

# RIDEM Submission

## AP 48-1 Lot 47, Hope Furnace Road

Located in Scituate, Rhode Island  
and Coventry, Rhode Island

Town of Scituate Assessor's Plat 48-1 Lot 47  
Town of Coventry Assessor's Plat 99 Lot 10

### Sheet Index

1. Cover Sheet
2. Existing Conditions Plan
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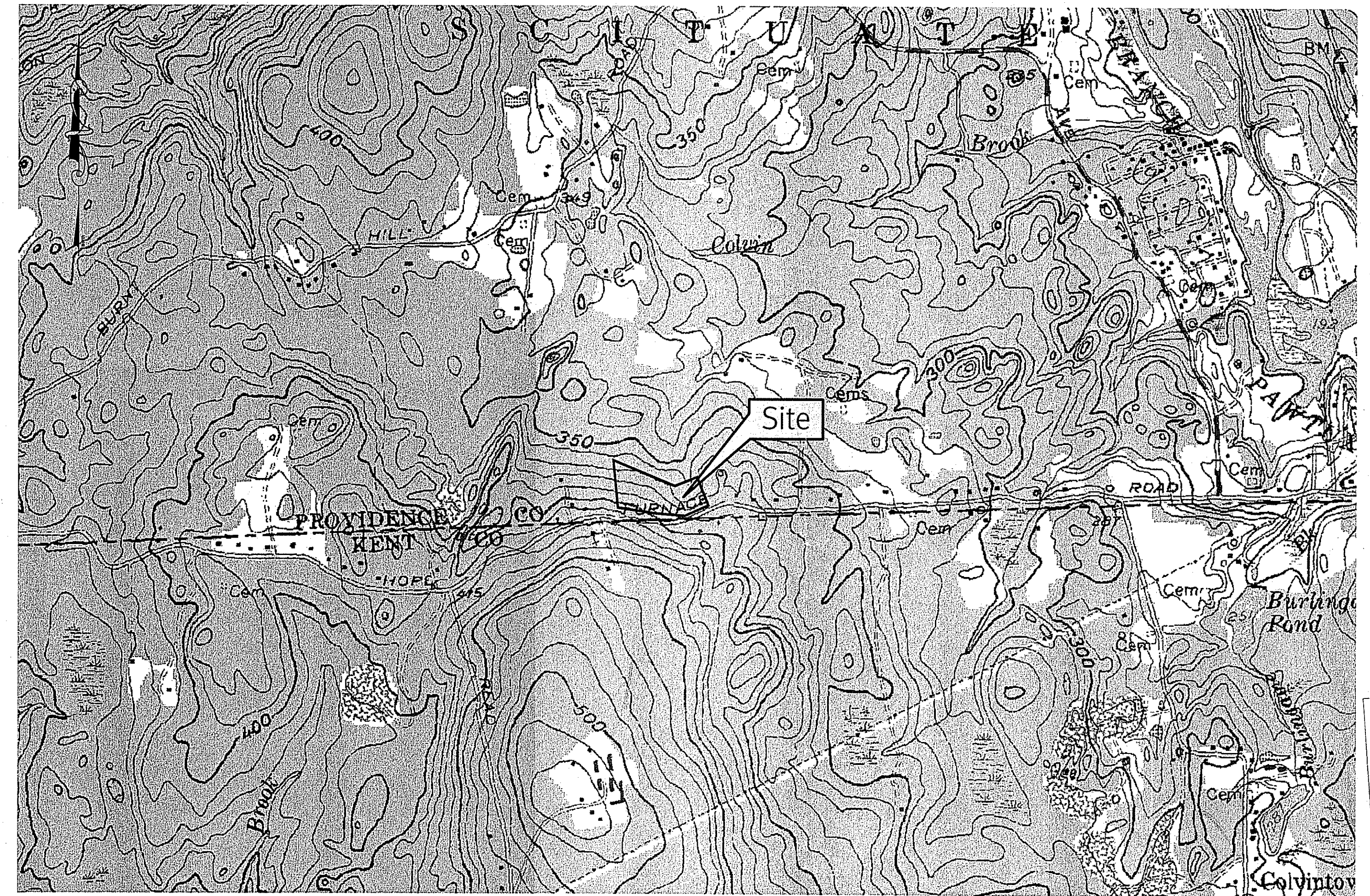


Photo obtained from the "USGS 7.5 Minute Topographic Maps of Rhode Island" Published by the United States Geological Survey

USGS Map

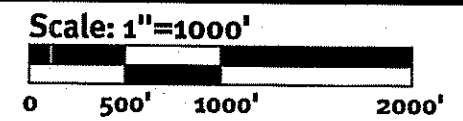
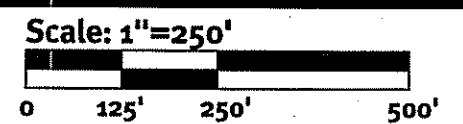


Photo obtained from the "2011 RIDEM Multispectral Orthophotography of Rhode Island" Published by the United States Geological Survey

Aerial Plan



**DiPrete Engineering**

Two Stafford Court Cranston, RI 02920  
tel: 401-942-1000 fax: 401-944-6006 www.DiPrete-Eng.com

Engineers • Planners • Surveyors

ERIC M. DRIVE  
No. 8662  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

JAN 24 2013

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	Drawn By: M.S.C.	Design By: M.S.C.
0	01/18/13	RIDEM Submission		

Cover Sheet

AP 48-1 Lot 47, Hope Furnace Road

AP 48-1 Lot 47 Scituate, Rhode Island  
AP 99 Lot 10 Coventry, Rhode Island

Client: **MJV Homes, LLC.**  
18 Ilex Court, Saunderson, Rhode Island 02874  
tel: 401-249-1198 fax: 401-294-4281

**General Notes**

1. THE PARCEL IS LOCATED IN THE TOWN OF SCITUATE ON ASSESSOR'S PLAT 48-1 LOT 47 & IN THE TOWN OF COVENTRY ON ASSESSOR'S PLAT 99 LOT 10.
2. THE OWNER PER DEED BOOK 509 PAGE 176 IS ESTHER ANN WILCOX.
3. THE SURVEYED AREA OF THE PARCEL IS 409,271 SQUARE FEET (9.40 ACRES).
4. THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44007C0401G, DATED MARCH 2, 2009.
5. THE PARCEL IS ZONED RR 120 PER THE SCITUATE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
6. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
7. THERE WERE NO VISIBLE ABOVEGROUND ENCROACHMENTS OBSERVED, OTHER THAN SHOWN ON SURVEY.
8. FIELD SURVEY PERFORMED BETWEEN OCTOBER 24-26, 2012.
9. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-800-344-7233).
10. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS THAT A TITLE REPORT WOULD DISCLOSE.

**Plan References:**

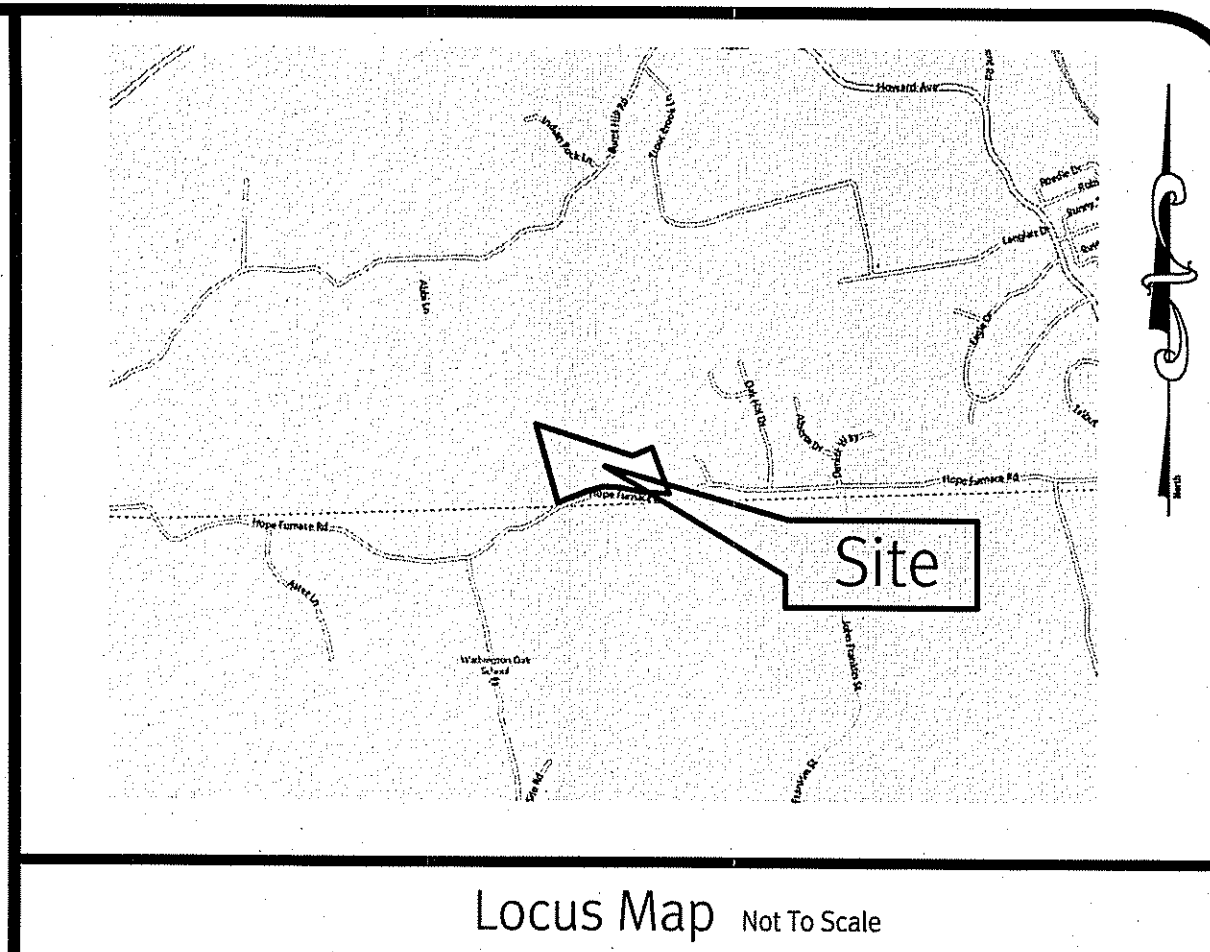
1. MAP OF LAND AT 415 HOPE FURNACE ROAD OWNED BY ALESSIO P. & MARIE D. CALLERI LOCATED IN THE TOWNS OF COVENTRY & SCITUATE, RHODE ISLAND BY ALFRED E. HANSEN ASSOCIATES, INC., OCTOBER 24, 1997, SCALE: 1"=100'. RECORDED IN THE LAND EVIDENCE RECORDS OF THE TOWN OF SCITUATE IN ENVELOPE 164 PAGE 511.

**Datum Note:**

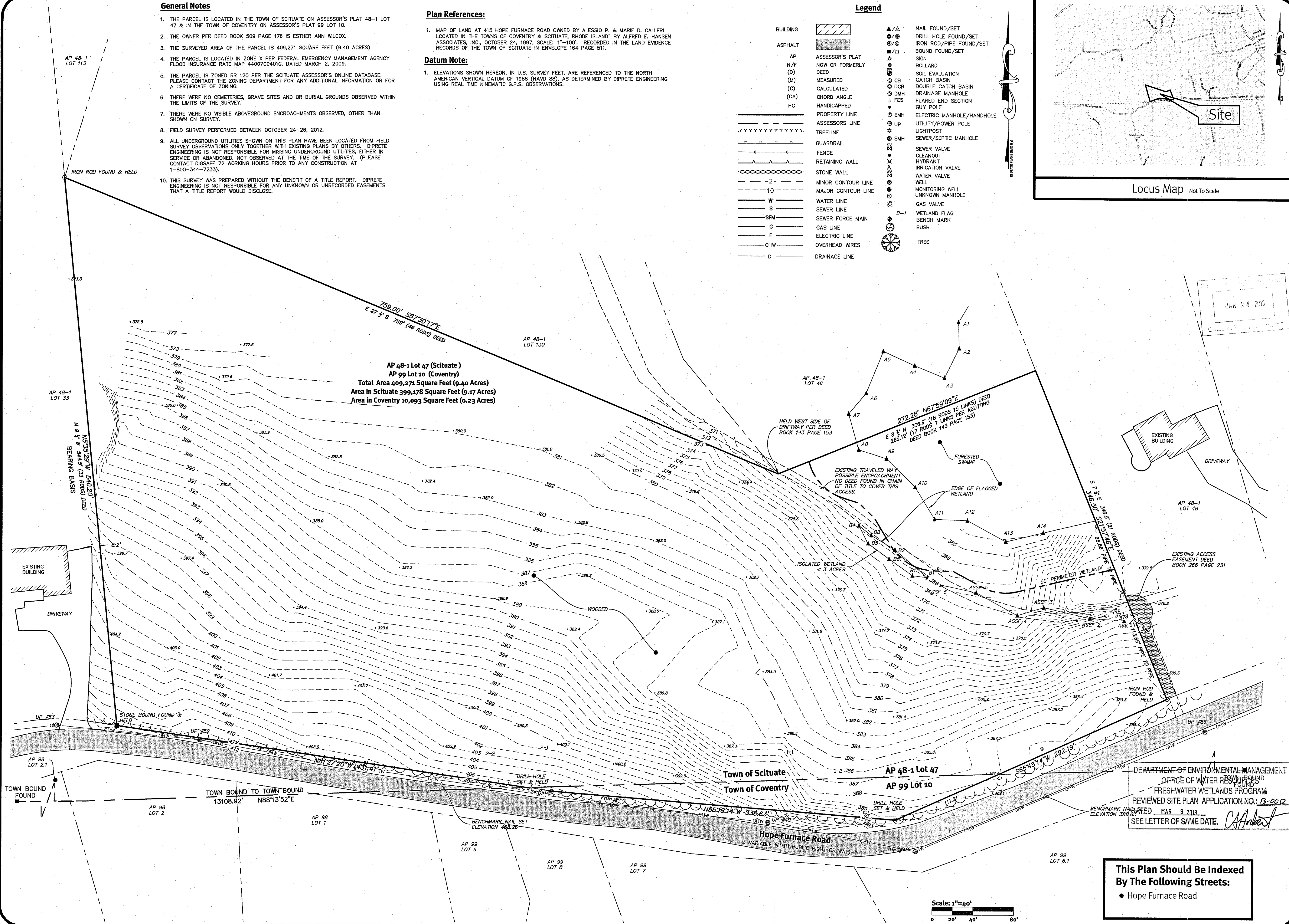
1. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

**Legend**

BUILDING		▲/△	NAIL FOUND/SET
ASPHALT		●/◎	DRILL HOLE FOUND/SET
AP	ASSESSOR'S PLAT	◎/⊙	IRON ROD/PIPE FOUND/SET
N/F	NOW OR FORMERLY	■/□	BOUND FOUND/SET
(D)	DEED	●	SIGN
(M)	MEASURED	○	BOLLARD
(C)	CALCULATED	◎ CB	SOIL EVALUATION
(CA)	CHORD ANGLE	◎ DMH	CATCH BASIN
HC	HANDICAPPED	⊕ FES	DOUBLE CATCH BASIN
---	PROPERTY LINE	⊕	DRAINAGE MANHOLE
---	ASSESSOR'S LINE	⊕ EMH	FLARED END SECTION
---	TREELINE	⊕ UP	GUY POLE
---	GUARDRAIL	⊕ SMH	ELECTRIC MANHOLE/HANDHOLE
---	FENCE	⊕	UTILITY/POWER POLE
---	RETAINING WALL	⊕	LIGHTPOST
---	STONE WALL	⊕	SEWER/SEPTIC MANHOLE
---	MINOR CONTOUR LINE	⊕	SEWER VALVE
---	MAJOR CONTOUR LINE	⊕	CLEANOUT
W	WATER LINE	⊕	HYDRANT
S	SEWER LINE	⊕	IRRIGATION VALVE
SFM	SEWER FORCE MAIN	⊕	WATER VALVE
G	GAS LINE	⊕	WELL
E	ELECTRIC LINE	⊕	MONITORING WELL
OHW	OVERHEAD WIRES	⊕	UNKNOWN MANHOLE
D	DRAINAGE LINE	⊕	GAS VALVE
		⊕ B-1	WETLAND FLAG
		⊕	BENCH MARK
		⊕	BUSH
		⊕	TREE



Locus Map Not To Scale



AP 48-1 Lot 47 (Scituate)  
 AP 99 Lot 10 (Coventry)  
 Total Area 409,271 Square Feet (9.40 Acres)  
 Area in Scituate 399,178 Square Feet (9.17 Acres)  
 Area in Coventry 10,093 Square Feet (0.23 Acres)

JAN 24 2013  
 Office of Professional Regulation

MICHAEL E. GAVITT  
 No. 1981  
 PROFESSIONAL  
 LAND SURVEYOR

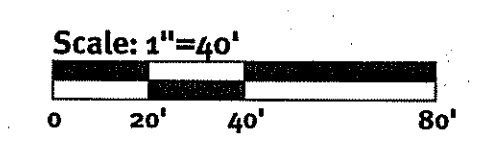
CERTIFICATION:  
 THIS SURVEY AND PLAN CONFORMS TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS EFFECTIVE APRIL 1, 1994.  
 BOUNDARY SURVEY, CLASS I  
 TOPOGRAPHIC SURVEY, CLASS III

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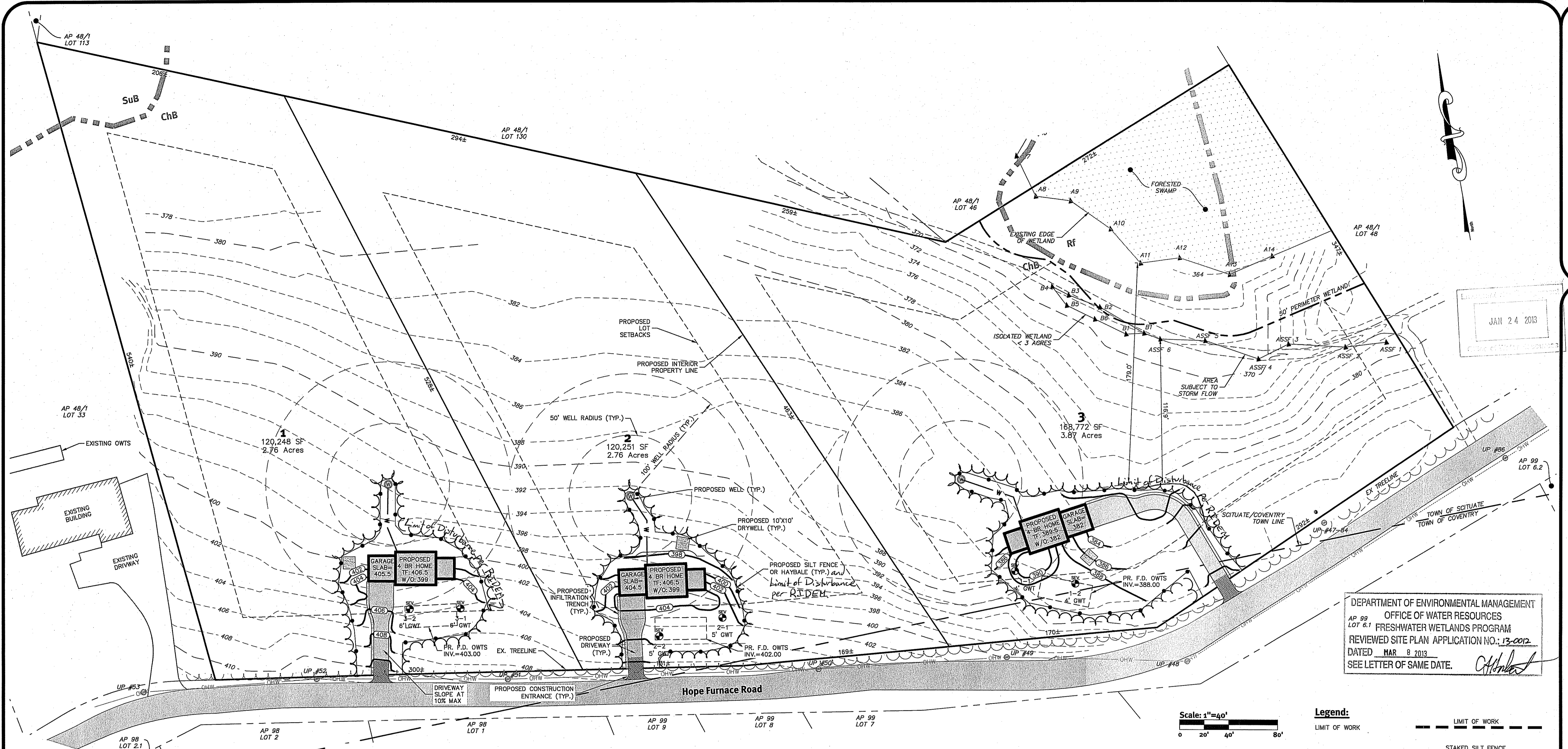
No.	Date	Description	Drawn By: M.S.C.
0	01/08/13	REBEX Submission	

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 REVIEWED SITE PLAN APPLICATION NO.: 13-0012  
 ISSUED MAR 8 2013  
 SEE LETTER OF SAME DATE. *C. Arden*

**This Plan Should Be Indexed  
 By The Following Streets:**  
 • Hope Furnace Road



Existing Conditions Plan  
**AP 48-1 Lot 47, Hope Furnace Road**  
 Applicant: MJV Homes, LLC.  
 18 Ilex Court, Saunderson, Rhode Island 02874  
 Tel: 401-299-1198 Fax: 401-294-4285



JAN 24 2013

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 REVIEWED SITE PLAN APPLICATION NO.: 13-0012  
 DATED MAR 8 2013  
 SEE LETTER OF SAME DATE.

**Soil Information:**

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

SOIL NAME	DESCRIPTION
ChB	CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
Rf	RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
Sub	SUTTON VERY STONY FINE SANDY LOAM, 0 TO 8 PERCENT SLOPES

**General Notes:**

- THE SITE IS TO BE SERVICED BY PRIVATE WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS (OWTS).
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF SCITUATE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF DRY WELLS AND INFILTRATION TRENCHES. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE.
- SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THE SITE IS NOT WITHIN A:  
 GROUNDWATER PROTECTION AREA (RIDEM)  
 NATURAL HERITAGE AREAS (RIDEM)  
 NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC)  
 SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)  
 GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)

**Dimensional Regulations:**

CURRENT ZONING:	RR-120
MINIMUM LOT AREA:	120,000 SF (2.75 AC)
MINIMUM FRONTAGE AND LOT WIDTH:	300'
MINIMUM FRONT YARD:	50'
MINIMUM SIDE YARD:	35'
MINIMUM REAR YARD:	60'
MAXIMUM STRUCTURE HEIGHT:	36'

**Development Data:**

TOTAL SITE AREA:	9.40± ACRES
TOTAL NUMBER OF LOTS:	3
AVERAGE LOT AREA:	3.13 ACRES
TOTAL AREA OF DISTURBANCE:	43,124 SF (< 1 ACRE)

**Grading and Utility Notes:**

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ONSITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY DIG SAFE 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION TO COMMENCE SPRING 2013 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF SCITUATE STANDARD SPECIFICATIONS AND DETAILS.
- SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- ALL PROPOSED UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ONSITE OR REMOVED.
- NO STUMP DUMPS ARE PROPOSED ONSITE.

**Legend:**

LIMIT OF WORK	--- LIMIT OF WORK
STAKED SILT FENCE	● STAKED SILT FENCE ●
CONSTRUCTION ENTRANCE	▨ CONSTRUCTION ENTRANCE
SOIL EVALUATION	⊗ SOIL EVALUATION
PR. DRIVEWAY	▨ PR. DRIVEWAY
PR. SINGLE FAMILY DWELLING	▨ PR. SINGLE FAMILY DWELLING
PR. OWTS	--- PR. OWTS
PR. CONTOUR	--- PR. CONTOUR
PR. WELL	⊙ PR. WELL
PR. WATER SERVICE	--- PR. WATER SERVICE
PR. 100' WELL RADIUS	--- PR. 100' WELL RADIUS
EX. MAJOR CONTOUR	--- EX. MAJOR CONTOUR
EX. MINOR CONTOUR	--- EX. MINOR CONTOUR
EX. WETLAND EDGE	--- EX. WETLAND EDGE
EX. WETLAND FLAG	▲ EX. WETLAND FLAG
EX. SOIL IDENTIFICATION	--- EX. SOIL IDENTIFICATION
EX. SOIL LINE	--- EX. SOIL LINE
EX. OVERHEAD WIRE	--- EX. OVERHEAD WIRE
EX. UTILITY POLE	⊙ EX. UTILITY POLE

**Diprete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 tel: 401-949-1000 fax: 401-944-6666 www.Diprete-Eng.com

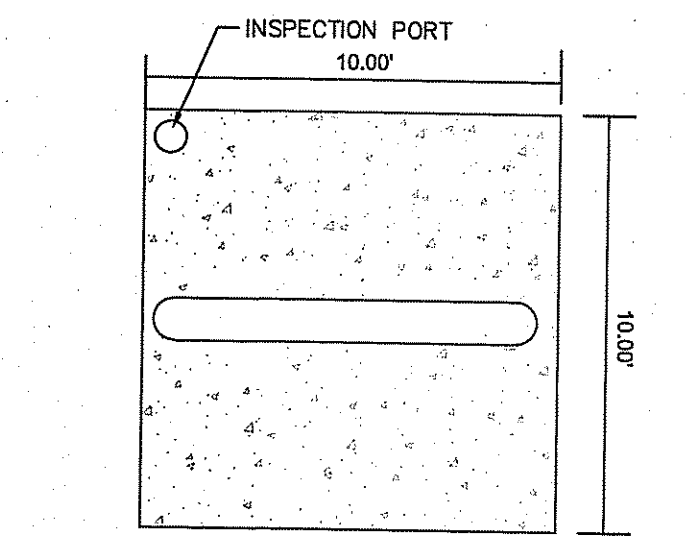
**ERIC M. DIPRETE**  
 No. 8662  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

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B.A.C.H.	By:
01/08/13	Eric M. Diprete
No.	Description
01/08/13	Design By: M.S.C.

**Site Plan**  
**AP 48-1 Lot 47, Hope Furnace Road**  
 AP 48-1 Lot 47 Scituate, Rhode Island  
 AP 99 Lot 1 to Coventry, Rhode Island  
**MJV Homes, LLC.**  
 Applicant  
 18 Ilex Court, Saunderson, Rhode Island 02874  
 tel: 401-294-1198 fax: 401-294-1281

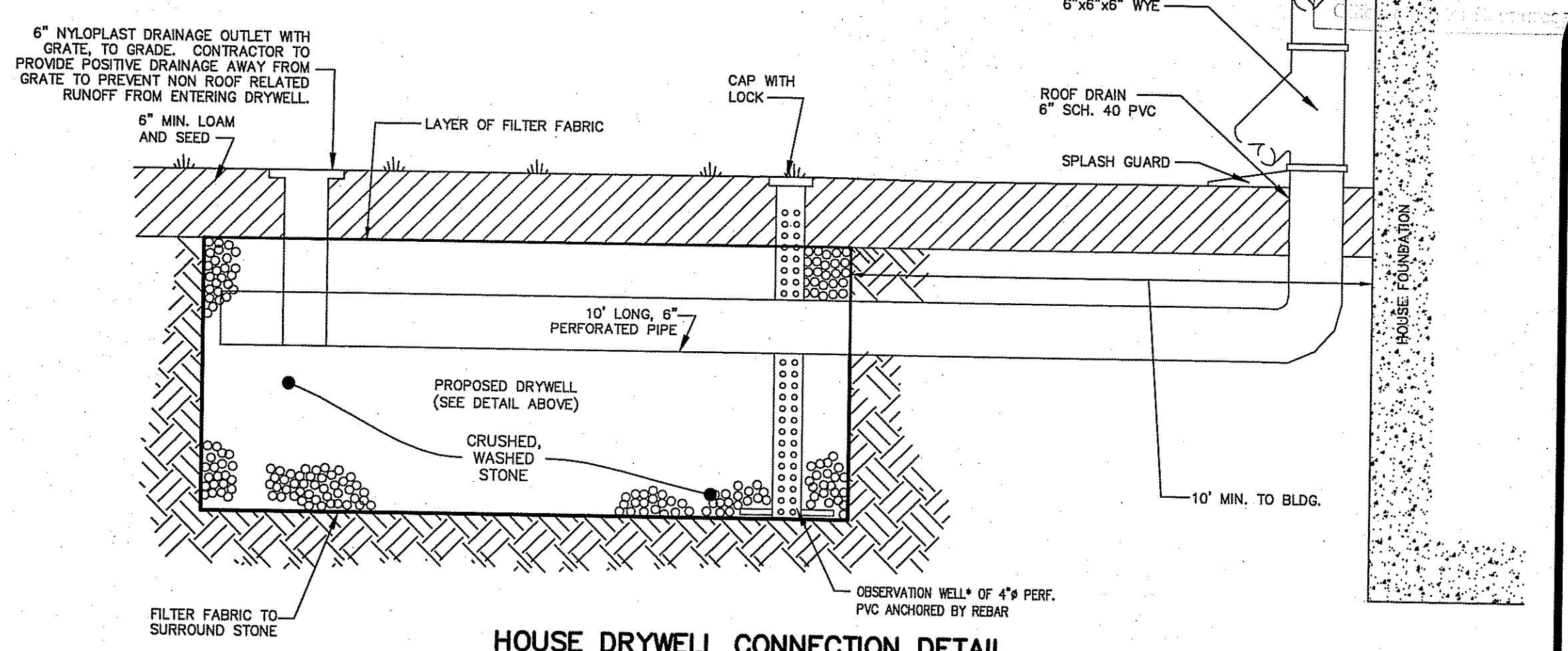
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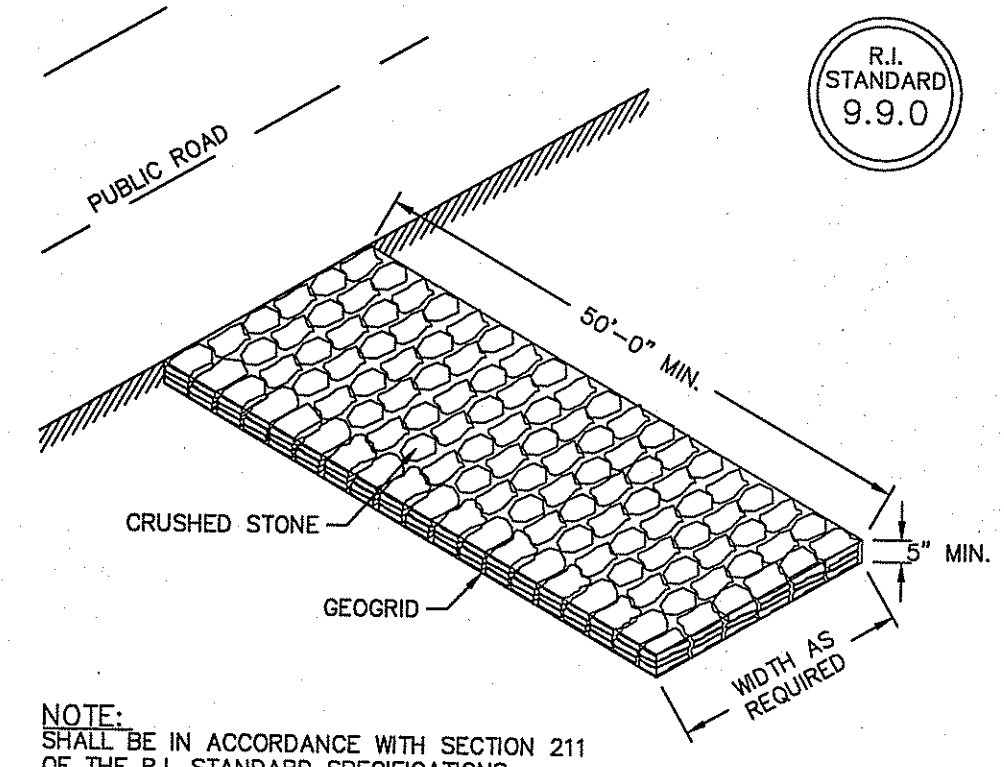
**HOUSE DRYWELL DETAIL (PLAN)**  
NOT TO SCALE

Lot #	Prop. Ground	Elevation		Seasonal High GWT	Separation Distance (ft.)
		Top of Drywell Facility	Bottom of Drywell		
1	400.00	399.00	397.00	394.00	3.0
2	396.00	395.00	393.00	391.00	2.0
3	386.00	385.00	383.00	381.00	2.0

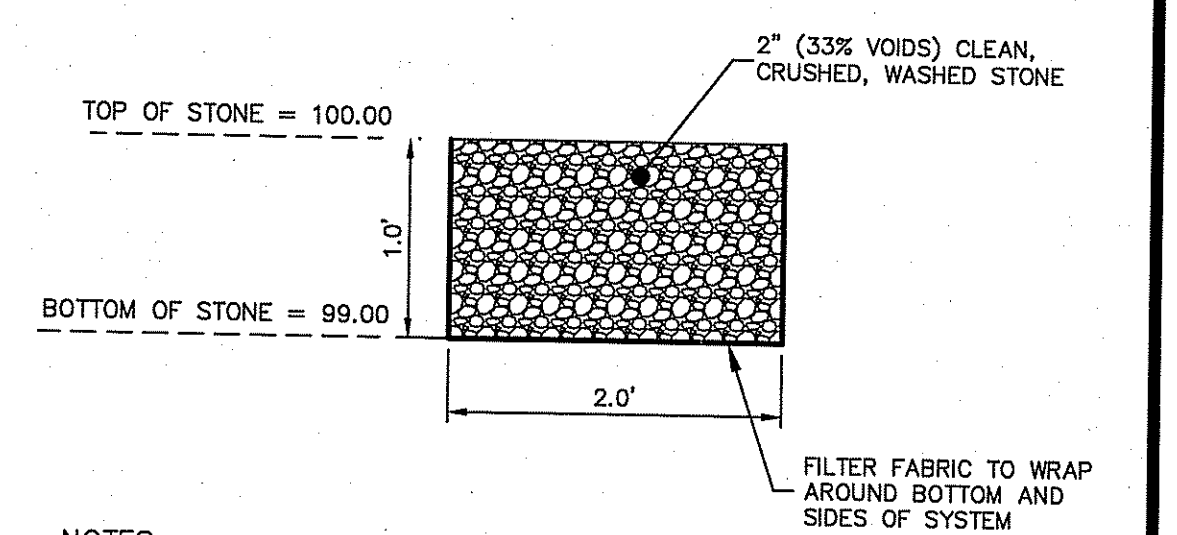
- CONSTRUCTION, MAINTENANCE, & INSPECTION NOTES:**
1. ROOF LEADERS ARE TO TIE INTO PROPOSED DRYWELLS.
  2. DRYWELL AREA TO BE STAKED, MARKED, AND REMAIN UNDISTURBED PRIOR TO CONSTRUCTION. THERE IS TO BE NO CONSTRUCTION TRAFFIC ON DESIGNATED AREA PRIOR TO CONSTRUCTION.
  3. PLACE FILTER FABRIC ALONG THE BOTTOM AND SIDES OF TRENCH AND FILL WITH CRUSHED, WASHED STONE.
  4. OVERLAP FILTER FABRIC ON THE TOP OF THE FILTER STONE. BACK FILL WITH CLEAN FILL TO FINISH GRADE.
  5. (\*) MONITORING WATER LEVELS WITHIN THE INSPECTION PORT AT VARIOUS TIME INTERVALS AFTER A RAINFALL EVENT WILL INDICATE THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN DRYWELL SYSTEM 72 HOURS AFTER A STORM EVENT, SYSTEM FAILURE HAS OCCURRED AND WILL REQUIRE FLUSHING MAINTENANCE, REPAIR OR REPLACEMENT OF THE SYSTEM. THE OWNER WILL MAINTAIN THE DRAINAGE COMPONENTS.



**HOUSE DRYWELL CONNECTION DETAIL**  
NOT TO SCALE



**CONSTRUCTION ACCESS**  
NOT TO SCALE

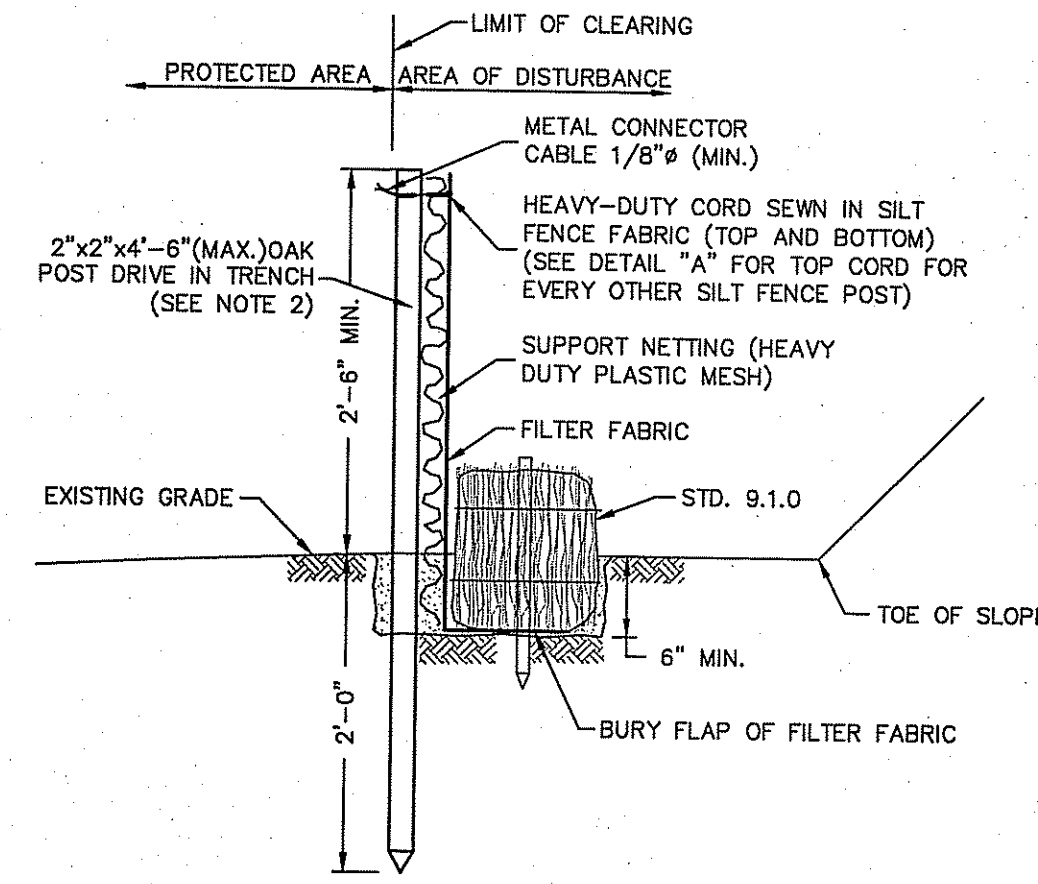


**STONE INFILTRATION TRENCH (FOR DRIVEWAYS)**  
NOT TO SCALE

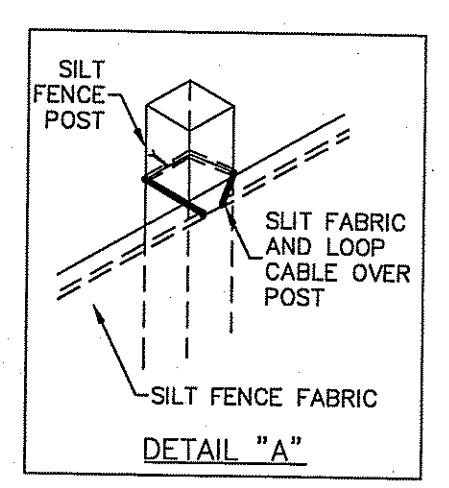
**NOTES:**

1. ELEVATIONS BASED ON ASSUMED GRADE. ELEVATIONS WILL VARY.
2. ONLY THE BOTTOM AREA OF THE INFILTRATION TRENCH SHALL BE CALCULATED FOR INFILTRATION RATES. CALCULATING INFILTRATION RATES SHALL BE PERFORMED IN ACCORDANCE WITH THE FRESHWATER WETLANDS PROGRAM DATED MAR 8 2013.
3. DRIVEWAYS TO BE GRADED TO DIRECT FLOW INTO THE INFILTRATION TRENCH.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
REVIEWED SITE PLAN APPLICATION NO. 13-0012  
DATED MAR 8 2013  
SEE LETTER OF SAME DATE.



**BALED HAY EROSION CHECK AND SILT FENCE COMBINED**  
NOT TO SCALE



- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
  2. STD. 9.1.0 IS INSTALLED "TIGHT" AGAINST SILT FENCE. THOROUGHLY COMPACT EXCAVATED SOILS BACK INTO TRENCH AFTER INSTALLATION OF EROSION CONTROL DEVICE. SILT FENCE FABRIC SHALL NOT BE SLIT. STD. 9.1.0 POST SHALL BE DRIVEN THROUGH SILT FENCE FABRIC. 2"x2"x4'-6" (MAX.) OAK POST FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
  3. 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
  4. SILT FENCE AND BALED HAY SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.
  5. TO BE LOCATED AT ALL BASIN OUTFALLS.

**DIPrete Engineering**  
Two Stafford Court Cranston, RI 02920  
tel. 401-943-1000 fax. 401-943-6006 www.DIPrete-Eng.com

**ERIC M. PRIVE**  
No. 8662  
REGISTERED PROFESSIONAL ENGINEER CIVIL

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DESIGN BY: M.S.C.  
DRAWN BY: M.S.C.  
CHECKED BY: M.S.C.  
DATE: 01/18/13  
NO. 13-0012

**Detail Sheet**  
**AP 48-1 Lot 47, Hope Furnace Road**  
AP 48-1 Lot 47, Schiavone, Rhode Island  
AP 99 Lot 10 to Coventry, Rhode Island  
Applicant: **MIV Homes, LLC**  
18 Box Court, Sanderson, Rhode Island 02874  
tel. 401-949-1198 fax. 401-939-4683