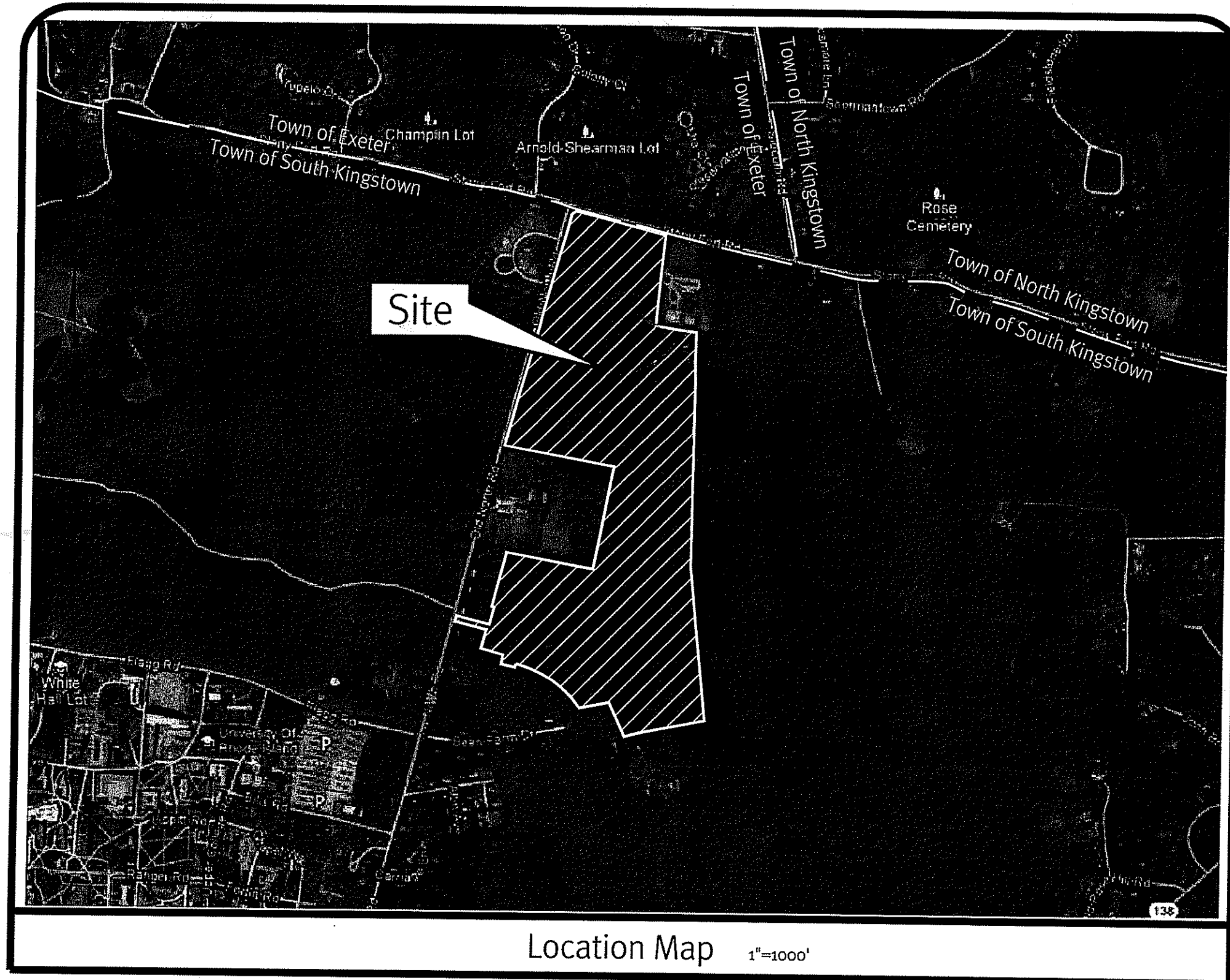


RIDEM Submission

Fieldstone Farms

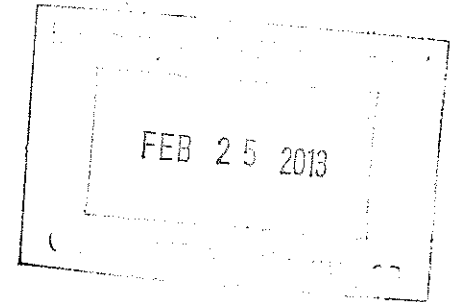
South Kingstown, Rhode Island

Assessor's Plat 16-4 and Lot 9



Sheet Index

1. Cover Sheet
2. Half Mile Radius Map
3. Existing Conditions Plan
4. Overall Plan
5. Grading Plan - 1
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7. Grading Plan - 3
8. Grading Plan - 4
9. Grading Plan - 5
10. Plan & Profile - 1
11. Plan & Profile - 2
12. Detail Sheet - 1
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14. Detail Sheet - 3
15. Detail Sheet - 4



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 19 2013 FILE # 13-0034
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Christopher A. Duhamel

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel. 401-949-1000 fax. 401-464-6006 www.DiPete-Eng.com

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CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER

No.	Date	Description	Design By: R.B.S.
1		DRM Submission	

Cover Sheet
Fieldstone Farms

Assessor's Plat 16-4, Lot 9
South Kingstown, Rhode Island

Prepared for
Old North Land Investments LLC
75 Lambert Line Highway
Warwick, Rhode Island 02886

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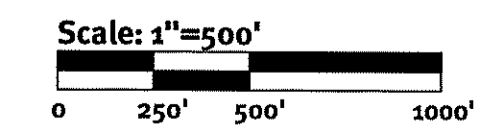
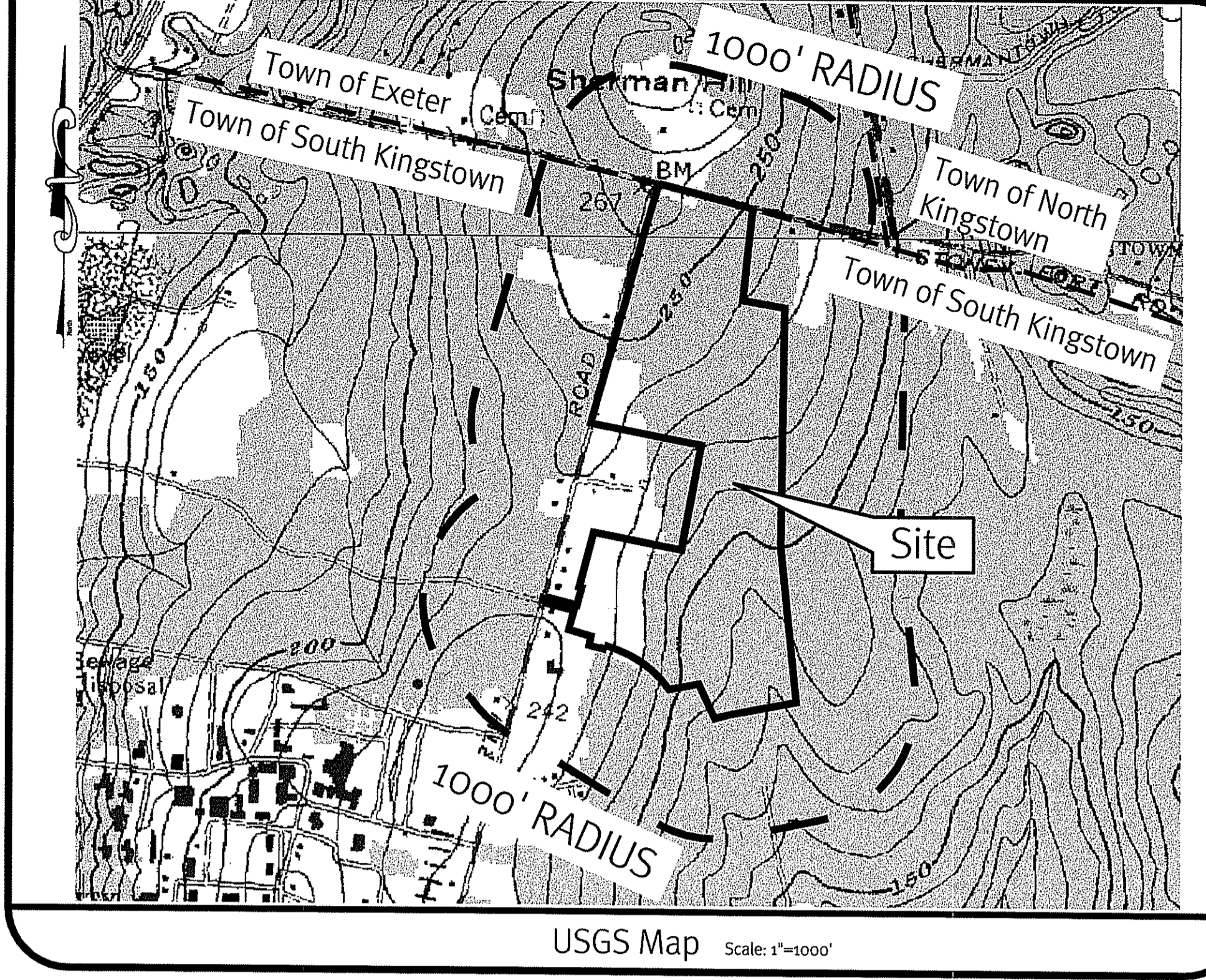


Photo obtained from the RI-GIS of 2011 Digital Orthophotography Southern Urban Areas of Rhode Island.

APR 19 2013 13-0034

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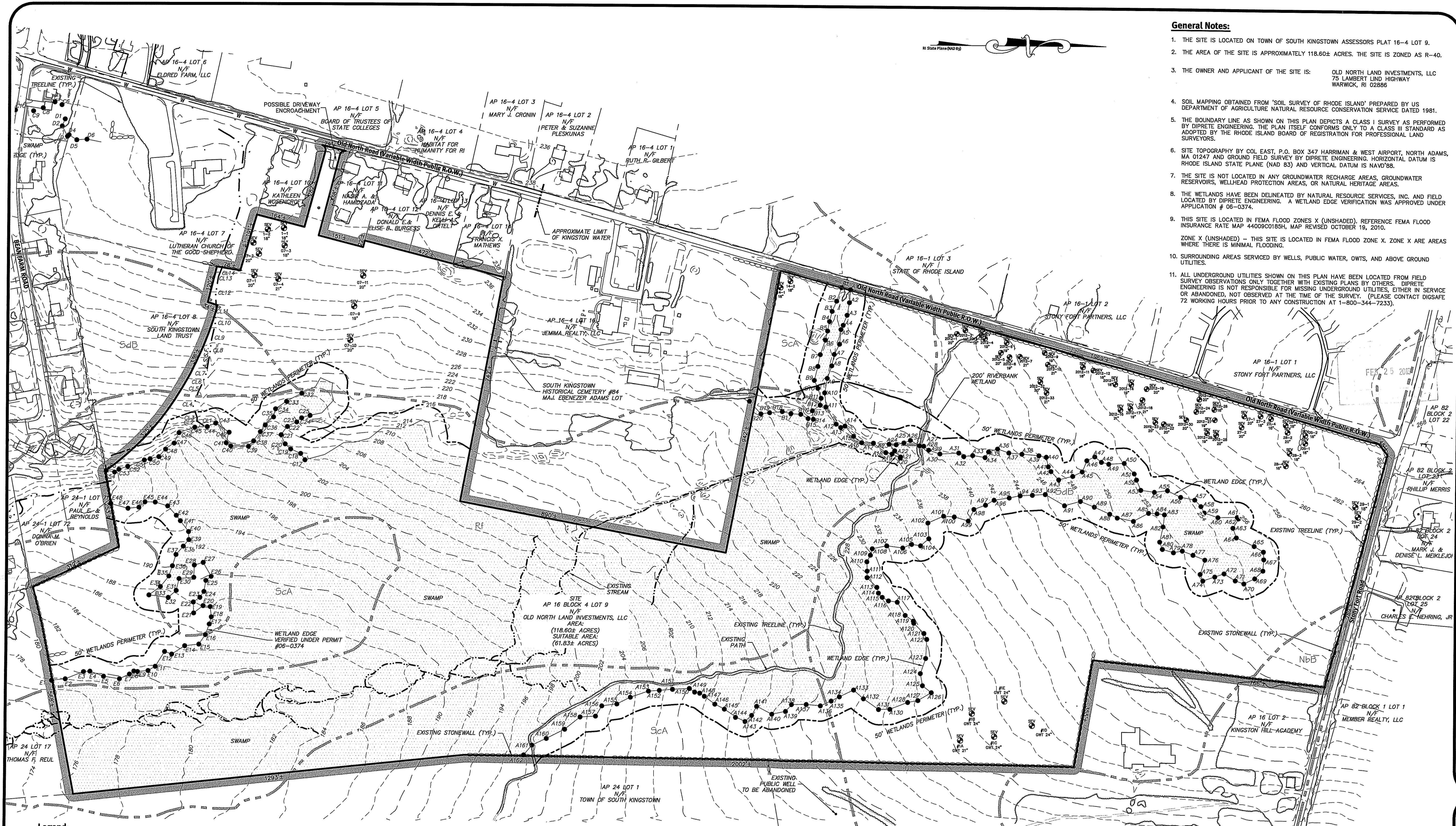
CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER
 No. 5073
 2/10/14

No.	Date	REVISION SUBMISSION Description	D.A.R. By:
0	2-8-13		Design By: R.D.S.

Half Mile Radius Map
Fieldstone Farms
 Prepared for:
 Assessor's Plat 16-4, Lot 9
 South Kingstown, Rhode Island

Old North Land Investments LLC
 75 Lambert Lind Highway
 Warwick, Rhode Island 02886

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- General Notes:**
1. THE SITE IS LOCATED ON TOWN OF SOUTH KINGSTOWN ASSESSORS PLAT 16-4 LOT 9.
 2. THE AREA OF THE SITE IS APPROXIMATELY 118.60± ACRES. THE SITE IS ZONED AS R-40.
 3. THE OWNER AND APPLICANT OF THE SITE IS: OLD NORTH LAND INVESTMENTS, LLC
75 LAMBERT LIND HIGHWAY
WARWICK, RI 02886
 4. SOIL MAPPING OBTAINED FROM 'SOIL SURVEY OF RHODE ISLAND' PREPARED BY US DEPARTMENT OF AGRICULTURE NATURAL RESOURCE CONSERVATION SERVICE DATED 1981.
 5. THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS I SURVEY AS PERFORMED BY DIPRETE ENGINEERING. THE PLAN ITSELF CONFORMS ONLY TO A CLASS III STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.
 6. SITE TOPOGRAPHY BY COL EAST, P.O. BOX 347 HARRIMAN & WEST AIRPORT, NORTH ADAMS, MA 01247 AND GROUND FIELD SURVEY BY DIPRETE ENGINEERING. HORIZONTAL DATUM IS RHODE ISLAND STATE PLANE (NAD 83) AND VERTICAL DATUM IS NAVD'88.
 7. THE SITE IS NOT LOCATED IN ANY GROUNDWATER RECHARGE AREAS, GROUNDWATER RESERVOIRS, WELLHEAD PROTECTION AREAS, OR NATURAL HERITAGE AREAS.
 8. THE WETLANDS HAVE BEEN DELINEATED BY NATURAL RESOURCE SERVICES, INC. AND FIELD LOCATED BY DIPRETE ENGINEERING. A WETLAND EDGE VERIFICATION WAS APPROVED UNDER APPLICATION # 06-0374.
 9. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44080C0185H, MAP REVISED OCTOBER 19, 2010.
ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
 10. SURROUNDING AREAS SERVICED BY WELLS, PUBLIC WATER, OWTs, AND ABOVE GROUND UTILITIES.
 11. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-800-344-7233).

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MICHAEL E. GAWITT
1981
PROFESSIONAL
LAND SURVEYOR
Certification:
THIS SURVEY AND PLAN CONFORMS TO A CLASS III STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.
(SEE GENERAL NOTE 5)

Legend:

ASSESSOR'S LINES	---	SOIL IDENTIFICATION	BoC	SOIL EVALUATIONS 2009 RIDEM VERIFIED	45-1-16
PROPERTY LINE	====	EXISTING STONEWALL	-----	SOIL EVALUATIONS 2007 RIDEM VERIFIED	45-1-16
SOIL BOUNDARY LINE	-----	EXISTING BUILDING	▨	SOIL EVALUATIONS 2012 RIDEM WITNESSED & CONCURRED	45-1-16
WETLAND EDGE	-----	EXISTING UTILITY POLE	○		
100' RIVERBANK WETLAND	-----	EXISTING MAJOR CONTOUR	-----		
50' PERIMETER WETLAND	-----	EXISTING MINOR CONTOUR	-----		
200' RIVERBANK WETLAND	-----	AP	ASSESSOR'S PLAT		
EXISTING TREELINE	-----	UP	UTILITY POLE		
EXISTING STREAM	-----	N/F	NOW OR FORMERLY		
EXISTING FENCE	-----	WETLAND FLAG	A5		
		WETLAND HATCH	▨		

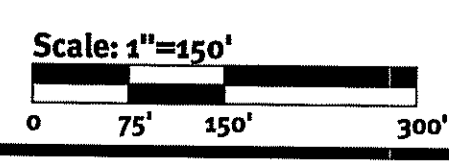
Soil Information:
(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

SOIL NAME	DESCRIPTION
Rf	RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS
ScA	SCIO SILT LOAM, 0 TO 3 PERCENT SLOPES
SdB	SCIO VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES
NbB	NARRAGANSETT VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES

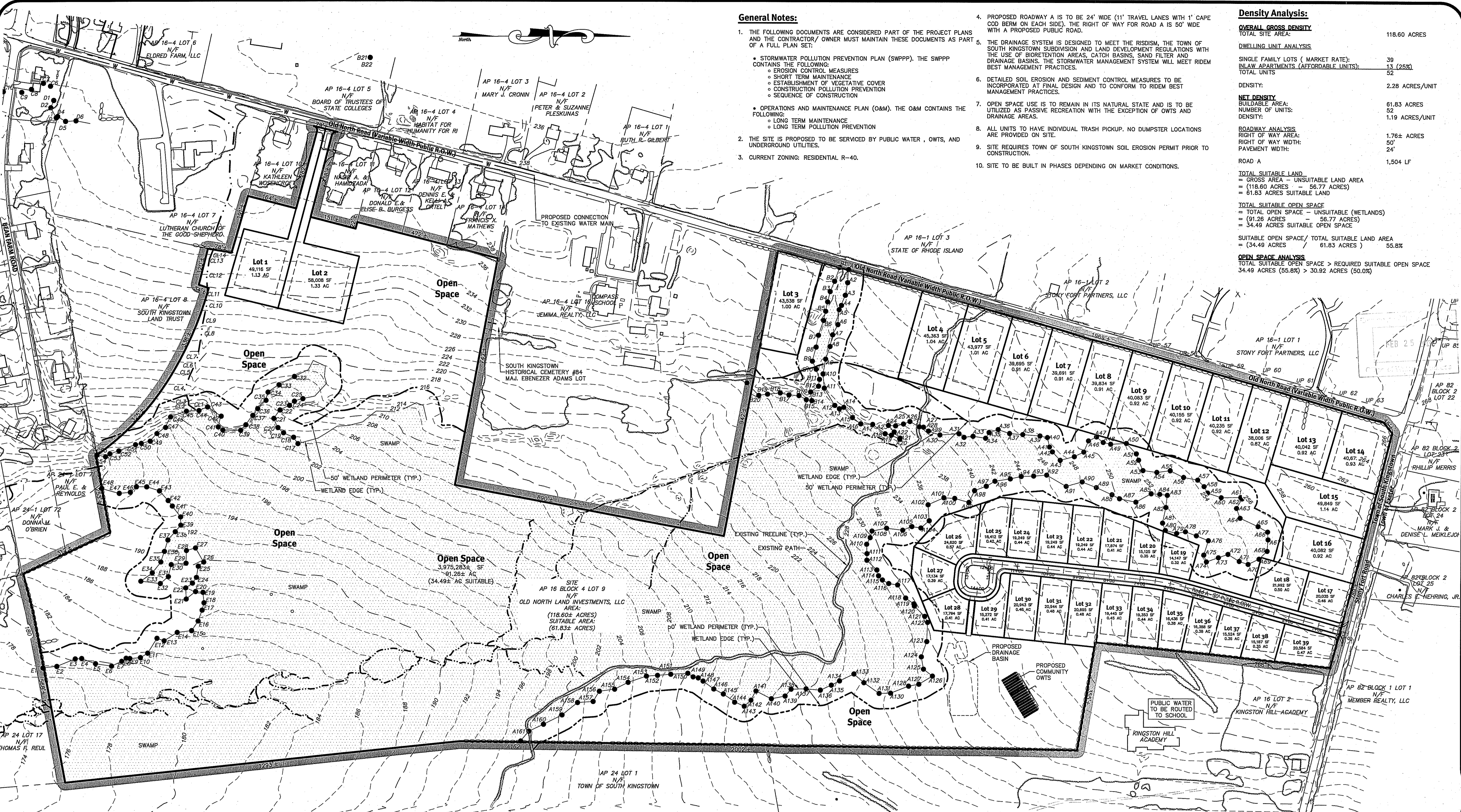
Dimensional Regulations:

CURRENT ZONING:	RESIDENTIAL R-40
MINIMUM LOT AREA:	40,000 SF
MINIMUM FRONTAGE AND LOT WIDTH:	150'
MINIMUM FRONT YARD:	40'
MINIMUM CORNER SIDE YARD:	30'
MINIMUM SIDE YARD:	20'
MINIMUM REAR YARD:	40'
MAXIMUM STRUCTURE HEIGHT:	35'
MAXIMUM LOT BUILDING COVERAGE:	20%

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LET PERMIT
DATED APR 19 2013 FILE # 13-0034
NO CHANGES ALLOWED WITHOUT FIELD
APPROVED PLANS MUST BE AT ONSITE
Signature



Existing Conditions Plan
Fieldstone Farms
Assessor's Plat 16-4, Lot 9
South Kingstown, Rhode Island
Prepared for
Old North Land Investments LLC
75 Lambert Lind Highway
Warwick, Rhode Island 02886
05.05.13-04 Copyright © 2013 by DiPrete Engineering Associates, Inc.



General Notes:

- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
 - STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE SWPPP CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
 - OPERATIONS AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS THE FOLLOWING:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION
- THE SITE IS PROPOSED TO BE SERVICED BY PUBLIC WATER, OWTS, AND UNDERGROUND UTILITIES.
- CURRENT ZONING: RESIDENTIAL R-40.
- PROPOSED ROADWAY A IS TO BE 24' WIDE (11' TRAVEL LANES WITH 1' CAPE COD BERM ON EACH SIDE). THE RIGHT OF WAY FOR ROAD A IS 50' WIDE WITH A PROPOSED PUBLIC ROAD.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE RIDEM, THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF BIORETENTION AREAS, CATCH BASINS, SAND FILTER AND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM WILL MEET RIDEM BEST MANAGEMENT PRACTICES.
- DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT FINAL DESIGN AND TO CONFORM TO RIDEM BEST MANAGEMENT PRACTICES.
- OPEN SPACE USE IS TO REMAIN IN ITS NATURAL STATE AND IS TO BE UTILIZED AS PASSIVE RECREATION WITH THE EXCEPTION OF OWTS AND DRAINAGE AREAS.
- ALL UNITS TO HAVE INDIVIDUAL TRASH PICKUP. NO DUMPSTER LOCATIONS ARE PROVIDED ON SITE.
- SITE REQUIRES TOWN OF SOUTH KINGSTOWN SOIL EROSION PERMIT PRIOR TO CONSTRUCTION.
- SITE TO BE BUILT IN PHASES DEPENDING ON MARKET CONDITIONS.

Density Analysis:

OVERALL GROSS DENSITY	118.60 ACRES
TOTAL SITE AREA:	
DWELLING UNIT ANALYSIS	
SINGLE FAMILY LOTS (MARKET RATE):	39
IN-LAW APARTMENTS (AFFORDABLE UNITS):	13 (25%)
TOTAL UNITS:	52
DENSITY:	2.28 ACRES/UNIT
NET DENSITY	
BUILDABLE AREA:	61.83 ACRES
NUMBER OF UNITS:	52
DENSITY:	1.19 ACRES/UNIT
ROADWAY ANALYSIS	
RIGHT OF WAY AREA:	1.76± ACRES
RIGHT OF WAY WIDTH:	50'
PAVEMENT WIDTH:	24'
ROAD A	1,504 LF
TOTAL SUITABLE LAND	
= GROSS AREA - UNSUITABLE LAND AREA	= 118.60 ACRES - 56.77 ACRES
= 61.83 ACRES SUITABLE LAND	
TOTAL SUITABLE OPEN SPACE	
= TOTAL OPEN SPACE - UNSUITABLE (WETLANDS)	= (91.26 ACRES - 56.77 ACRES)
= 34.49 ACRES SUITABLE OPEN SPACE	
SUITABLE OPEN SPACE/ TOTAL SUITABLE LAND AREA	55.8%
OPEN SPACE ANALYSIS	
TOTAL SUITABLE OPEN SPACE > REQUIRED SUITABLE OPEN SPACE	34.49 ACRES (55.8%) > 30.92 ACRES (50.0%)

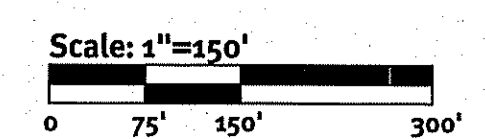
Legend:

ASSESSOR'S LINES	---	SOIL IDENTIFICATION	BoC
PROPERTY LINE	---	EXISTING STONEWALL	-----
SOIL BOUNDARY LINE	---	EXISTING BUILDING	▨
WETLAND EDGE	---	EXISTING UTILITY POLE	○
100' RIVERBANK WETLAND	---	EXISTING MAJOR CONTOUR	--- 240 ---
50' PERIMETER WETLAND	---	EXISTING MINOR CONTOUR	--- 242 ---
200' RIVERBANK WETLAND	---	AP	ASSESSOR'S PLAT
EXISTING TREELINE	---	UP	UTILITY POLE
EXISTING STREAM	---	N/F	NOW OR FORMERLY
EXISTING FENCE	---	WETLAND FLAG	●
		WETLAND HATCH	▨

Dimensional Regulations:

CURRENT ZONING:	RESIDENTIAL R-40	RESIDENTIAL R-10
MINIMUM LOT AREA:	40,000 SF	10,000 SF
MINIMUM FRONTAGE AND LOT WIDTH:	150'	80'
MINIMUM FRONT YARD:	40'	25'
MINIMUM CORNER SIDE YARD:	30'	20'
MINIMUM SIDE YARD:	20'	10'
MINIMUM REAR YARD:	40'	30'
MAXIMUM STRUCTURE HEIGHT:	35'	35'
MAXIMUM LOT BUILDING COVERAGE:	20%	25%

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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 AS SPECIFIED IN THE LETTER OF APPROVAL
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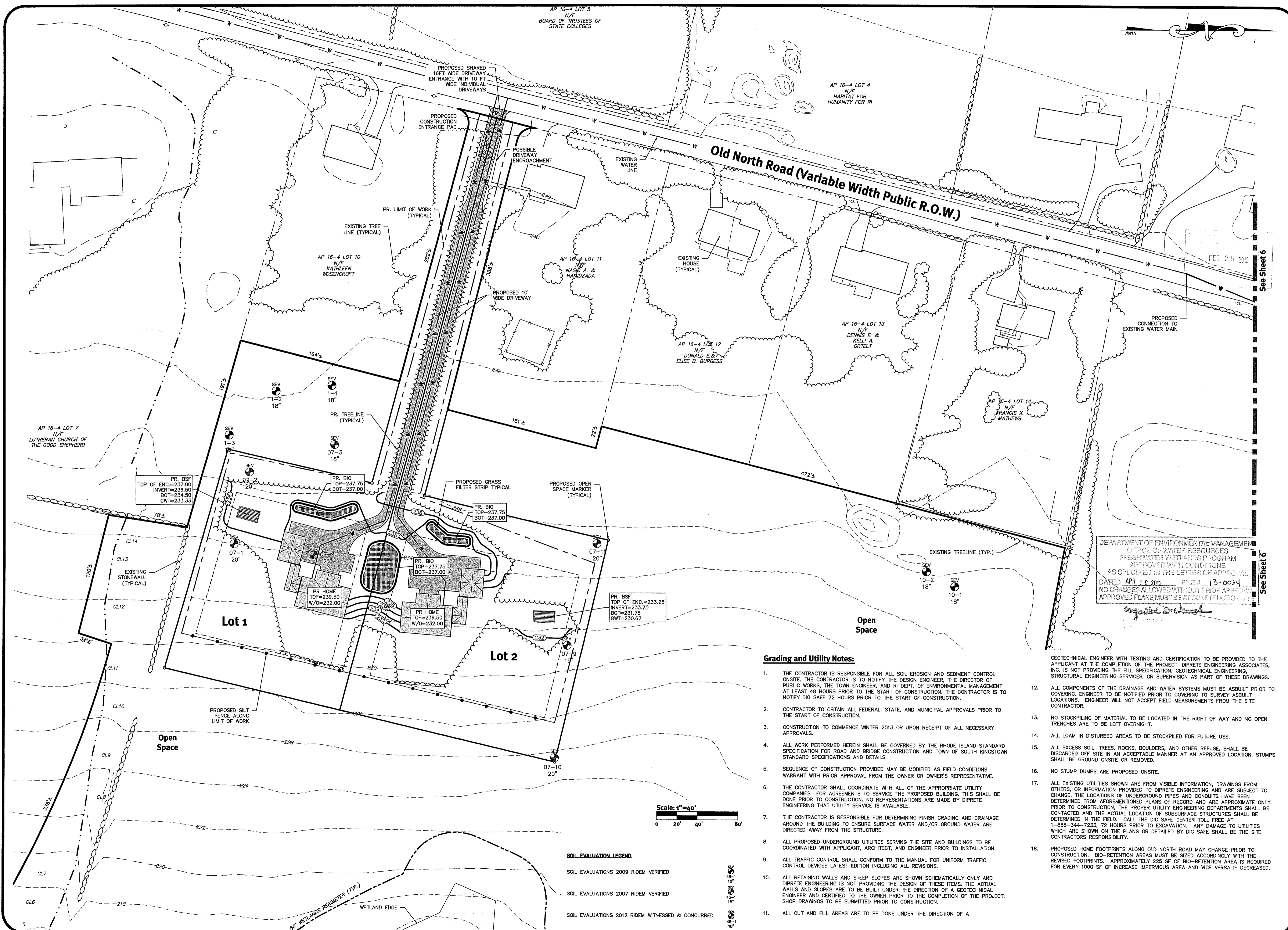


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CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER

No.	Date	Revision	Description	Drawn By	Check By

Overall Plan
Fieldstone Farms
 Assessor's Plat 16-4, Lot 9
 South Kingstown, Rhode Island
 Prepared for
Old North Land Investments LLC
 75 Litchfield Lane, Pawtucket, Rhode Island 02866



SOIL EVALUATION LEGEND:

SOIL EVALUATIONS 2009 RIDEM VERIFIED

SOIL EVALUATIONS 2007 RIDEM VERIFIED

SOIL EVALUATIONS 2012 RIDEM WITNESSED & CONCURRED

Grading and Utility Notes:

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON-SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY DIG SAFE 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONSTRUCTION TO COMMENCE WINTER 2013 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
4. ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND TOWN OF SOUTH KINGSTOWN STANDARD SPECIFICATIONS AND DETAILS.
5. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
8. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
9. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
10. ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
11. ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
12. ALL COMPONENTS OF THE DRAINAGE AND WATER SYSTEMS MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
13. NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
14. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
15. ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ON-SITE OR REMOVED.
16. NO STUMP DUMPS ARE PROHIBITED ON-SITE.
17. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFOREMENTIONED PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7233, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY.
18. PROPOSED HOME FOOTPRINTS ALONG OLD NORTH ROAD MAY CHANGE PRIOR TO CONSTRUCTION. BIO-RETENTION AREAS MUST BE SIZED ACCORDINGLY WITH THE REVISED FOOTPRINTS. APPROXIMATELY 225 SF OF BIO-RETENTION AREA IS REQUIRED FOR EVERY 1000 SF OF INCREASE IMPERVIOUS AREA AND VICE VERSA IF DECREASED.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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 APPROVED PLANS MUST BE AT CONSTRUCTION

No.	Date	Description	By
0	2-8-13	REBID Submission	By: R.B.S.

North

SOIL EVALUATION LEGEND

SOIL EVALUATIONS 2009 RIDEM VERIFIED

SOIL EVALUATIONS 2007 RIDEM VERIFIED

SOIL EVALUATIONS 2012 RIDEM WITNESSED & CONCURRED

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel. 401-943-1000 fax. 401-464-6006 www.DiPrete-Eng.com

Engineers - Planners - Surveyors

CHRISTOPHER A. DUHAMEL

REGISTERED PROFESSIONAL ENGINEER

No.	Date	Description	By	Check

Design By: R.D.S.

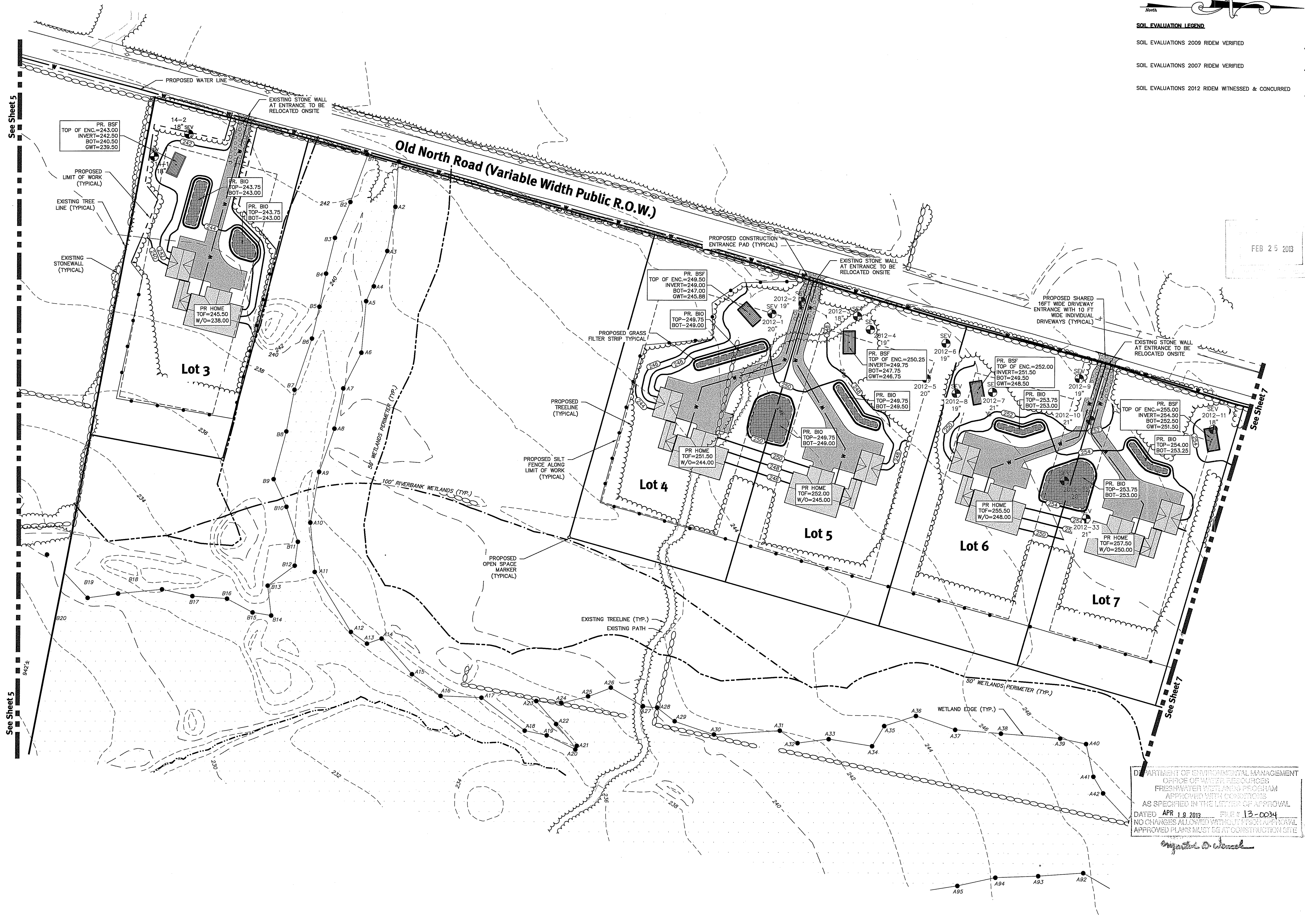
Grading Plan - 2

Fieldstone Farms

Assessor's Plat 16-4, Lot 9
South Kingstown, Rhode Island

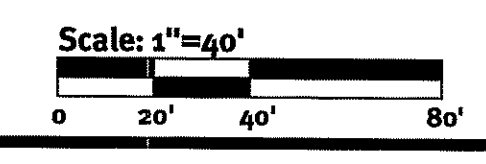
Prepared for
Old North Land Investments LLC
75 Larkspur Lane
Warwick, Rhode Island 02886

DE Job No. 0161-184 Copyright 2013 by DiPrete Engineering Associates, Inc.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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DATED APR 19 2013 FILE # 12-0034
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Christopher A. Duhamel



See Sheet 5

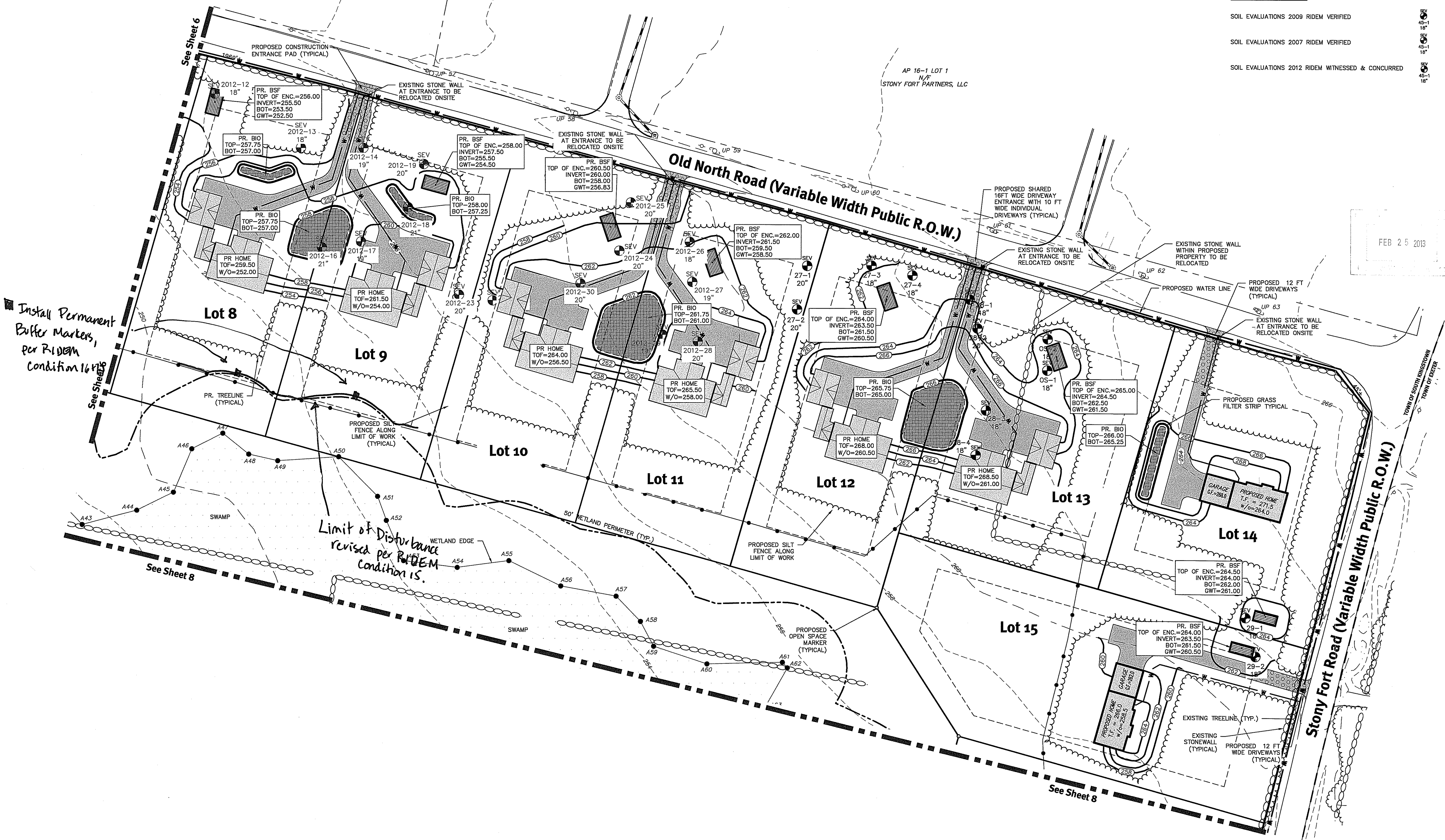
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See Sheet 7

See Sheet 7

SOIL EVALUATION LEGEND

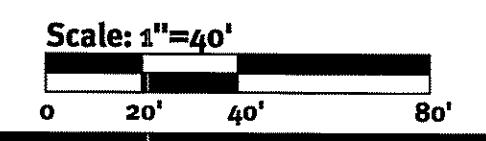
- SOIL EVALUATIONS 2009 RIDEM VERIFIED
- SOIL EVALUATIONS 2007 RIDEM VERIFIED
- SOIL EVALUATIONS 2012 RIDEM WITNESSED & CONCURRED



Install Permanent Buffer Markers, per RIDEM Condition 16

Limit of Disturbance revised per RIDEM Condition 15.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 9 2013 FILE # 13-0034
 NO CHANGES ALLOWED WITHOUT PREVIOUS APPROVAL
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CHRISTOPHER A. DUHAMEL
 REGISTERED PROFESSIONAL ENGINEER

No.	Date	Description	By:
0	2-8-13	RIDEM Submission	Design By: R.B.S.

Grading Plan - 3
Fieldstone Farms
 Assessor's Plat 16-4, Lot 9
 South Kingstown, Rhode Island
 Prepared for
Old North Land Investments LLC
 75 Lambert Lind Highway
 Warwick, Rhode Island 02886
 DE Job No: 1062-168 Copyright 2013 by Diprete Engineering Associates, Inc.

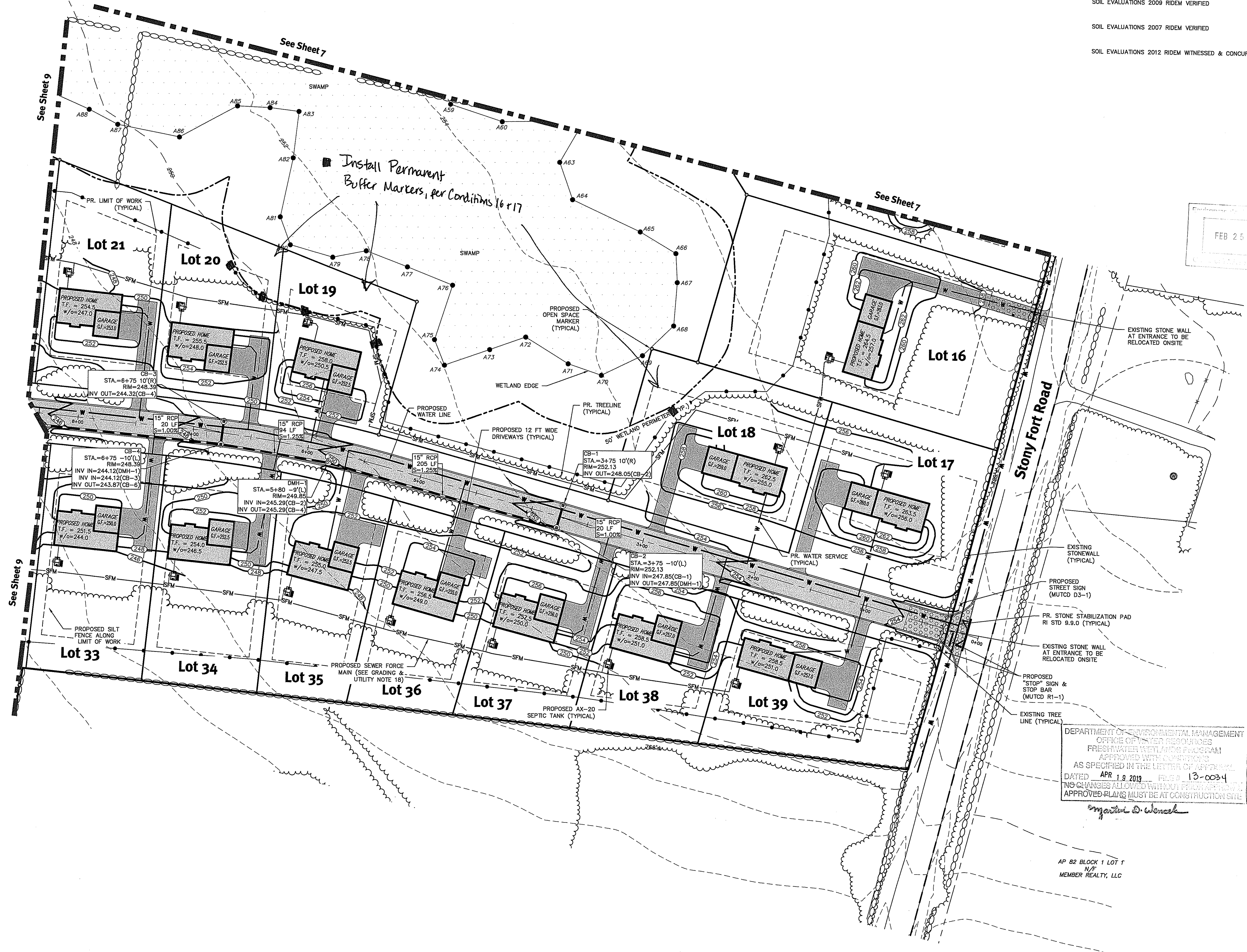


SOIL EVALUATION LEGEND

SOIL EVALUATIONS 2009 RIDEM VERIFIED

SOIL EVALUATIONS 2007 RIDEM VERIFIED

SOIL EVALUATIONS 2012 RIDEM WITNESSED & CONCURRED



FEB 25 2013

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Margaret D. Wenzel

AP B2 BLOCK 1 LOT 1
N/F
MEMBER REALTY, LLC

Scale: 1"=40'

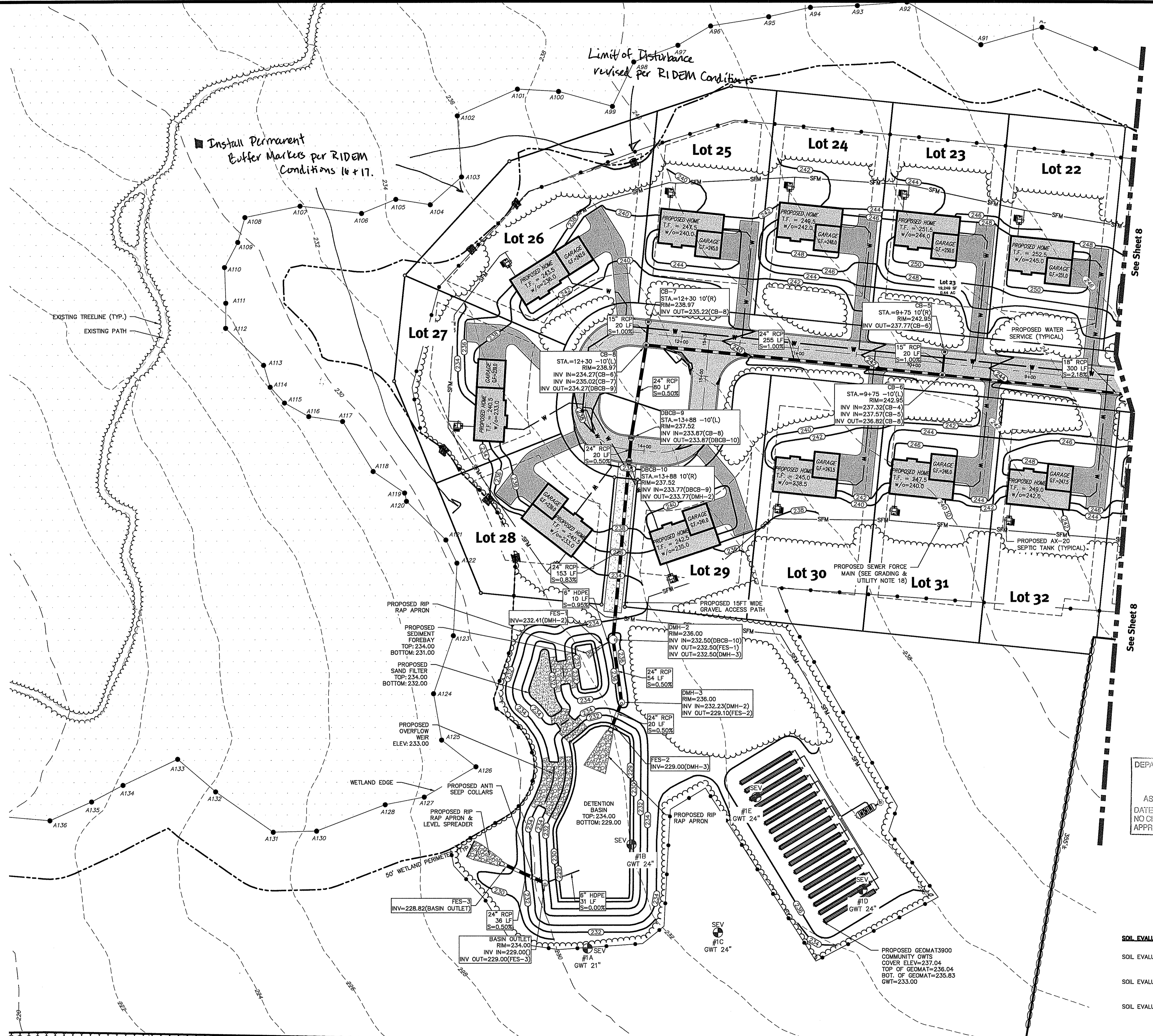
0 20' 40' 80'

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CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER
2/10/14

No.	Date	Description	By:
0			
1		RDMA Submission	Design By: R.B.S.

Grading Plan - 4
Fieldstone Farms
Assessor's Plat 16-A, Lot 9
South Kingstown, Rhode Island
Prepared for
Old North Land Investments LLC
75 Lambert Lind Highway
Warwick, Rhode Island 02886
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FEB 25 2013

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Ernestine D. Wenzel

SOIL EVALUATION LEGEND
 SOIL EVALUATIONS 2009 RIDEM VERIFIED
 SOIL EVALUATIONS 2007 RIDEM VERIFIED
 SOIL EVALUATIONS 2012 RIDEM WITNESSED & CONCURRED

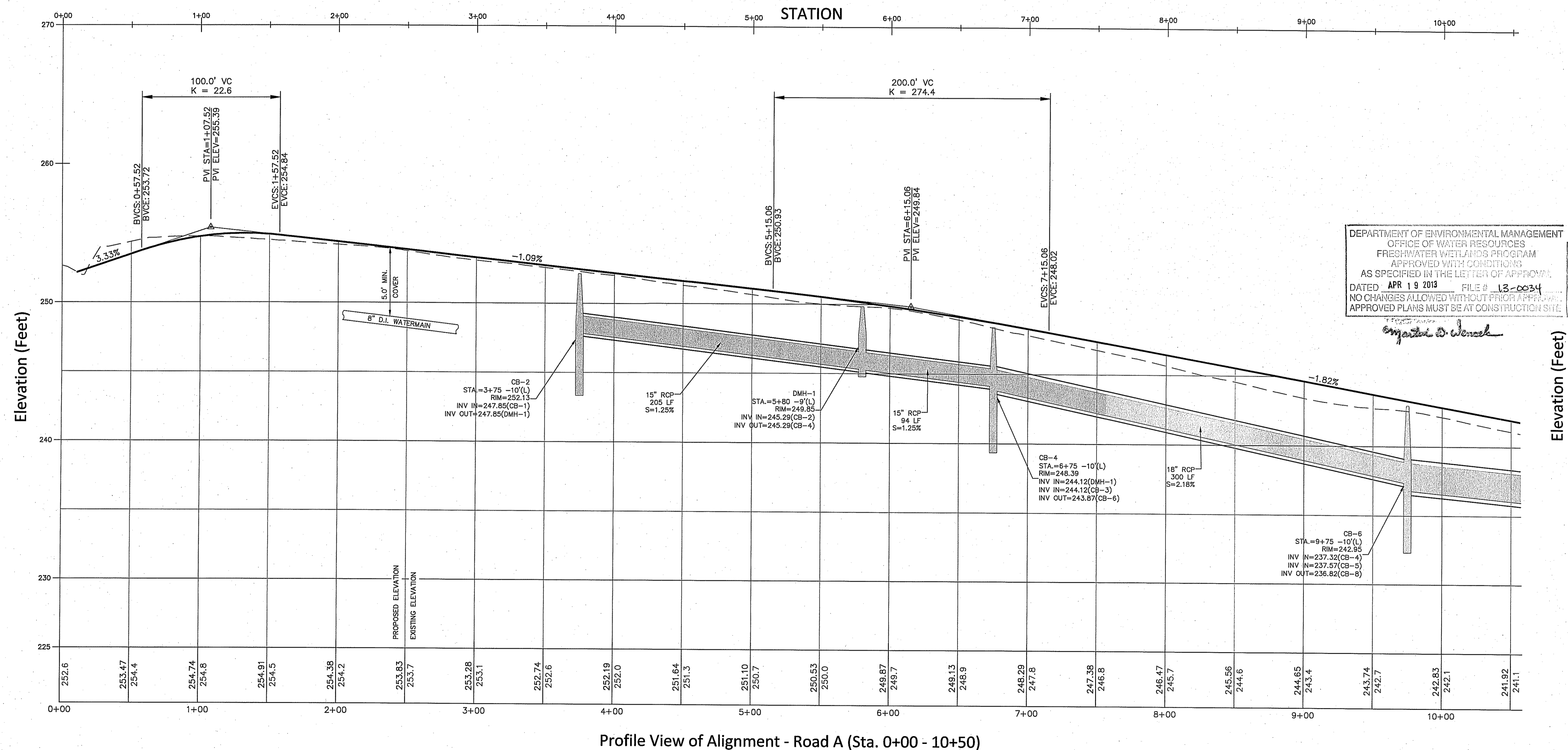
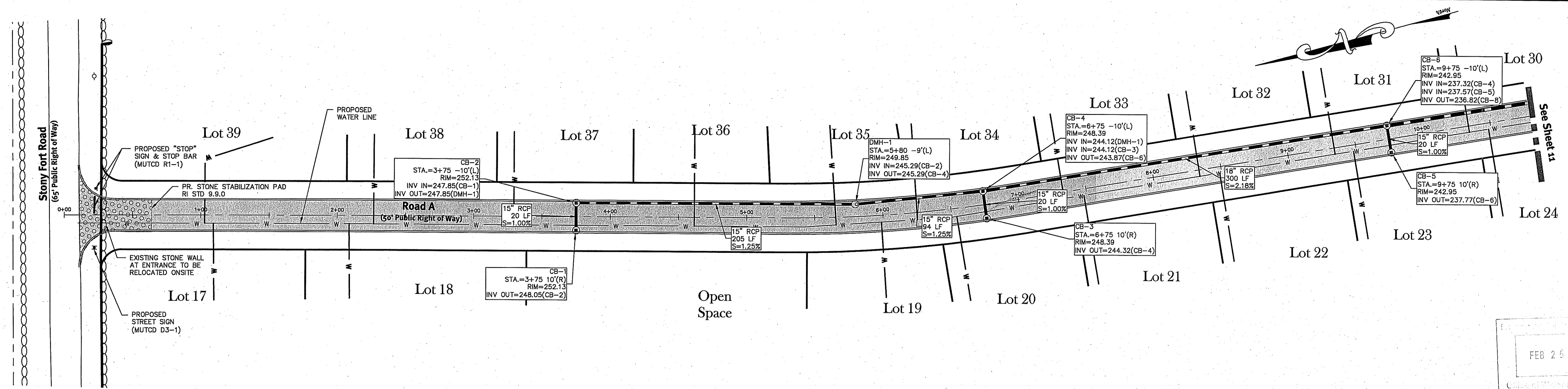
Scale: 1"=40'
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DIPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6006 www.DIPrete-Eng.com

CHRISTOPHER A. DUHAMEL
Chris Duhamel
 REGISTERED PROFESSIONAL ENGINEER

No.	Date	Revised Submission Description	Design By: R.B.S.
0	2-8-13	REVISION	

Grading Plan - 5
Fieldstone Farms
 Assessor's Plat 16-A, Lot 9
 South Kingstown, Rhode Island
 Prepared for:
Old North Land Investments LLC
 75 Lumbard Road Highway
 Warwick, Rhode Island 02886
 DE Job No: C16-194 Copyright: 2013 by DIPrete Engineering Associates, Inc.



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 19 2013 FILE # 13-0034
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Christopher A. Duhamel

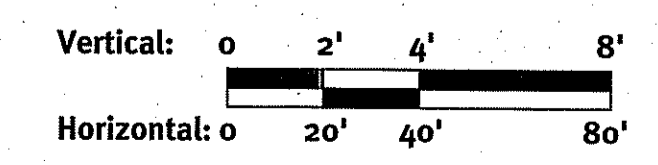
FEB 25 2013

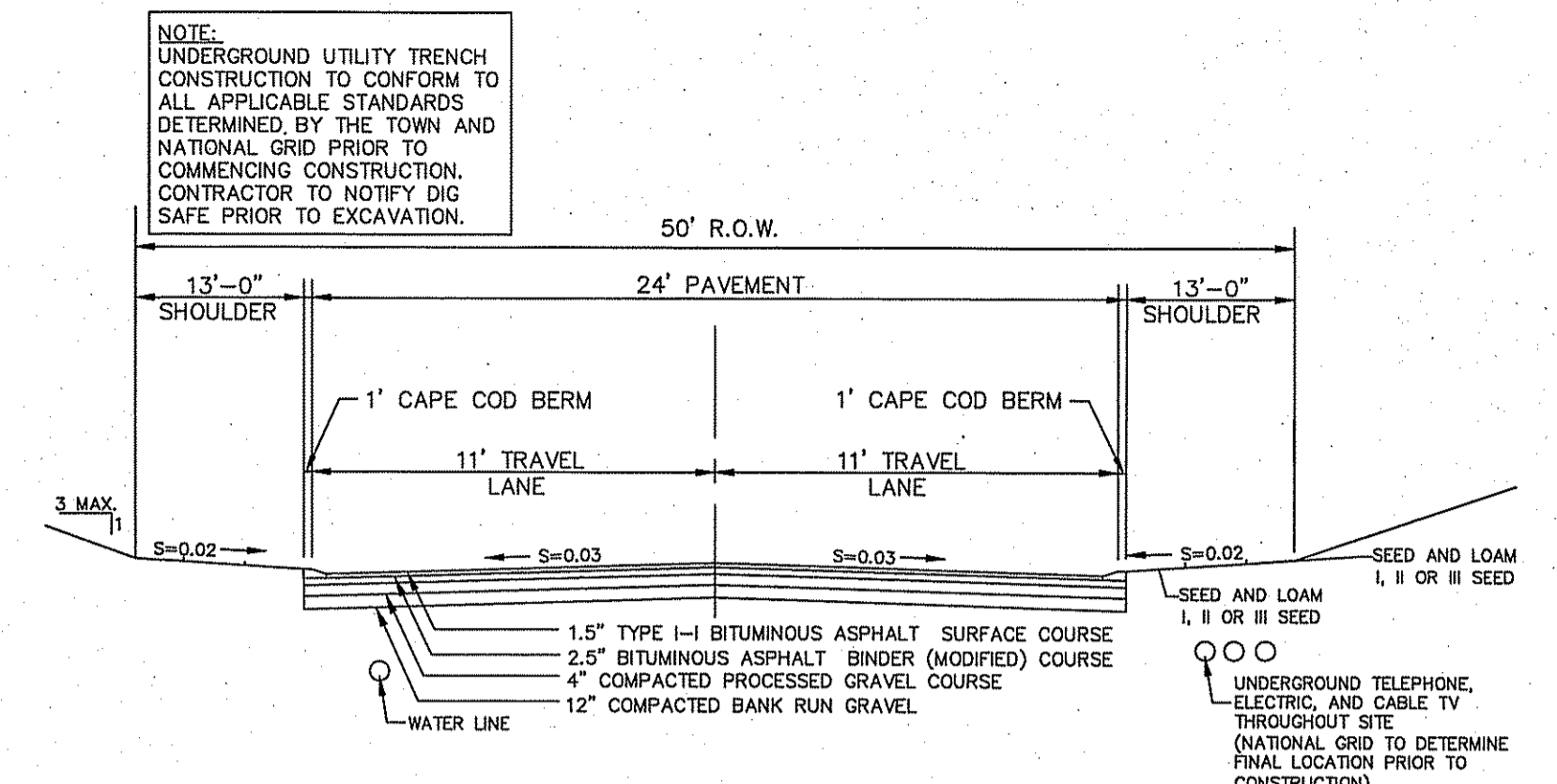
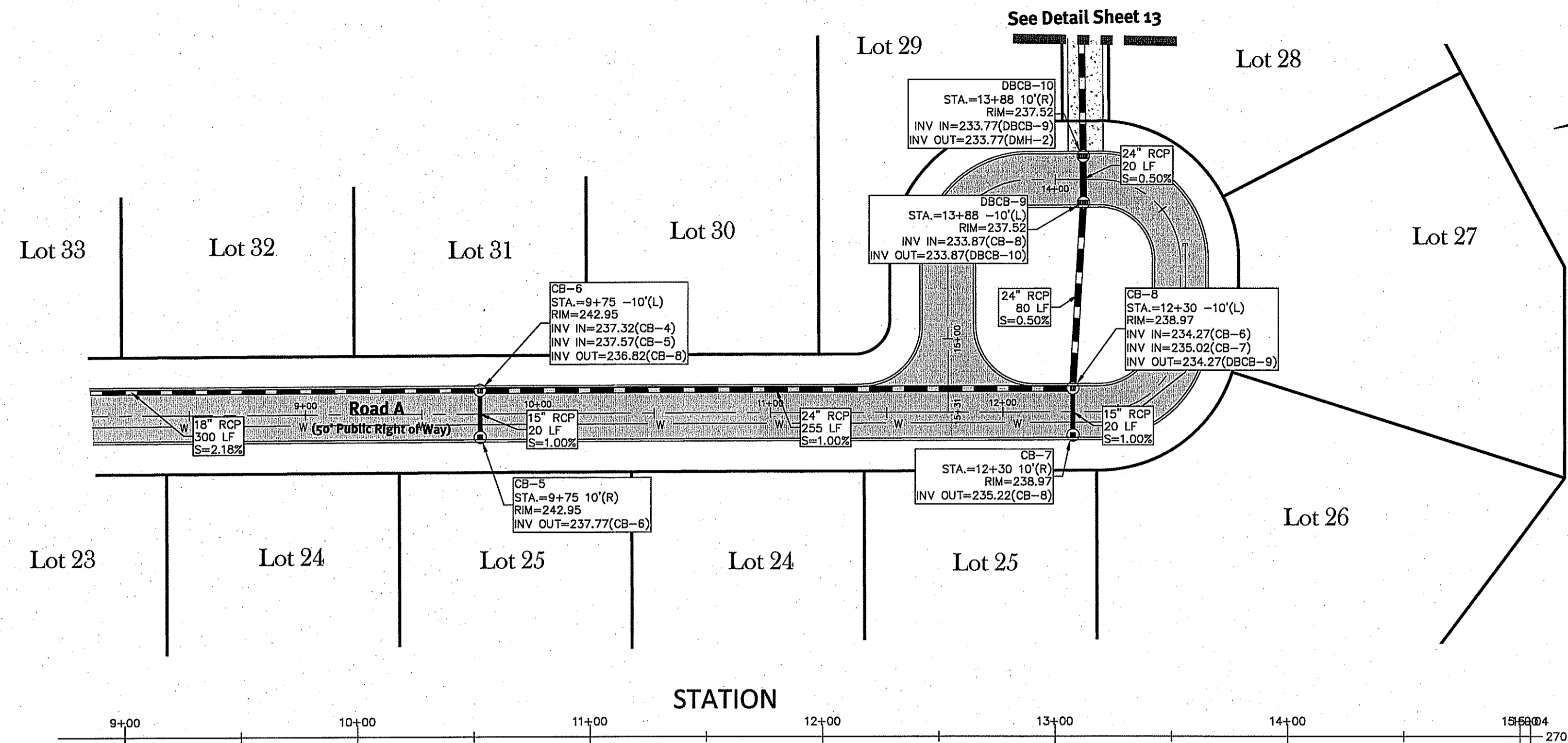
CHRISTOPHER A. DUHAMEL
 No. 503
 Registered Professional Engineer
 2/12/13

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-943-6006 www.DiPrete-Eng.com
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No.	Date	Revised	Description	By	Check
1	2-8-13		Submittal		
2			Design	R.B.S.	

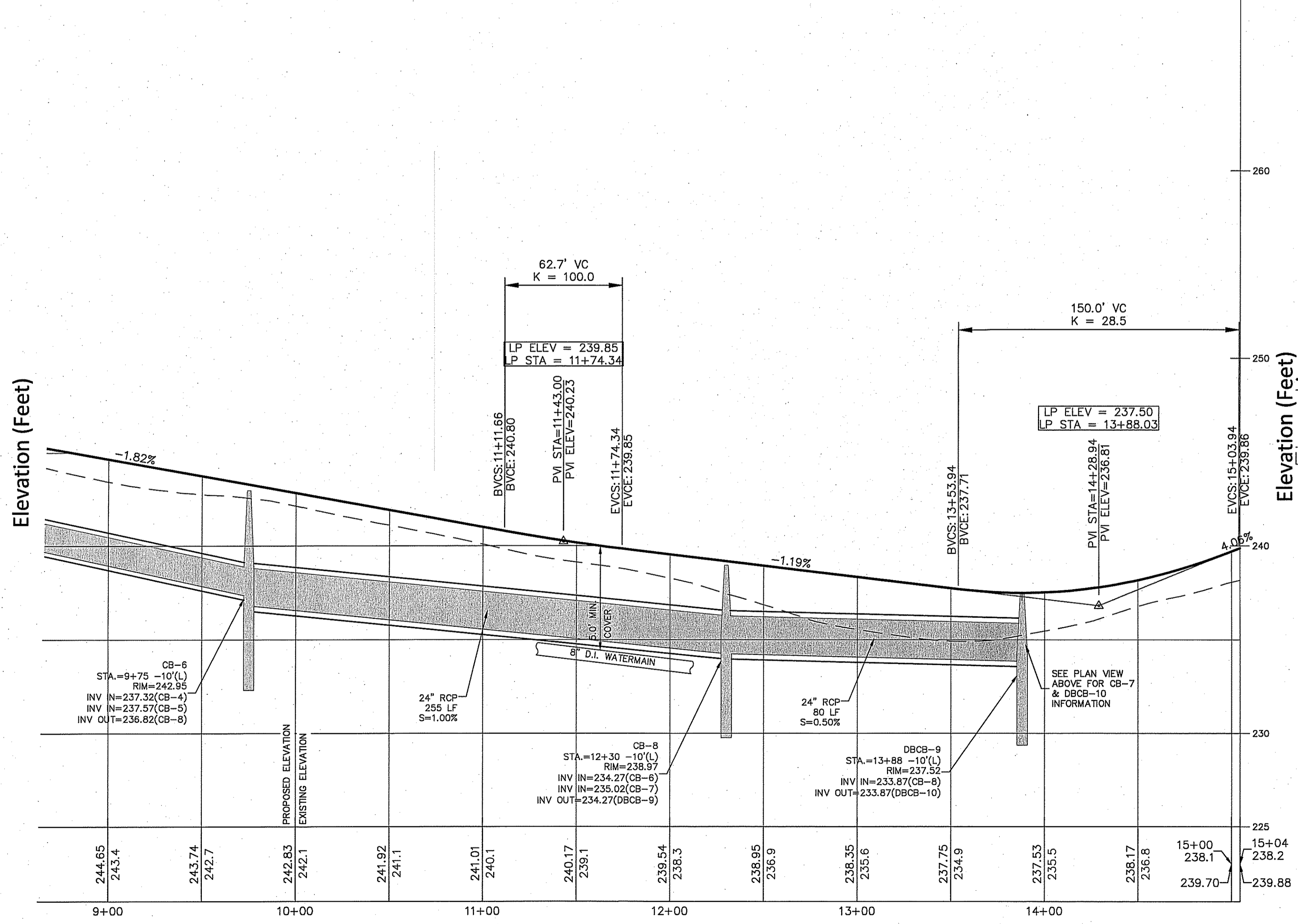
Plan & Profile - 1
Fieldstone Farms
 Assessors Plat 16-4, Lot 9
 South Kingstown, Rhode Island
 Prepared for
Old North Land Investments LLC
 75 Lambert Lind Highway
 Warwick, Rhode Island 02886





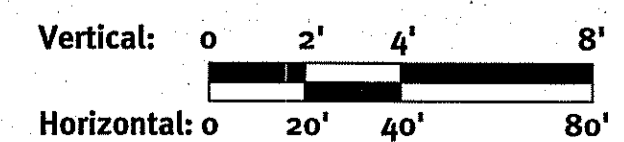
ROAD A CONSTRUCTION CROSS SECTION
NOT TO SCALE

FEB 25 2013



Profile View of Alignment - Road A (Sta. 9+00 - 15+04)

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Christopher A. Duhamel

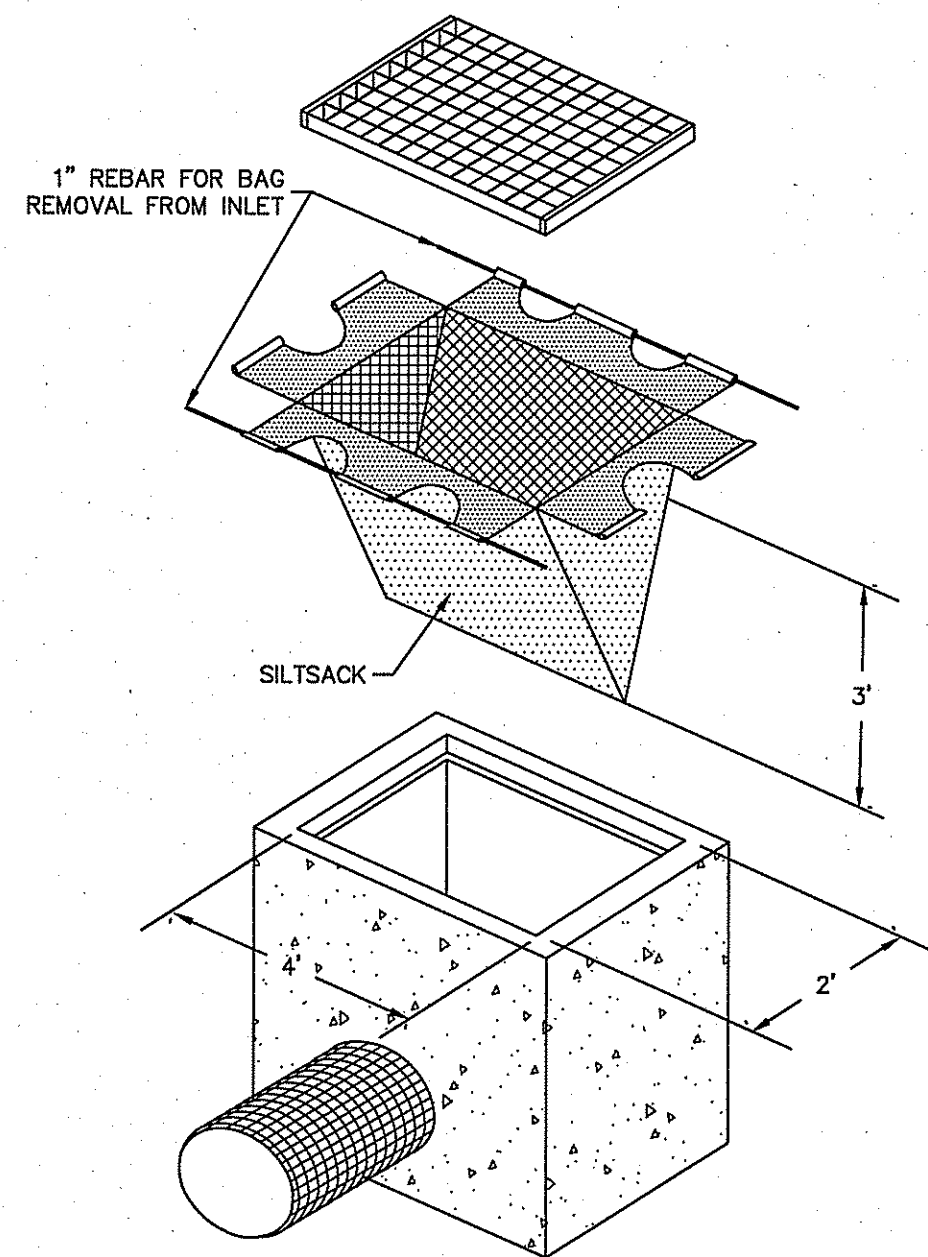


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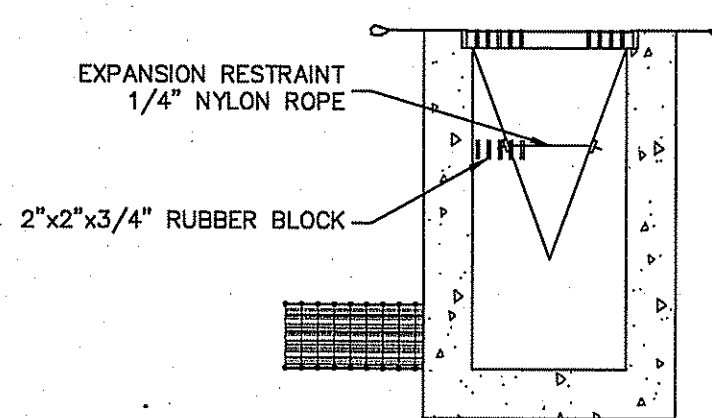
CHRISTOPHER A. DUHAMEL
Christopher A. Duhamel
REGISTERED PROFESSIONAL ENGINEER

DATE	DESCRIPTION	DESIGN BY
APR 19 2013	DESIGN SUBMISSION	CHRISTOPHER A. DUHAMEL

Plan & Profile - 2
Fieldstone Farms
Assessor's Plat 164, Lot 9
South Kingstown, Rhode Island
Prepared for
Old North Land Investments LLC
75 Lumbee Unit Highway
Warwick, Rhode Island 02886
SHEET 11 OF 15

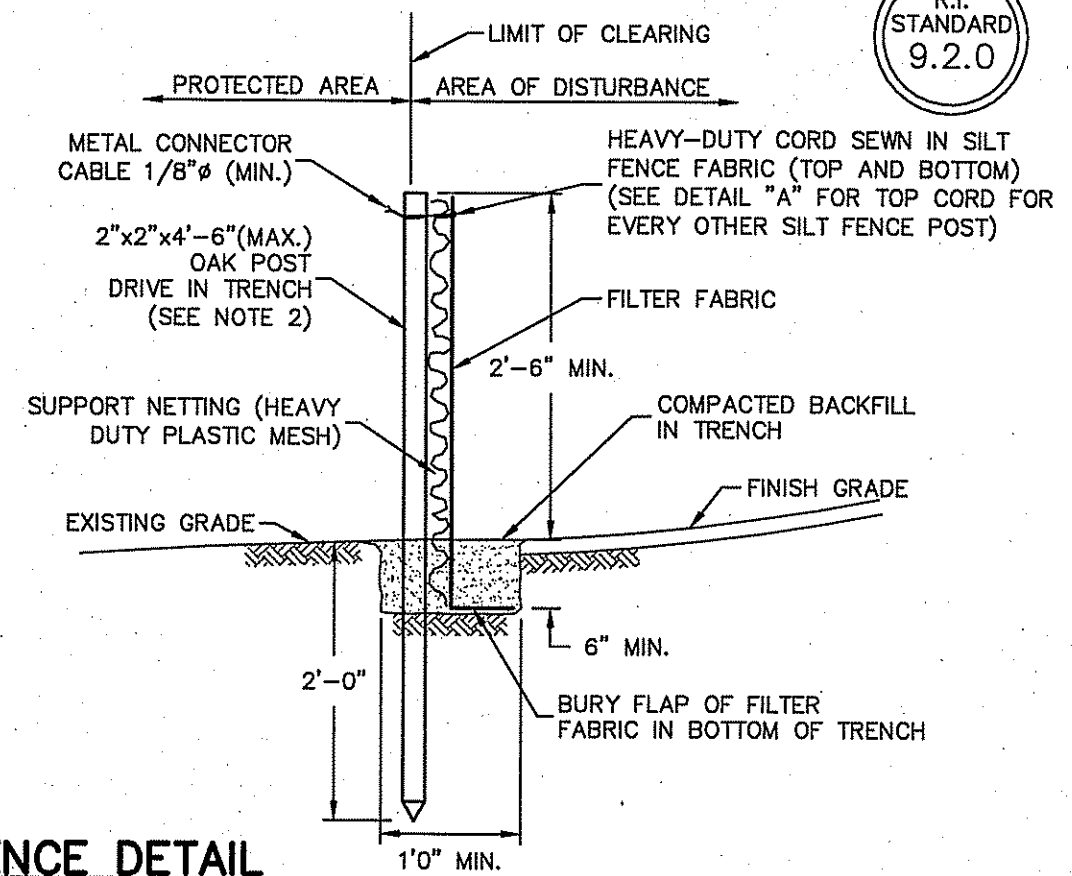
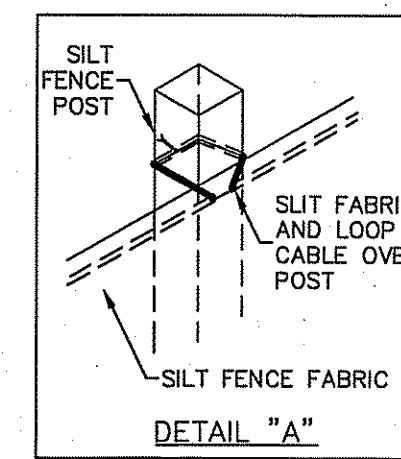


NOTE:
REGULAR FLOW=40 GAL./MIN./SF
HIGH FLOW=200 GAL./MIN./SF

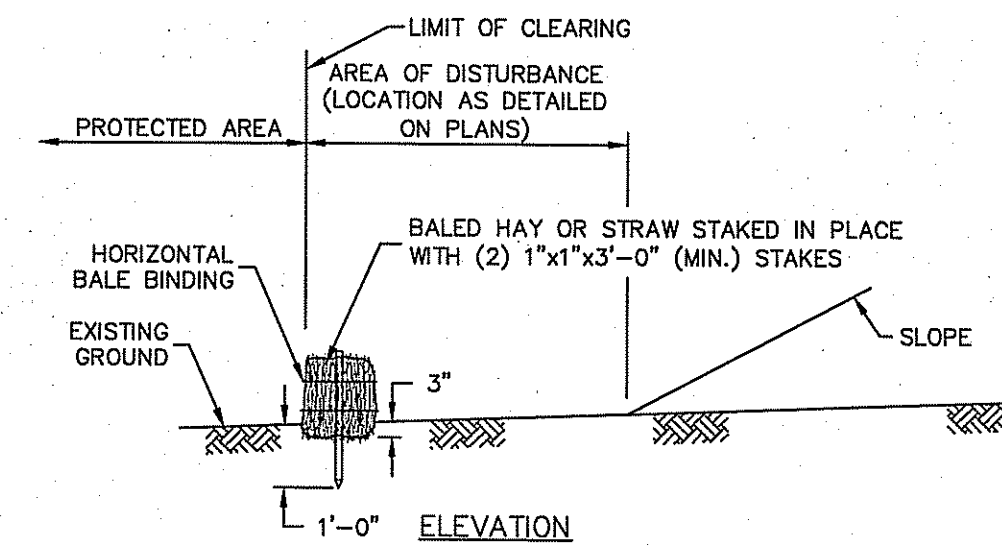
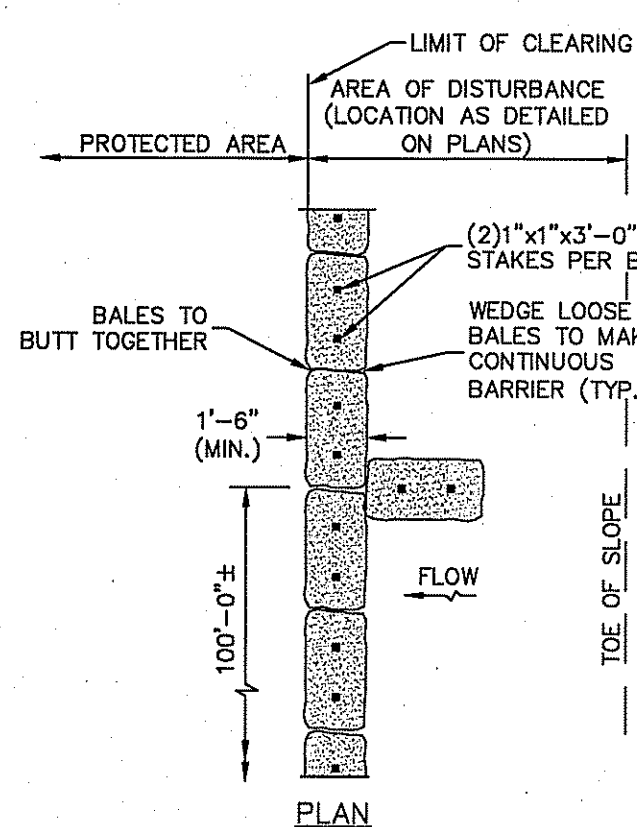


SILT SACK DETAIL
NOT TO SCALE

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

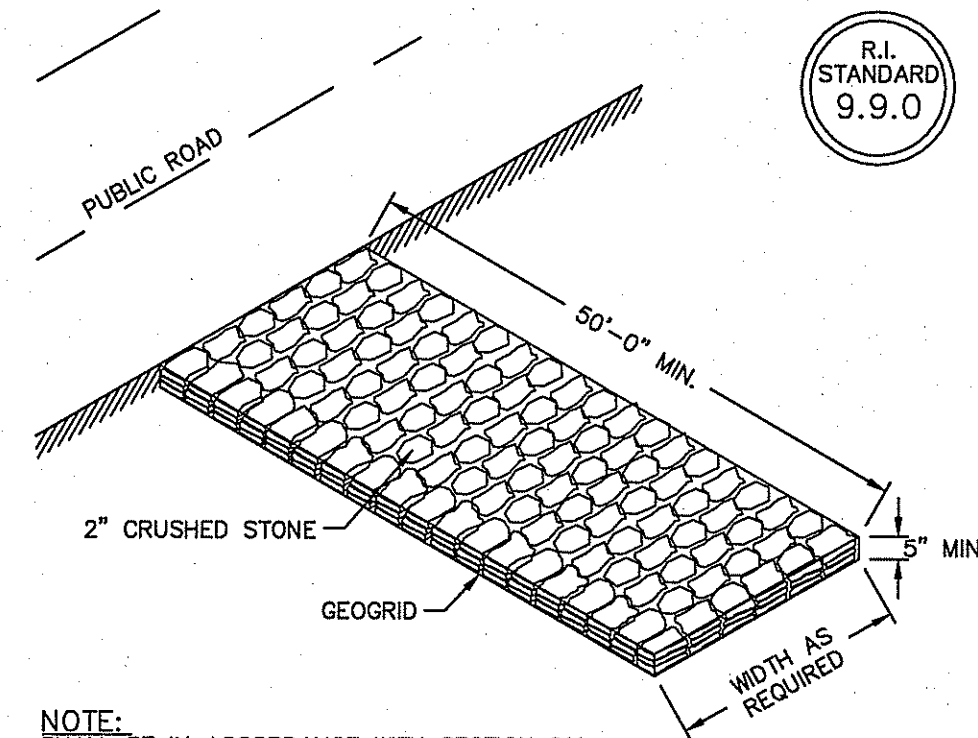


SILT FENCE DETAIL
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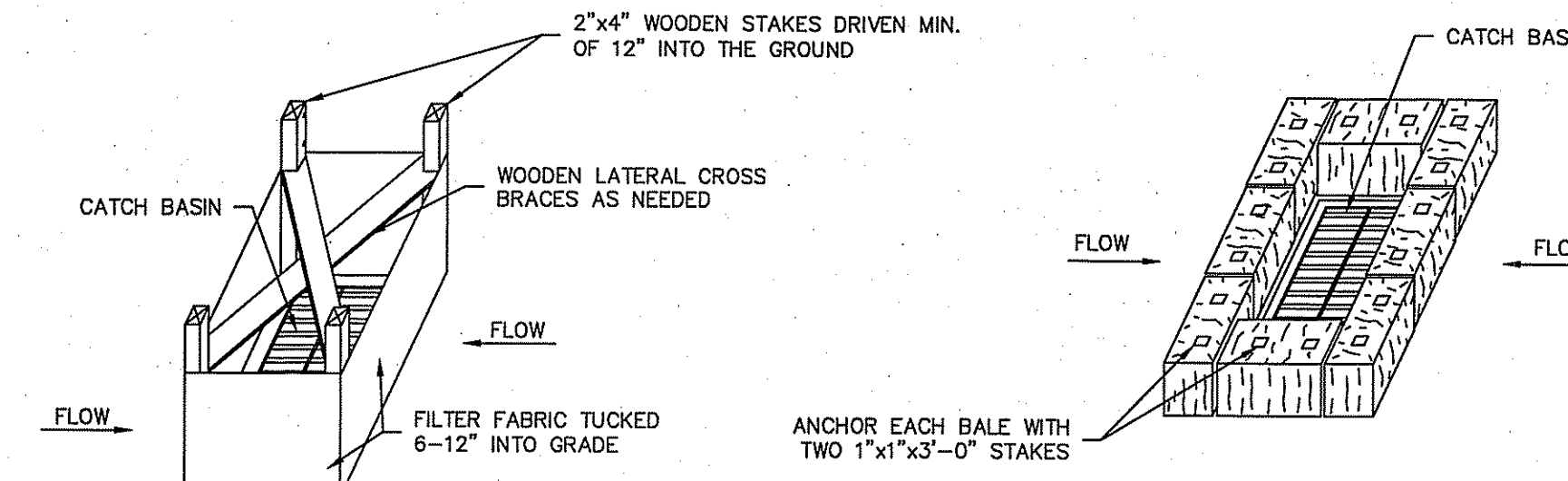
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TO BE USED WHERE THE EXISTING GROUND SLOPES AWAY FROM THE HIGHWAY EMBANKMENT AS CALLED FOR ON PLANS.
 3. AT APPROXIMATE 100'-0" INTERVALS A BALE OF HAY IS TO BUTT PERPENDICULARLY.

BALED HAY EROSION CHECK
NOT TO SCALE



NOTE:
SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

CONSTRUCTION ACCESS
NOT TO SCALE

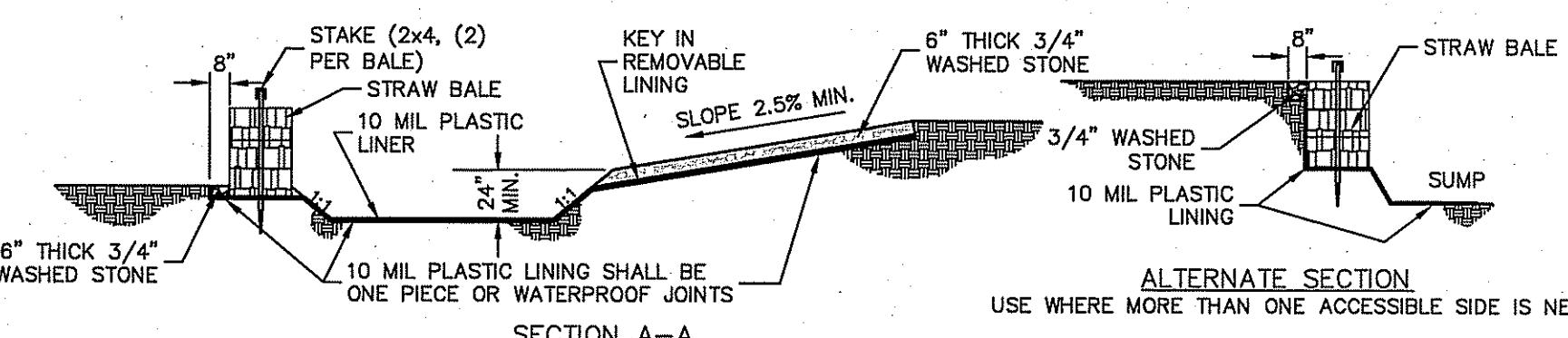


- NOTES:
1. STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
 2. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
 3. REFER TO LONG TERM/SHORT TERM MAINTENANCE NOTES FOR TIMING OF PLACEMENT AND REMOVAL OF EROSION CONTROL ELEMENTS.

CATCH BASIN EROSION CONTROL
NOT TO SCALE



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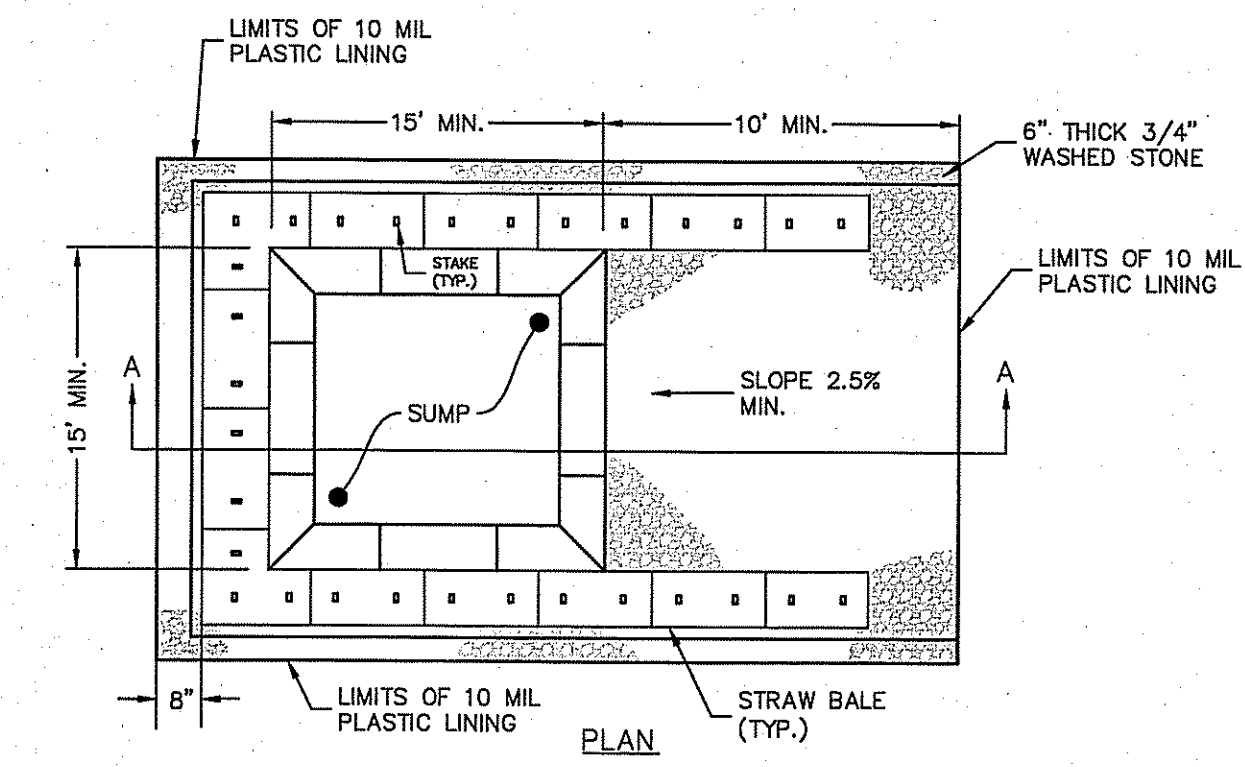


- NOTES:
1. PIT IS SPECIFICALLY DESIGNED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAW CUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT & GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, & SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

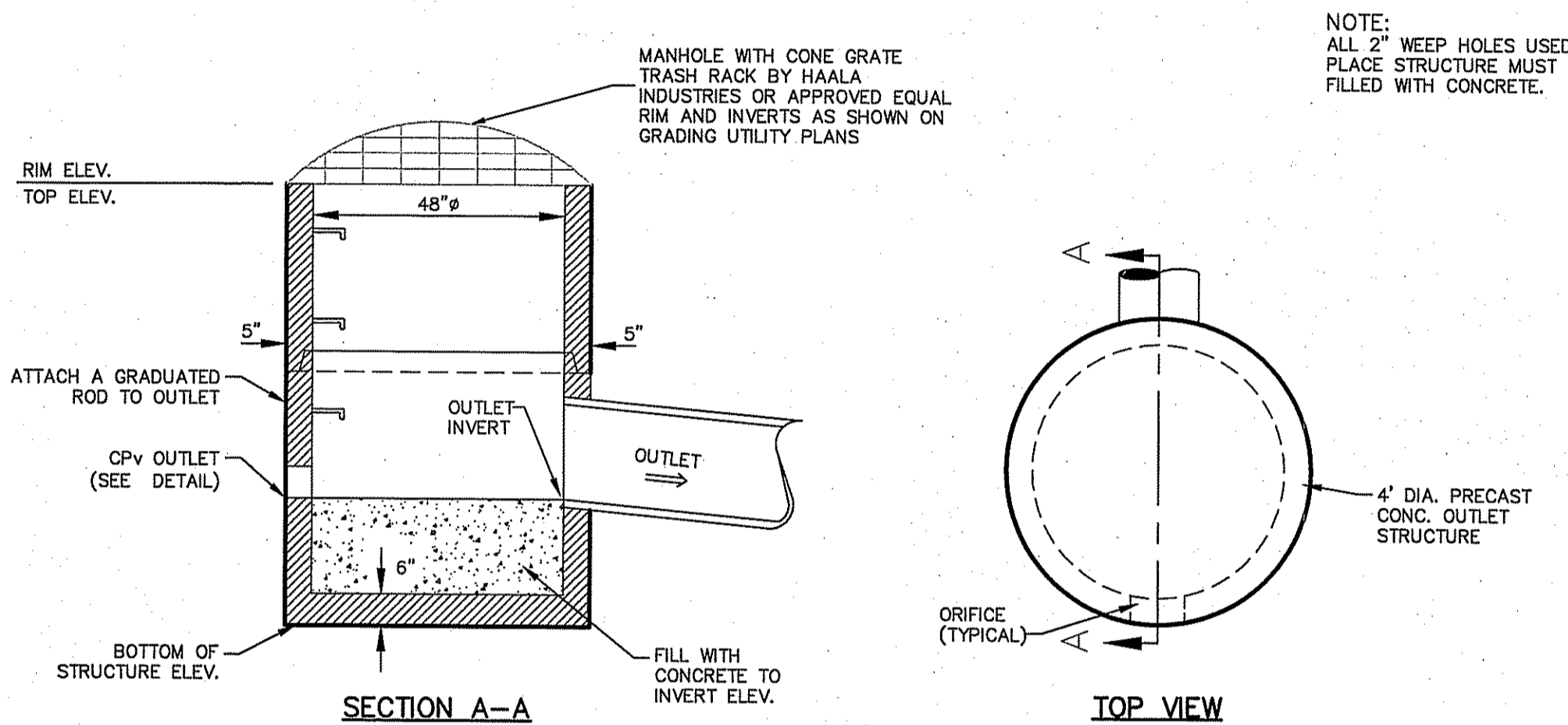
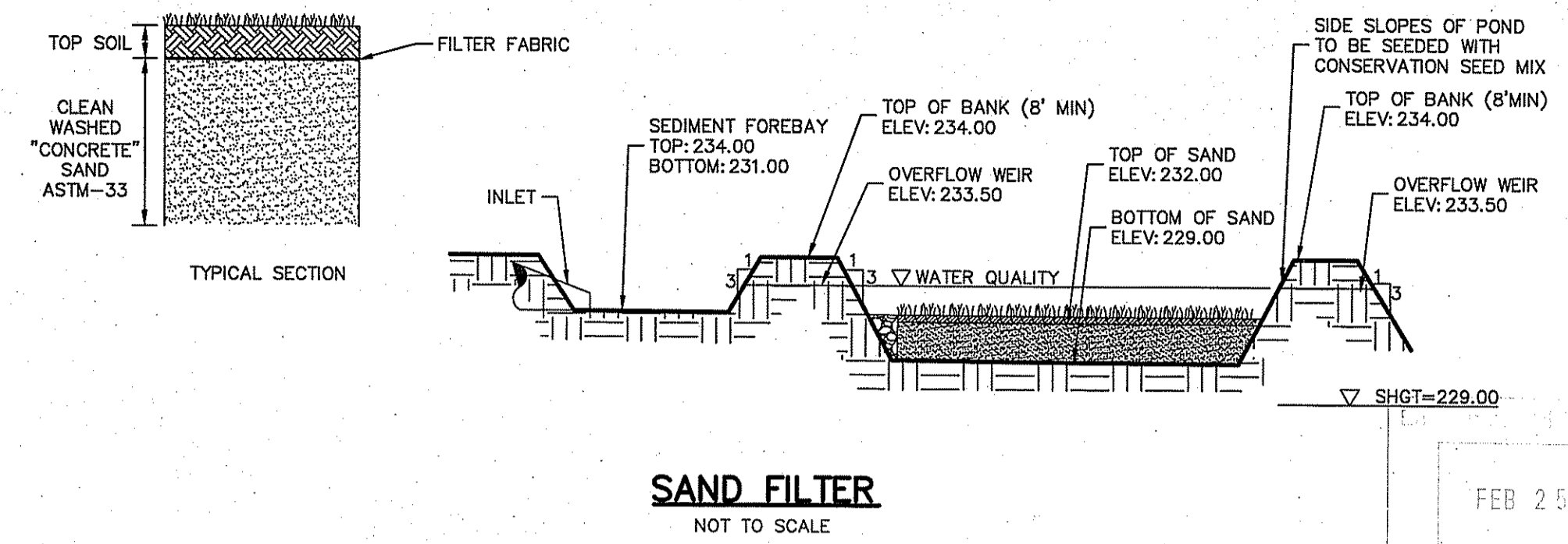
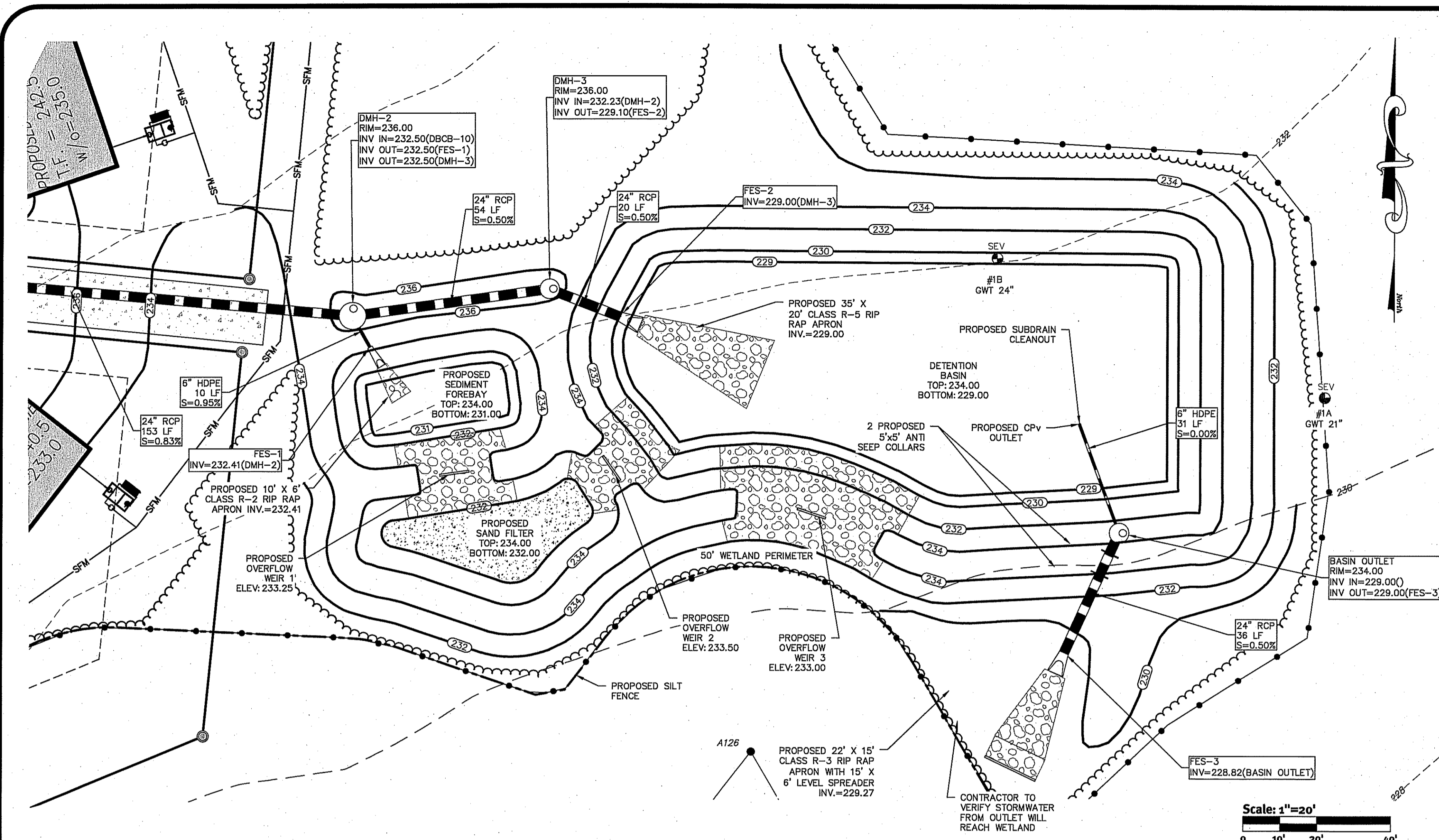


WASHOUT SIGN

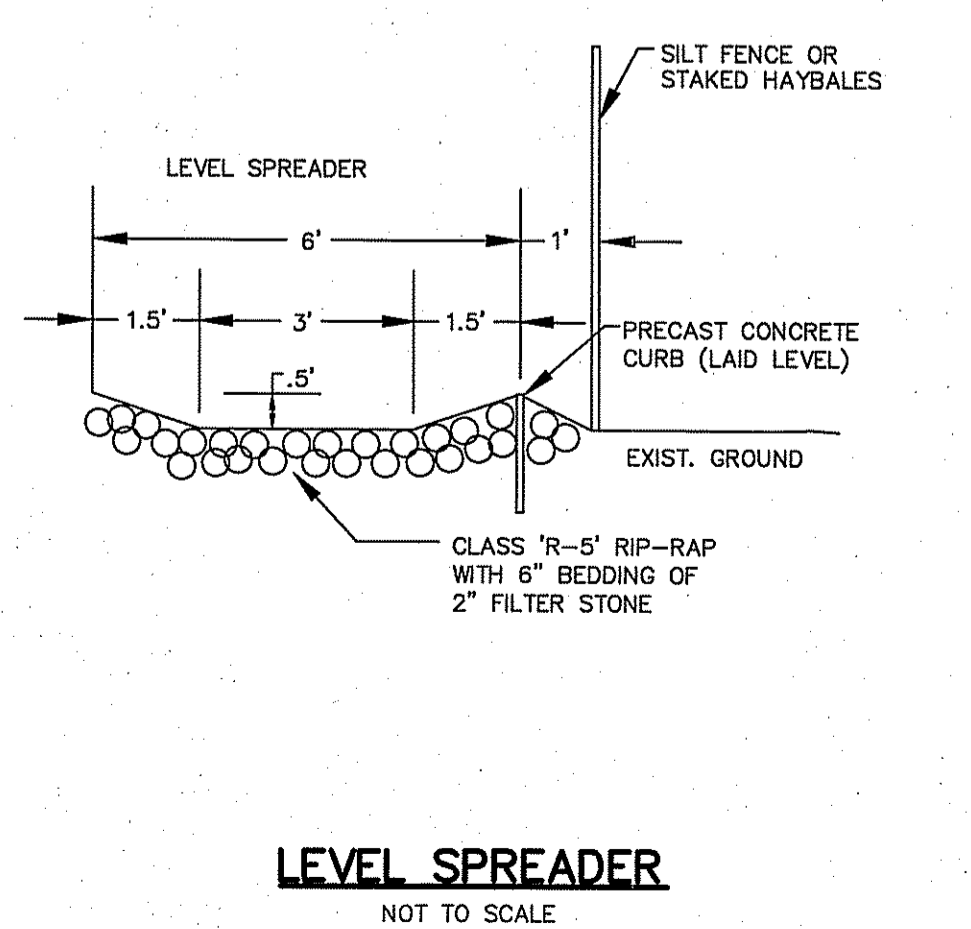
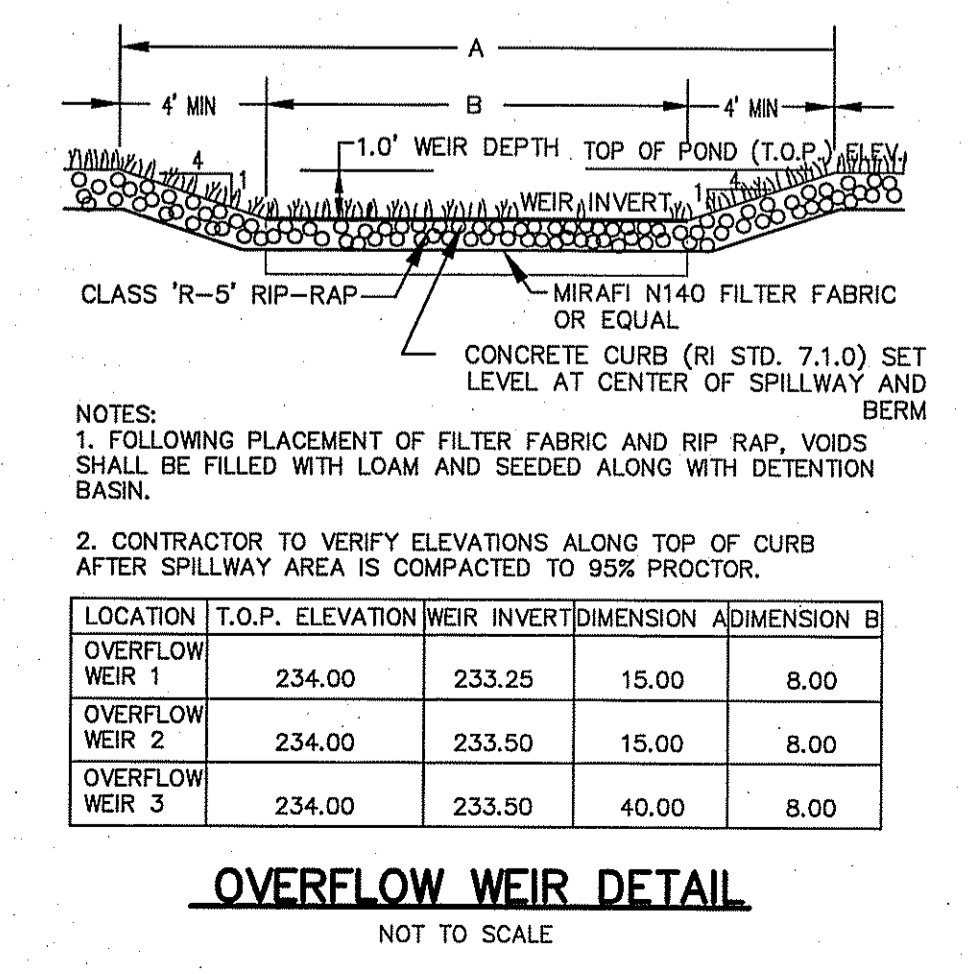
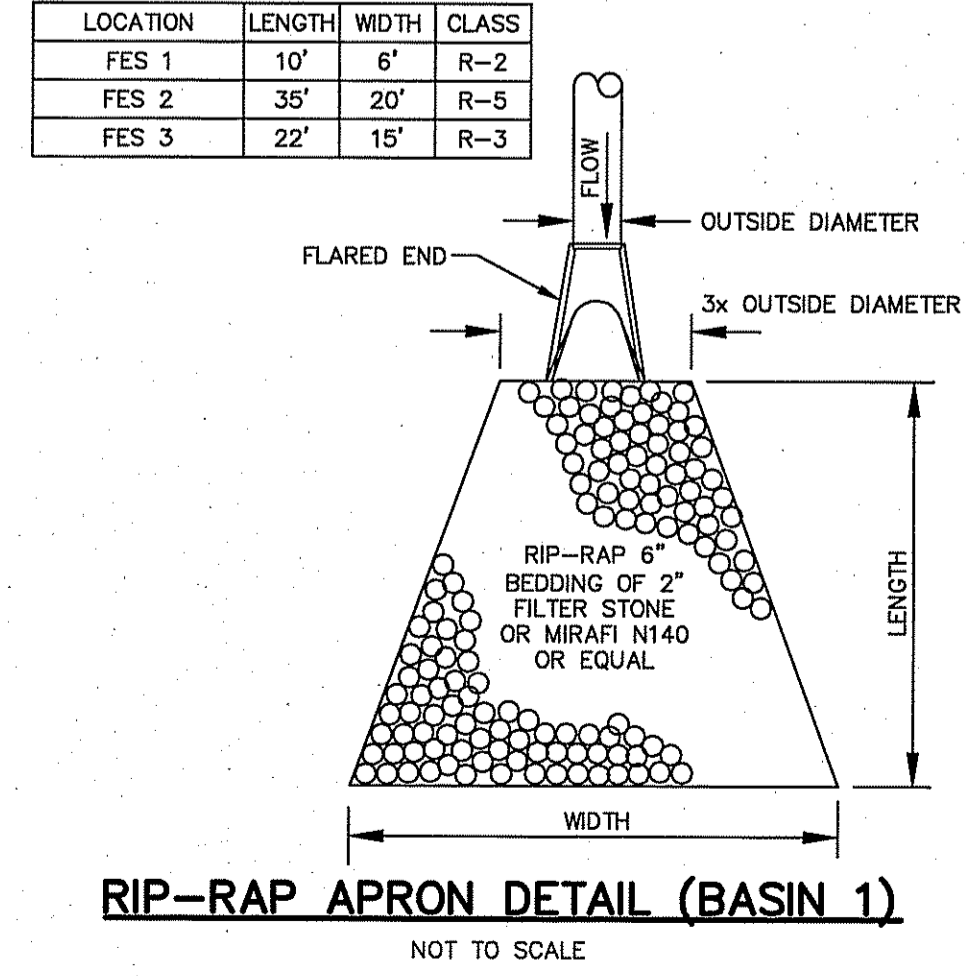
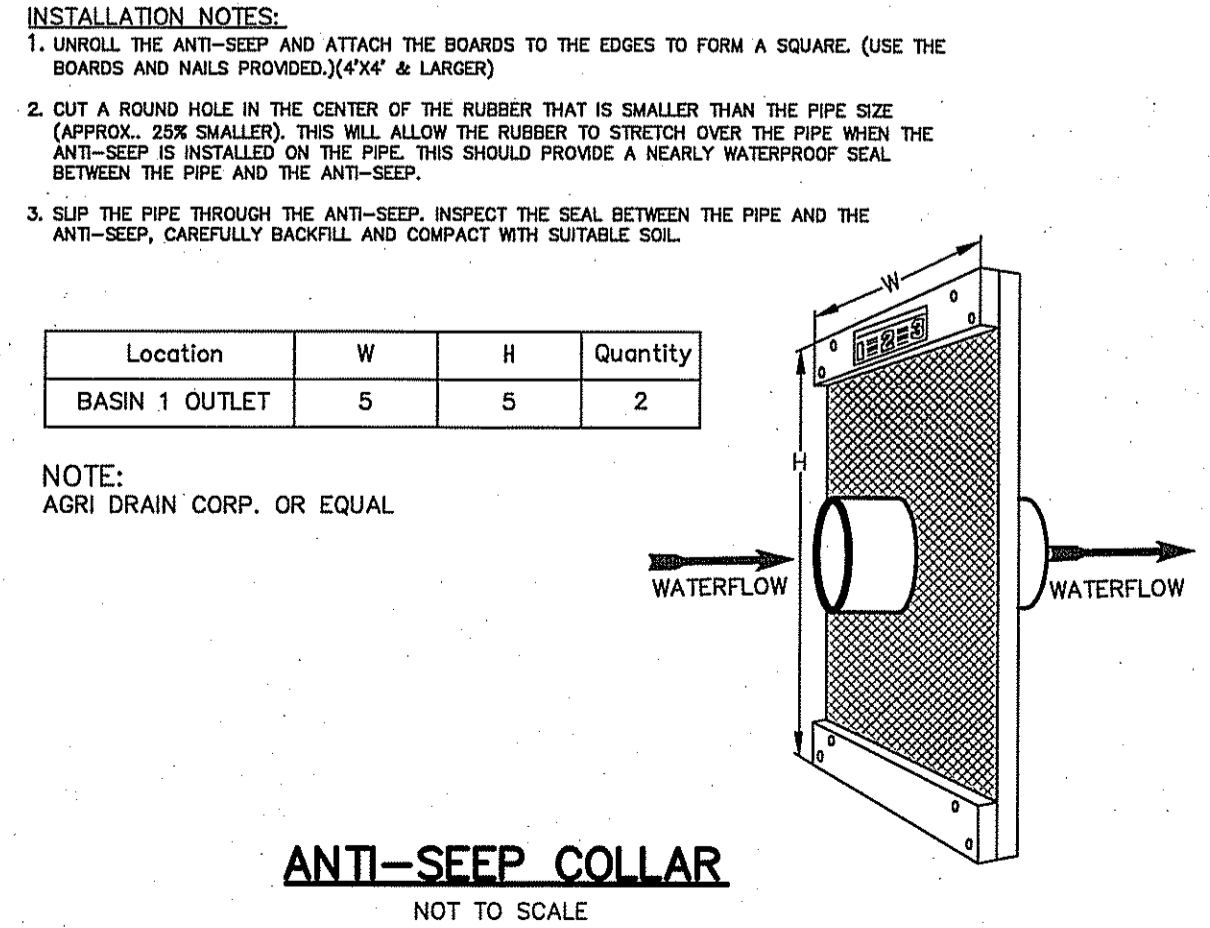
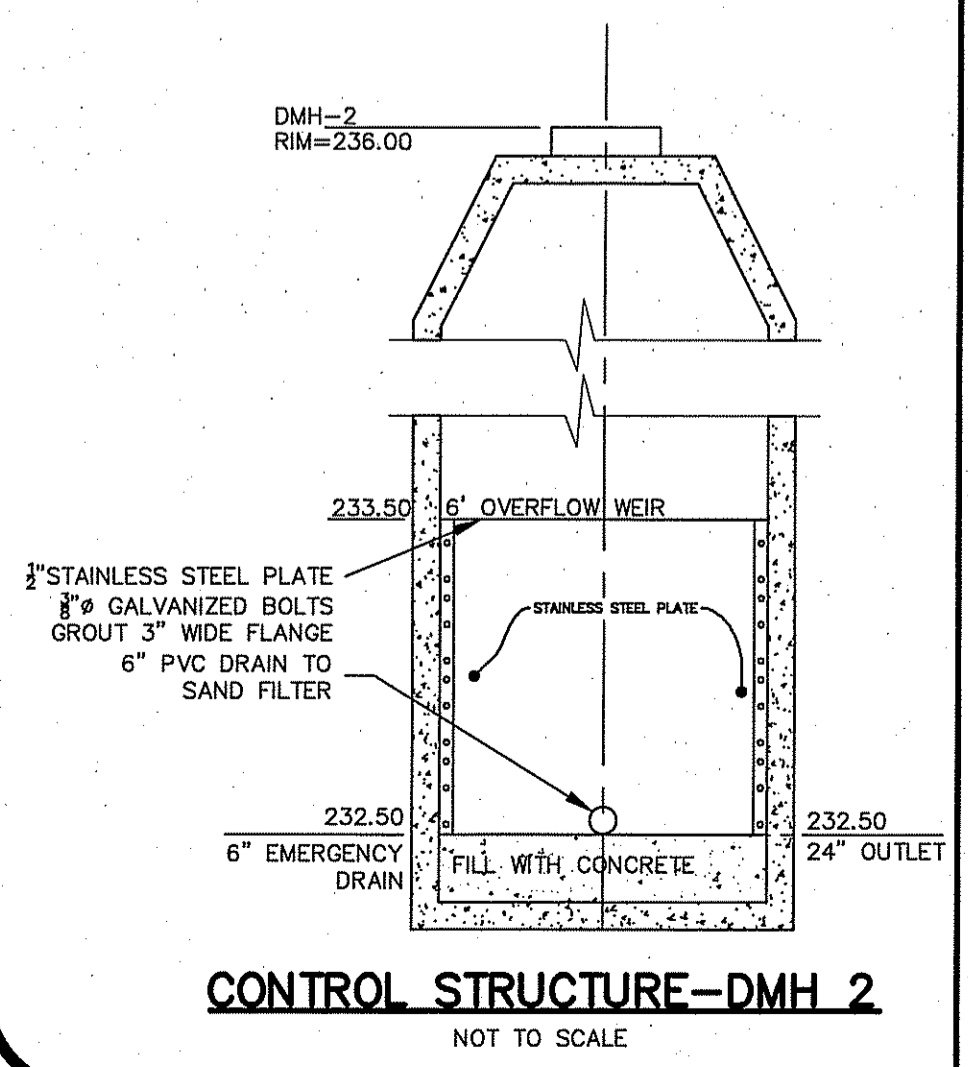
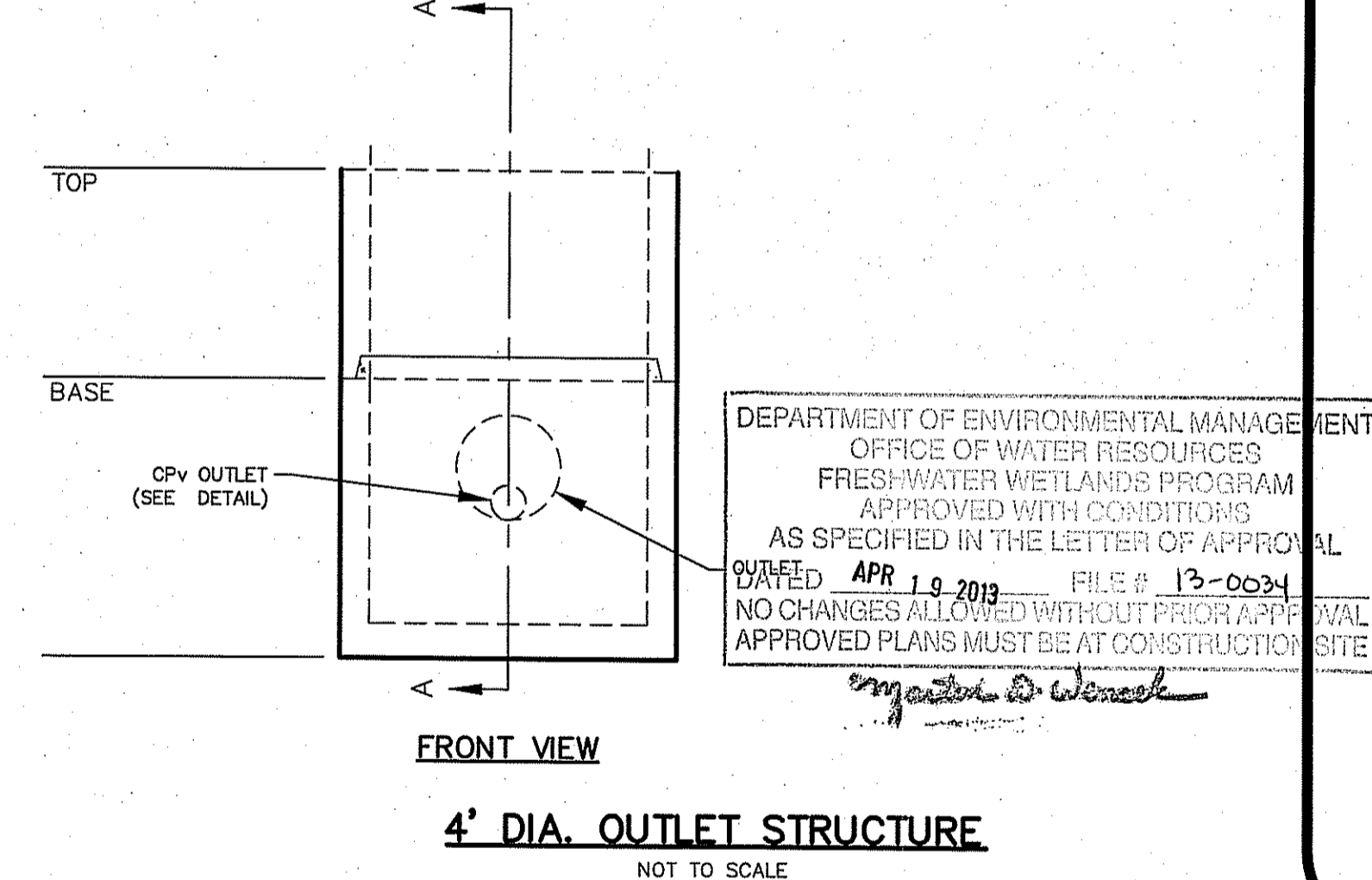
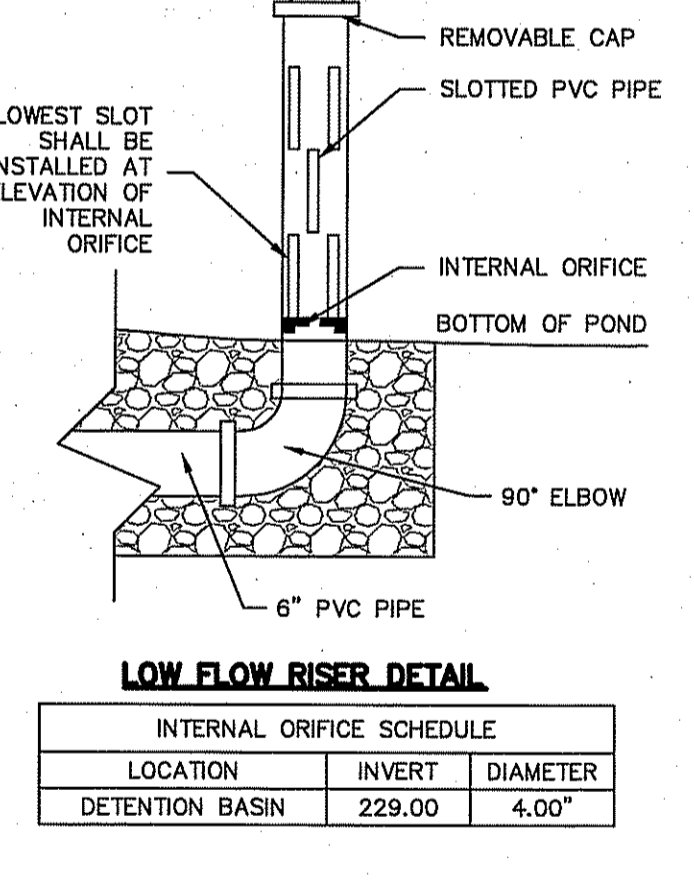
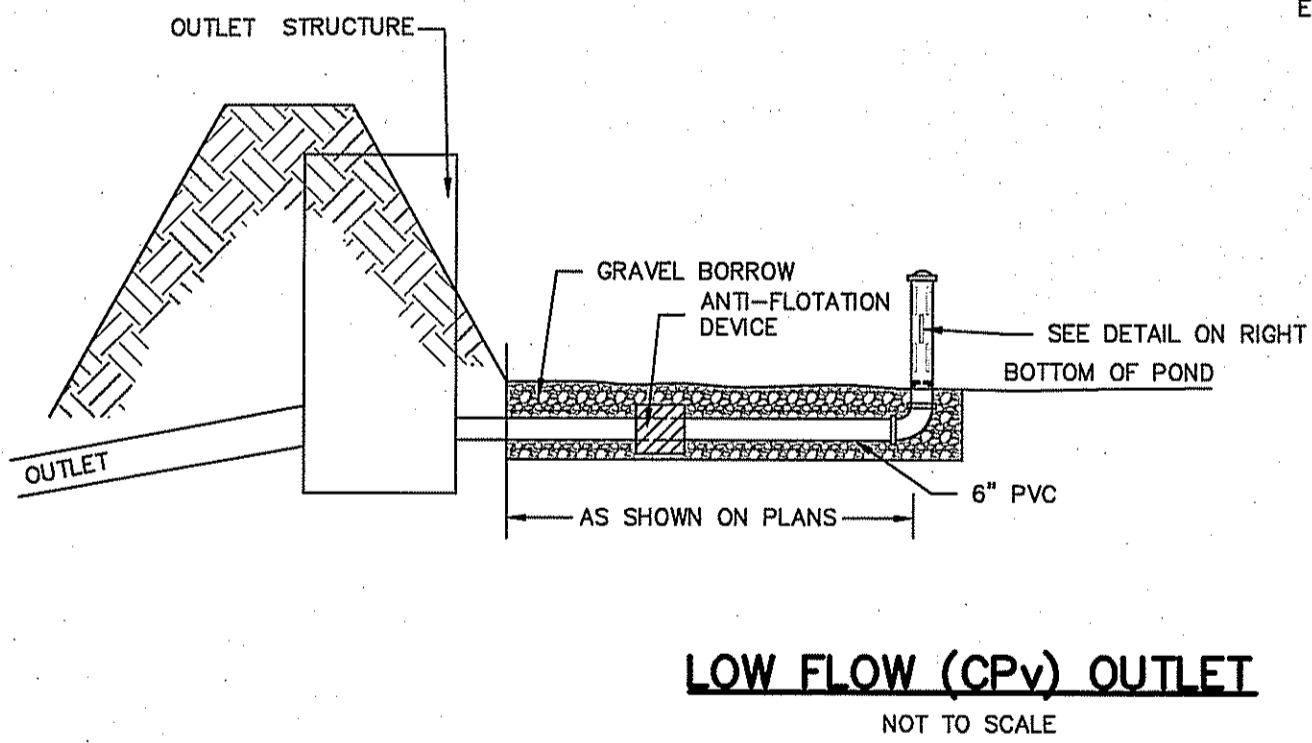
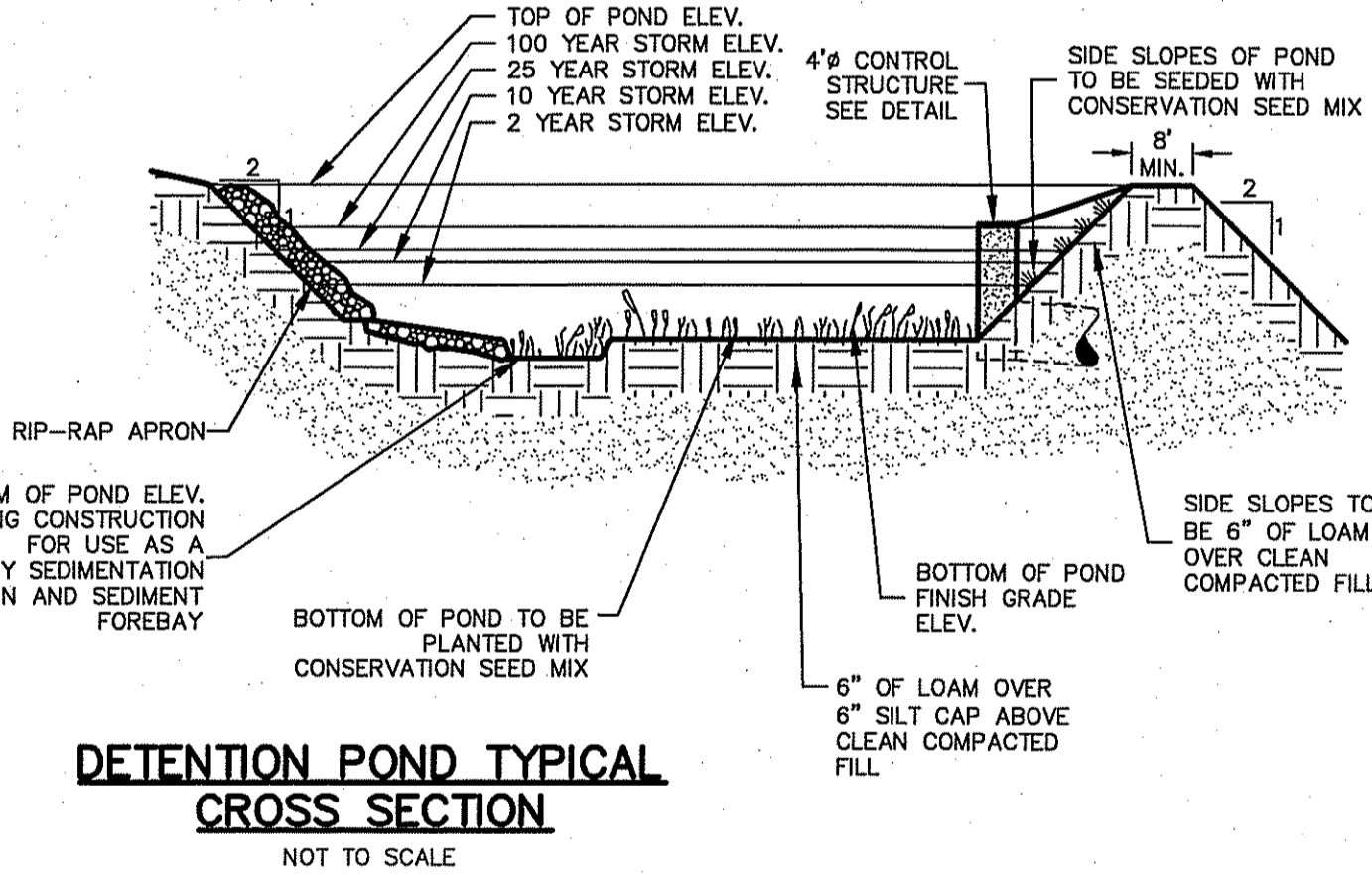
CONCRETE WASHOUT AREA
(NOT TO SCALE)

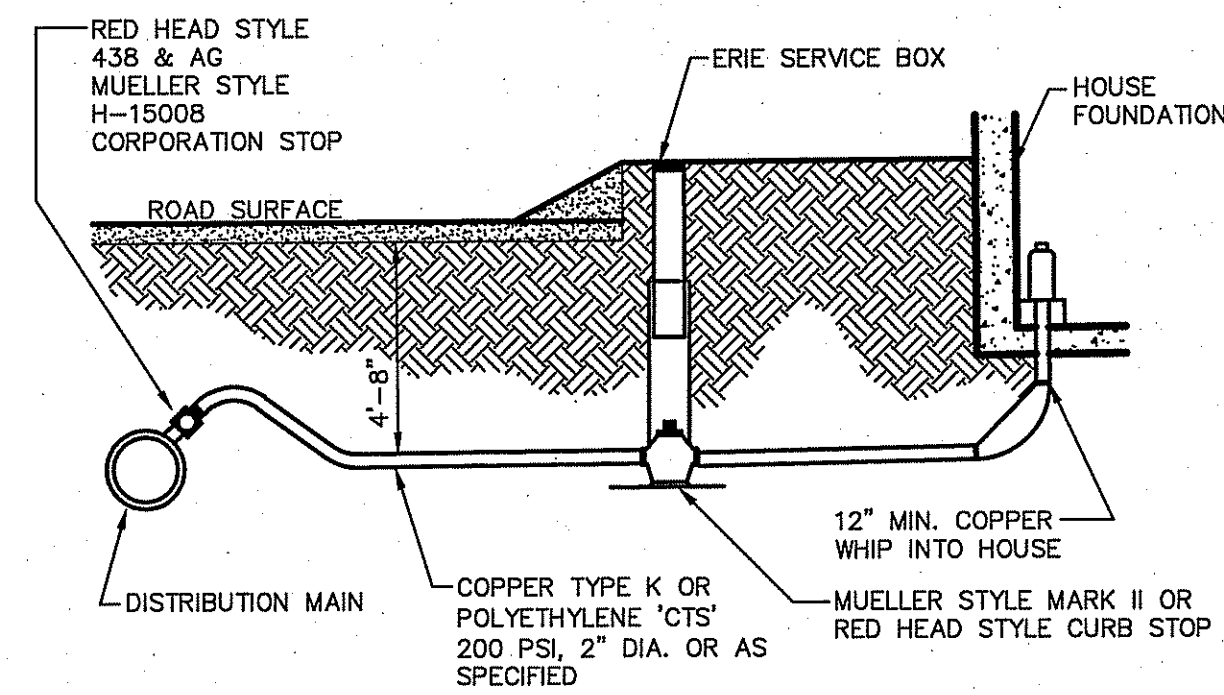


NO.	DATE	REVISION	DESCRIPTION	DATE	BY	CHK

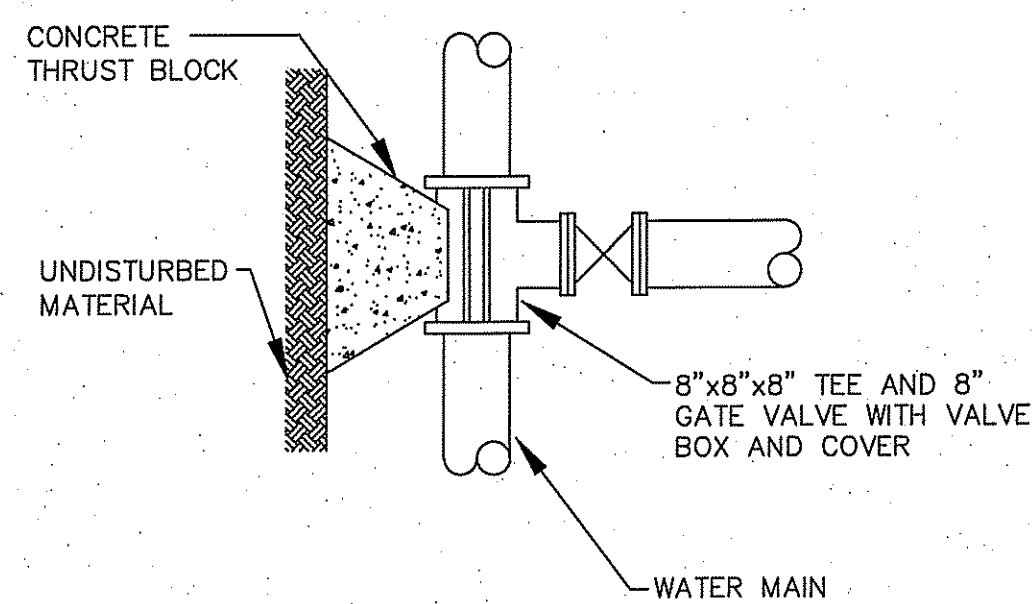


DESCRIPTION	BASIN 1
TOP OF POND ELEVATION	234.00
BOTTOM OF POND	229.00
100 YEAR STORM ELEVATION	233.32
25 YEAR STORM ELEVATION	233.08
10 YEAR STORM ELEVATION	232.37
2 YEAR STORM ELEVATION	230.14
SOIL EVALUATION 1A	229.63
SOIL EVALUATION 1B	230.00

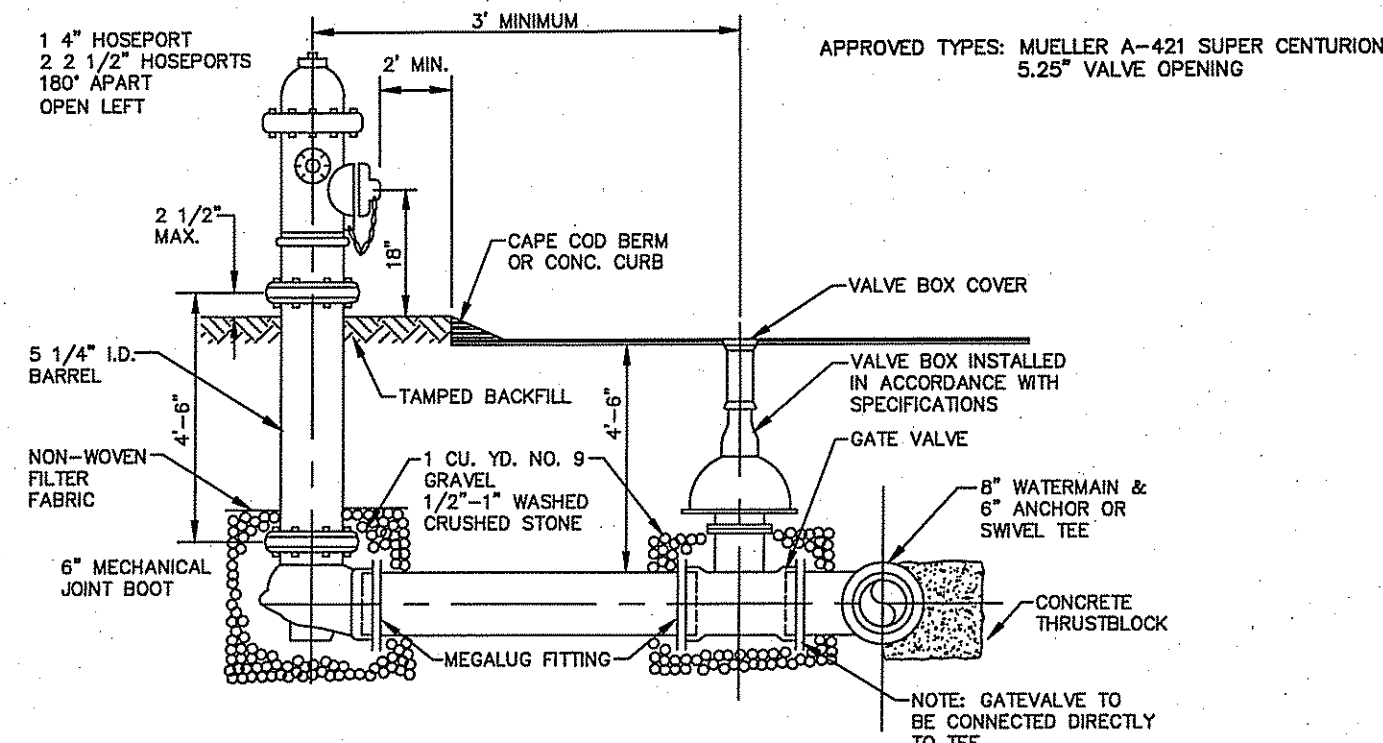




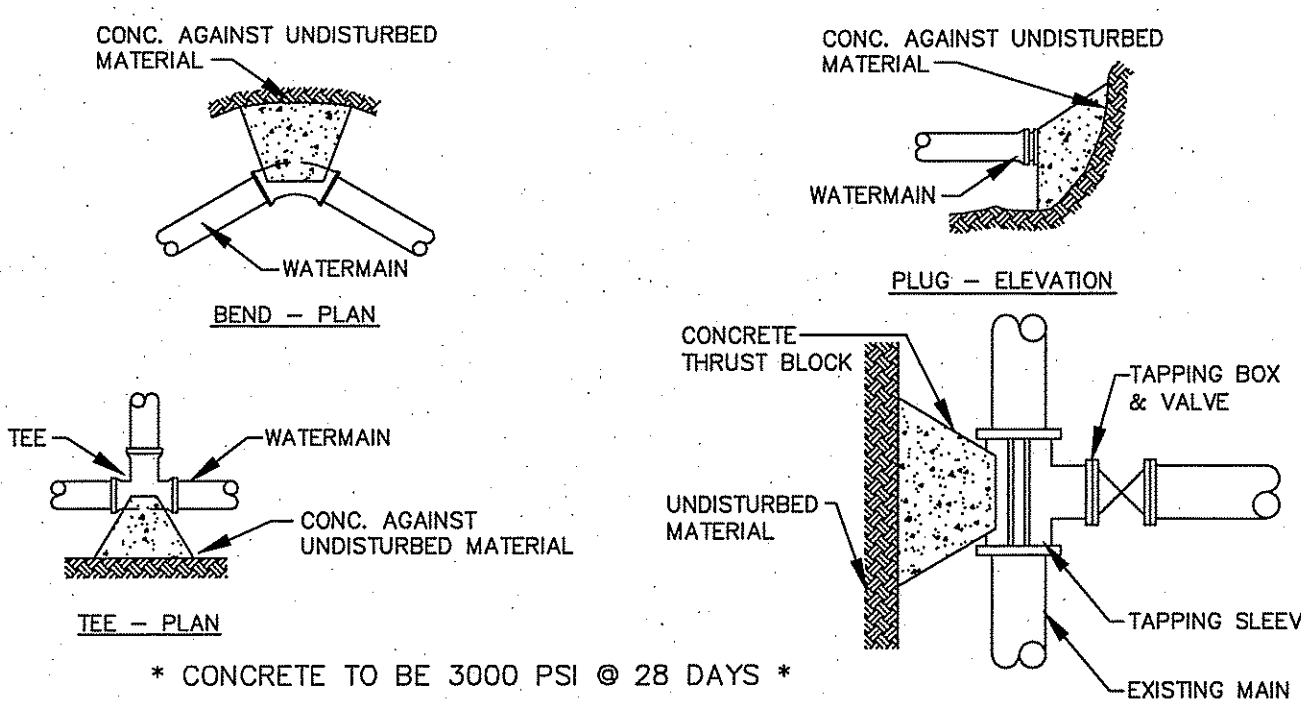
TYPICAL 2" OR SMALLER WATER SERVICE N.T.S.



TYPICAL 4" OR GREATER WATER SERVICE N.T.S.



AWWA C502 DRY BARREL FIRE HYDRANT N.T.S.



* CONCRETE TO BE 3000 PSI @ 28 DAYS *

THRUST BLOCK SCHEDULE BEARING AREA		
PIPE SIZE	45' BEND OR LESS	TEE & DEAD END
8"	2.5' x 2.5'	3.0' x 3.0'
12"	3.0' x 3.0'	3.5' x 3.5'

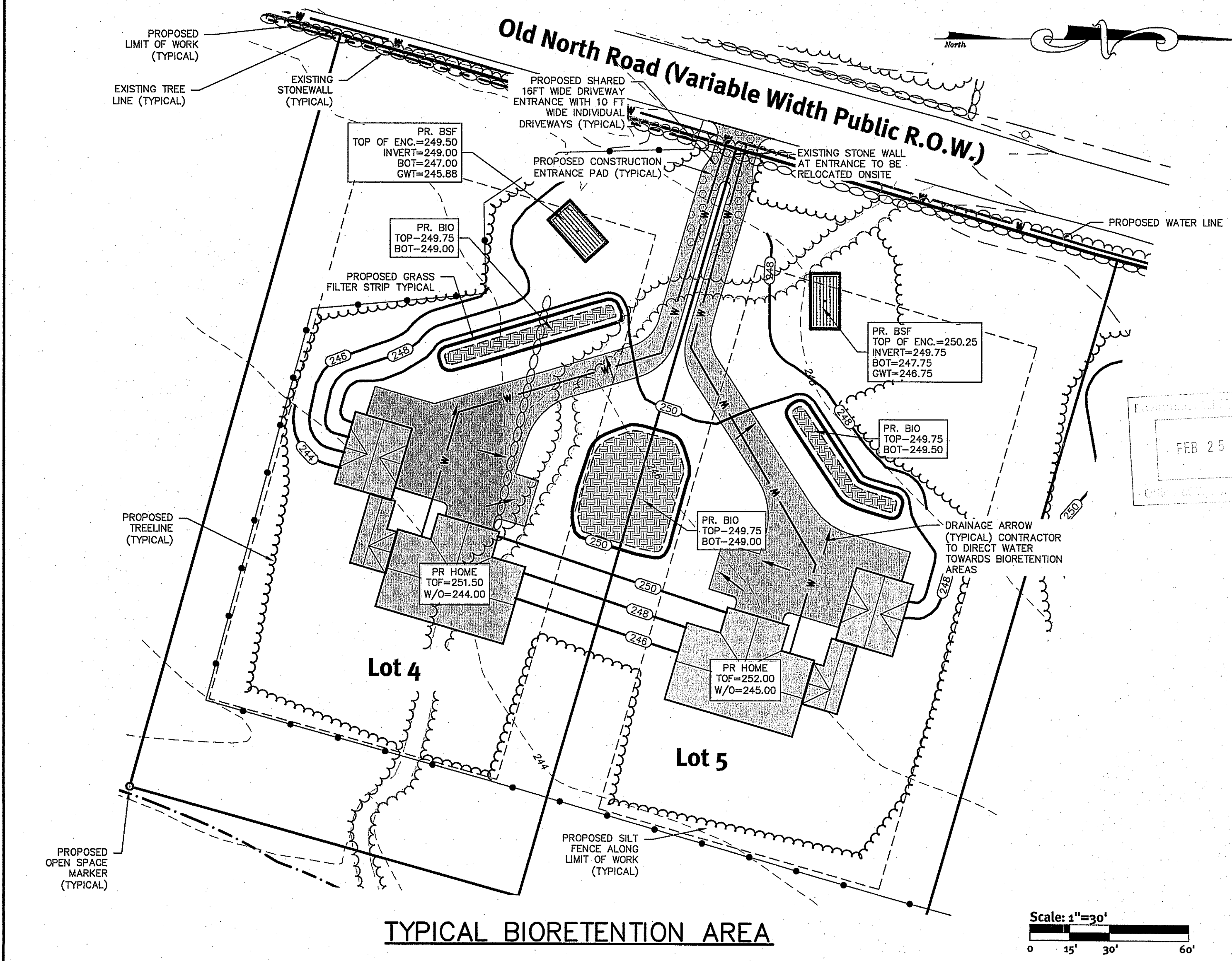
THRUST BLOCK DETAILS N.T.S.

WATER DETAILS

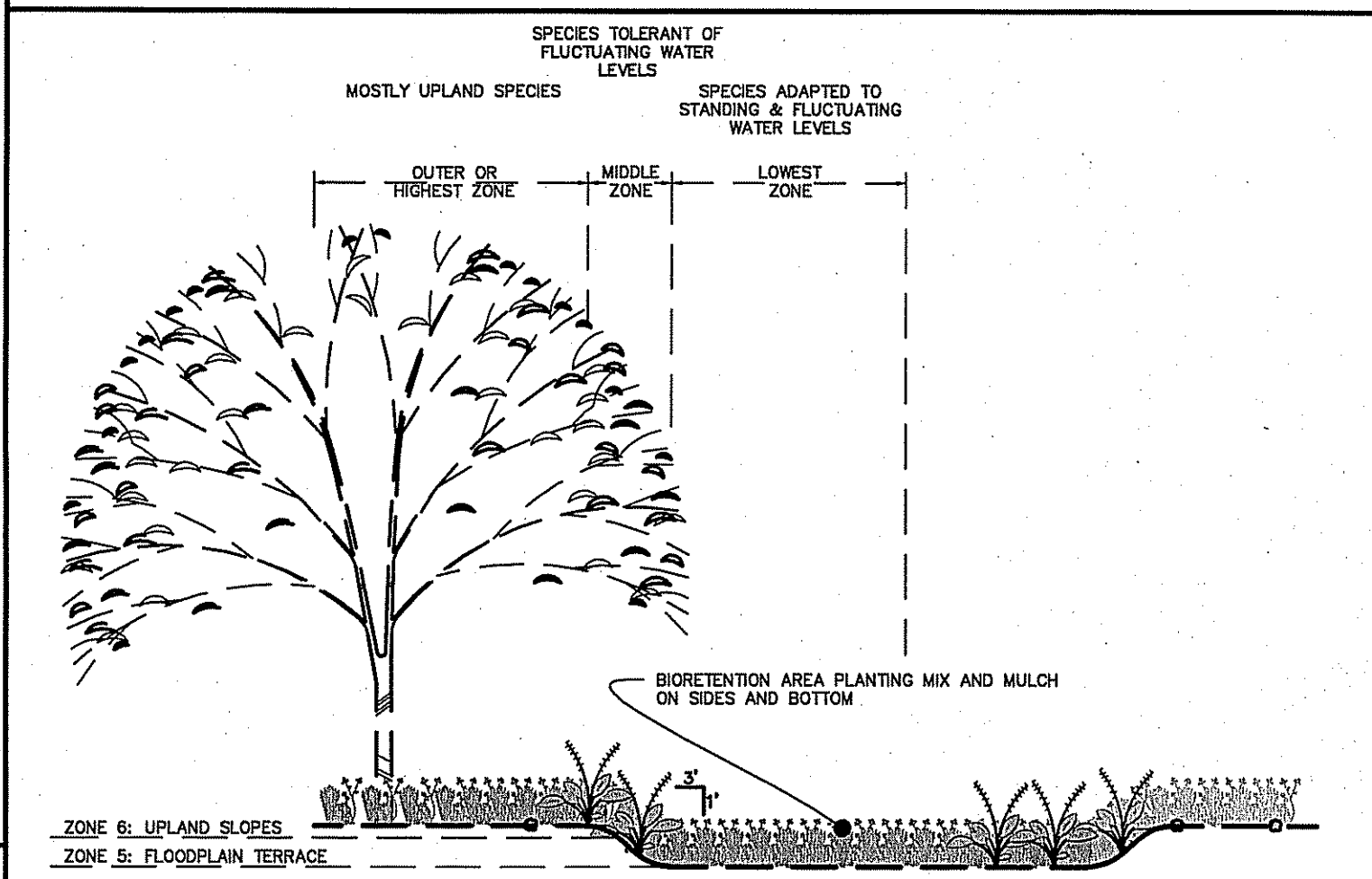
- ALL WORK AND MATERIAL OF WATER LINE SHALL BE IN ACCORDANCE WITH RULES AND REGULATIONS SET FORTH BY THE TOWN OF SOUTH KINGSTOWN AND KINGSTON WATER DISTRICT. INSTALLATION AND MATERIALS TO CONFORM TO AWWA SPECIFICATIONS AND ART. III OF THE SOUTH KINGSTOWN TOWN ORDINANCES. A PRECONSTRUCTION MEETING SHALL BE HELD PRIOR TO ORDER OF MATERIALS AND WATER MAIN INSTALLATION.
- WATER MAIN INSTALLATION SHALL BE INSPECTED BY THE TOWN OF SOUTH KINGSTOWN PRIOR TO BACKFILLING THE TRENCH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE TOWN OF SOUTH KINGSTOWN FIVE (5) DAYS PRIOR TO START OF CONSTRUCTION.
- CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO AWWA REQUIREMENTS FOR SERVICE AND MAIN INSTALLATIONS.
- THE CONTRACTOR SHALL NOTIFY THE DIRECTOR OF WATER SUPPLY AT LEAST TWO WORKING DAYS IN ADVANCE FOR FINAL INSPECTION.
- WHENEVER, IN THESE SPECIFICATIONS, REFERENCE IS MADE TO THE REQUIREMENTS OF AWWA, ANSI, ASTM OR ANY OTHER STANDARD SPECIFICATION, THE REFERENCE IS MADE TO THE LATEST REVISIONS OR MODIFICATIONS OF SUCH REQUIREMENTS AND SPECIFICATIONS.
- ALL PIPE, FITTINGS, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA AND ANSI STANDARDS AND THE MANUFACTURER'S SUGGESTED RECOMMENDATIONS FOR INSTALLATIONS.
- PIPELINES SHALL BE CONSTRUCTED IN DRY TRENCHES AND LAID TO THE LINE GRADE. WHENEVER PIPE IS TO BE INSTALLED IN SATURATED SOIL CONDITIONS A BEDDING OF PROCESSED GRANULAR FILTER MATERIAL SHALL BE PROVIDED.
- ALL BENDS, CROSSES, TEES, END CAPS AND PLUGS, VALVES AND ANY OTHER APPURTENANCES SHALL BE RESTRAINED WITH THRUST BLOCKS, STRAPPING OR ANCHORS.
- JOINTING OF MECHANICAL AND PUSH ON TYPE JOINTS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH AWWA STANDARD C-600, AND THE TOWN OF SOUTH KINGSTOWN SPECIFICATIONS. RUBBER GASKETS AND RINGS SHALL BE SUITABLE FOR USE WITH POTABLE WATER AND THOROUGHLY CLEANED TO REMOVE OIL, GRIT, AND OTHER FOREIGN MATTER PRIOR TO ASSEMBLY. THE GASKETS SHALL BE INSPECTED BY THE DIRECTOR OF WATER SUPPLY OR HIS AGENT TO INSURE THAT THEY ARE ACCEPTABLE.
- ALL FITTINGS USED FOR SERVICE CONNECTIONS SHALL BE IN ACCORDANCE WITH AWWA C-800 AND SOUTH KINGSTOWN SPECIFICATIONS.
- VALVES USED SHALL BE IN ACCORDANCE WITH AWWA C-500 SERIES, AND THE TOWN OF SOUTH KINGSTOWN REGULATIONS. VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS:
 - MUELLER CORPORATION STOP DOUBLE DISC PARALLEL SEAT.
 - AMERICAN DARLING VALVE RESILIENT MODEL CRS-80.
- BLOW-OFF ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C-800 SERIES, AND THE TOWN OF SOUTH KINGSTOWN.
- FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH MUELLER A421, AWWA C-502 "DRY BARREL FIRE HYDRANTS" AND THE TOWN OF SOUTH KINGSTOWN SPECIFICATIONS.
- HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED PIPELINE IN ACCORDANCE WITH AWWA C-600, AND TOWN SPECIFICATIONS.
- ALL PIPE SHALL BE DISINFECTED PRIOR TO BEING ACTIVATED IN ACCORDANCE WITH AWWA B-300, AWWA C-601 AND TOWN SPECIFICATIONS.
- DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED, WITH PUSH ON JOINTS. PIPE SHALL MEET ANSI/AWWA C151 A21.51. JOINTS SHALL MEET ANSI/AWWA C111/A21.11. AMERICAN MANUFACTURER ONLY.
- FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CL350 CEMENT MORTAR LINED AND MEET ANSI/AWWA/C153/A21.53. MECHANICAL JOINTS SHALL MEET ANSI/AWWA/C111/A21.11 AMERICAN MANUFACTURER ONLY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL STATE AND TOWN PERMITS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS RELATED TO INSTALLATION OF THE WATER MAIN.
- EXCAVATIONS THAT EXTEND INTO PUBLIC RIGHT-OF-WAY SHALL BE BACKFILLED AND COMPACTED IN 12" LIFTS. A TEMPORARY SURFACE COURSE IS TO BE APPLIED. FINAL BINDER AND FINISH COURSE TO BE PLACED AFTER REMOVAL OF TEMPORARY PAVEMENT AND COMPACTION OF GRAVEL BASE. CONTRACTOR SHALL MAKE ROAD PASSABLE FOR ONE LANE OF TRAFFIC AT ALL TIMES.
- CONTRACTOR SHALL NOTIFY DIG SAFE PRIOR TO DIGGING ANY TRENCHES.
- WHEN WORK IS NOT IN PROGRESS AND AT THE END OF EACH DAY, ALL OPEN ENDS OF THE PIPE AND FITTINGS SHALL BE SECURELY CLOSED.
- DIPRETE ENGINEERING DOES NOT CERTIFY AS TO THE WATER FLOW RATE OR RESIDUAL PRESSURE OF THIS WATER MAIN EXTENSION.

LEAKAGE AND PRESSURE TESTING FOR WATERMAINS

- GENERAL**
HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED WATERMAIN PIPELINE IN ACCORDANCE WITH AWWA C600, THE TOWN OF SOUTH KINGSTOWN, AND AS SPECIFIED BELOW.
THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR TESTING.
- TESTING PROCEDURES**
ALL AIR SHALL BE EXPULSED AT THE HIGH POINTS AND THE PIPELINE SLOWLY FILLED WITH POTABLE WATER.
THE INTERNAL PRESSURE SHALL BE BUILT UP TO 150 PSI AND MAINTAINED FOR A PERIOD OF NOT LESS THAN ONE (1) HOUR.
ALL LEAKS IN THE PIPELINE SHALL BE STOPPED; CRACKED OR DEFECTIVE PIPE, FITTINGS OR ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR.
THE PIPELINE SHALL BE RETESTED AS MAY BE REQUIRED AND NECESSARY UNTIL THE LEAKAGE FALLS WITHIN THE ALLOWABLE DETERMINED FOR THE PIPE NETWORK, AT WHICH TIME THE PIPELINE MAY BE CONSIDERED READY FOR:
a. WATERMAINS - DISINFECTION STEP

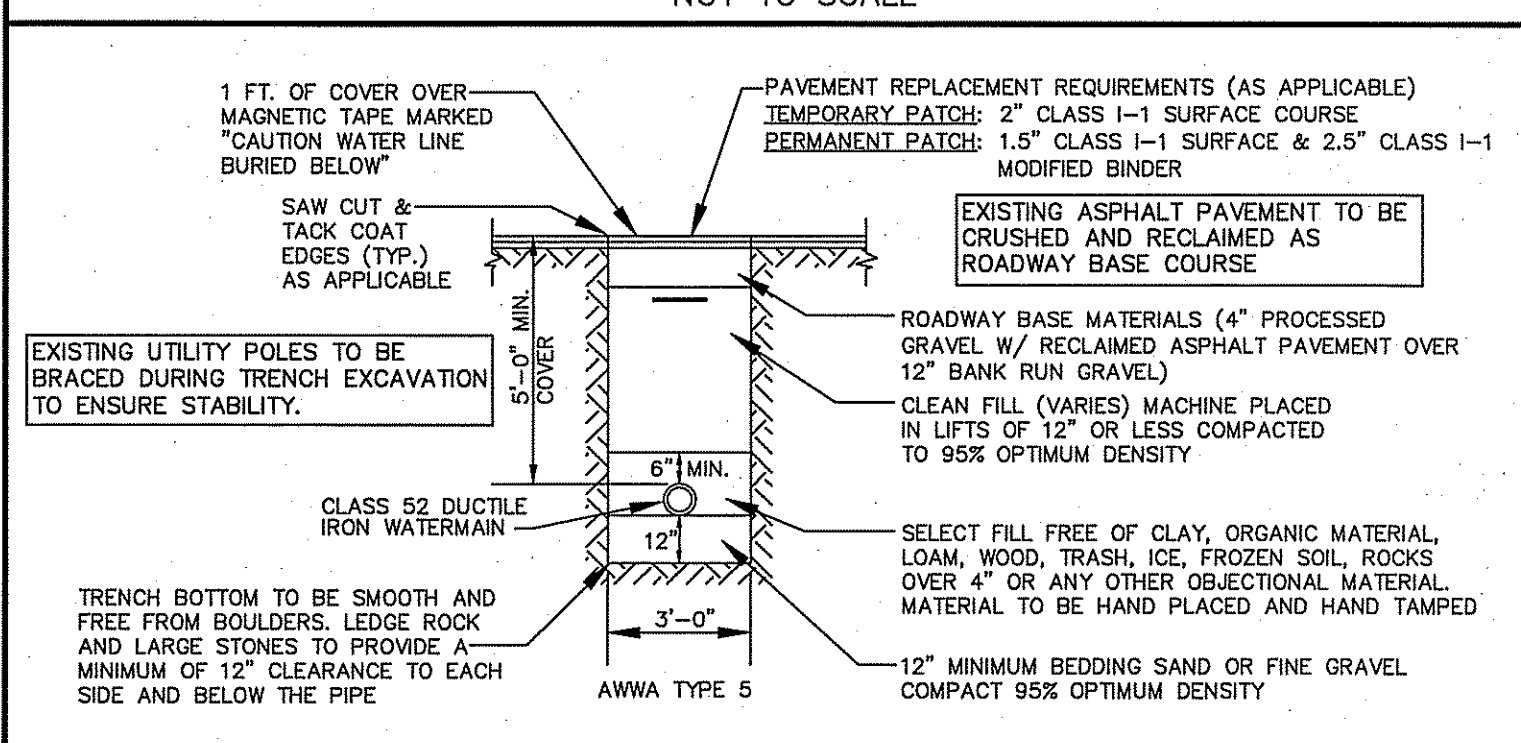


TYPICAL BIORETENTION AREA



BIORETENTION AREA-CROSS SECTION

NOT TO SCALE



WATER TRENCH DETAIL N.T.S.

BIORETENTION AREA-PLANTING NOTES

- THE BIORETENTION FACILITIES HAVE BEEN DESIGNED IN ACCORDANCE WITH APPENDIX B.9.3 OF THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL AND THE RHODE ISLAND COASTAL PLANT GUIDE, AND PLANTED WITH SPECIES APPROPRIATE FOR THE HYDROLOGIC ZONES PRESENT IN EACH FACILITY AS DESCRIBED IN APPENDIX B, B.4, TABLE B-1.
 - AFTER THE BIORETENTION FACILITY HAS BEEN CONSTRUCTED, AS DESCRIBED IN THE DETAIL ON THE ENGINEERING PLANS, THE SURFACE SHALL BE RAKED SMOOTH AND THE PLANTS SHALL BE INSTALLED WHERE SHOWN ON THIS PLAN.
 - BEFORE THE PLANTS ARE INSTALLED, 1/2" OF COMPOSTED HARDWOOD MULCH SHALL BE MIXED INTO THE TOP 4" OF PLANTING SOIL. AFTER THE PLANTS ARE INSTALLED, AN ADDITIONAL 1/2" OF MULCH SHALL BE APPLIED. THE MULCH SHALL BE SHREDDED HARDWOOD MULCH THAT IS WELL AGED (STOCKPILED OR STORED FOR AT LEAST SIX (6) MONTHS, UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, SOIL, ROOTS, ETC.). GRASS CLIPPINGS SHALL NOT BE USED.
- DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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BIORETENTION AREA-PLANTING MIX

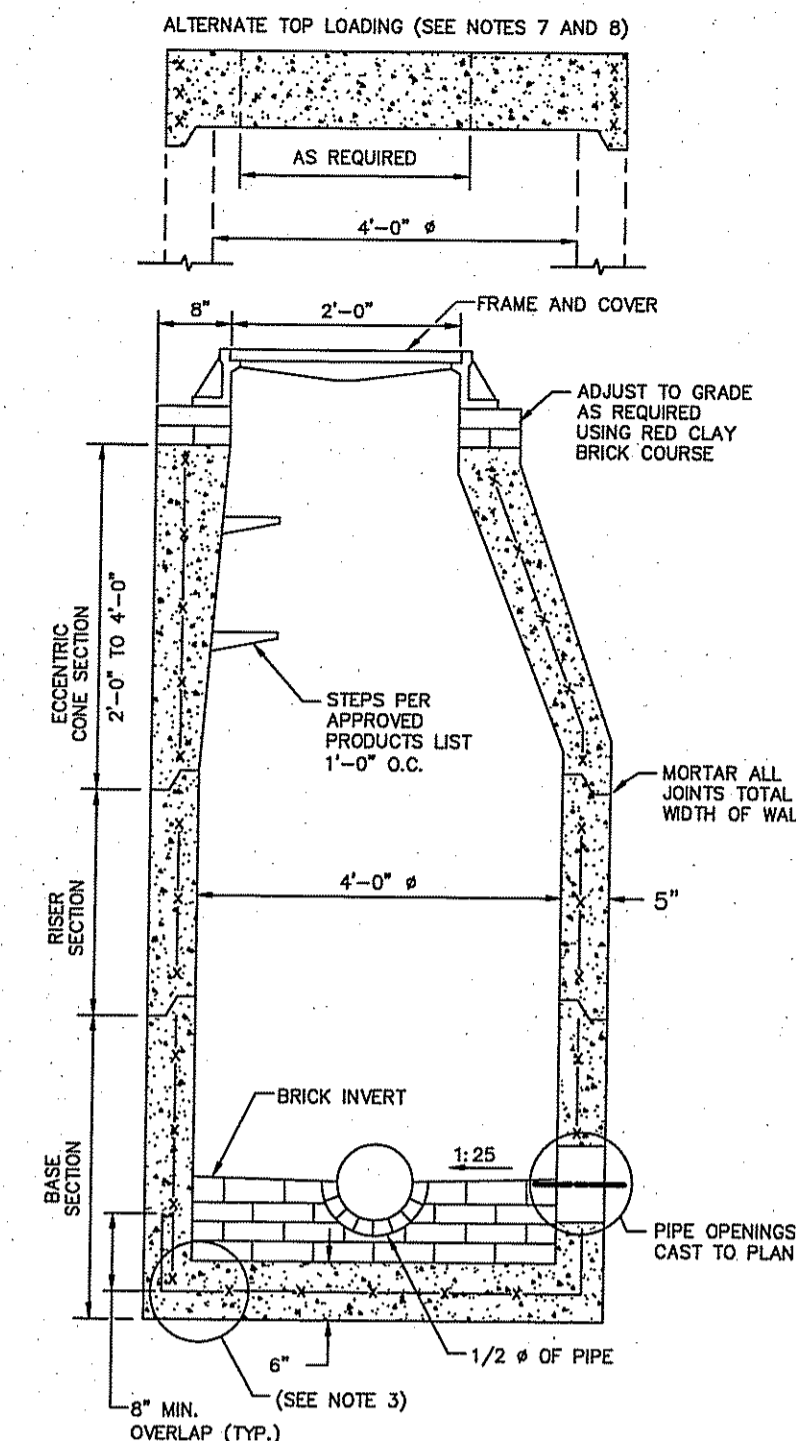
BOTANICAL NAME	COMMON NAME	SIZE	SPACING/NOTES
ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	1 GAL*	12" O.C. PLANT ON UPPER SLOPES ONLY
ASTER NOVAE ANGLAE	NEW ENGLAND ASTER	1 GAL*	12" O.C.
BAPTISIA TINCTORIA	WILD INDIGO	1 GAL*	18" O.C. PLANT ON UPPER SLOPES ONLY
ELYNUS VIRGINICUS	VIRGINIA WILD RYE	1 GAL*	18" O.C. PLANT ON UPPER & SIDE SLOPES ONLY
VERONICA NOVEMBROACENSIS	NEW YORK IRONWEED	1 GAL*	18" O.C. PLANT ON BOTTOM OF BASIN
ERAGROSTIS SPECTABILIS	PURPLE LOVE GRASS	1 GAL*	12" O.C. PLANT ON UPPER SLOPES ONLY
EUPATORIUM PURPUREUM	JOE PYE WEED	1 GAL*	18" O.C.
IRIS VERSICOLOR	BLUE FLAG IRIS	1 GAL*	18" O.C.
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	1 GAL*	12" O.C. PLANT ON UPPER SLOPES ONLY
SOLIDAGO SEMPERVIRENS	SEASIDE GOLDENROD	1 GAL*	12" O.C. PLANT ON TOP & SIDE SLOPES ONLY

NOTE: THIS BIORETENTION PLANTING MIX SHALL BE PLANTED IN CLUSTERS AT THE SPACE SPECIFIED UNDER THE "SPACING/NOTES" IN THE PLANT SCHEDULE. THE PLANT CLUSTERS SHALL BE DISTRIBUTED SO THAT APPROXIMATELY 1/3 OF THE BOTTOM AND SIDES SLOPES ARE COVERED WITH PLANTS.
* RATHER THAN PLANTING CONTAINER PLANTS, THE CONTRACTOR MAY HYDROSEED USING AN EQUIVALENT SEED MIX. THE HYDROSEED SHALL BE APPLIED IN A BONDED 100% WOOD FIBER MATRIX. AN 8' STRIP OF NORTH AMERICAN GREEN SC150 BLANKET SHALL BE STAPLED DOWN THE MIDDLE OF THE BOTTOM OF THE POND. PRIOR TO HYDROSEEDING, THE CONTRACTOR SHALL VERIFY THE HYDROSEED MIX AND METHOD OF APPLICATION WITH THE LANDSCAPE ARCHITECT.

Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-464-6006 www.Diprete-Eng.com

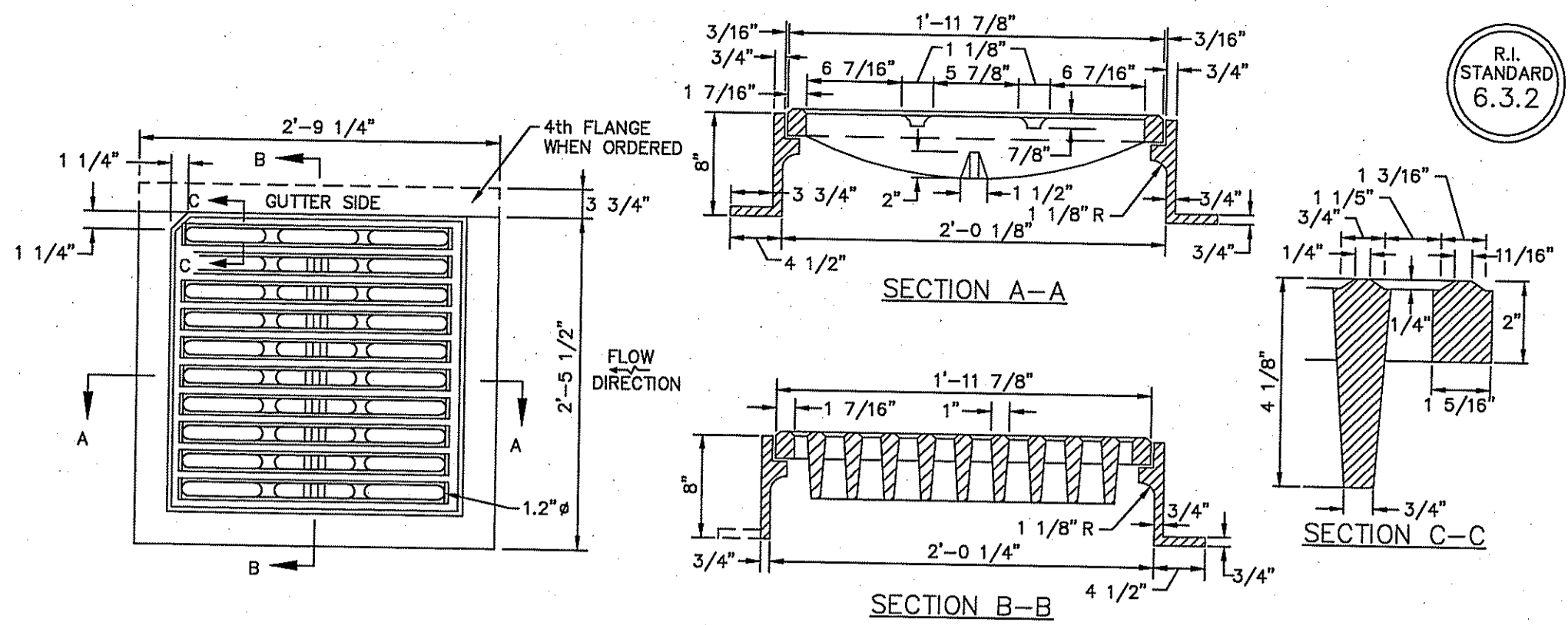
CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER

Detail Sheet - 3
Fieldstone Farms
Assessor's Plat 16-4, Lot 9
South Kingstown, Rhode Island
Prepared for
Old North Land Investments LLC
75 Lumbert Lind Highway
Warwick, Rhode Island 02886

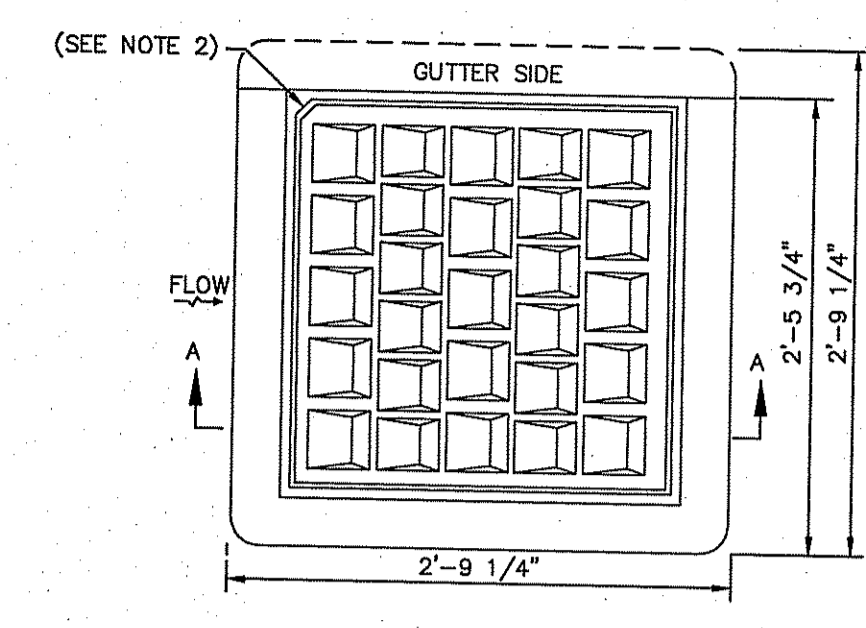


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. MINIMUM.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
 4. ONE FOUR MONOLITHIC BASE SECTION.
 5. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 6. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 7. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 8. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 9. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST 4'-0" ROUND MANHOLE
NOT TO SCALE
R.I. STANDARD 4.2.0

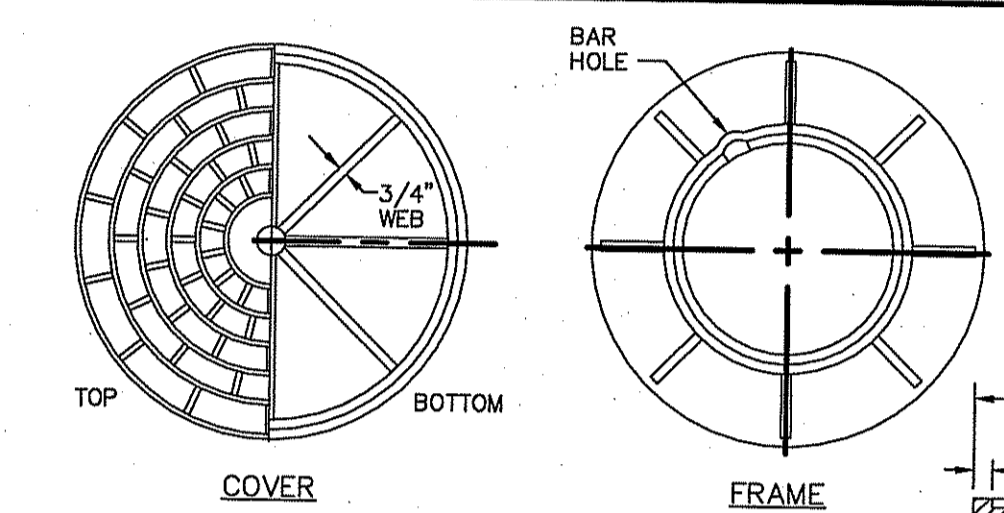


SQUARE FRAME AND GRATE (BICYCLE SAFE)
NOT TO SCALE
R.I. STANDARD 6.3.2

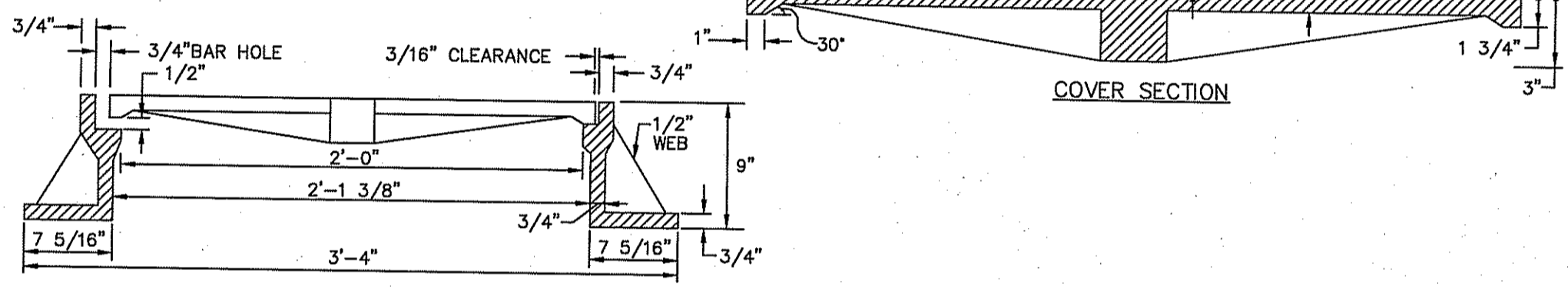


HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE)
NOT TO SCALE
R.I. STANDARD 6.3.4

- NOTES:
1. FRAME AND COVER SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THIS CORNER LEFT FOR "LEFT" GRATE, DIAGONALLY OPPOSITE CORNER FOR "RIGHT" GRATE TO FIT IN KEYED FRAME.

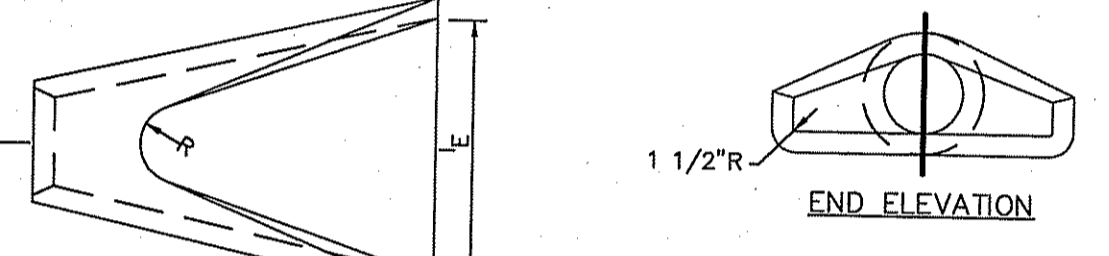


- NOTES:
1. FRAME AND GRATE SHALL CONFORM TO SECTION M.04 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FRAME AND COVER SEATS MUST HAVE MACHINE FINISH.

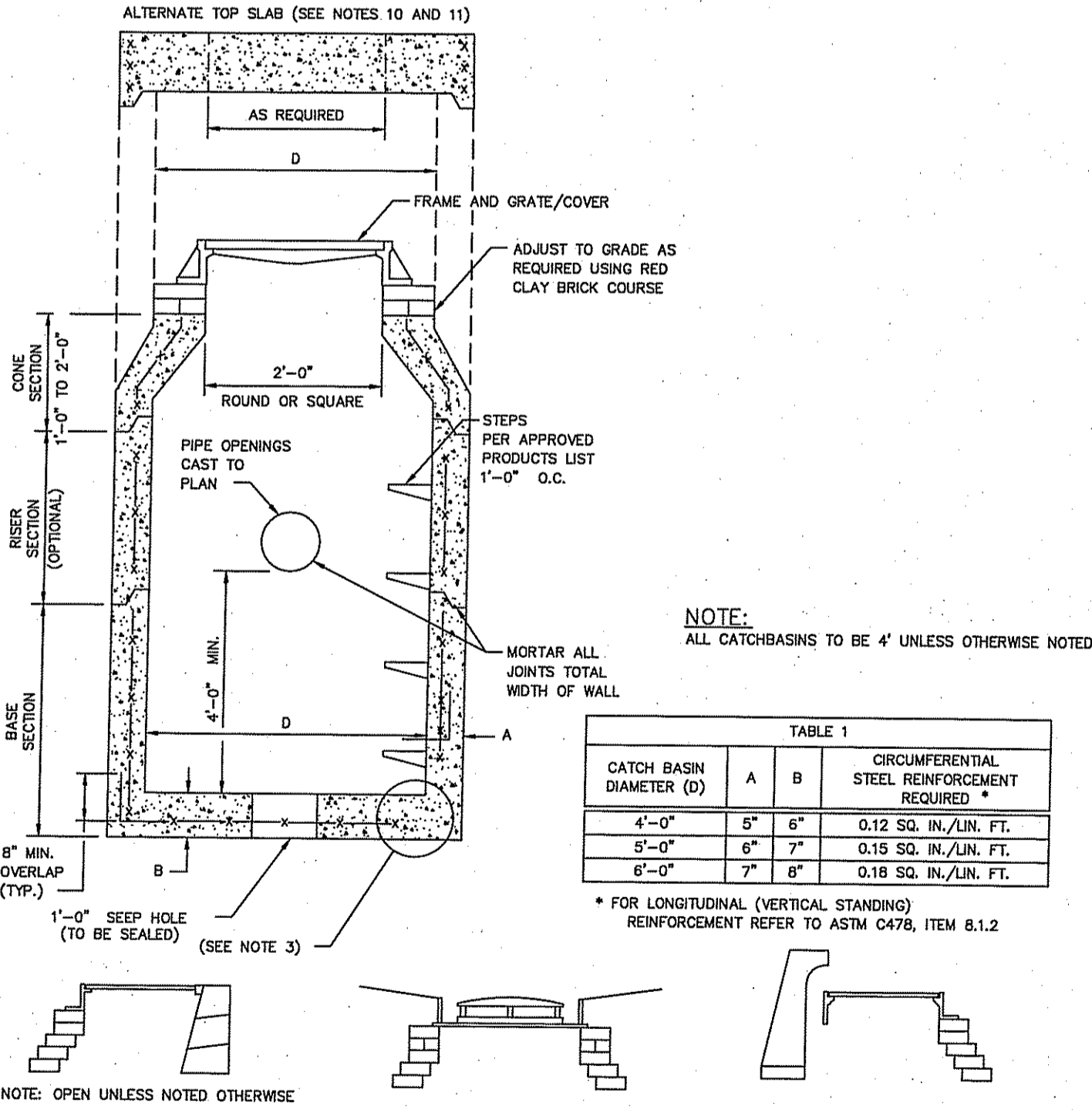


HEAVY-DUTY ROUND FRAME AND COVER
NOT TO SCALE
R.I. STANDARD 6.2.1

DIMENSIONS								REINFORCEMENT
DIA.	A	B	C	D	E	R	T	ONE LAYER REINFORCEMENT IN CENTER OF WALL MIN. AREA OF EACH WAY (SQ. IN./FT.)
1'-0"	4"	2'-0"	4'-0 7/8"	6'-0 7/8"	2'-0"	9"	2"	0.048
1'-3"	6"	2'-3"	3'-10"	6'-1"	2'-6"	11"	2 1/4"	0.054
1'-6"	8"	2'-6"	3'-10"	6'-1"	3'-0"	12"	2 1/2"	0.060
2'-0"	8 1/2"	3'-1 1/2"	2'-6"	6'-1 1/2"	4'-0"	1'-2"	3"	0.072
2'-6"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	1'-3"	3 1/2"	0.084
3'-0"	1'-3"	5'-3"	2'-10 3/4"	6'-1 3/4"	6'-0"	1'-8"	4"	0.096
3'-6"	1'-6"	6'-0"	2'-11"	6'-2"	6'-8"	1'-10"	4 1/2"	0.108
4'-0"	2'-0"	6'-0"	2'-2"	6'-2"	7'-0"	1'-10"	5"	0.120
4'-6"	2'-3"	6'-5"	2'-11"	6'-4"	7'-6"	2'-0"	5 1/2"	0.132
5'-0"	2'-6"	6'-0"	3'-3"	6'-3"	8'-0"	2'-0"	6"	0.144



PRECAST CONCRETE FLARED END SECTION
NOT TO SCALE
R.I. STANDARD 2.3.0

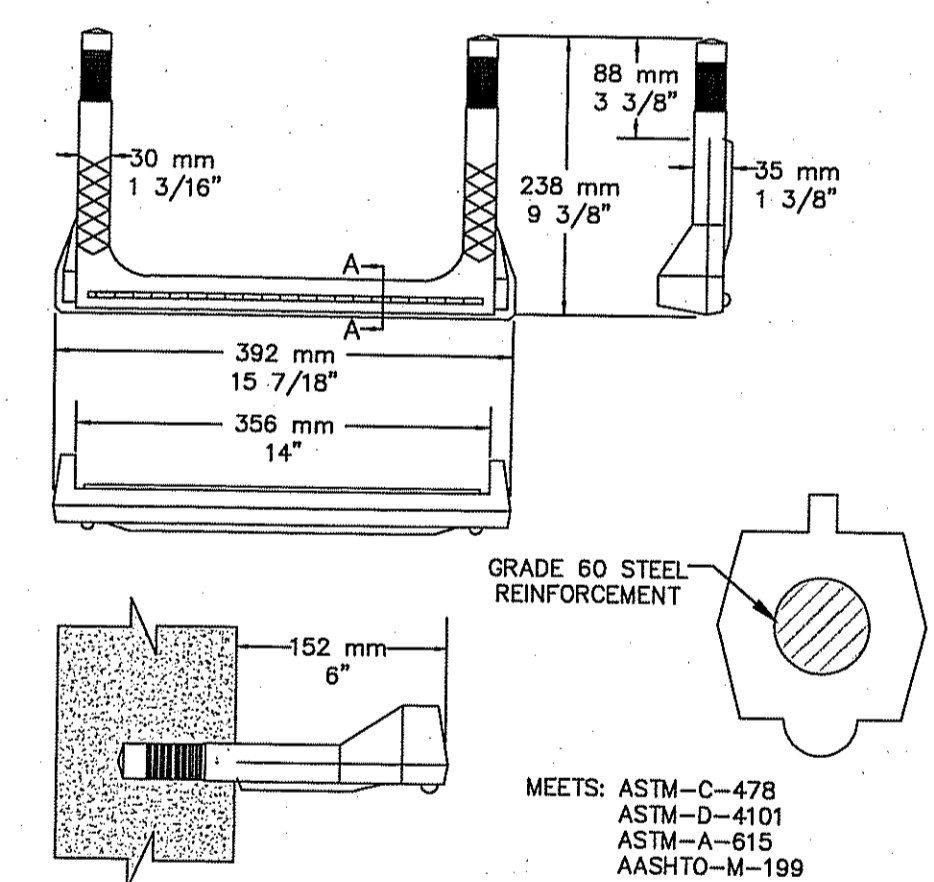


NOTE: ALL CATCHBASINS TO BE 4' UNLESS OTHERWISE NOTED.

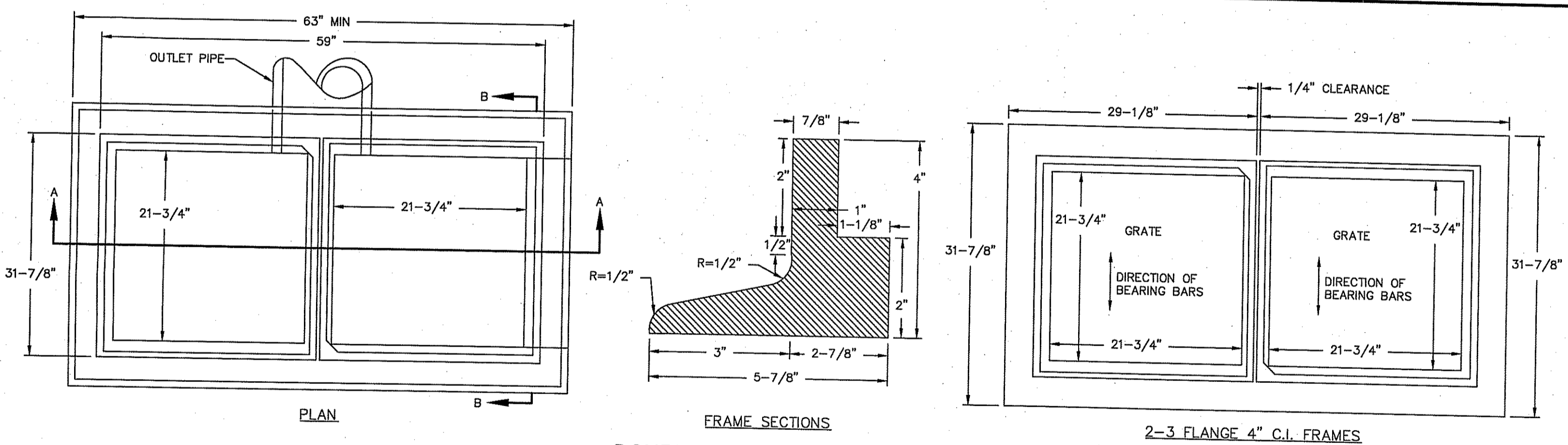
CATCH BASIN DIAMETER (D)	TABLE 1		CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED *
	A	B	
4'-0"	5"	6"	0.12 SQ. IN./LIN. FT.
5'-0"	6"	7"	0.15 SQ. IN./LIN. FT.
6'-0"	7"	8"	0.18 SQ. IN./LIN. FT.

* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN
NOT TO SCALE
R.I. STANDARD 4.4.0

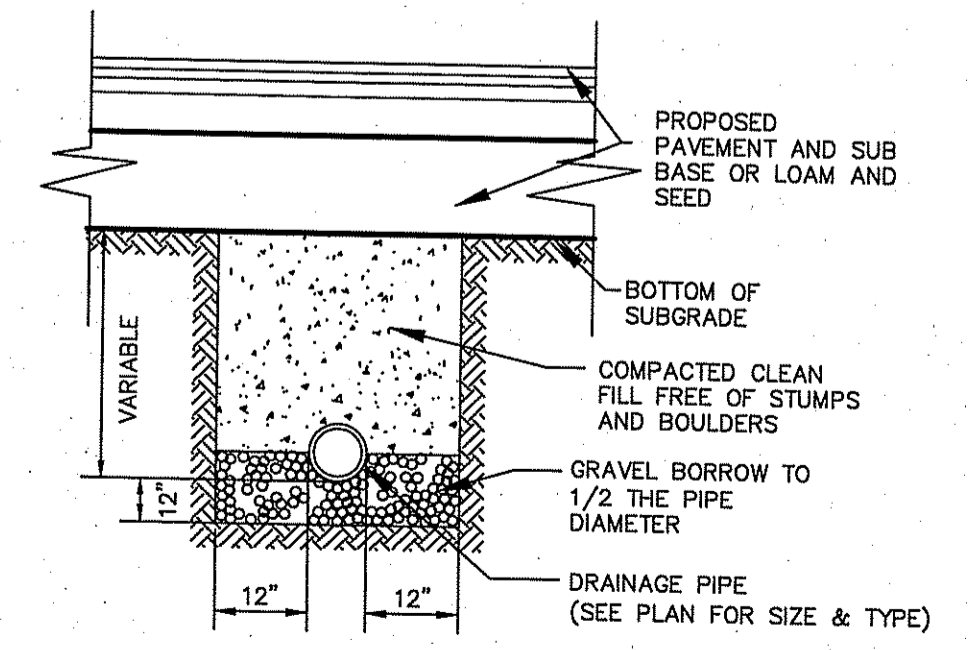


MANHOLE STEP
NOT TO SCALE
R.I. STANDARD 4.4.0



DOUBLE CATCHBASIN GRATE
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 19 2013 FILE # 13-0034
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Angela D. Wenzel



NOTE: DRAINAGE PIPE TO BE RCP CLASS III UNLESS OTHERWISE NOTED

DRAINAGE TRENCH DETAIL
NOT TO SCALE
R.I. STANDARD 4.4.0

Detail Sheet - 4
Fieldstone Farms
Assessor's Plat 16-4, Lot 9
South Kingstown, Rhode Island
Prepared for
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Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.Diprete-Eng.com
Engineers • Planners • Surveyors

CHRISTOPHER A. DUHAMEL
REGISTERED PROFESSIONAL ENGINEER

No.	Date	Revisi Description	Drawn	By

Design By: R.B.S.