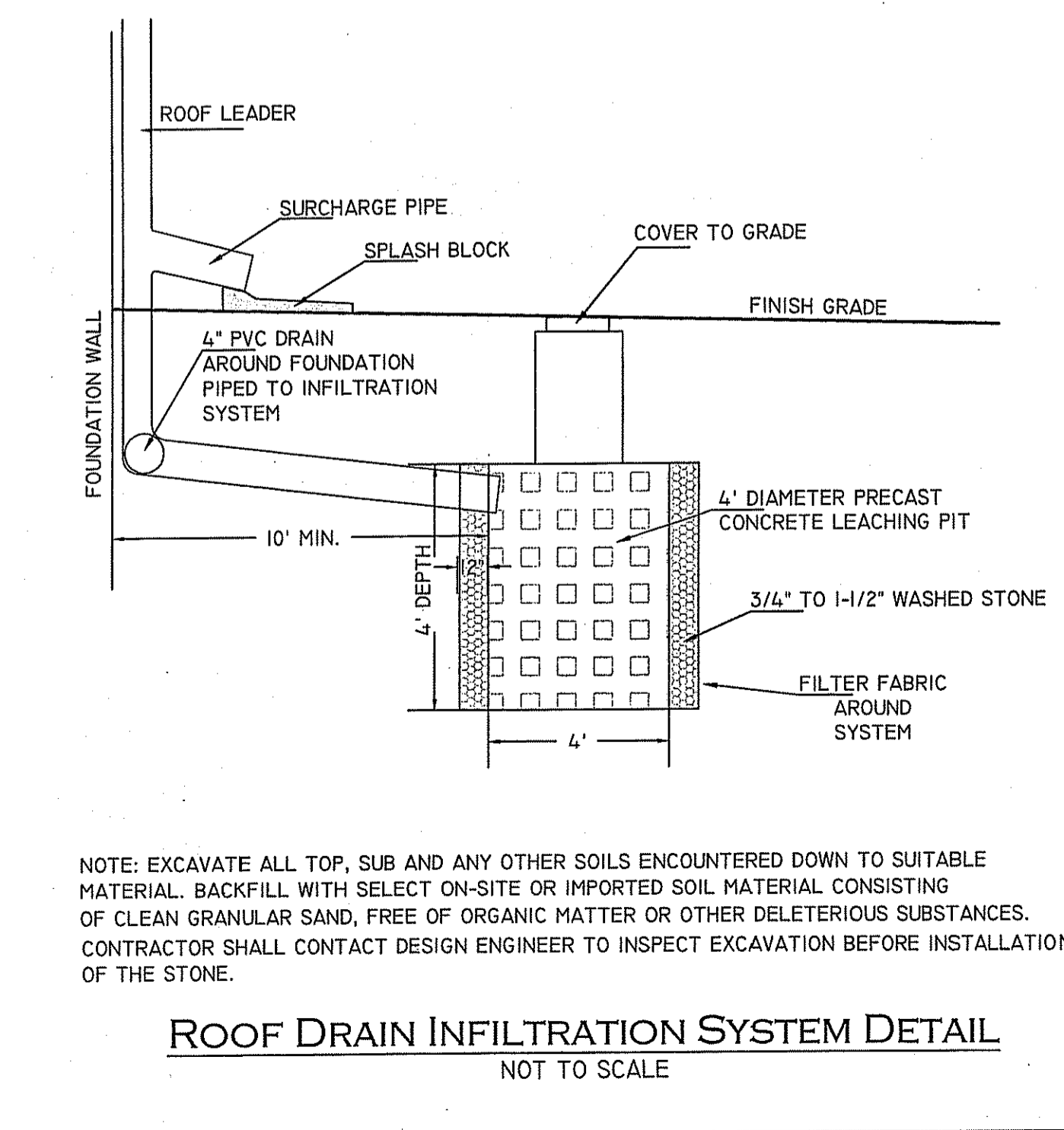
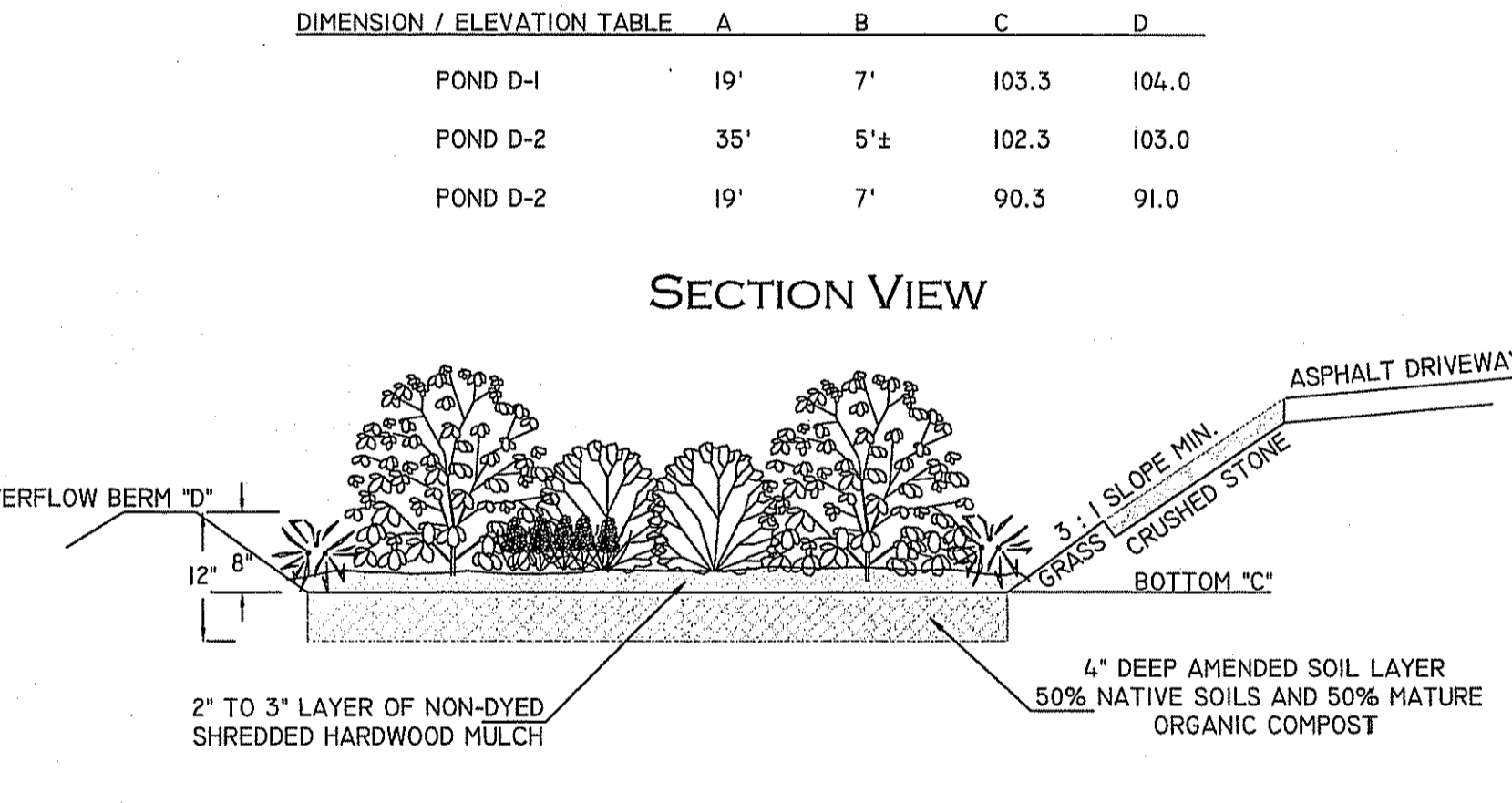
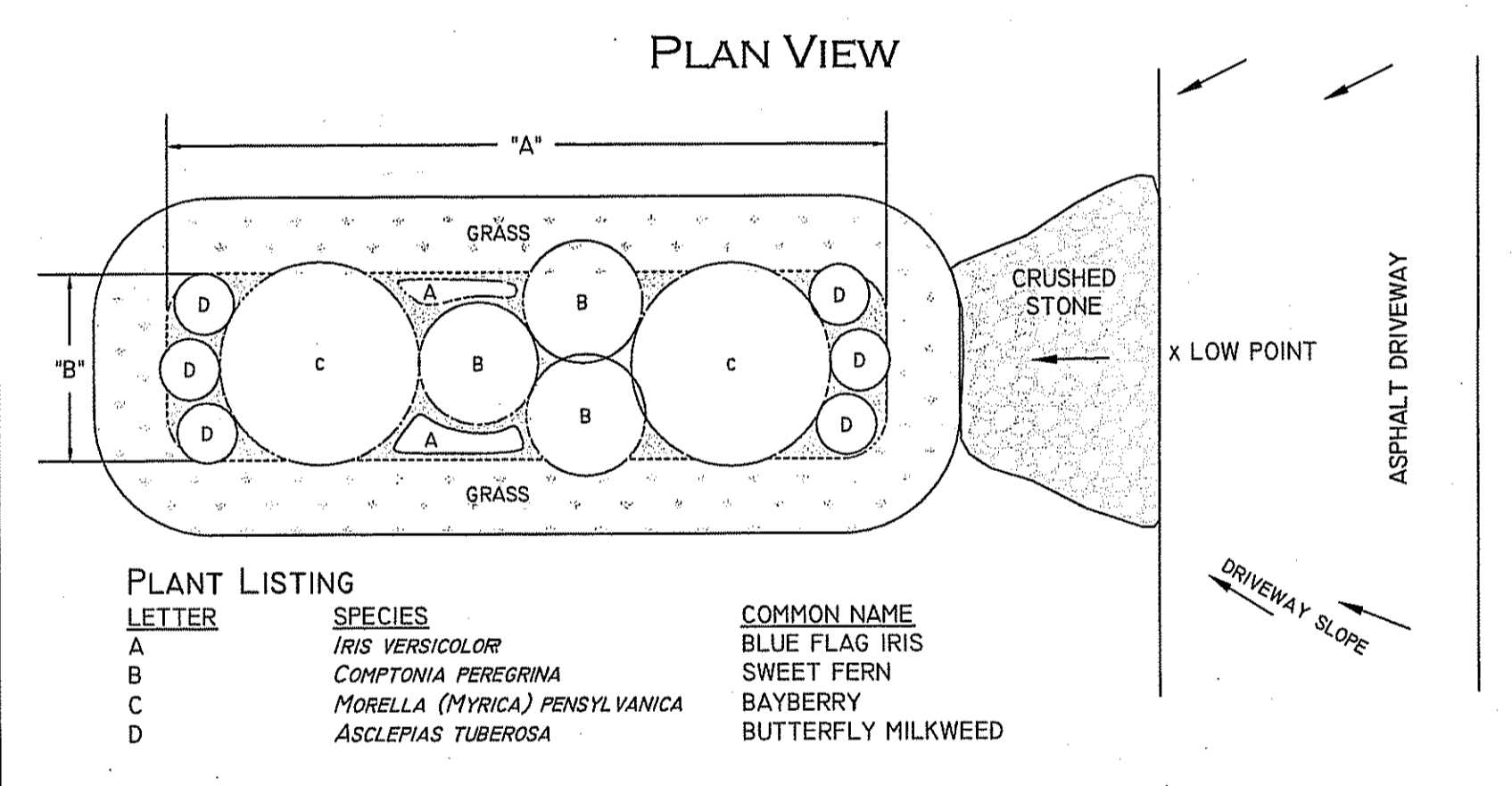
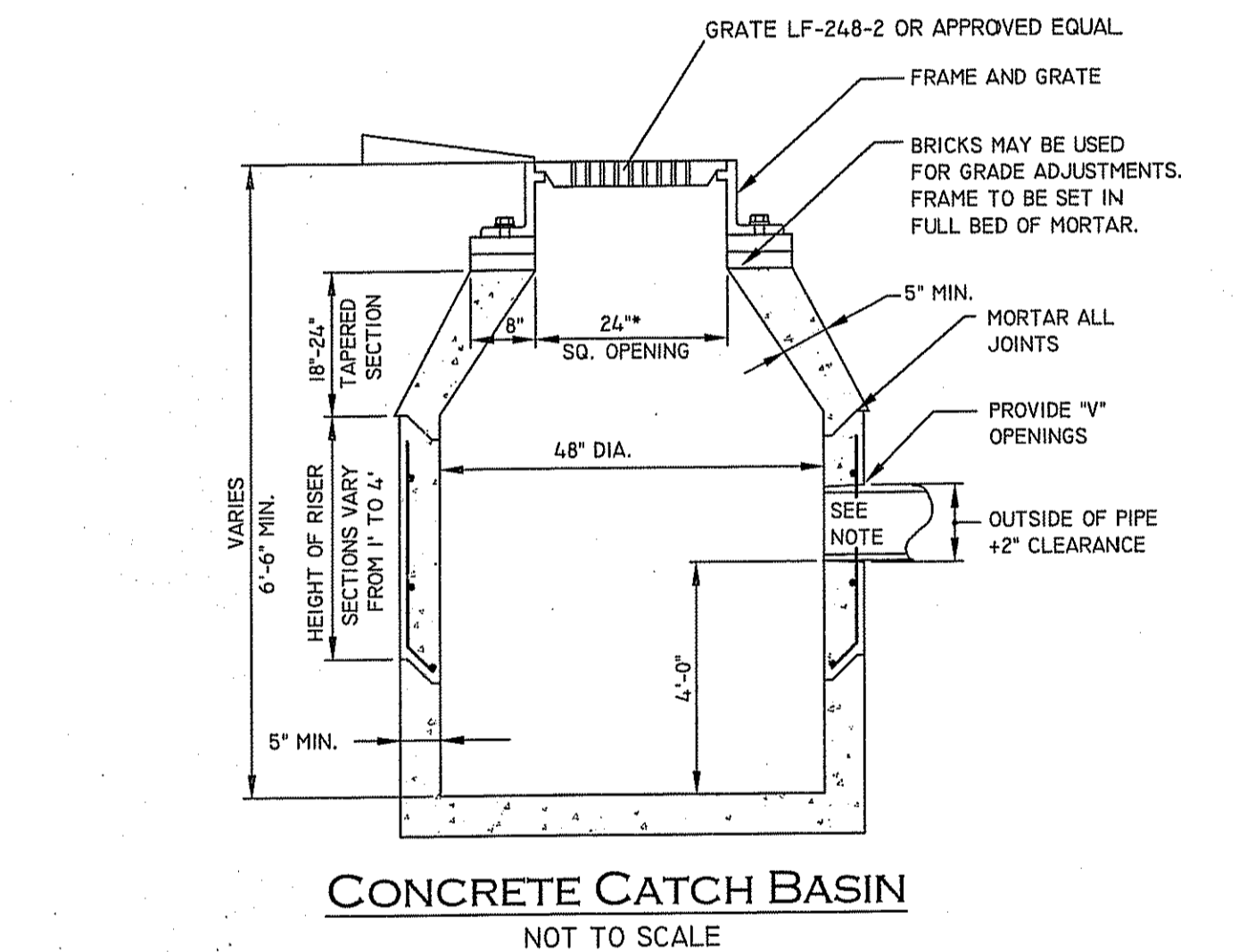
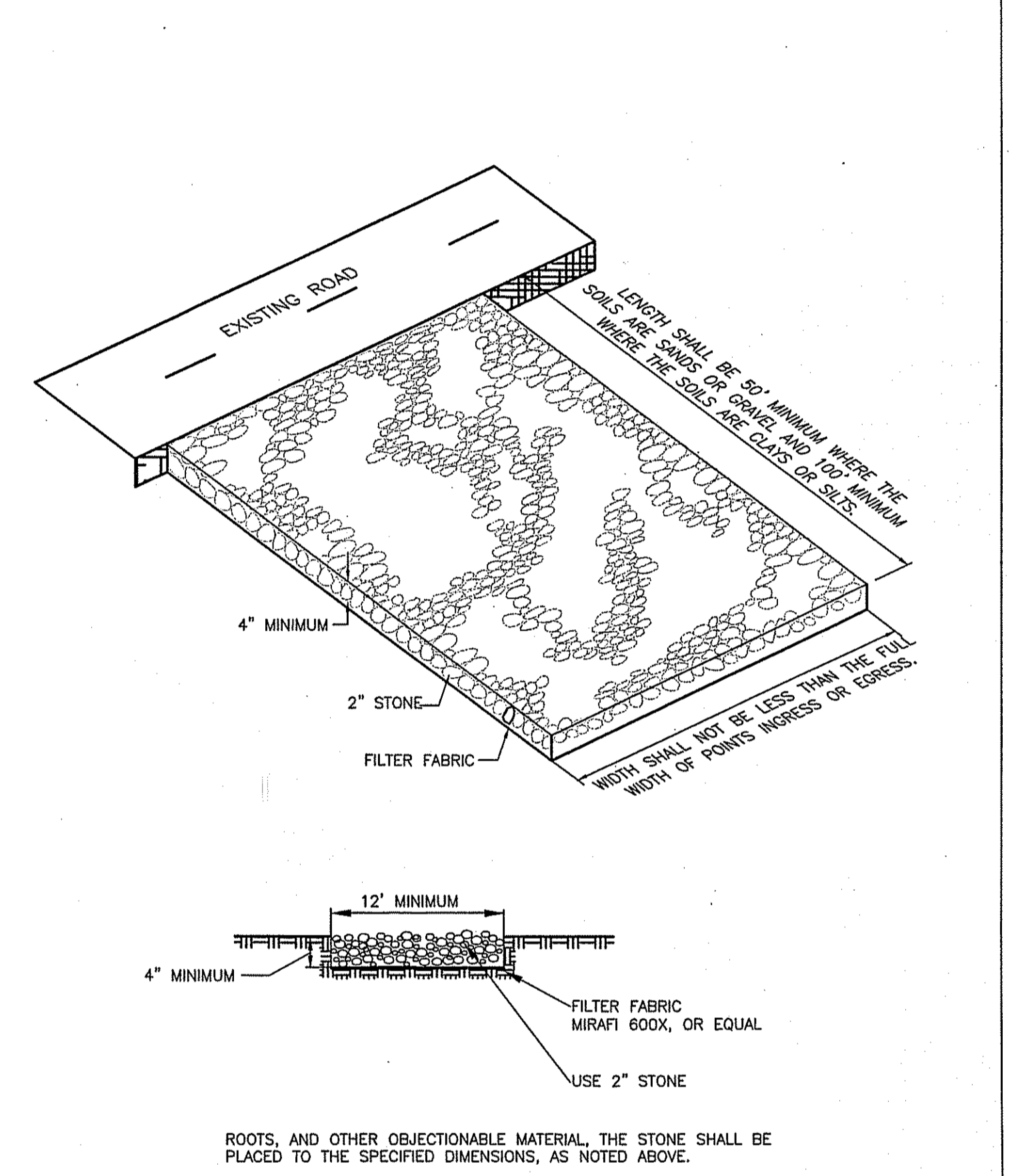
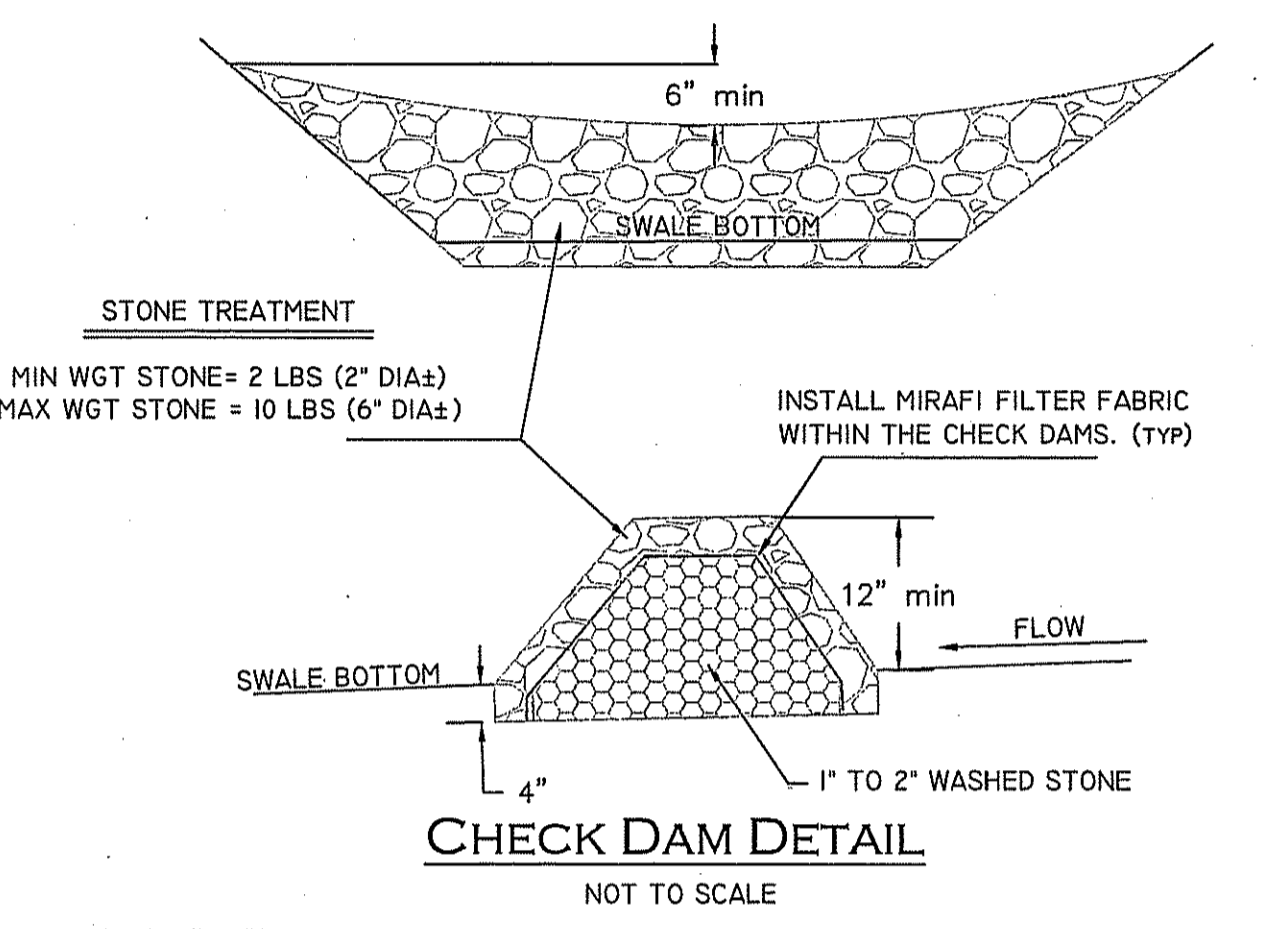
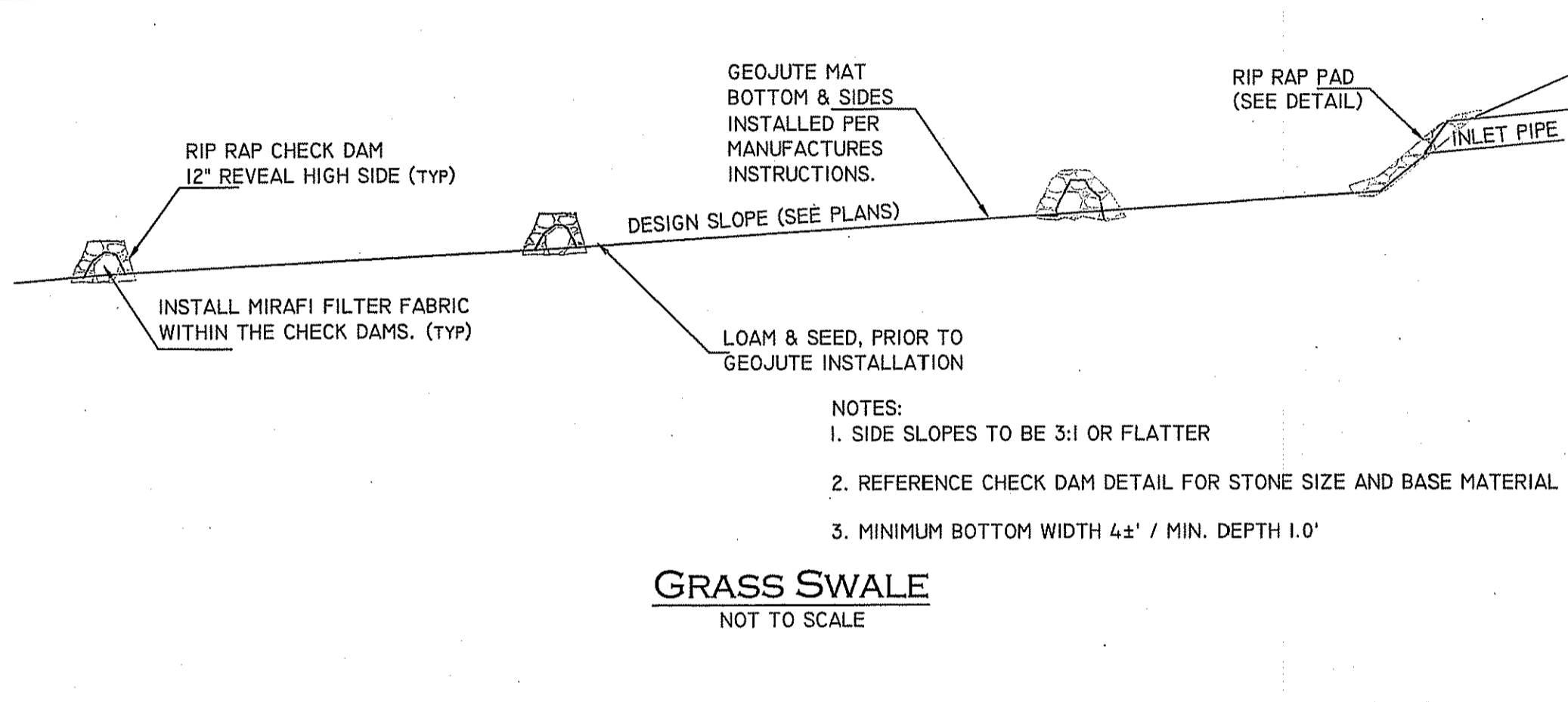
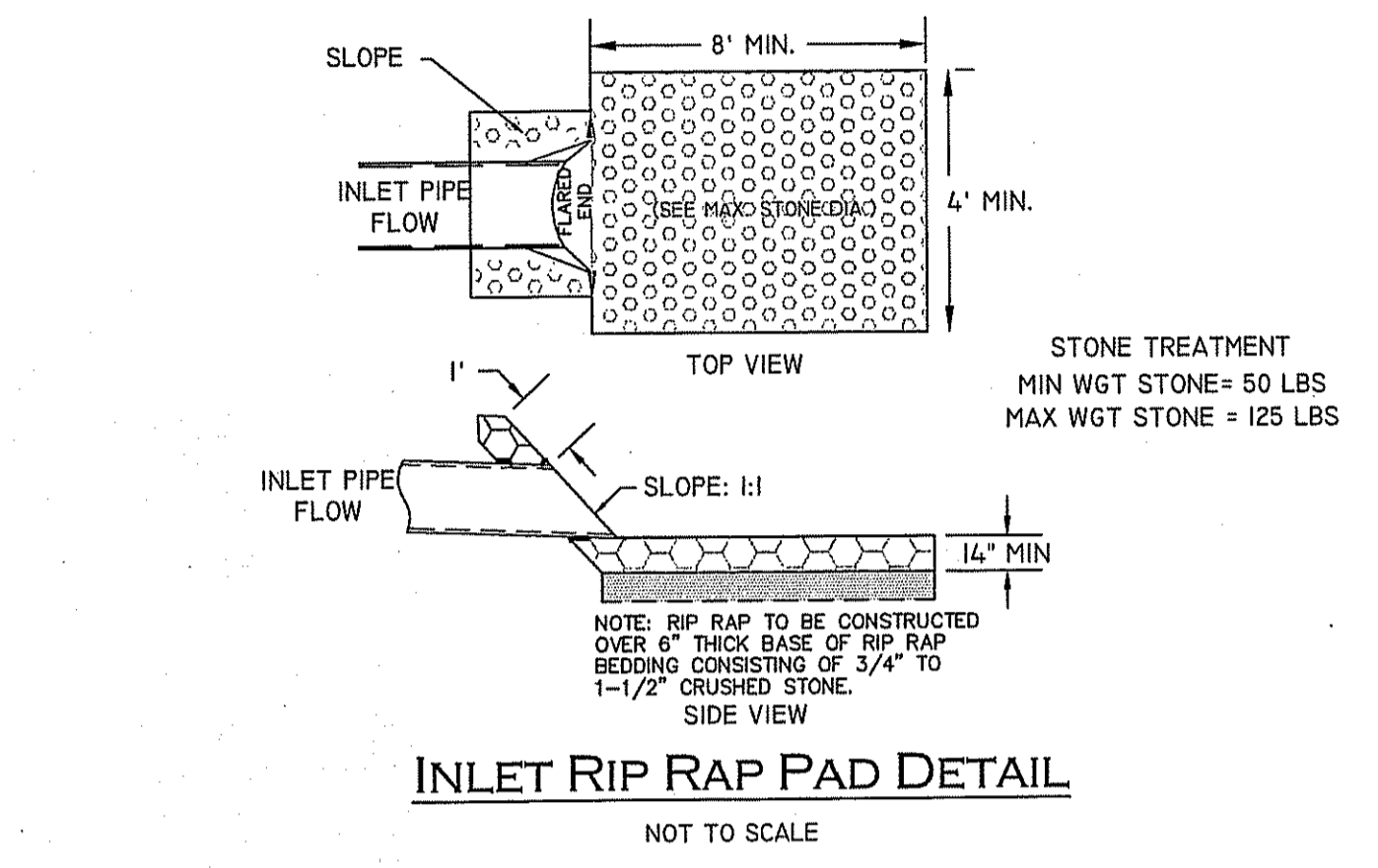
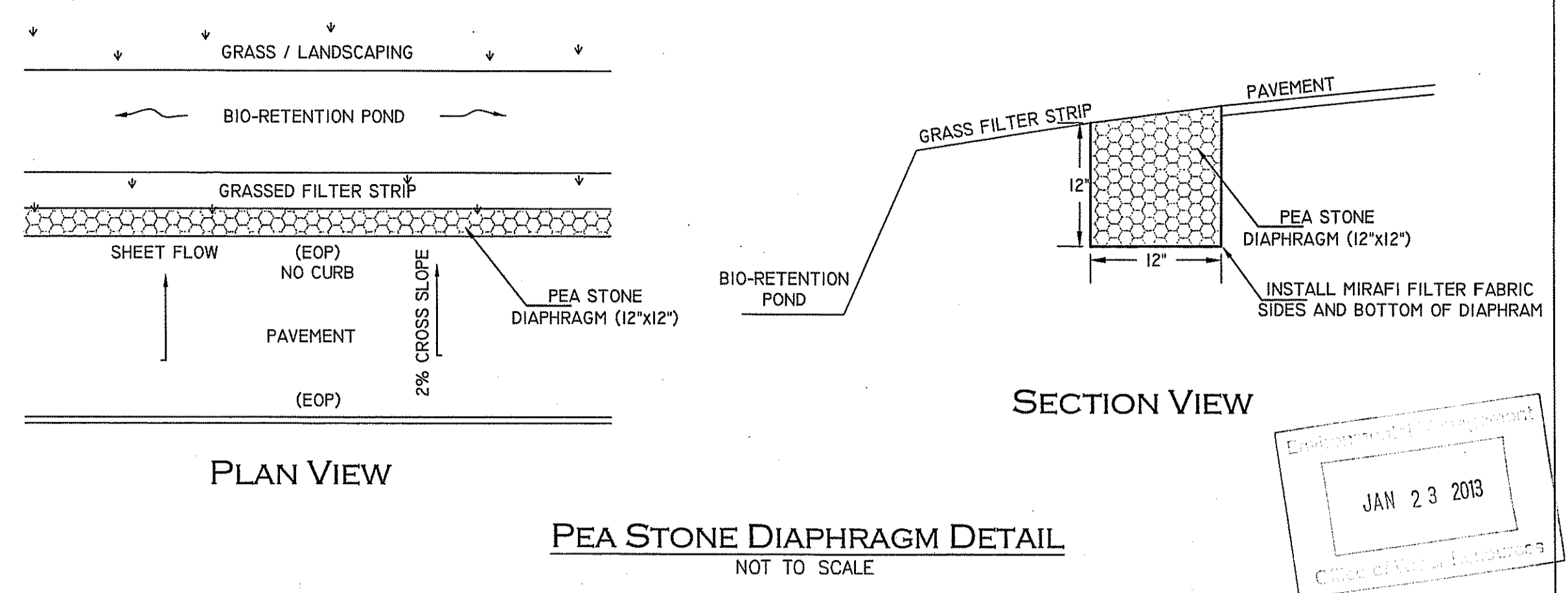
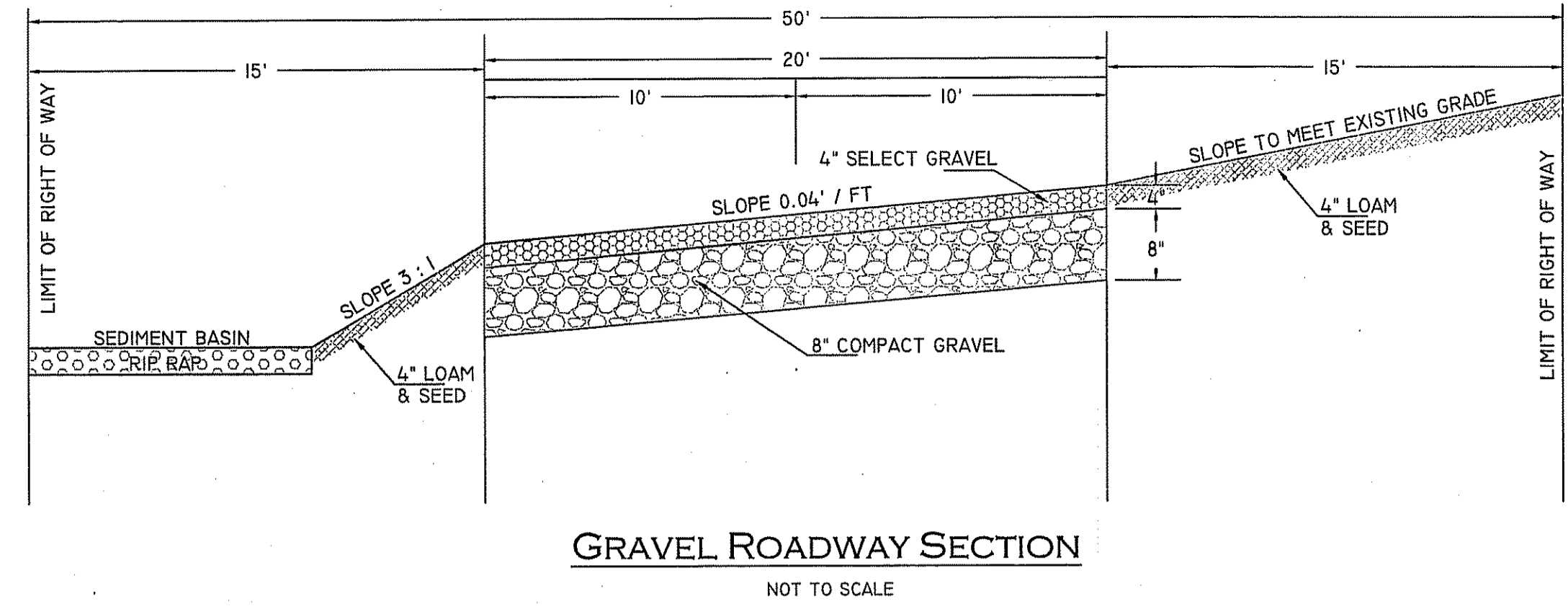
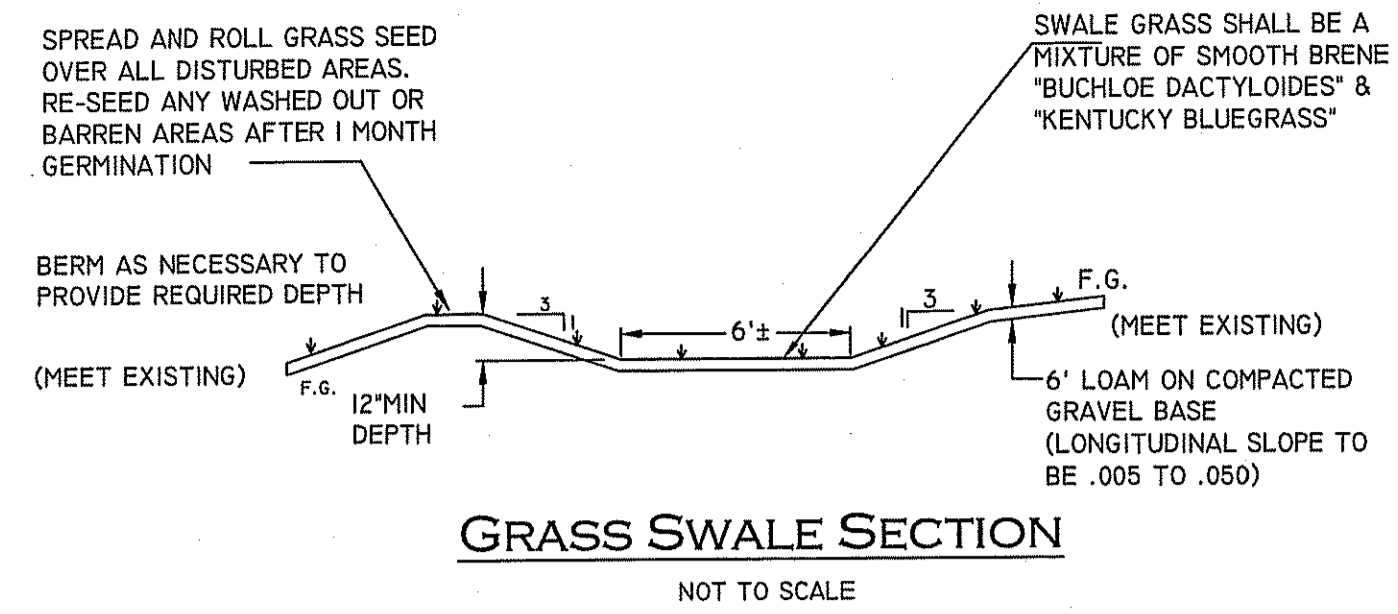
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Revised: January 18, 2013 DEM Comments



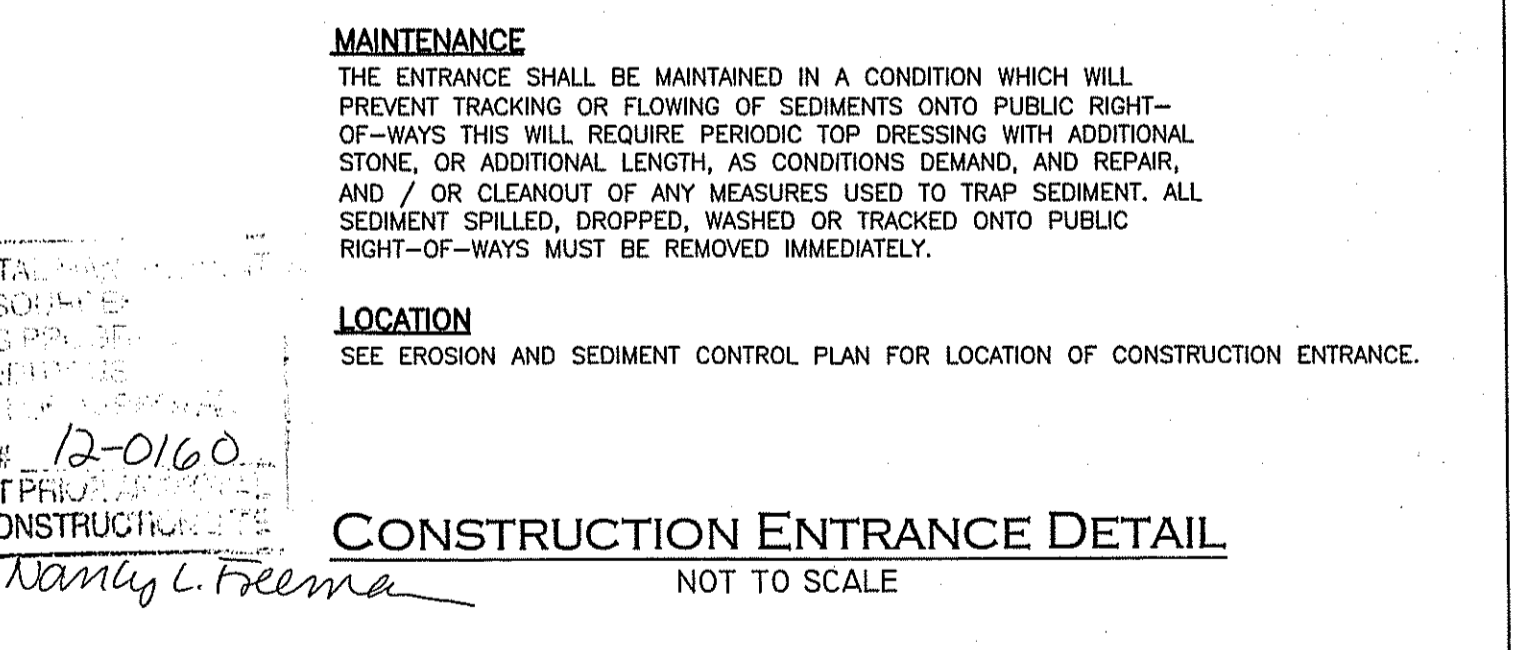
PROFESSIONAL ENGINEERS
 AND LAND SURVEYORS
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 1539 FALL RIVER AVENUE
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SHEET
4
 OF 5



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLAND APPROVED WITH COMMENTS
AS SPECIFIED IN THE LETTER DATED FEB 15 2013 FILE # 12-0160
NO CHANGES ALLOWED WITHOUT PREVIOUS APPROVED PLANS MUST BE AT CONSTRUCTION

Paul D. Carlson
Professional Engineer
Civil



DETAIL SHEET

"PRELIMINARY PLAN - LEGER LANE"
MINOR SUBDIVISION - RURAL RESIDENTIAL COMPOUND
225 LEGER LANE, TIVERTON, RHODE ISLAND
ASSESSORS MAP 219 LOT 620

Applicant: DAN CARLSON
7 SHADOW FARM WAY, WAKEFIELD, RI 02879

Job # 11-046 Scale: 1"=60' Drawn By: SCA Date: NOVEMBER 19, 2012

Revised: January 18, 2013 DEM Comments

PAUL D. CARLSON
7146
REGISTERED PROFESSIONAL ENGINEER
CIVIL

PROFESSIONAL SEAL

INSITE
Engineering Services, LLC

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SHEET 5 OF 5

11-01-046 LEGER LANE - TIVERTON - CARLSON/CADD/11-046 SUB SUIT PLAN DWG. DETAIL PLAN / 22/2013 10:50:13 AM, 1:1