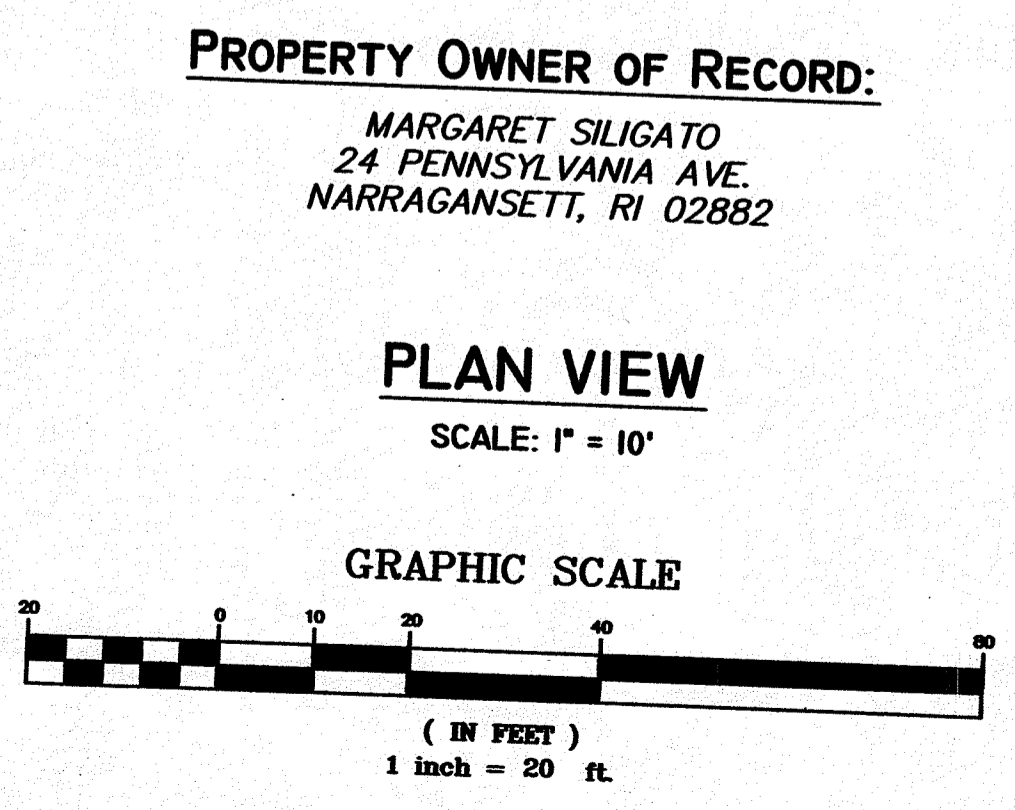
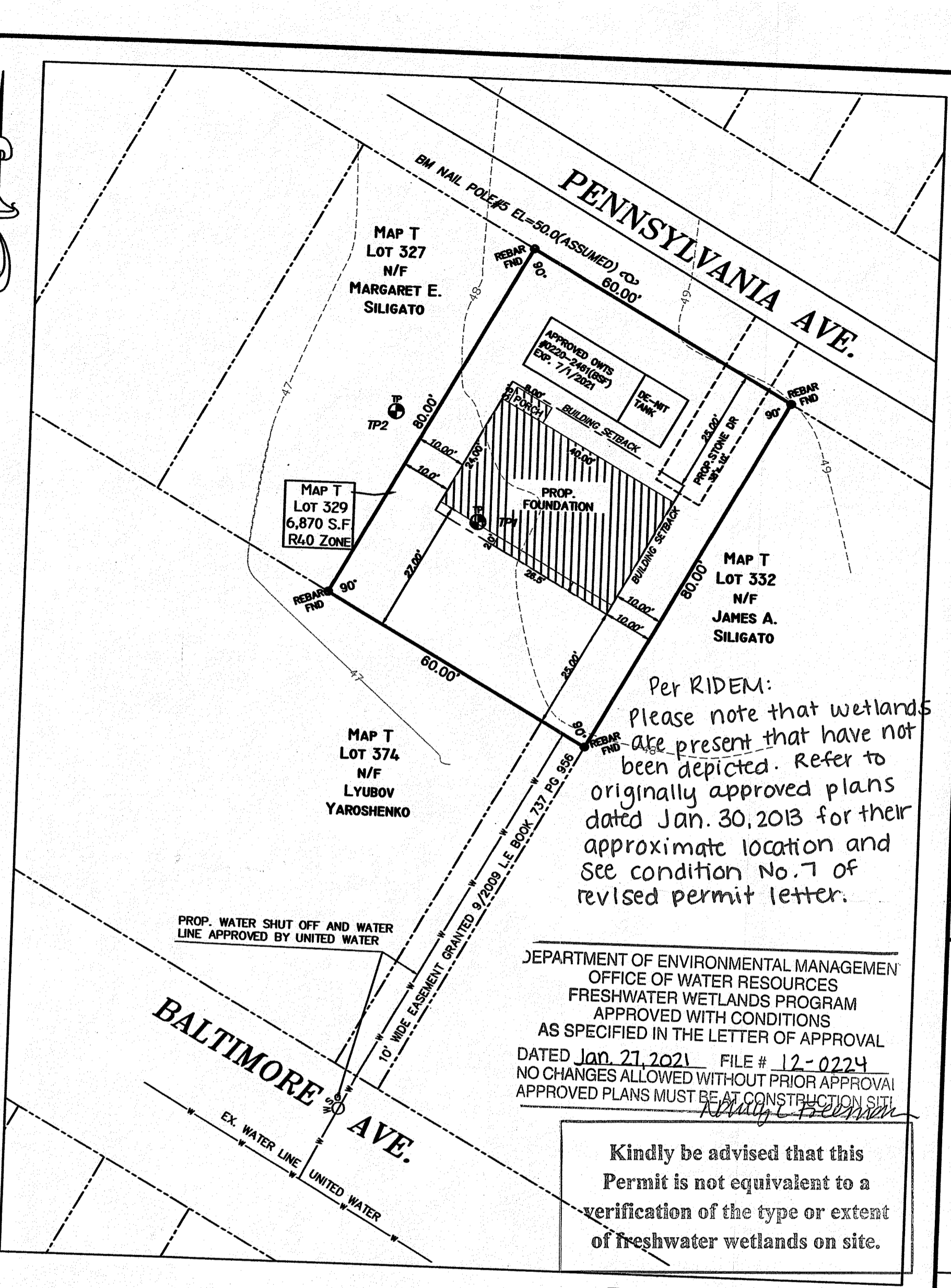


R4.0 ZONING DATA
(FOR LEGALLY CREATED NON-CONFORMING LOT OF RECORD)

	REQUIRED	EXISTING	PROPOSED
LOT AREA	40,000 SF	*4,800 SF	
WIDTH	100'+	* 60'	
FRONT YARD	25'	>25'	>25'
SIDE YARD	10'	>10'	=10'
REAR YARD	25'	>25'	>25'
Lot COVERAGE	25%		21.7%
			1,041 SF

(COVERAGE INCLUDES ALL STRUCTURES)
* NON-CONFORMING CONDITIONS



WESLEY GRANT III
No. 12368
PROFESSIONAL LAND SURVEYOR

Environmental Management
JAN - 4 2021
Office of Water Resources



LOCUS MAP N.T.S.

LEGEND

123.45	DISTANCE IN FEET
○	WELL
□	EXISTING BOUND
○	DRILL HOLE
○	IRON PIN
○	UTILITY POLE
○	DHF
—	EDGE OF PAVEMENT
—	EXISTING TREELINE
—	ABUTTING PROPERTY LINE
—	PROPOSED PROPERTY LINE
—	EXISTING PROPERTY LINE TO BE ABANDONED
—	PROPERTY LINE
—	PROPOSED CONTOUR

SITE PLAN
PREPARED FOR:
MARGARET SILIGATO
24 PENNSYLVANIA AVENUE
NARRAGANSETT, RI

FOR PROPERTY LOCATED ON:
24 PENNSYLVANIA AVE.

IN THE TOWN OF:
NARRAGANSETT, RHODE ISLAND
MAP T LOT 329
R4.0 ZONING

#	DATE	ADD CONTOURS DESCRIPTION	AHH BY
1	7/15/20		

DRAWN BY: A.H.H./Z.M.D. DATE: 7/6/20
CHECKED BY: WG 111 DRAWING #: 6840.002
JOB #: 6840.00 SHEET: 1

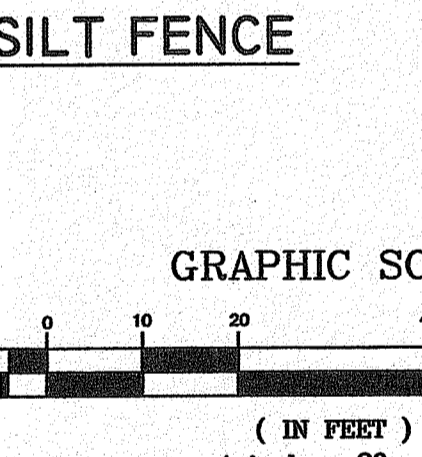
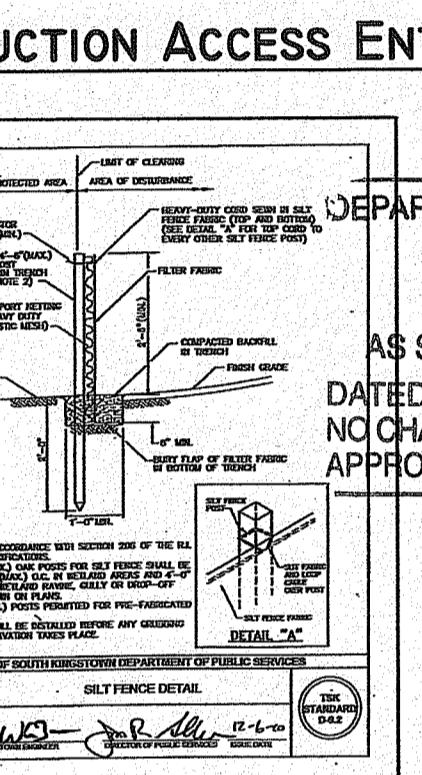
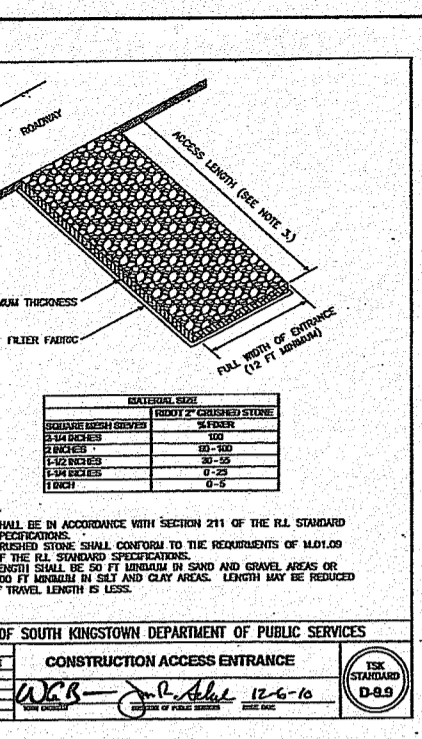
EPS
ENVIRONMENTAL PLANNING & SURVEYING, INC.
CIVIL ENGINEERING
SURVEYING
CAD DRAFTING
52 DUGWAY BRIDGE RD. WEST KINGSTON, RI 02892 (401) 789-3628

NOTES

1) SITE IS LOCATED WITHIN FLOOD ZONE X, AN AREA OF MINIMAL FLOOD DAMAGE, ACCORDING TO FLOOD INSURANCE RATE MAP FOR THE WASHINGTON COUNTY COMMUNITY PANEL NUMBER 44009C0213.J. MAP EFFECTIVE DATE OCTOBER 16, 2013.

2) SUBJECT SITE LIES WITHIN A FRESHWATER WETLANDS OVERLAY STRICT. SUBJECT SITE LIES WITHIN A HIGH WATER TABLE OVERLAY AREA.

REFERENCES INCLUDE:
1) QUITCLAIM DEED GRANTED TO DENISE EASTON BY DENNIS E. HUGHES AND ANNA R. HUGHES, HUSBAND AND WIFE, OF THE TOWN OF NARRAGANSETT, COUNTY OF WASHINGTON, STATE OF RHODE ISLAND. RECORDED IN THE RECORDS OF LAND EVIDENCE IN THE TOWN OF NARRAGANSETT IN BOOK 466 PAGE 278. RECORDED 11-20-2001.
2) BEING THE SAME PREMISE QUITCLAIM DEED CONVEYED TO DENNIS E. HUGHES AND ANNA R. HUGHES, BY G. WILSON LITTLE, TREASURER OF THE TOWN OF NARRAGANSETT, BY ASSIGNMENT OF TAX TITLE DATED SEPTEMBER 15TH, 1966 AND RECORDED IN THE RECORDS OF LAND EVIDENCE IN THE TOWN OF NARRAGANSETT IN BOOK 59 PAGE 476.



SOIL STABILIZATION & PLANTING PROGRAM:

ACCEPTABLE PLANTING MATERIALS:
 1. THE MATERIAL TO BE FURNISHED SHALL CONSIST OF LOOSE, FRIABLE, SANDY LOAM OR LOAM TOPSOIL FREE OF A MIXTURE OF SUBSOIL, REFUSE STUMPS, ROOTS, ROCKS, BRUSH, WEEDS & OTHER MATERIAL WHICH WOULD PREVENT THE FORMATION OF A SUITABLE SEED BED.
 2. MIXTURES—ALL LEGUME SEED SHALL BE INOCULATED WITH 24 HOURS BEFORE MIXING & PLANTING WITH THE APPROPRIATE INOCULUM FOR EACH VARIETY. ALL INOCULA SHALL BE FRESH & SHALL BE USED WITHIN THE DATE OF USE PRESCRIBED BY THE MANUFACTURER.

RELATIVELY FLAT SLOPES MIX:
 FESCUE—CHEWINGS PENNLAWN OR CREEPING.
 KENTUCKY BLUEGRASS
 PERENNIAL BENTGRASS (ASTORIA OR EXETER)
 PERENNIAL RYEGRASS
 SEEDING RATE = 100 LBS PER ACRE***

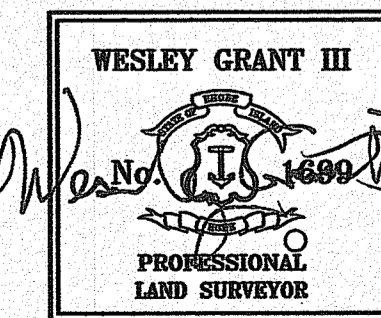
SOD WATERWAYS, DRAINAGE DITCHES & INFILTRATION BASINS MIX:
 PERENNIAL RED FESCUE
 PERENNIAL RYEGRASS OR REED CANARY GRASS
 USE REED CANARY GRASS WHERE MOWING IS NOT REQUIRED***
 ACCEPTED PLANTING SEASON SHALL BE BETWEEN APRIL 1ST AND OCTOBER 15. THE CONTRACTOR SHOULD ESTABLISH PLANTING ON ALL DISTURBED AREAS.
 THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FOUR (4) INCHES OF LOAM ON AREAS UP TO 10% IN GRADE. AREAS OVER 10% SHALL RECEIVE A MINIMUM OF SIX (6) INCHES.

REFERENCE IS HEREBY MADE TO THE RHODE ISLAND SOIL EROSION & SEDIMENT CONTROL HANDBOOK PUBLISHED BY THE SOIL CONSERVATION SERVICE. THE GUIDELINES SHOWN THEREIN SHOULD BE INCORPORATED INTO THE CONSTRUCTION PRACTICES ON SITE.

% BY WEIGHT	ITEM
70	FESCUE—CHEWINGS PENNLAWN OR CREEPING.
15	KENTUCKY BLUEGRASS
5	PERENNIAL BENTGRASS (ASTORIA OR EXETER)
10	PERENNIAL RYEGRASS
50	PERENNIAL RED FESCUE
50	PERENNIAL RYEGRASS OR REED CANARY GRASS

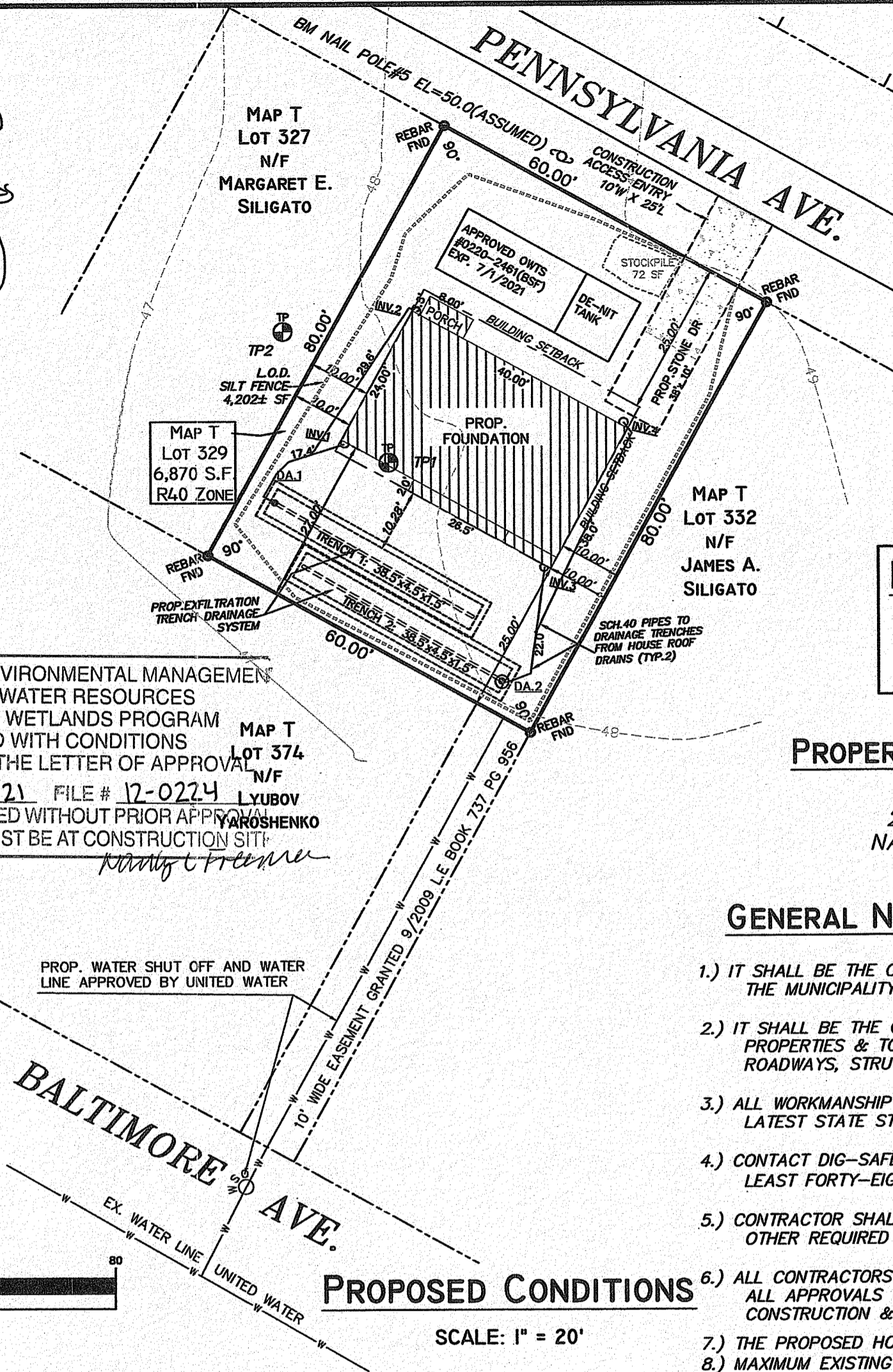
Kindly be advised that this permit is not equivalent to a verification of the type or of freshwater wetlands on site.

MINIMUM SETBACK DISTANCES FOR INFILTRATION TRENCHES & DRYWELLS		
SETBACKS: DRYWELLS/INFILTRATION TRENCHES :	REQUIRED	PROPOSED
EXISTING WELLS	50'	NA
EXISTING/PROP.OWTS	15'	NA
EXIST./PROP.BUILDINGS	10'	>10'
WETLAND BUFFERS	50'	>50'



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 52 DUGWAY BRIDGE RD. WEST KINGSTON, RI 02892 (401) 789-3628



NOTES

- 1.) SITE IS LOCATED WITHIN FLOOD ZONE X, AN AREA OF MINIMAL FLOOD DAMAGE, ACCORDING TO FLOOD INSURANCE RATE MAP FOR THE WASHINGTON COUNTY COMMUNITY PANEL NUMBER 44009C0213J. MAP EFFECTIVE DATE OCTOBER 16, 2013.
- 2.) SUBJECT SITE LIES WITHIN A FRESHWATER WETLANDS OVERLAY DISTRICT. SUBJECT SITE LIES WITHIN A HIGH WATER TABLE OVERLAY AREA.

REFERENCES INCLUDE:

- 3.) QUITCLAIM DEED GRANTED TO DENISE EASTON BY DENNIS E. HUGHES AND ANNA R. HUGHES, HUSBAND AND WIFE, OF THE TOWN OF NARRAGANSETT, COUNTY OF WASHINGTON, STATE OF RHODE ISLAND. RECORDED IN THE RECORDS OF LAND EVIDENCE IN THE TOWN OF NARRAGANSETT IN BOOK 466 PAGE 278. RECORDED 11-20-2001.
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RIGL 34-13-1 INDEX
 BOSTON ROW
 BALTIMORE AVE.
 OCEAN ROAD

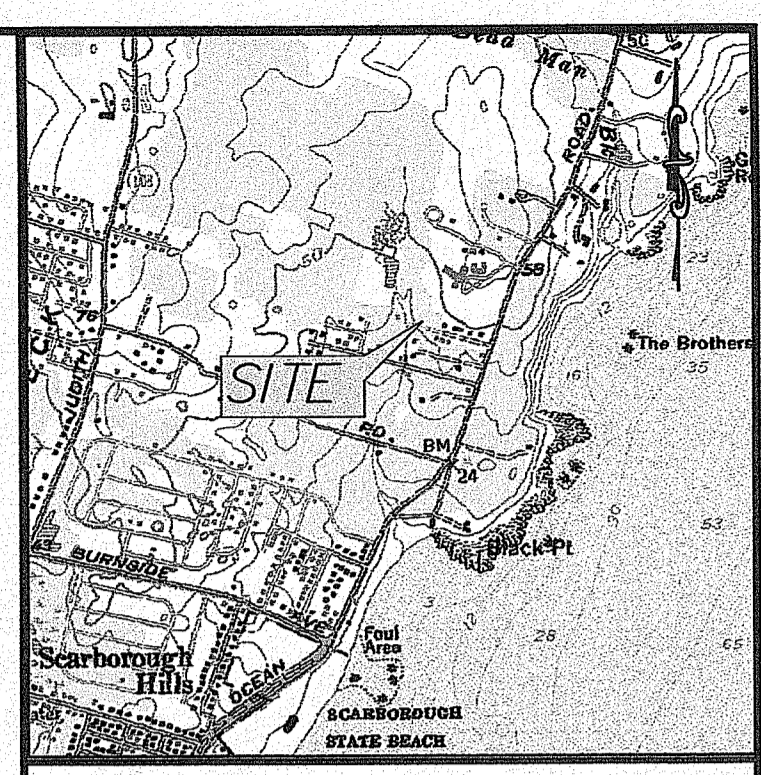
R40 ZONING DATA
 (FOR LEGALLY CREATED NON-CONFORMING LOT OF RECORD)

	REQUIRED	EXISTING	PROPOSED
LOT AREA	40,000 SF	*4,800 SF	
WIDTH	100'+	* 60'	
FRONT YARD	25'	>25'	>25'
SIDE YARD	10'	>10'	=10'
REAR YARD	25'	>25'	>25'
Lot COVERAGE	25%		21.7% 1,041 SF

(* NON-CONFORMING CONDITIONS)

PROPERTY OWNER OF RECORD:
 MARGARET SILIGATO
 24 PENNSYLVANIA AVE.
 NARRAGANSETT, RI 02882

- GENERAL NOTES**
- 1.) IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY & ALL PERMITS REQUIRED BY THE STATE & THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
 - 2.) IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DOCUMENT EXISTING CONDITIONS OF SURROUNDING PROPERTIES & TO MAINTAIN THE INTEGRITY OF SAME. ANY DAMAGE TO & THE COST OF REPAIRS OF UTILITIES, ROADWAYS, STRUCTURES & SURROUNDING PROPERTY SHALL BE FULLY BORNE BY THE CONTRACTOR.
 - 3.) ALL WORKMANSHIP & MATERIALS SHALL MEET OR EXCEED THE LATEST STANDARDS OF THE MUNICIPALITY, AND THE LATEST STATE STANDARDS & SPECIFICATIONS PUBLISHED FOR ROAD & BRIDGE CONSTRUCTION.
 - 4.) CONTACT DIG-SAFE & UTILITY COMPANIES FOR EXACT ON-SITE LOCATION OF EXISTING UNDERGROUND UTILITIES AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
 - 5.) CONTRACTOR SHALL OBTAIN REQUIRED INSPECTION SCHEDULE OF THE MUNICIPALITY. UTILITY COMPANIES & ALL OTHER REQUIRED PARTIES & SHALL STRICTLY ADHERE TO THOSE REQUIREMENTS.
 - 6.) ALL CONTRACTORS SHALL ADHERE TO ALL CONDITIONS OF CONSTRUCTION APPROVALS & SHALL KEEP A COPY OF ALL APPROVALS ON-SITE DURING CONSTRUCTION. CONTRACTOR SHALL READ ALL APPROVALS PRIOR TO START OF CONSTRUCTION & SHALL CLARIFY ANY QUESTIONS BEFOREHAND.
 - 7.) THE PROPOSED HOUSE IS SERVICED BY PUBLIC WATER & GAS. THERE IS AN APPROVED OWTS APPLICATION # 0220-2461.
 - 8.) MAXIMUM EXISTING SLOPE GRADE WITHIN L.O.D.=0.01%±.
 - 9.) THE TOTAL AREA OF SOIL DISTURBANCE ASSOCIATED WITH THE PROJECT IS 4,082 S.F.± THE PROPOSED RESIDENTIAL CONSTRUCTION SITE WILL BE SURROUNDED BY TEMPORARY SILT FENCE BARRIERS TO PREVENT SIGNIFICANT IMPACT OR EROSION AND DEPOSITION ALONG ABUTTING ROADS. CLEARING OF ANY NATIVE/NATURAL BRUSH IS RELATIVELY LIMITED TO THE AREA BOUNDED BY THE LIMITS OF SOIL DISTURBANCE. REFER TO THE EROSION CONTROL NOTES.
 - 10.) THE CONSTRUCTION ACCESS FROM PENNSYLVANIA AVENUE (APPROX. 25'L BY 10'W.) IS ON THE RIGHT SIDE OF THE PROPERTY SO CONSTRUCTION SITE ACCESS WILL CAUSE MINIMAL DAMAGE TO THE PROPERTY. WHEN ALL CONSTRUCTION IS COMPLETED THE ACCESS ENTRY IS TO BE RE-GRADED AND RESURFACED AS THE PERMANENT STONE DRIVEWAY.
 - 11.) THE TEMPORARY STOCKPILE AREA ON THE SITE OF 72± SF IS FOR MINIMAL CONSTRUCTION AND RELATED DEBRIS LARGER CONSTRUCTION DEBRIS IS TO BE REMOVED FROM THE SITE EACH DAY.
 - 12.) THE UTILITIES SHOWN HEREON ARE THE RESULT OF FIELD LOCATIONS OF VISIBLE STRUCTURES AT THE TIME OF FIELD SURVEY & RECORD PLANS ACQUIRED FROM THE UTILITY COMPANIES. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. CALL DIG-SAFE PRIOR TO START OF CONSTRUCTION FOR EXACT UTILITY LOCATIONS
 - 13.) CALL NARRAGANSETT DEPT. OF PUBLIC WORKS @ (401)782-0687 FOR UTILITY MARKOUTS INCLUDING BUT NOT LIMITED TO: SANITARY SEWERS, TOWN WATER SUPPLY, & STORM DRAINS.



LOCUS MAP N.T.S.

LEGEND

123.45	DISTANCE IN FEET
□	EXISTING BOUND
○	DRILL HOLE
●	IRON PIN (IP FND)
⊙	UTILITY POLE
⊙	DHF
—	EDGE OF PAVEMENT
— W —	EXISTING WATERLINE
—	ABUTTING PROPERTY LINE
—	PROPERTY LINE
— 21 —	EXISTING CONTOUR
- - - -	LIMIT OF DISTURBANCE
—	SETBACK LINE

SITE PLAN FOR PROPOSED HOUSE
 PREPARED FOR:
MARGARET SILIGATO
 24 PENNSYLVANIA AVENUE
 NARRAGANSETT, RI

FOR PROPERTY LOCATED ON:
 24 PENNSYLVANIA AVE.

IN THE TOWN OF:
 NARRAGANSETT, RHODE ISLAND
 MAP T LOT 329
 R40 ZONING

#	DATE	DESCRIPTION	BY
3	7/29/20	DRAINAGE PLAN-PROP.HOUSE	ZMD
2	7/14/20	PROPOSED HOUSE	ZMD
1	7/15/20	ADD CONTOURS	AHH
#	DATE	DESCRIPTION	BY

DRAWN BY: A.H.H./Z.M.D. DATE: 7/6/20
 CHECKED BY: WG 111 DRAWING #: 6840.002
 JOB #: 6840.002 SHEET: 2 OF 3

PROPERTY OWNER OF RECORD:

MARGARET SILIGATO
24 PENNSYLVANIA AVE.
NARRAGANSETT, RI 02882

RIGL 34-13-1 INDEX

BOSTON ROW
BALTIMORE AVE.
OCEAN ROAD

MAP T
LOT 329
6,870 S.F.
R40 ZONE

MAP T
LOT 33
N/F
JAMES
SILIGATO

STORMWATER MANAGEMENT NOTES

1.) THE PROPOSED DRAINAGE AREA ON THE SITE IS SHOWN TO BE INSIDE HIGH WATER TABLE "ZONE B." (REF. TOWN OF NARRAGANSETT MAP-GEO DATA.) SOILS SHOWN AS "VFSL OVER SID". FOR THE DRAINAGE SYSTEM CALCULATIONS THE SOILS ARE DETERMINED TO BE CATEGORY #10 WITH A RUNOFF COEFFICIENT = .33, PERCOLATION RATE = 7", APPROX. 22" SHGW. REF. SOIL ANALYSIS APPLICATION # 0220-2461

* STORM DATA FROM "SECTION 3.0, RI STORMWATER DESIGN & INSTALLATION MANUAL REV 12/2010." CALCULATIONS ARE NOTED FOR THE 10 AND 25 YEAR DESIGN STORMS FOR WASHINGTON COUNTY.

ROOF DRAINAGE CALCULATIONS

STORM COMPUTATION BY RATIONAL METHOD

STORM INTENSITY	RAINFALL VOLUME (INCHES)	ROOF RUNOFF (.98) (CF)	REQUIRED VOLUME (GALS)	CONTAINMENT VOLUME (CF)	PERCOLATION VOLUME (CF)	PERCOLATION TIME (HRS)
100 year	8.7					
50 year	7.5					
25 year	6.1	259(X2)	1,938	386(X2total)	+24	5.14
10 year	5.0	208(X2)	1,556.5			
2 year	3.3					
PROPOSED ROOF AREA = 1,041 SF/2=520 SF						

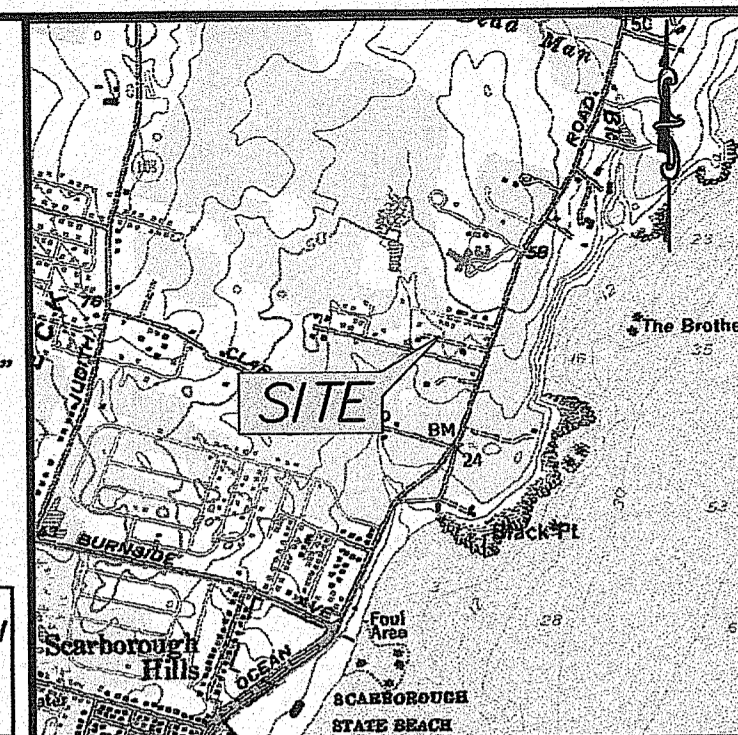
25 year	ROOF AREA: 520x 6.1/12 x 0.98(IMPERV.)= 259 CF RUNOFF = 1,938 GALS REQU'D.
10 year	ROOF AREA: 520x 4.9/12 x 0.98(IMPERV.)= 208 CF RUNOFF = 1,556.5 GALS REQU'D.

MIN. 22" WATER TABLE. RUNOFF COEFFICIENT = .33
PERCOLATION RATE = 7"± PER HR. x 24 = 168"/DAY
PERC. TIME - 5.14 HRS.

PROPOSED CONTAINMENT:
38.5'x4.5'x1.5'TRENCH(X2)

CHAMBER SYSTEM VOLUME: 38.5x4.5x1.5=259.9 CF (1944 gal.)
UNIT DIMENSION: 39.5'x6.5x2.5'= 641.88 CF=259.9 CF=381.9 CF
x.33(VOIDS) = 126.1 CF. x 7.48 = 942.9 gals.
(12" GRAVEL EACH SIDE & 6' TOP & UNDER TRENCH W/FILTER FABRIC)
942.9 + 1944 gal = 2,886.9 gals.(X2) OF RUNOFF PROVIDED

TOTAL STORAGE PROVIDED: 2 SYSTEMS = 386 X 2=772 CF
25 YEAR STORM VOLUME REQUIRED: 259(X2) CF= 518 CF
252.2 CF STORED = +24 CF PERCOLATION



LOCUS MAP N.T.S.

LEGEND

- 123.45 DISTANCE IN FEET
- ⊖ EXISTING BOUND
- ⊙ DRILL HOLE
- ⊙ IRON PIN (IP FND)
- ⊙ UTILITY POLE
- ⊙ DHF
- EDGE OF PAVEMENT
- ⊖⊖⊖⊖ EXISTING STONE WALL
- ABUTTING PROPERTY LINE
- PROPERTY LINE
- SETBACK LINE
- - - - - LIMIT OF DISTURBANCE
- 21 — EXISTING CONTOUR

SITE PLAN

FOR PROPOSED HOUSE

PREPARED FOR:

MARGARET SILIGATO
24 PENNSYLVANIA AVENUE
NARRAGANSETT, RI

FOR PROPERTY LOCATED ON:

24 PENNSYLVANIA AVE.

IN THE TOWN OF:

NARRAGANSETT, RHODE ISLAND

MAP T LOT 329

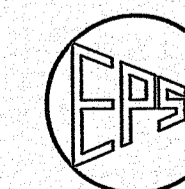
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DRAWN BY: A.H.H./Z.M.D. DATE: 7/6/20

CHECKED BY: WG 111 DRAWING # 6840.002

JOB # 6840.002 SHEET: 3 OF 3



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CAD DRAFTING
52 DUGWAY BRIDGE RD. WEST KINGSTON, RI 02892 (401) 789-3628

PROPOSED DRAINAGE PLAN

SCALE: 1" = 10'

PLANTING & EROSION CONTROL

AFTER CONSTRUCTION, ALL DISTURBED SOILS SHALL BE GRADED SMOOTH TO A SLOPE OF 3:1/LESS AND RE-VEGETATED WITH NATIVE/SITE SUITABLE VEGETATION IMMEDIATELY AFTER CONSTRUCTION, OR TEMPORARILY STABILIZED WITH MULCH, JUTE MATTING OR SIMILAR MEANS UNTIL SEASONAL RE-VEGETATION IS POSSIBLE. ANY EXISTING NATURAL AND/OR NATIVE SHRUBS AS NOTED ON THE SITE PLAN WILL REMAIN.

EROSION CONTROL PROGRAM:

PRIOR TO START OF CONSTRUCTION, STRAWBALES, SILT FENCES & ALL OTHER SPECIFIED EROSION CONTROL FENCES SHALL BE IN PLACE. CRITICAL AREAS SUCH AS WETLAND AREAS, SLOPES & STREAMS SHALL BE PROTECTED AS PER PLAN AND, IN THE PRESENCE OF WETLANDS, THE CONDITIONS OF THE ASSENT ORDER SHALL BE ADHERED TO. THE CONTRACTOR SHALL BE REQUIRED TO ESTABLISH AND FULLY MAINTAIN ALL REQUIRED EROSION AND SEDIMENTATION CONTROLS.

SEDIMENTATION CONTROL PROGRAM:

ALL EXPOSED SLOPES, SHALL RECEIVE TEMPORARY SEDIMENTATION & EROSION CONTROLS. THIS WILL INCLUDE LOAM & SEEDING, MULCHING, HAY MATS, ETC. TO STABILIZE THE AREA. ALL DRAINAGE STRUCTURES SHALL BE SURROUNDED BY STRAWBALES/SILT FENCES TO PREVENT INFILTRATION OF SEDIMENTS. SHOULD SEDIMENTS ENTER A CRITICAL AREA (WETLAND, BUFFER ZONE, ABUTTING PROPERTY) THE CONTRACTOR SHALL IMMEDIATELY CLEAN & RESTORE THE EFFECTED AREA.

ZONING ORDINANCE SECTION 7.7 CERTIFICATION

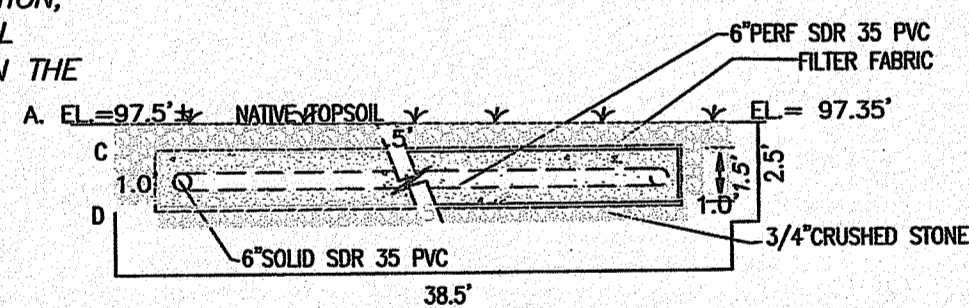
"THIS PLAN AND ACCOMPANYING CALCULATIONS FOR PROPOSED STORMWATER MANAGEMENT WAS PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE TOWN OF NARRAGANSETT ZONING ORDINANCE SECTION 7.7 "SUPPLEMENTARY DRAINAGE REQUIREMENTS" AND WAS DESIGNED TO CONFORM TO THE PROVISIONS THEREOF. I UNDERSTAND THAT THE TOWN OF NARRAGANSETT DOES NOT ASSUME LIABILITY FOR STORMWATER MANAGEMENT FACILITIES DESIGNED BY OTHERS."

PROP. EXFILTRATION TRENCH DRAINAGE SYSTEM

SCH. 40 PIPES TO DRAINAGE TRENCHES FROM HOUSE ROOF DRAINS (TYP. 2)

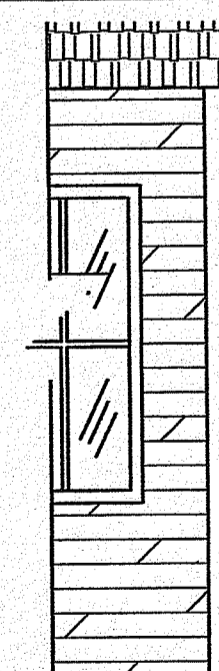
GRAPHIC SCALE

1 inch = 10 ft.



TYP. EXFILTRATION TRENCH SECTION VIEW
EXFILTRATION TRENCH - TYP. ELEVATIONS

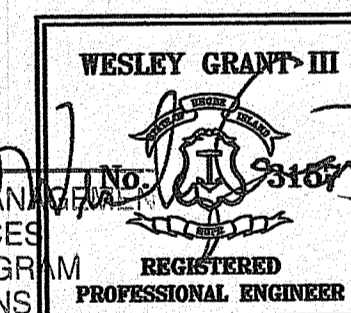
INV.1-2 DRAINAGE AREA 1.		INV.3-4 DRAINAGE AREA 2.	
A.	EL. 47.5±	A.	EL. 48.25±
Pipe Dist.	17.4'	Pipe Dist.	22.0'
B.	EL. 46.75±	B.	EL. 47.75±
C.	EL. 46.75±	C.	EL. 47.75±
D.	EL. 45.25±	D.	EL. 46.25±
D.A.1.	EL. 47.25±	D.A.1.	EL. 48.15±
SHGW. 22". (REF. VERIFIED SOIL ANALYSIS APPL. #0220-2461)			



Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site

TYP. TRENCH PROFILE AT INVERT #1.D.A.1 N.T.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED Jan. 27, 2021 FILE # 12-0224
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



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