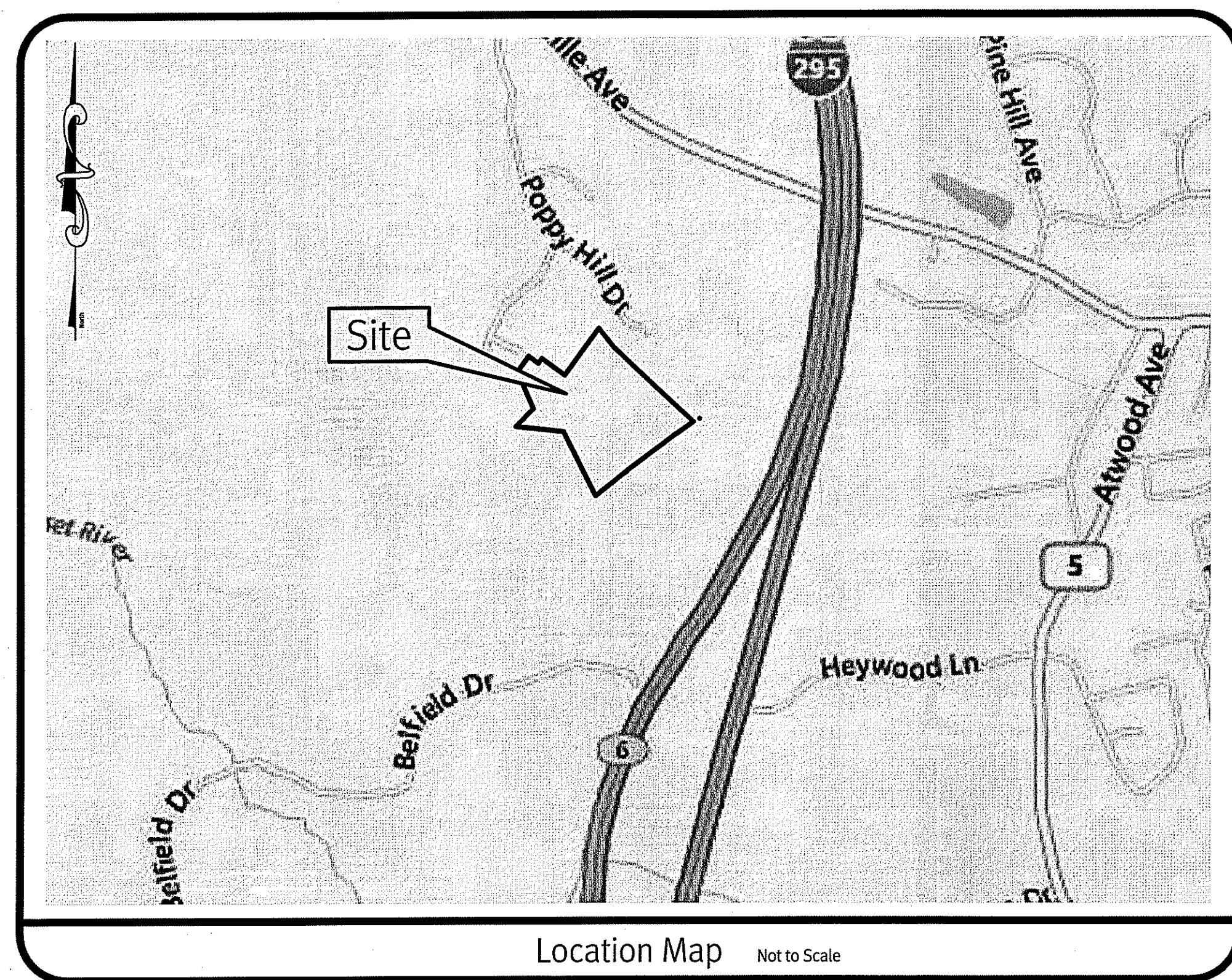


RIDEM Wetlands Submission

Tulip Hill Road - Minor Subdivision

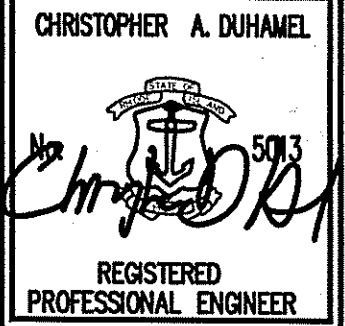
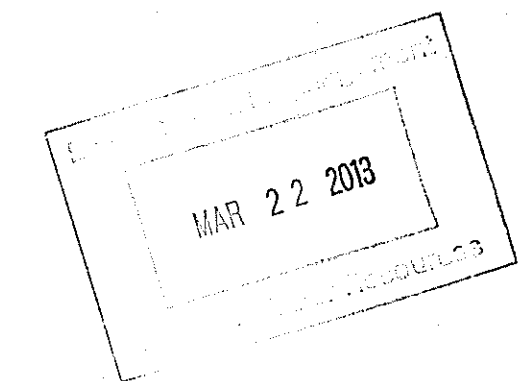
Located on Tulip Hill Road
Johnston, RI

Assessor's Plat 55 Lot 19



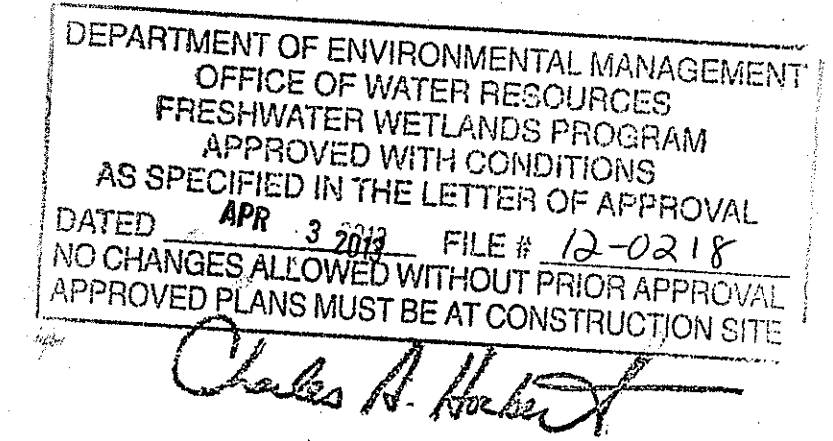
Sheet Index

1. Cover Sheet
2. Aerial Half Mile Radius
3. Existing Conditions Plan
4. Site Plan
5. Detail Sheet - 1



This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

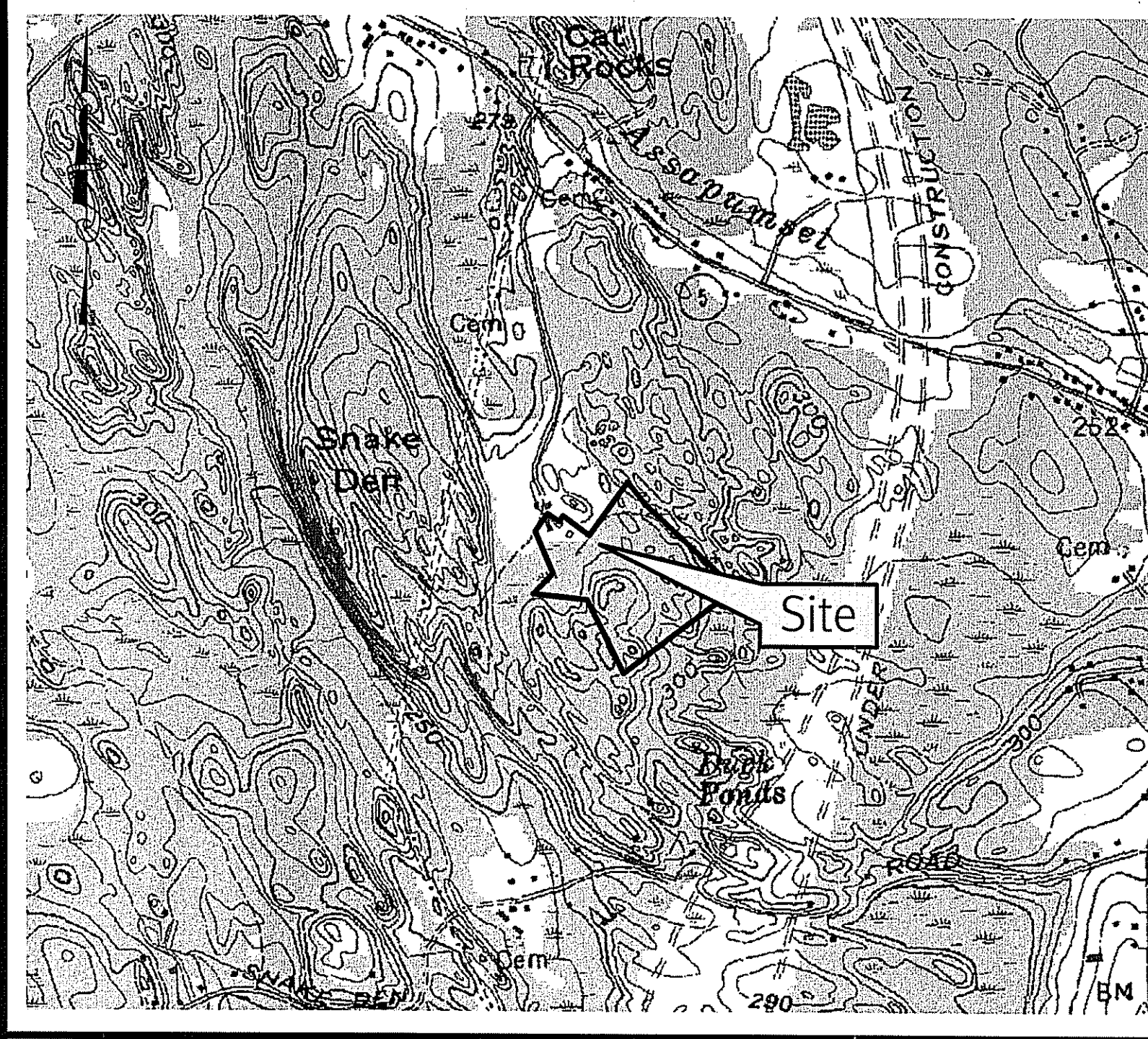
No.	Date	Description	Drawn By:	Design By:
1	03/21/2013	RIDEM Submission		
2	03/21/2013	RIDEM Submission		



SWPPP / O&M
The Stormwater Pollution Prevention Plan (SWPPP) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

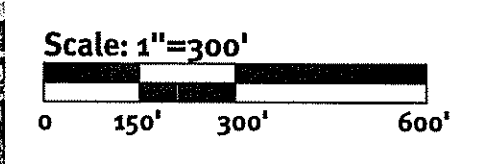
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USGS Map Scale: 1"=1000'

Photo obtained from the RI-GIS.



DEPARTMENT OF ENVIRONMENT & PLANNING
OFFICE OF WATER RESOURCES
FRESH WATER DIVISION
AS SPECIFIED IN THE LEGEND
DATED APR 3 2012 12-0218
NO CHANGES ALLOWED WITHOUT APPROVED PLANS MUST BE
Charles A. Duhamel

Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-664-6006 www.Diprete-Eng.com

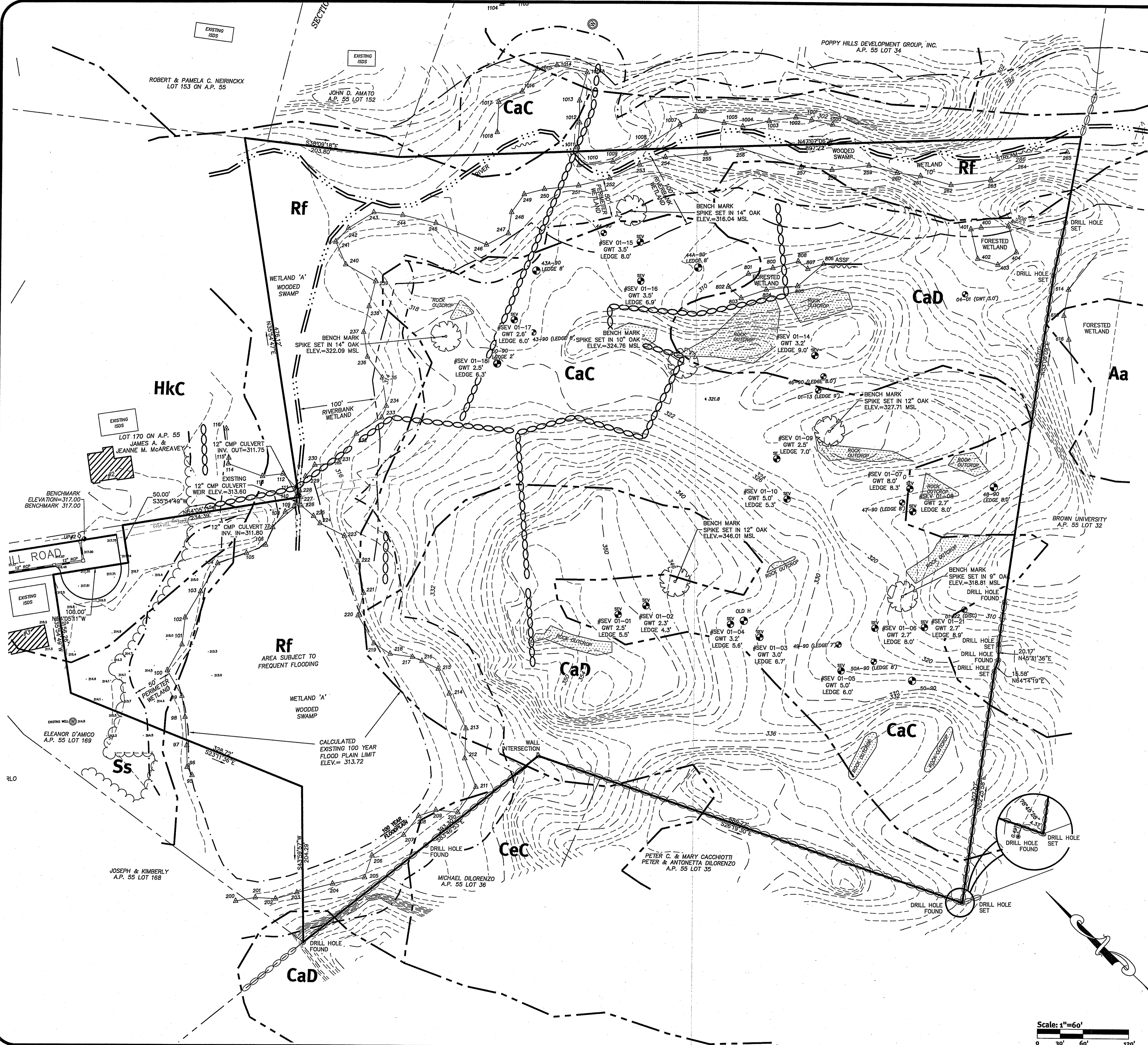
CHRISTOPHER A. DUHAMEL
Christopher A. Duhamel
REGISTERED PROFESSIONAL ENGINEER

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.

No.	Date	Description	Drawn By	Design By
1	03/21/2013	RI-GIS Revision		
2	03/21/2013	RI-GIS Description		

Aerial Half Mile Radius
Tulip Hill Road - Minor Subdivision
Applicant: **DeSimone Development, Ltd.**
P.O. Box 305, Wakefield, Rhode Island 02880

DE Job No. 0881-026 Copyright 2012 by Diprete Engineering Associates, Inc.



Dimensional Regulations:

CURRENT ZONE:	RESIDENTIAL R-40
MINIMUM LOT AREA:	40,000 SF
MINIMUM FRONTAGE/LOT WIDTH:	140
MAXIMUM BUILDING COVERAGE:	15%
MAXIMUM HEIGHT:	30'
MINIMUM FRONT YARD:	40'
MINIMUM CORNER YARD:	35'
MINIMUM SIDE YARD:	35'
MINIMUM REAR YARD:	75'

General Notes:

- THE SITE IS LOCATED ON THE TOWN OF JOHNSTON ASSESSOR'S PLAT 55 LOT 19.
- THE SITE IS APPROXIMATELY 22.05± ACRES AND IS ZONED R40.
THE OWNER OF AP 55 LOT 19 IS: DOUGLAS ENTERPRISES, LTD.
P.O. BOX 385
WAKEFIELD, RI 02880
THE APPLICANT OF AP 55 LOT 19 IS: DESIMONE DEVELOPMENT, LTD.
P.O. BOX 385
WAKEFIELD, RI 02880
- SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 4400702826, MAP REVISED MARCH 02, 2009.
ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
- TOPOGRAPHY AND BOUNDARY LINE PREPARED BY DAVID D. GARDNER ASSOCIATES, 200 METRO CENTER BOULEVARD, WARWICK, RHODE ISLAND, 02886. REFERENCE SITE PLAN PREPARED FOR POPPY HILLS DEVELOPMENT GROUP, INC. ENTITLED "FINAL SUBDIVISION PLANS, POPPY HILLS-SECTION 2" DATED SEPTEMBER 19, 2001.
- WETLANDS FLAGGED BY MASON & ASSOCIATES ON OCTOBER 24, 2002.
- THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIDEM)
NATURAL HERITAGE AREAS (RIDEM)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THERE ARE NO EXISTING STRUCTURES ON THE SITE LOCATED IN THE NATIONAL HISTORIC REGISTER OR THAT HAVE BEEN RECOGNIZED AS HAVING HISTORICAL VALUE. THERE ARE NO KNOWN HISTORIC CEMETERIES LOCATED WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
- EXISTING ADJUTING PROPERTIES ARE SERVICED BY PRIVATE WELLS, OWTS AND OVERHEAD UTILITIES.
- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS I SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THE PLAN ITSELF CONFORMS ONLY TO A CLASS III STANDARD AS ADOPTED BY RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD.
- PREVIOUS RIDEM FRESHWATER WETLANDS APPLICATION 04-0016

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-943-6006 www.Diprete-Eng.com

MICHAEL E. GAVITT
1981
PROFESSIONAL
LAND SURVEYOR

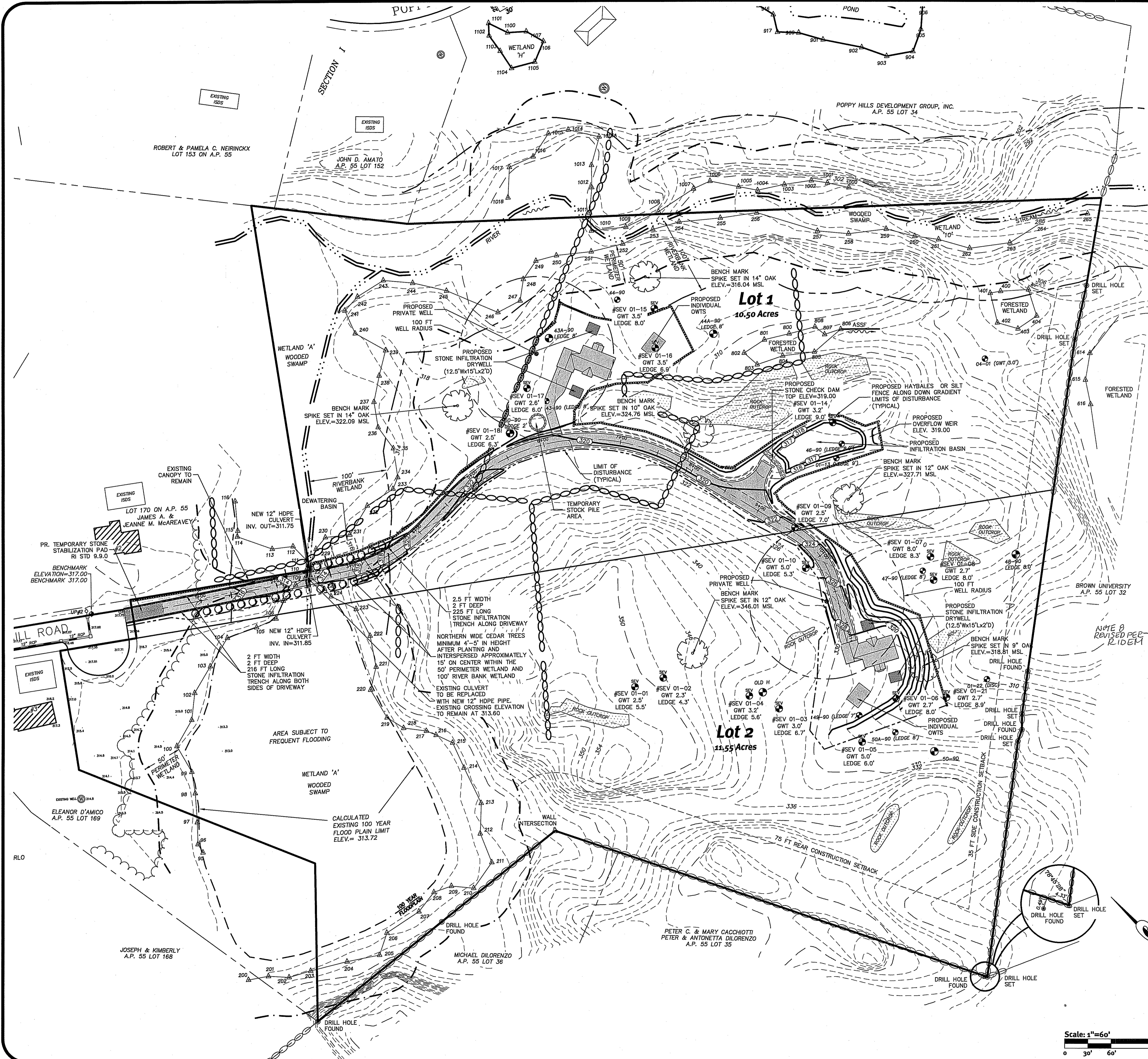
Certification:
THIS SURVEY AND PLAN CONFORMS TO A CLASS III STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.
3/21/13
REGISTERED PROFESSIONAL LAND SURVEYOR

This regulatory submission set shall not be used for construction purposes unless stamped "Issued for Construction" and signed by a Diprete Engineering representative.

No.	Date	Description	Design By:
1	3/21/13	Final Submission	MEG
2	3/21/13	Final Submission	MEG
3	3/21/13	Final Submission	MEG

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 9 2013 FILE # 12-0218
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Charles H. Houghton

Existing Conditions
Tulip Hill Road - Minor Subdivision
Assessor's Plat 55 Lot 19
Johnston, Rhode Island
Applicant:
DeSimone Development, Ltd.
P.O. Box 385 Wakefield, Rhode Island 02880



Dimensional Regulations:

CURRENT ZONE:	RESIDENTIAL R-40
MINIMUM LOT AREA:	40,000 SF
MINIMUM FRONTAGE/LOT WIDTH:	140
MAXIMUM BUILDING COVERAGE:	15%
MAXIMUM HEIGHT:	30'
MINIMUM FRONT YARD:	40'
MINIMUM CORNER YARD:	35'
MINIMUM SIDE YARD:	35'
MINIMUM REAR YARD:	75'

Development Data:

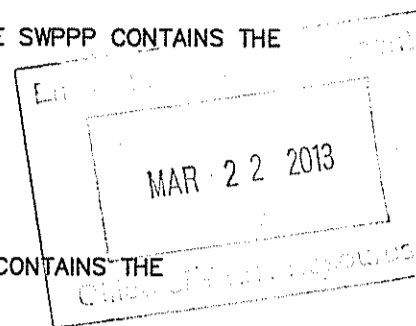
TOTAL SITE AREA:	22.05 ACRES
TOTAL NUMBER OF LOTS:	2
TOTAL DWELLING UNITS:	2
TOTAL AREA OF LOTS:	22.05 ACRES
AVERAGE LOT AREA:	11.03 ACRES

General Notes:

- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - OPERATIONS AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS THE FOLLOWING:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION
- THE SITE IS TO BE SERVICED BY PRIVATE WELLS AND OWTS.
- DRIVEWAY IS PROPOSED WITH A 16 FT WIDTH AND 2 FT OF CLEARING ON EACH SIDE TO PROVIDE A TOTAL OF 20 FT CLEARANCE FOR FIRE SAFETY.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF JOHNSTON SUBDIVISION AND LAND USE REGULATIONS WITH THE USE OF GRASS SWALES, STONE INFILTRATION TRENCHES, AND AN INFILTRATION BASIN. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE.
- CONSTRUCTION WITHIN THE WETLAND BUFFER MUST OCCUR BETWEEN JULY 1 AND OCTOBER 31. NO CONSTRUCTION WITHIN THE WETLAND BUFFER IS ALLOWED OUTSIDE OF THESE DATES.

Grading and Utility Notes:

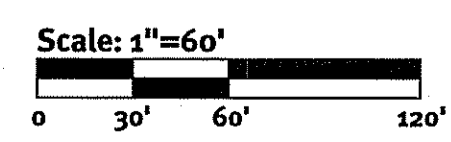
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON-SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY DIG SAFE 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION TO COMMENCE SUMMER 2013 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF JOHNSTON STANDARD SPECIFICATIONS AND DETAILS.
- SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDINGS TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- ALL PROPOSED ABOVEGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION. ALL UTILITY OVERHEAD WIRES MUST BE INSTALLED WITHIN THE APPROVED CLEARANCE AS THEY CROSS OVER WETLANDS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
- ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- ALL COMPONENTS OF THE DRAINAGE AND WATER SYSTEMS MUST BE ABSULT PRIOR TO COVERING. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
- NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ON-SITE OR REMOVED.
- NO STUMP DUMPS ARE PROPOSED ON-SITE.
- ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.



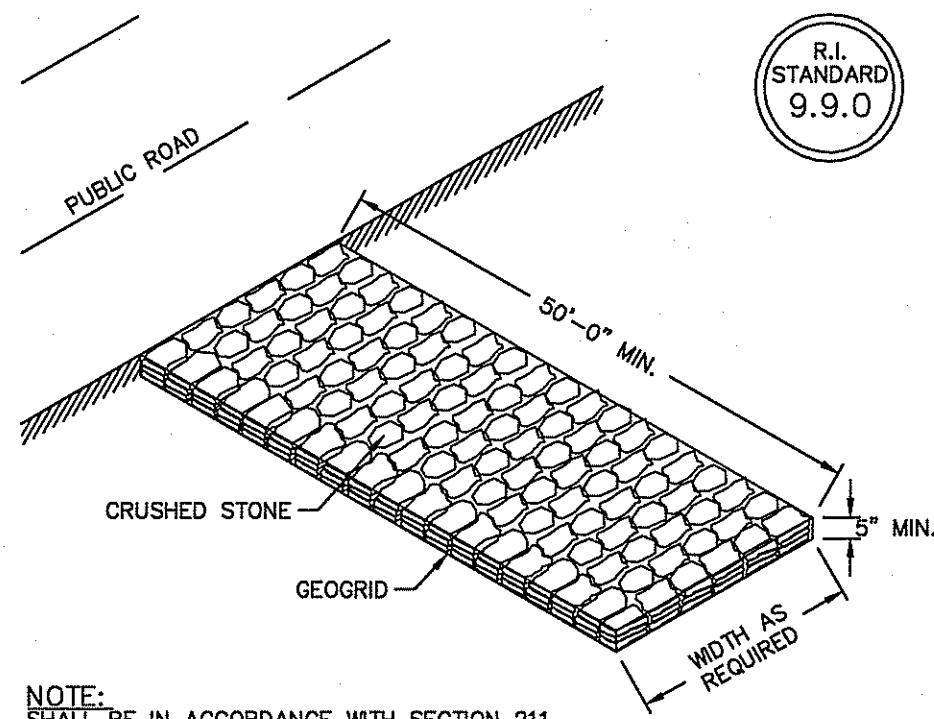
CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER

DATE	DESCRIPTION	DESIGN BY
03-22-2013	RIEM Submission	By: [Signature]
03-28-2013	RIEM Submission	By: [Signature]
03-28-2013	RIEM Submission	By: [Signature]

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 3 2013 FILE # 12-0218
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Charles A. Duhamel

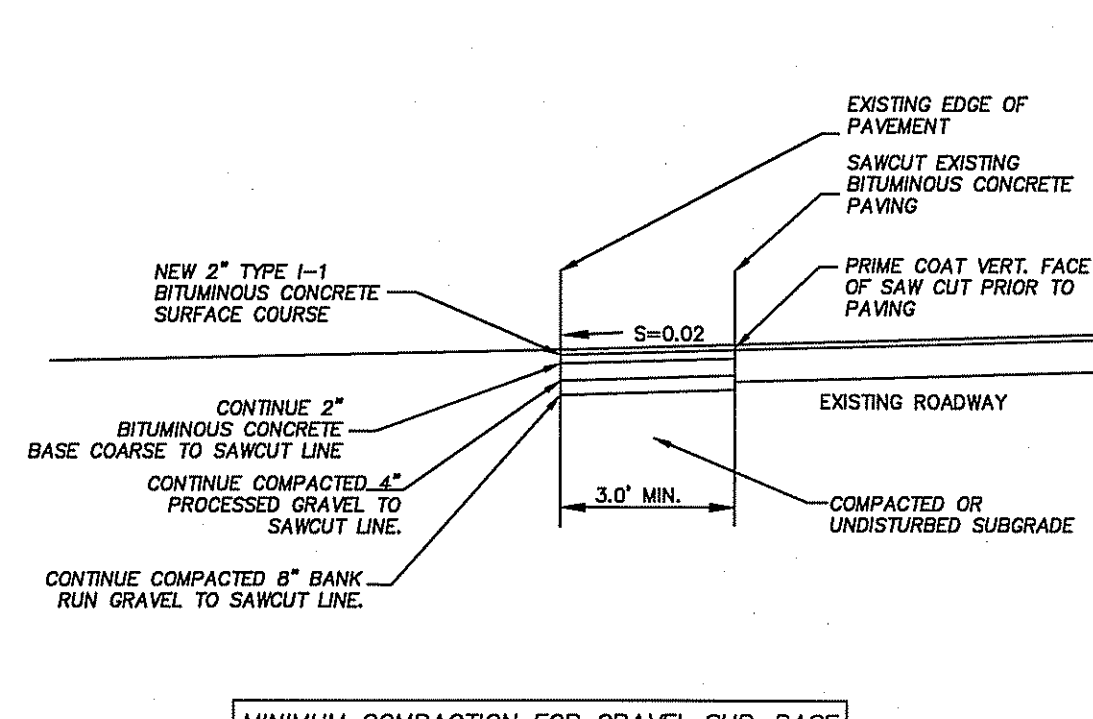


Site Plan
Tulip Hill Road - Minor Subdivision
DeSimone Development, Ltd.
P.O. Box 395, Wakefield, Rhode Island 02880



NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

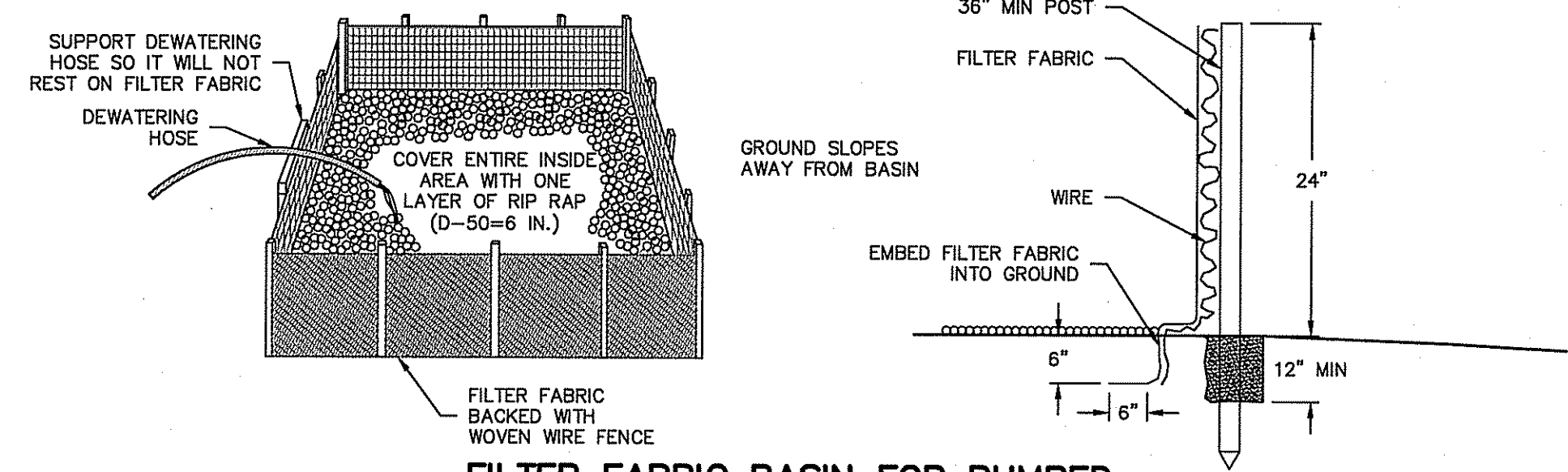
CONSTRUCTION ACCESS
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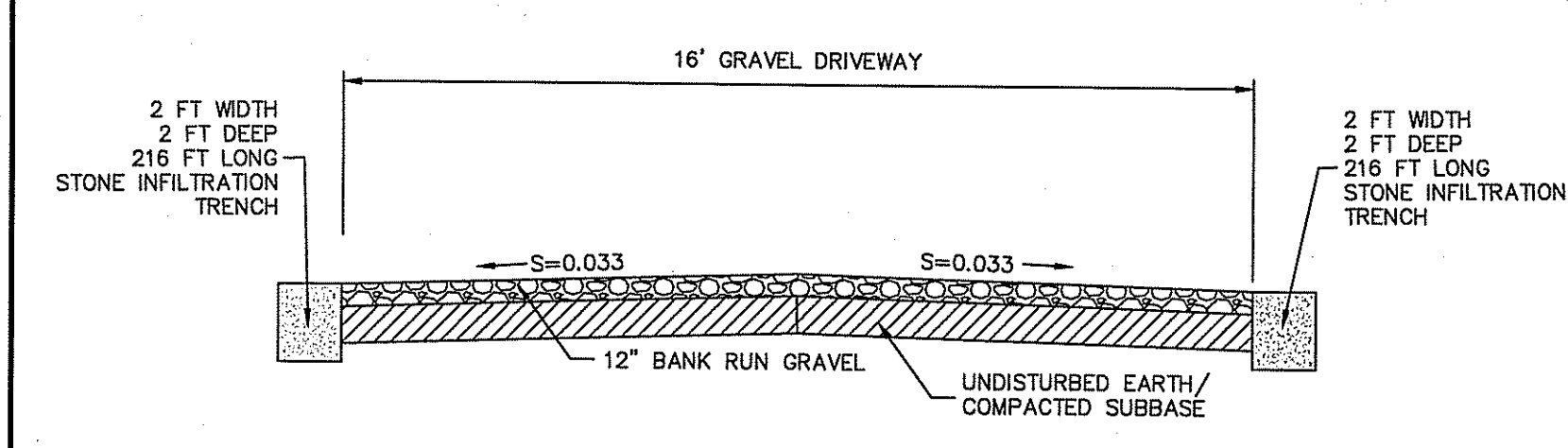
MINIMUM COMPACTION FOR GRAVEL SUB-BASE OR SUBGRADE: 95% MOD PROCTOR

SAWCUT & MATCH PAVEMENT DETAIL
NOT TO SCALE

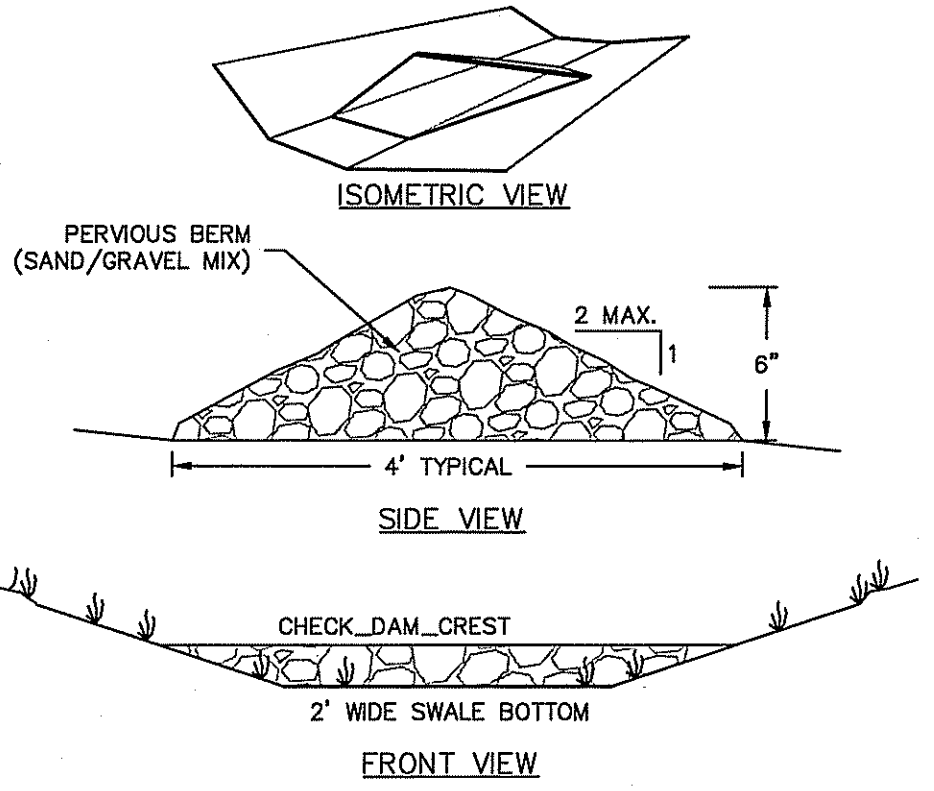
- NOTES:
1. THE BASIN STORAGE VOLUME SHOULD NOT BE LESS THAN THE TOTAL VOLUME OF WATER THAT COULD BE PUMPED DURING A 4-HOUR PERIOD.
 2. FILTER FABRIC BASINS SHOULD BE CONSTRUCTED ON LEVEL OR NEARLY LEVEL GROUND.
 3. THE AREA AROUND THE FILTER FABRIC BASIN MUST BE STABILIZED TO PREVENT EROSION BY WATER EXITING THE BASIN.
 4. REMOVED SEDIMENT WHEN ACCUMULATION REACHES ONE-HALF THE ORIGINAL HEIGHT OF THE FILTER FABRIC.
 5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN PROPER WORKING CONDITIONS AS LONG AS IT IS IN PLACE.
 6. FILTER FABRIC BASINS AND ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE BASIN'S USEFUL LIFE HAS BEEN COMPLETED. THE AREA COVERED BY THE BASIN SHALL BE SEED AND MULCHED IMMEDIATELY AFTER THE BASIN IS REMOVED.



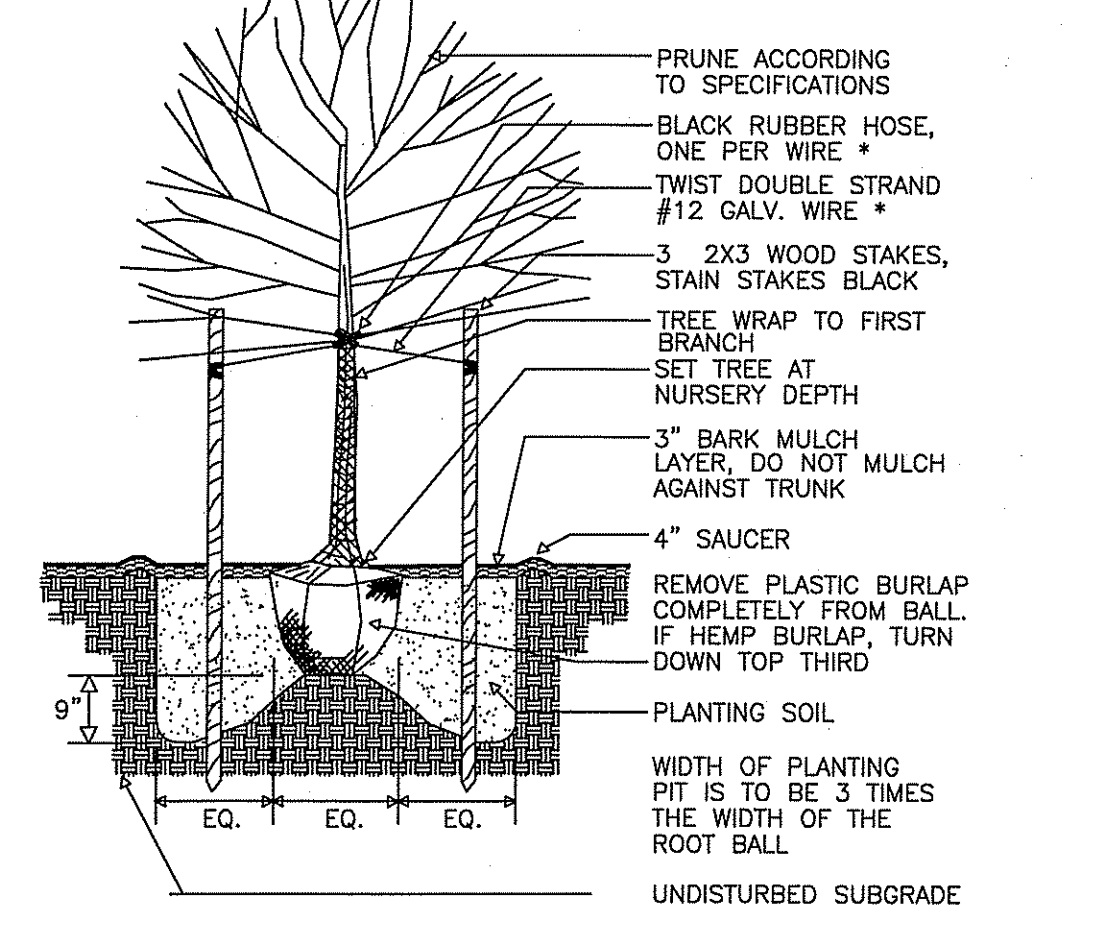
FILTER FABRIC BASIN FOR PUMPED DEWATERING DISCHARGE
NOT TO SCALE



ROADWAY CONSTRUCTION CROSS SECTION (0+00-2+20)
NOT TO SCALE

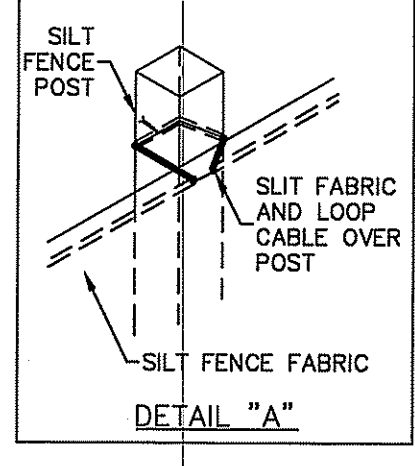


DRAINAGE SWALE STONE CHECK DAM (LOW IMPACT DEVELOPMENT BMP)
NOT TO SCALE

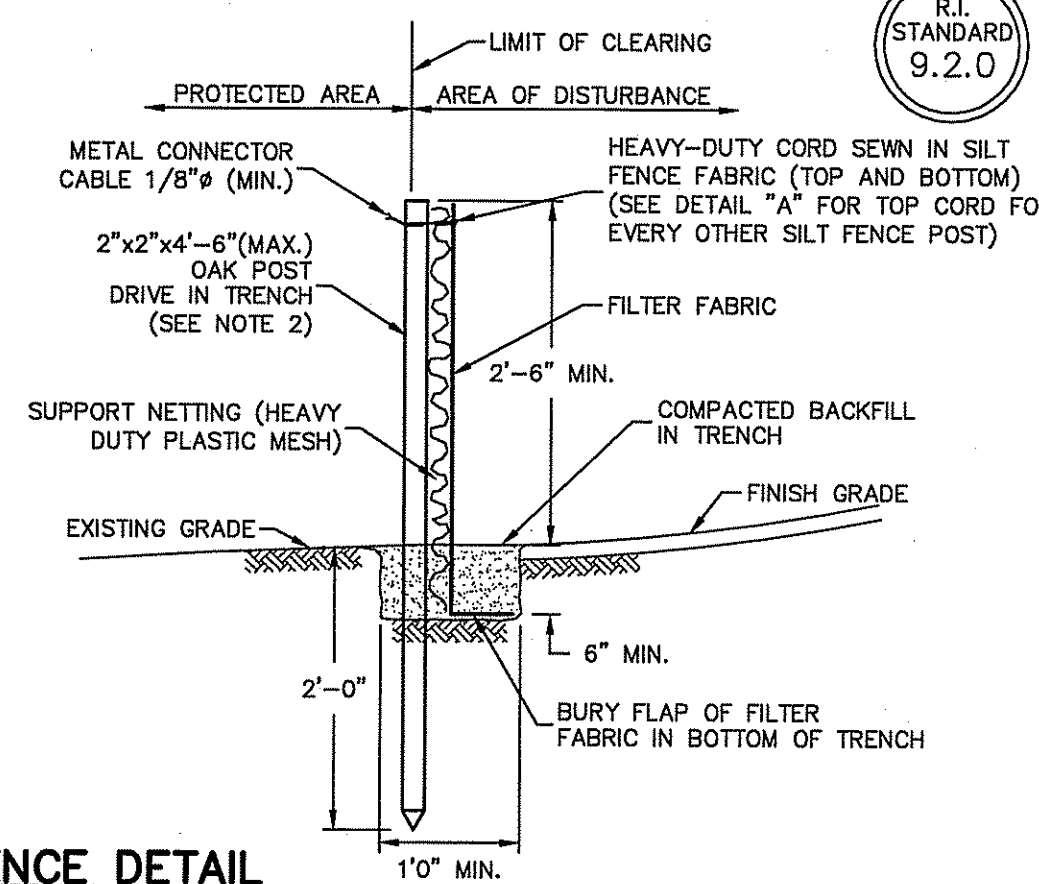


TREE PLANTING DETAIL
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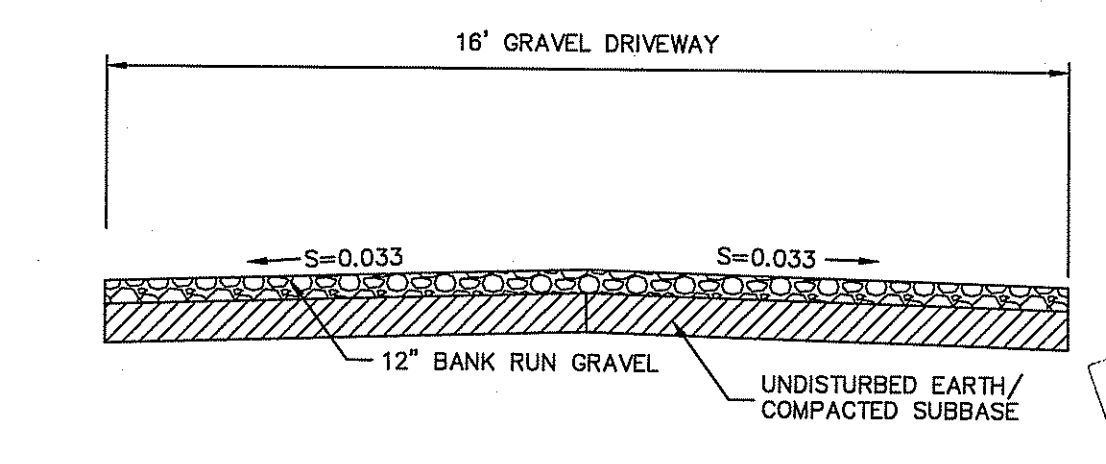
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4'-6"(MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-6"(MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



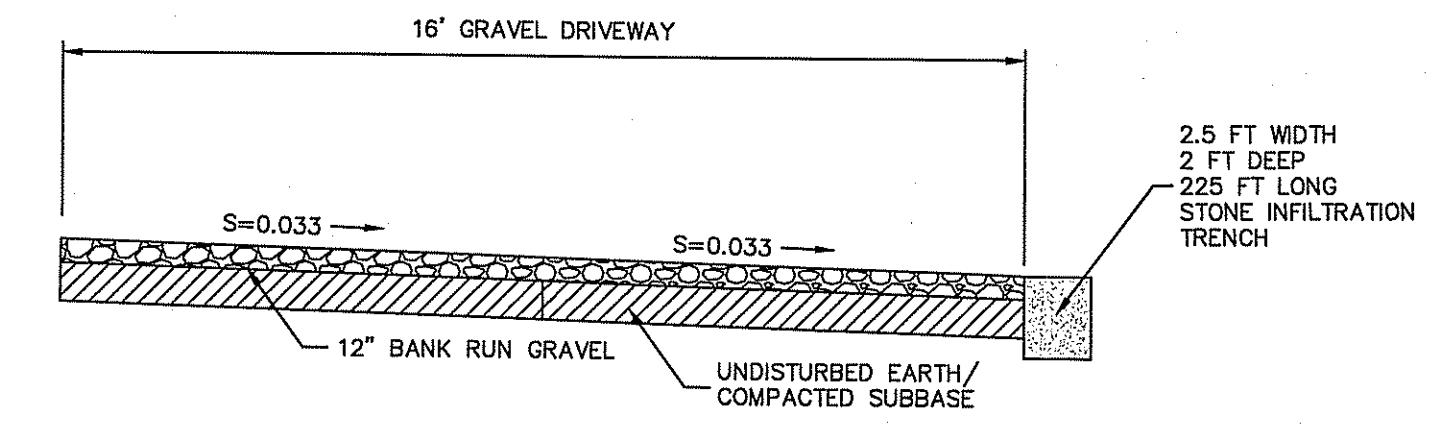
SILT FENCE DETAIL
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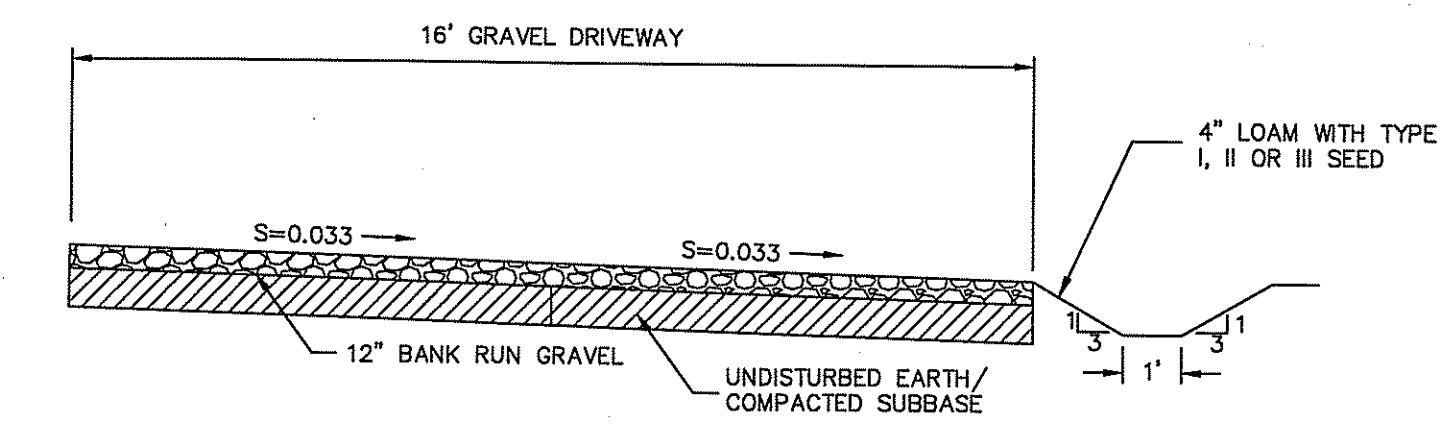
R.I. STANDARD 9.2.0



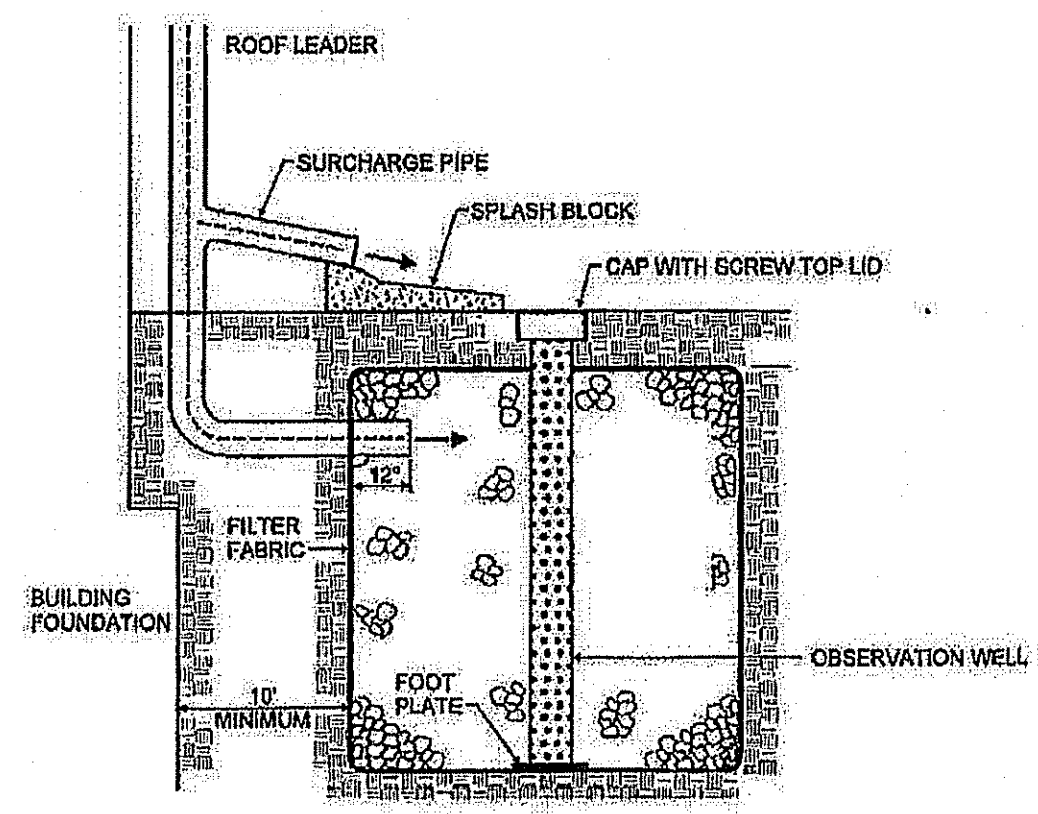
ROADWAY CONSTRUCTION CROSS SECTION (2+20-2+80)
NOT TO SCALE



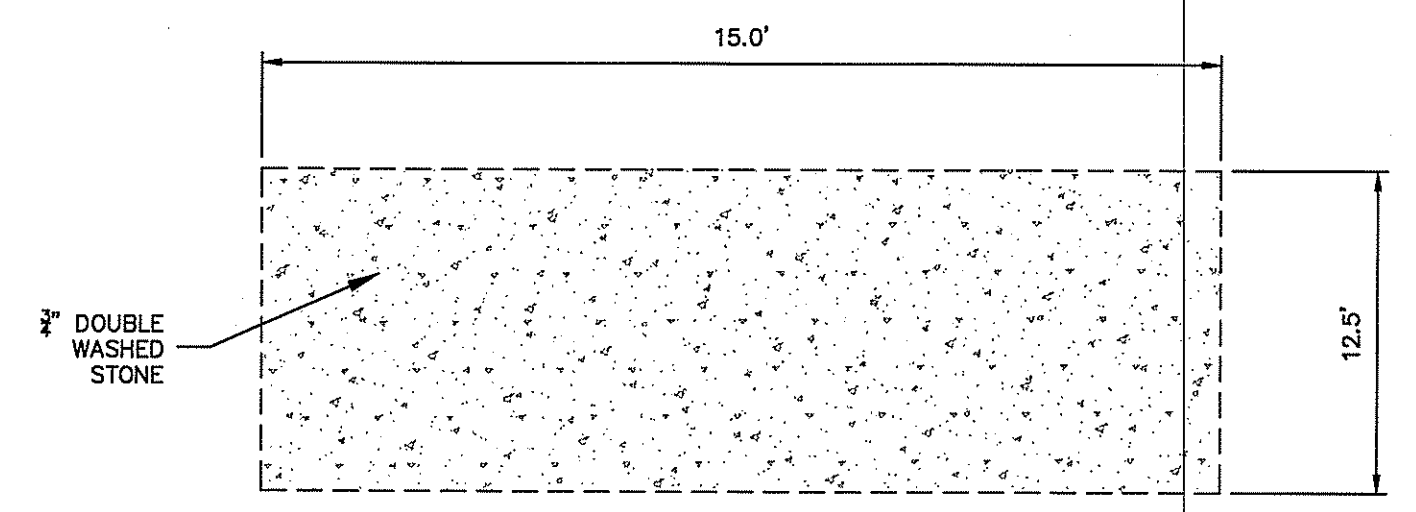
ROADWAY CONSTRUCTION CROSS SECTION (2+80-4+90)
NOT TO SCALE



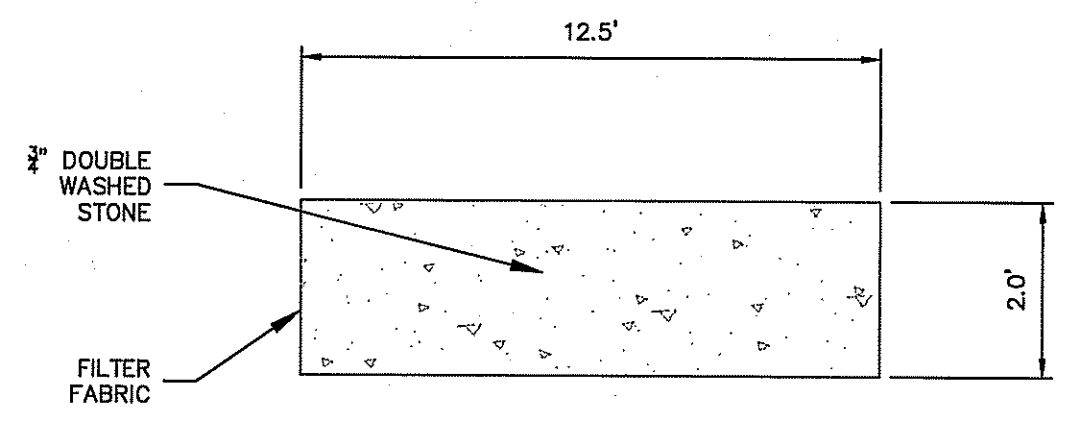
ROADWAY CONSTRUCTION CROSS SECTION (5+50-11+18)
NOT TO SCALE



DRY WELL DOWNSPOUT DETAIL
NOT TO SCALE

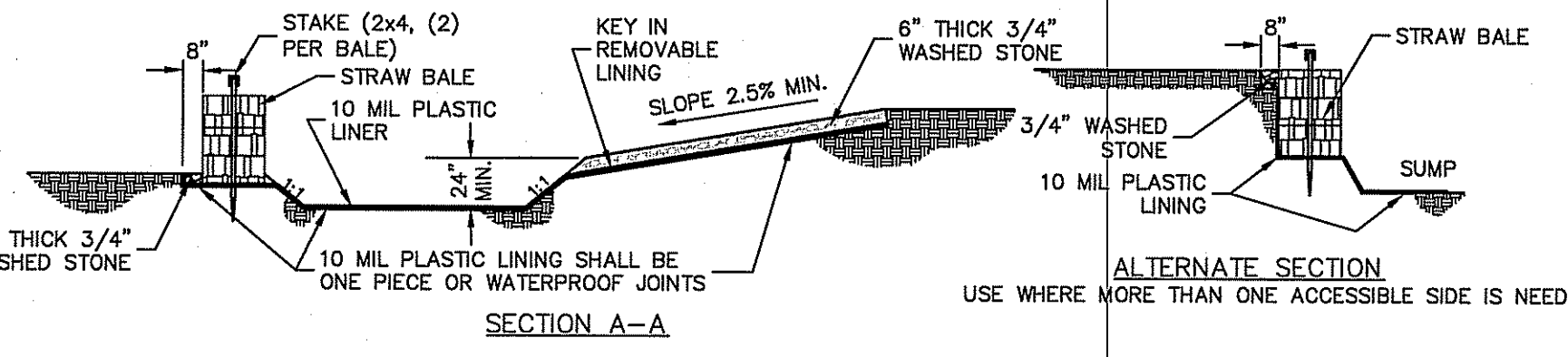
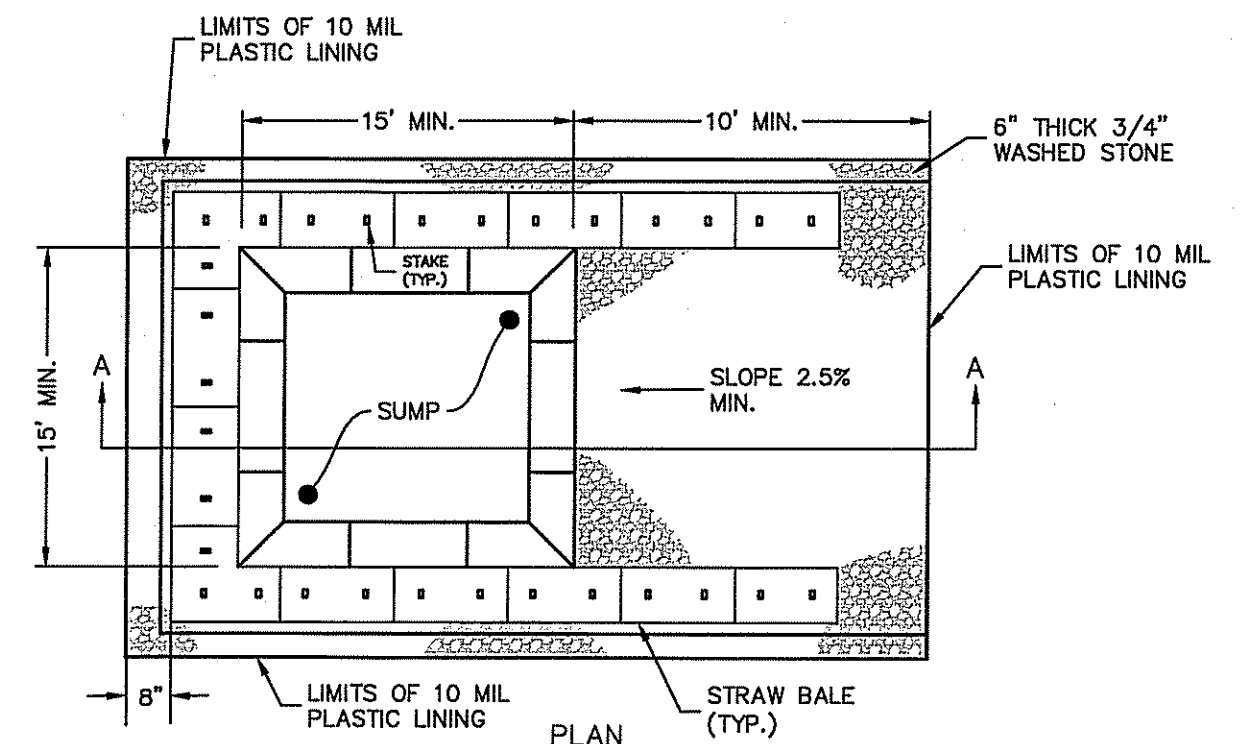


RESIDENTIAL DRY WELL PLAN VIEW
NOT TO SCALE



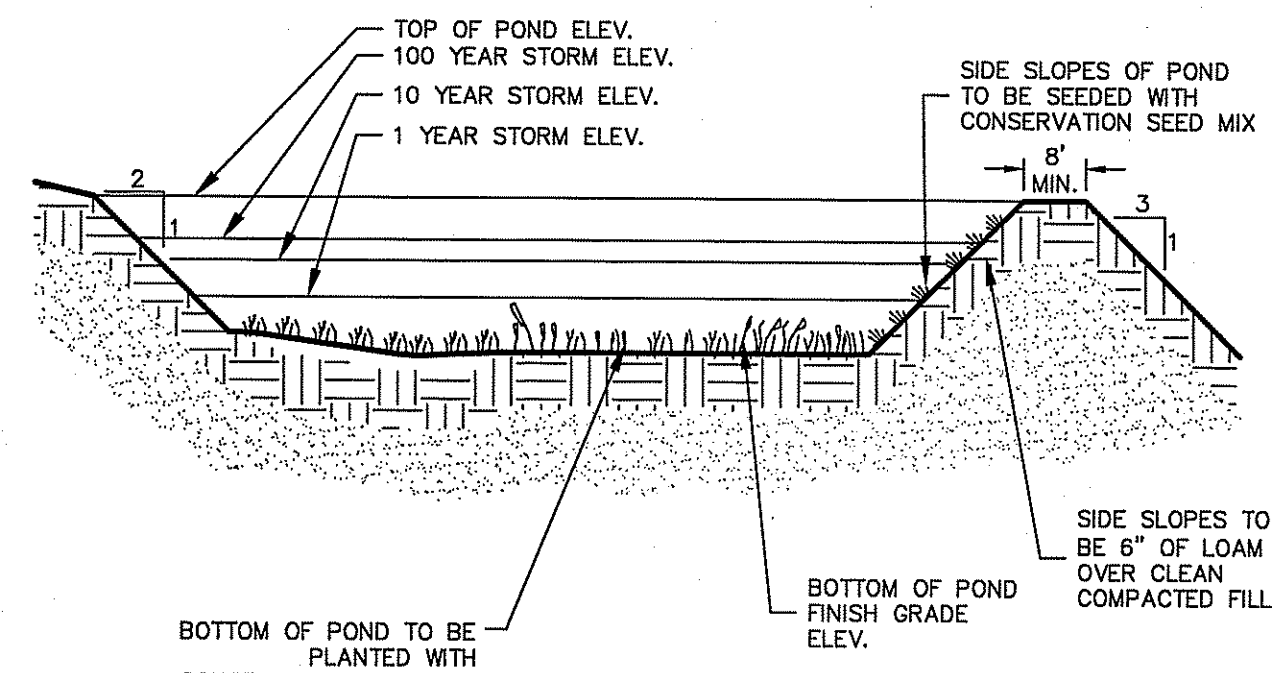
RESIDENTIAL DRY WELL CROSS SECTION
NOT TO SCALE

NOTE: EACH HOME PROPOSED WITH ONE STONE DRYWELL FOR DOWNSPOUTS FROM THE FRONT AND REAR OF THE HOME



CONCRETE WASHOUT AREA
(NOT TO SCALE)

- NOTES:
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAW CUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT & GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, & SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



INFILTRATION BASIN A TYPICAL CROSS SECTION
NOT TO SCALE

DESCRIPTION	BASIN A
TOP OF POND ELEVATION	320.00
BOTTOM OF POND	317.00
100 YEAR STORM ELEVATION	319.28
10 YEAR STORM ELEVATION	318.27
1 YEAR STORM ELEVATION	317.04
SEASONAL HIGH GW ELEVATION	315.00
SOIL EVALUATION 1-14	3.2 FT

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Charles A. Herbert

DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
tel: 401-949-1000 fax: 401-464-6006 www.DiPrete-Eng.com
Engineers - Planners - Surveyors

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.

No.	Date	Description	Drawn By:	Design By:
1	07-23-2013	REGULATORY SUBMISSION		
2	07-23-2013	REGULATORY SUBMISSION		

Detail Sheet - 1
Tulip Hill Road - Minor Subdivision
Assessor's Plat 55 Lot 19
Johnston, Rhode Island
Applicant: **DeSimone Development, Ltd.**
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