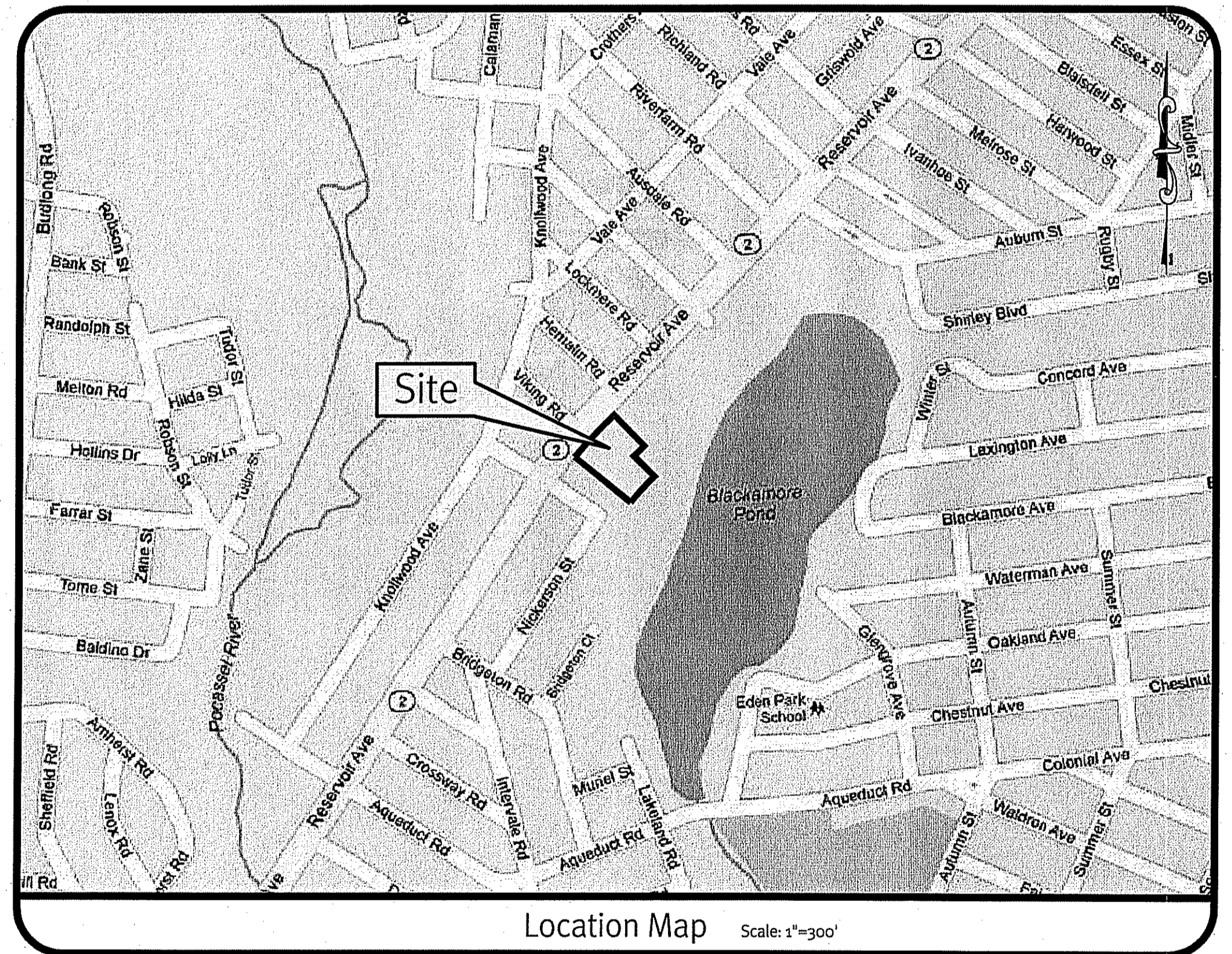


RIDEM Preliminary Determination Plan Submission

Wendy's

950 Reservoir Avenue
Cranston, Rhode Island

Assessor's Plat 9/3 Lots 2899, 2901 & 3361



Sheet Index

1. Cover Sheet
2. Radius & USGS Map
3. Existing Conditions Plan
4. Site & Parking Plan
5. Grading & Utility Plan
6. Detail Sheet 1
7. Detail Sheet 2
8. Detail Sheet 3

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 22 2013 FILE # 12-0026
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

FEB 27 2013

Kindly be advised that this Permit is not equivalent to a verification of the type or amount of freshwater wetlands on site.

Stormwater Pollution Prevention
The site contractor shall reference Appendix G of the RI Stormwater Design and Installation Standards Manual for Pollution Prevention techniques.

O&M
The Operations and Maintenance Plan (O&M) is a required document with this plan set and must be maintained by the owner onsite.

RIDOT
The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-949-1000 fax 401-464-6006 www.DiPrete-Eng.com
Engineers • Planners • Surveyors

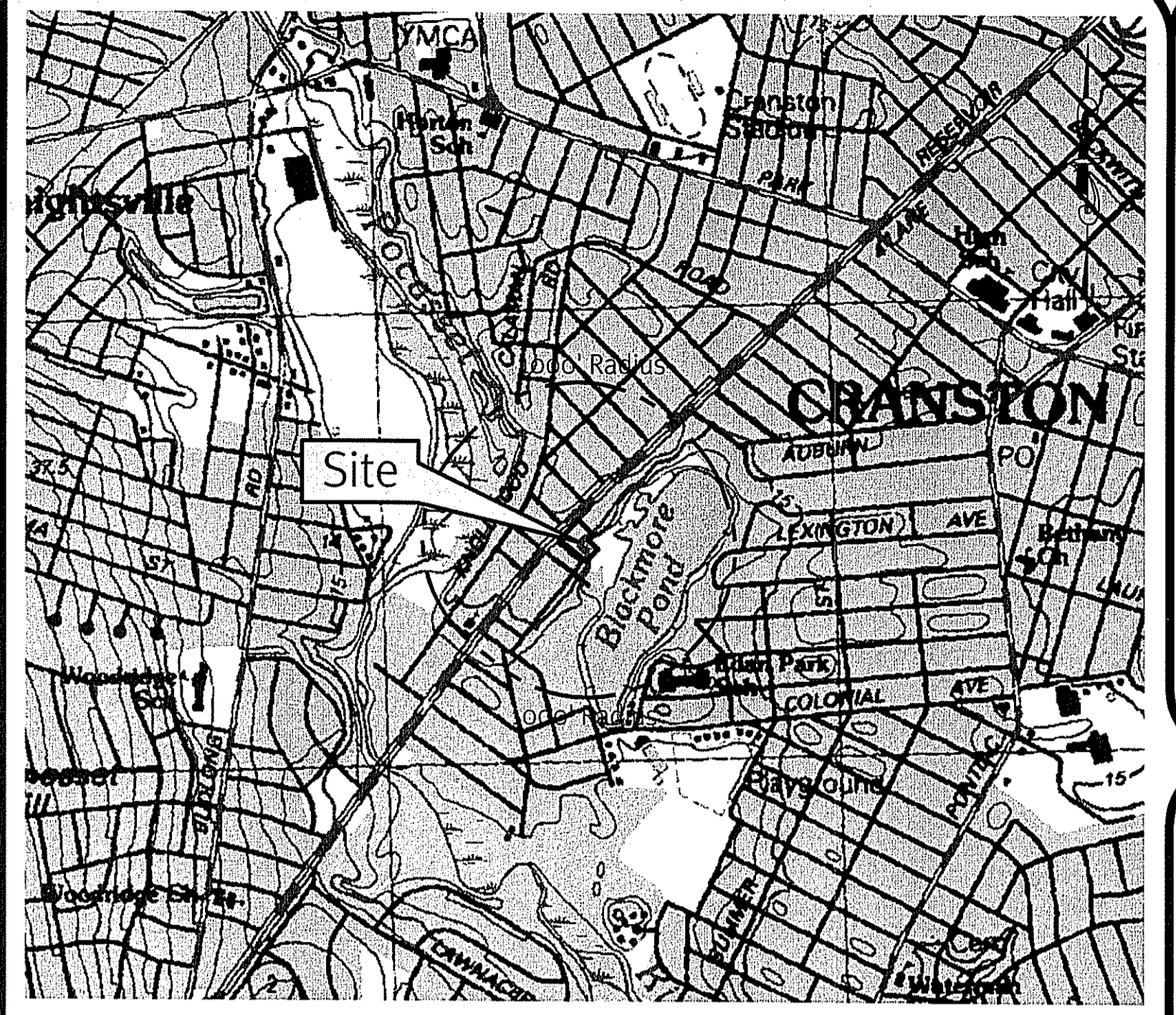
JASON P. CLOUGH
No. 0410
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a DiPrete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By
1	02/27/2013	Final Preliminary Determination Plan Submission	R.B.S.

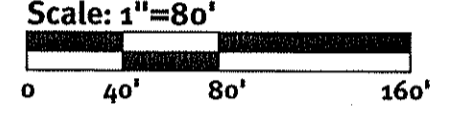
Design By: R.B.S.

Cover Sheet
Wendy's
Assessor's Plat 9/3 Lots 2899, 2901, & 3361
950 Reservoir Avenue, Cranston, Rhode Island
Owners
Picme Investment Corporation (9/3 Lots 2901 & 3361)
Trustees of Ronald HS Picme
Trust 121 5th Street
Wrentham, RI 02895
75 Lambert Loop Highway, Wrentham, RI 02895
Picme Investment Corporation (9/3 Lots 2899 & 3361)
Trustees of Ronald HS Picme
Trust 121 5th Street
Wrentham, RI 02895
75 Lambert Loop Highway, Wrentham, RI 02895
Picme Investment Corporation (9/3 Lots 2899 & 3361)
Trustees of Ronald HS Picme
Trust 121 5th Street
Wrentham, RI 02895
75 Lambert Loop Highway, Wrentham, RI 02895



USGS Map Scale: 1"=1000'

Photo obtained from the 2011 Rhode Island Department of Environmental Management Statewide Orthophotography from Rhode Island Geographic Information System (RI-GIS).



This regulatory submission set shall not be used for construction purposes unless stamped, issued for use, and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	Description	By:
1	03/27/2013	RIDEM Preliminary Submission Plan Submission	R.B.S.
2			
3			
4			
5			

Drawn By: R.B.S.

DESIGN REVIEWED BY ENVIRONMENTAL MANAGEMENT
 PROJECT NO. 13-0036
 DATE: APR 4 2013
 SIGNATURE: Margaret D. Wenzel

DiPrete Engineering
 Two Stafford Court, Cranston, RI 02910
 Tel: 401-943-1000 Fax: 401-661-6006 www.DiPrete-Eng.com

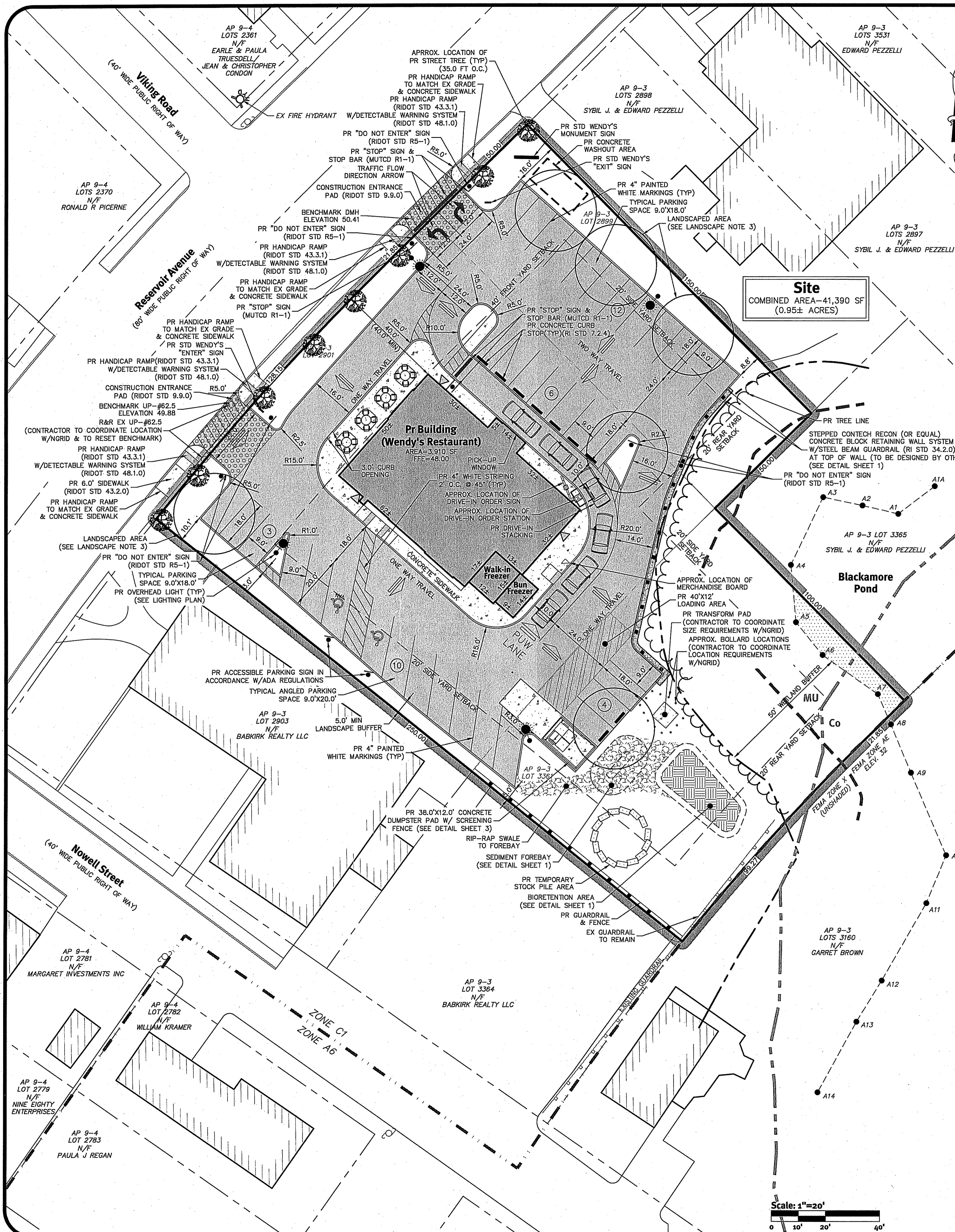
Engineers • Planners • Surveyors

JASON P. CLOUGH
 No. [Signature]
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

Radius & USGS Map
Wendy's
 Assessor's Plat 9/3 Lots 2895, 2901, & 3361
 550 Reservoir Avenue, Cranston, Rhode Island

Owners: Investment Corporation (05/1/14) & (05/1/14)
 & Ronald R.S. Picerno, Trustee of Ronald R.S. Picerno Trust 12/29/1988 (04/9/10 Lot 2899)
 Warwick, RI 02886 | Tel: 401-733-3700
 (Address Same for Both Owners)

Applicant: Picerno Real Estate Group
 1000 Main Street, Cranston, RI 02910
 Warwick, RI 02886 | Tel: 401-733-3700
 (Address Same for Both Owners)



Site
 COMBINED AREA—41,390 SF
 (0.95± ACRES)

General Notes:

- THE SITE IS LOCATED ON THE CITY OF GRANSTON ASSESSOR'S PLAT 9/3 LOTS 2899, 2901, & 3361
- THE SITE IS APPROXIMATELY 0.95± ACRES AND IS ZONED C-4.
- THE OWNER OF:
 AP 9/3 LOTS 2901 & 3361 IS: PICERNE INVESTMENT CORPORATION
 75 LAMBERT LIND HIGHWAY
 WARWICK, RHODE ISLAND 02886
 AP 9/3 LOT 2899 IS: RONALD RS PICERNE, TRUSTEE OF
 RONALD RS PICERNE TRUST 12/29/1988
 75 LAMBERT LIND HIGHWAY
 WARWICK, RHODE ISLAND 02886
 APPLICANT OF AP 9/3
 LOTS 2899, 2901, & 3361 IS: PICERNE REAL ESTATE GROUP
 75 LAMBERT LIND HIGHWAY
 WARWICK, RHODE ISLAND 02886
- SOIL MAPPING OBTAINED FROM SOIL SURVEY OF RHODE ISLAND, PREPARED BY U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- THIS SITE IS LOCATED IN FEMA FLOOD ZONES AE AND X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP FOR THE CITY OF GRANSTON AND COMMUNITY PANEL 44007C0314G DATED MARCH 2, 2009. THE BOUNDARIES OF WHICH, AS SHOWN APPROXIMATELY HEREON, HAVE BEEN DIGITIZED FROM THE ABOVE REFERENCED FLOOD INSURANCE RATE MAP
 ZONE AE - THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE. ZONE AE ARE SPECIAL FLOOD HAZARD AREAS INUNDED BY 100-YEAR FLOOD. BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED AT ELEVATION 32.
 ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- TOPOGRAPHY BY AERIAL MAPPING FROM DIPRETE ENGINEERING, 2 STAFFORD COURT, GRANSTON, RI 02920. HORIZONTAL DATUM IS RI STATE PLANE COORDINATE-NAD 83 AND VERTICAL DATUM OF 1988 (NAVD 88). EXISTING CONDITIONS DATA GROUND SURVEY BY DIPRETE ENGINEERING, 2 STAFFORD COURT, GRANSTON, RI 02920 PERFORMED ON MAY 24, 2006 LAST UPDATED ON FEBRUARY 15, 2012.
- THE SITE IS NOT WITHIN A:
 GROUNDWATER PROTECTION AREA (RIDEM)
 NATURAL HERITAGE AREA (RIDEMA)
 SPECIAL AREA MANAGEMENT PLAN (CRMC)
- THERE ARE NO EXISTING STRUCTURES ON THE SITE LOCATED IN THE NATIONAL HISTORIC REGISTER OR THAT HAVE BEEN RECOGNIZED AS HAVING HISTORICAL VALUE. THERE ARE NO KNOWN HISTORIC CEMETERIES LOCATED WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD. CALL THE DIO SAFE CENTER TOLL FREE AT 1-888-344-7233, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
- EXISTING ADJUTING PROPERTIES ARE SERVICED BY PUBLIC WATER, PUBLIC SEWER AND OVERHEAD UTILITIES.
- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS I SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THE PLAN ITSELF CONFORMS ONLY TO A CLASS III STANDARD AS ADOPTED BY RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD.

Dimensional Regulations:

	C-4 ZONE REQUIRED	DRIVE-IN ZONE REQUIRED	PROVIDED
MINIMUM LOT AREA (RESTAURANT USE):	12,000 SF	40,000 SF	41,390 SF
MINIMUM FRONTAGE (RESTAURANT USE):	120'	200'	200'
MINIMUM FRONT/CORNER YARD:	10'	40'	40'
MINIMUM SIDE YARD:	8'	20'	20'
MINIMUM REAR YARD:	20'	20'	20'
MINIMUM LANDSCAPING:	N/A	10%	25%
MAXIMUM LOT COVERAGE (BUILDING ONLY):	50%	N/A	9%
MINIMUM BUFFER FROM PARKING TO RIGHT OF WAY:	N/A	5'	5'
MINIMUM DRIVEWAY STACKING:	N/A	6 SPACES	6 SPACES

Parking Regulations:

PARKING USE:	EATING AND DRINKING ESTABLISHMENT/DRIVE-IN
PARKING REQUIREMENT:	1 SPACE FOR EACH 3 SEATS + 5 SPACES FOR EACH DRIVE-IN ORDERING STATION
PROPOSED # OF SEATS:	90 SEATS
PARKING CALCULATION:	90/3 = 30 + (5 SPACES)
REQUIRED PARKING STALLS:	35 SPACES
PROVIDED PARKING STALLS:	35 SPACES
REQUIRED & PROVIDED ADA PARKING:	2 ADA PARKING SPACES W/ONE VAN ACCESSIBLE

Soil Information:

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

SOIL NAME	DESCRIPTION
MU	MERRIMAC-URBAN LAND COMPLEX
Co	CARLSLE MUCK

Pre Development Data:

TOTAL SITE AREA:	41,390 SF (0.95± ACRES)
PAVED AREA:	19,967 SF (0.47± ACRES)
BUILDING AREA:	4,559 SF (0.10± ACRES)
LANDSCAPE AREA:	6,779 SF (0.16± ACRES)
WOODED AREA:	10,085 SF (0.23± ACRES)
TOTAL NUMBER OF BUILDINGS:	3

Post Development Data:

TOTAL SITE AREA:	41,390 SF (0.95± ACRES)
PAVED AREA:	20,579 SF (0.47± ACRES)
BUILDING AREA:	3,910 SF (0.09± ACRES)
LANDSCAPE AREA:	10,193 SF (0.24± ACRES)
WOODED AREA:	6,708 SF (0.15± ACRES)
TOTAL NUMBER OF BUILDINGS:	1

Traffic Notes:

- DURING CONSTRUCTION TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE.
- DURING CONSTRUCTION FLAGGERS SHALL BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
- ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES SHALL MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
- TEMPORARY CONSTRUCTION SIGNS SHALL BE MOUNTED ON MHD APPROVED SUPPORTS AND SHALL BE REMOVED OR COVERED WHEN NOT APPLICABLE.

Landscape Notes:

- STREET TREES TO BE PROVIDED ALONG PROPERTY LINES ABUTTING THE RIGHT-OF-WAY OF RESERVOIR AVENUE. ONE (1) STREET TREE SHALL BE PLANTED FOR EVERY 35.0 FT OF FRONTAGE. REFER TO PLAN FOR APPROXIMATE LOCATION OF STREET TREES.
- YEAR-ROUND BUFFER VEGETATION WITH A MINIMUM OF 8.0 FT IN HEIGHT IS TO BE ESTABLISHED AROUND THE PROPERTY LINES OF THE SITE ABUTTING RESERVOIR AVENUE.
- 20% OF THE PARKING AREA SHALL BE SHADED BY DECIDUOUS TREES. THESE AREAS SHALL HAVE A MINIMUM CROWN OF 30.0 FT AT MATURITY SURROUNDED BY AT LEAST 100 SF OF UNPAVED AREA.
- EACH ROW OF PARKING SPACES SHALL BE TERMINATED BY A LANDSCAPED ISLAND AS SPECIFIED.

Legend:

PROPERTY LINE	[Symbol]
SETBACK	[Symbol]
BUILDING FOOTPRINT	[Symbol]
SOIL BOUNDARY LINE	HkC CaD
ZONING BOUNDARY	ZONE X ZONE X
FEMA BOUNDARY	FEMA ZONE X FEMA ZONE X
ASSESSOR LINE	[Symbol]
FORMER LOT LINE	[Symbol]
CONCRETE CURB	[Symbol]
EDGE OF PAVEMENT	[Symbol]
CONCRETE (PAD, SIDEWALK)	[Symbol]
ASPHALT PAVEMENT	[Symbol]
CONSTRUCTION ENTRANCE	[Symbol]
RIP-RAP	[Symbol]
PR TREELINE	[Symbol]
PR RETAINING WALL	[Symbol]

GUARD RAIL	[Symbol]
BIO RETENTION OUTLINE	[Symbol]
EX GUARDRAIL	[Symbol]
WETLAND EDGE	[Symbol]
WETLAND HATCH	[Symbol]
50' PERIMETER WETLAND	[Symbol]
WETLAND FLAG	A5
PAVEMENT STRIPING	[Symbol]
ACCESSIBLE PARKING SPACE SYMBOL	[Symbol]
ARROW STRIPING TURN	[Symbol]
PULL UP WINDOW LANE ARROW STRIPING	[Symbol]
BUILDING ENTRY	[Symbol]
PARKING COUNT	[Symbol]
SIGN	[Symbol]
BOLLARD	[Symbol]
CAR STOP ON CENTER	[Symbol]

Must be advised that this is not a verification of the type or extent of freshwater wetlands on site.

FEB 27 2013

Scale: 1"=20'

DIPrete Engineering
 Two Stafford Court, Cranston, RI 02920
 Tel: 401-943-5000 Fax: 401-943-6006 www.DIPrete-Eng.com

Engineers • Planners • Surveyors

JASON P. CLOUGH
 No. [Stamp]
 REGISTERED PROFESSIONAL ENGINEER CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped, issued for construction, and signed by a Diprete Engineering representative.

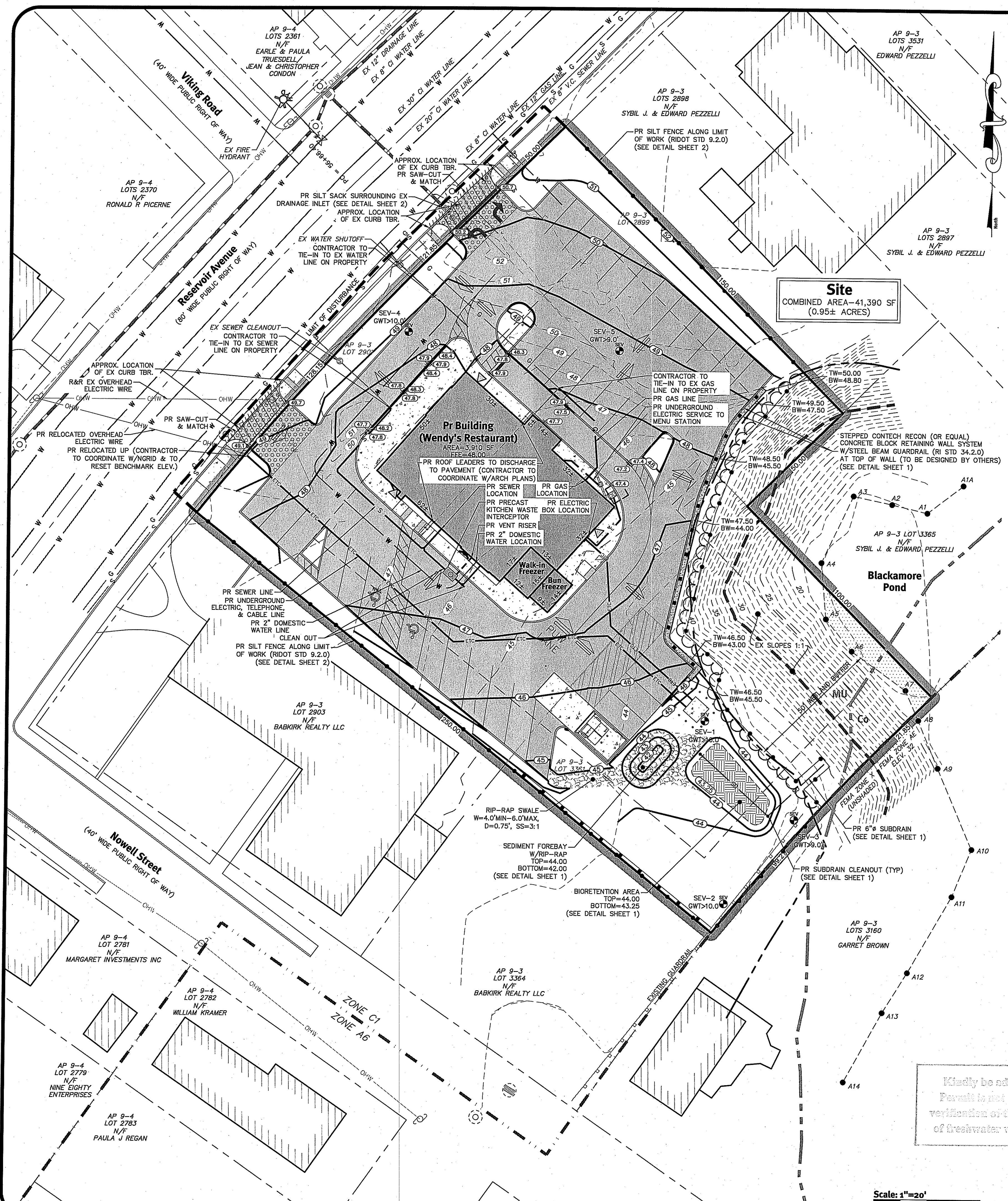
The contractor is responsible for all of the means, methods, techniques, and OSHA compliance in the implementation of this plan and design.

0. 02/27/2013 [Stamp] Design By: R.B.S.

Site & Parking Plan
Wendy's
 Assessor's Plat 9/3 Lots 2899, 2901, & 3361
 950 Reservoir Avenue, Cranston, Rhode Island
 Applicant: Picerme Real Estate Group
 75 Lambert Lind Highway
 Warwick, RI 02886 (Tel: 401-793-9700)

DE 130 No. 0061-531 Copyright 2013 by Diprete Engineering Associates, Inc.

SHEET 4 OF 8



Site
COMBINED AREA - 41,390 SF
(0.95± ACRES)

Grading Legend:

EX MAJOR FOOT CONTOUR	---	160
EX MINOR FOOT CONTOUR	---	158
EX SPOT ELEVATION	+	45.3
PR FOOT CONTOUR	---	310
PR TOP/BOTTOM OF POND	---	9.5
PR SPOT ELEVATION	+	312
HAY BALES	-----	
STAKED SILT FENCE	-----	
LIMIT OF DISTURBANCE	-----	
PR RETAINING WALL	-----	
GUARD RAIL	-----	
RIP-RAP	-----	
SOIL EVALUATION	-----	

Existing Utilities Legend:

OVERHEAD WIRES	---	OHW
GAS LINE	---	G
WATER LINE	---	W
SEWER LINE	---	S
DRAIN LINE	---	---
WATER VALVE	⊗	WV
HYDRANT	⊗	---
SEWER MANHOLE	⊗	---
DRAINAGE MANHOLE	⊗	---
UTILITY POLE	⊗	---

Proposed Utilities Legend:

SAW CUT/MATCH AREA	---	---
DRAIN LINE	---	---
SUBDRAIN	---	SD
ROOF LEADER	---	RL
GAS LINE	---	G
WATER LINE	---	W
SEWER LINE	---	S
OVERHEAD WIRES	---	OHW
UNDERGROUND ELECTRIC, TELEPHONE CABLE LINE	---	ETC
UTILITY POLE	---	---
OVERHANGING LIGHT	---	---
PROPOSED	---	---
EXISTING	---	---
TO BE REMOVED	---	---
REMOVE & RELOCATE	---	---
UTILITY POLE	---	---

ADA Notes:

- ALL IMPROVEMENTS SHALL COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE.
- MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 4.5% OR 0.045'/' AND MAXIMUM CROSS SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 0.015'/'.
- MAXIMUM SLOPE IN ALL DIRECTIONS FOR ALL ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL BE 0.015'/'.
- A 5'x5' LANDING WITH A MAXIMUM SLOPE OF 1.5% OR 0.015'/' IN ALL DIRECTIONS SHALL BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EGRESSSES.
- SIDEWALK CURB RAMPS SHALL COMPLY WITH DIPRETE ENGINEERING DETAILS THAT MEET OR EXCEED RIDOT STANDARDS 43.3.0, 43.3.1, & 43.4.1 AS SHOWN ON THE DETAIL SHEET.
- PLEASE NOTE THAT THE GRADING AND PLAN VIEWS AS WELL AS THE STANDARD DETAILS MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS AND RAMPS TO ADA STANDARDS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL-OF-CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA STANDARDS. IN THE EVENT OF ANY CONFLICTS THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

Grading and Utility Notes:

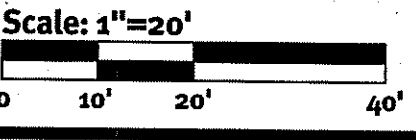
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON-SITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RI DEPT. OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY DIG SAFE 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION TO COMMENCE SUMMER 2013 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- ALL WORK PERFORMED HEREIN SHALL BE GOVERNED BY THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND CITY OF CRANSTON STANDARD SPECIFICATIONS AND DETAILS.
- SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND DIPRETE ENGINEERING IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL WALLS AND SLOPES ARE TO BE BUILT UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION.
- ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT PROVIDING THE FILL SPECIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE FILL SPECIFICATION FROM THE GEOTECHNICAL ENGINEER, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
- NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, SHALL BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS SHALL BE GROUND ON-SITE OR REMOVED.
- NO STUMP DUMPS ARE PROPOSED ON-SITE.
- ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM AFORESAID PLANS OF RECORD AND ARE APPROXIMATE ONLY. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-344-7232, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY.

Sequence of Construction:

- CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL (SE & SC) ON-SITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM THE OWNER OR THEIR REPRESENTATIVE.
- CONSTRUCTION TO BEGIN IN THE SUMMER 2013 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- SURVEY AND STAKE THE DRAINAGE BMPs, WATER LINES, SEWER LINES AND LIMIT OF SEDIMENTATION BARRIERS/LIMIT OF DISTURBANCE.
- PLACE SEDIMENTATION BARRIERS (SILT FENCE) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS. SEDIMENTATION BARRIERS SHALL BE PLACED AROUND THE BIORETENTION AREA TO PROTECT IT FROM CONSTRUCTION TRAFFIC AND STORMWATER RUNOFF. THE BIORETENTION AREA SHALL BE PROTECTED FROM STORMWATER RUNOFF UNTIL IT HAS BEEN ESTABLISHED AND ALL TRIBUTARY AREAS ARE STABILIZED.
- INSTALL TEMPORARY SEDIMENTATION CONTROL MEASURES AND DEVICES AS WARRANTED. THE LOCATION OF BIORETENTION AREA SHALL NOT BE USED AS TEMPORARY SEDIMENTATION BASINS. ALL TEMPORARY CONTROL DEVICES SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- BEGIN CLEARING AND GRUBBING IN AREA OF THE BUILDING, BIORETENTION AREA, PARKING AREAS AND OTHER AREAS AS INDICATED ON THE PLANS. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN APPROVED LOCATIONS. TOPSOIL STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS AND COVERED OR TEMPORARILY SEEDED.
- EXCAVATE AND GRADE THE PROPOSED BIORETENTION AREA, BUILDING, AND PARKING AREAS.
- INSTALL WATER, SEWER, ELECTRIC, TELEPHONE, CABLE, AND GAS IN ACCORDANCE WITH THE APPROVED FINAL CONSTRUCTION PLANS. SEED THE DISTURBED AREAS OUTSIDE OF THE PAVING LIMITS.
- PLACE COMPACTED GRAVEL FOUNDATION AND ROUGH GRADE THE PARKING AREA IN ACCORDANCE WITH THE SITE PLANS AND IN ACCORDANCE WITH THE GEOTECHNICAL REQUIREMENTS.
- BEGIN CONSTRUCTION OF THE BUILDING FOUNDATION AND STRUCTURE.
- PLACE BITUMINOUS ASPHALT BINDER PER SITE PLANS AND IN ACCORDANCE WITH THE GEOTECHNICAL REQUIREMENTS.
- FINISH PERMANENT STABILIZATION.
- SWEEP/VACUUM THE ROADWAY/PARKING AREA TO REMOVE ALL SEDIMENTS.
- THE CONTRACTOR SHALL CLEAN AND REMOVE ALL ACCUMULATED SEDIMENTS FROM THE BIORETENTION AREA AT THE END OF CONSTRUCTION.
- ONCE THE MAJORITY OF THE SITE IS STABILIZED THE BIORETENTION AREA MAY BE BROUGHT ONLINE WITH THE APPROVAL OF THE DESIGN ENGINEER AND THE OWNER OR THEIR REPRESENTATIVE.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.
- PRIOR TO ACTIVATION OF ALL UTILITIES (WATER, SEWER, AND STORM), THE DESIGN ENGINEERING AND THE APPROPRIATE UTILITY COMPANY SHALL TO BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE FINAL INSPECTION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR 22, 2013
NO CHANGES ALLOWED WITHOUT APPROVED PLAN
APPROVED PLAN TR: 12-0026
R&R
M. D. Wenzel
UP

Kindly be advised that this Permit is not compliant with verification of the type or extent of freshwater wetlands on



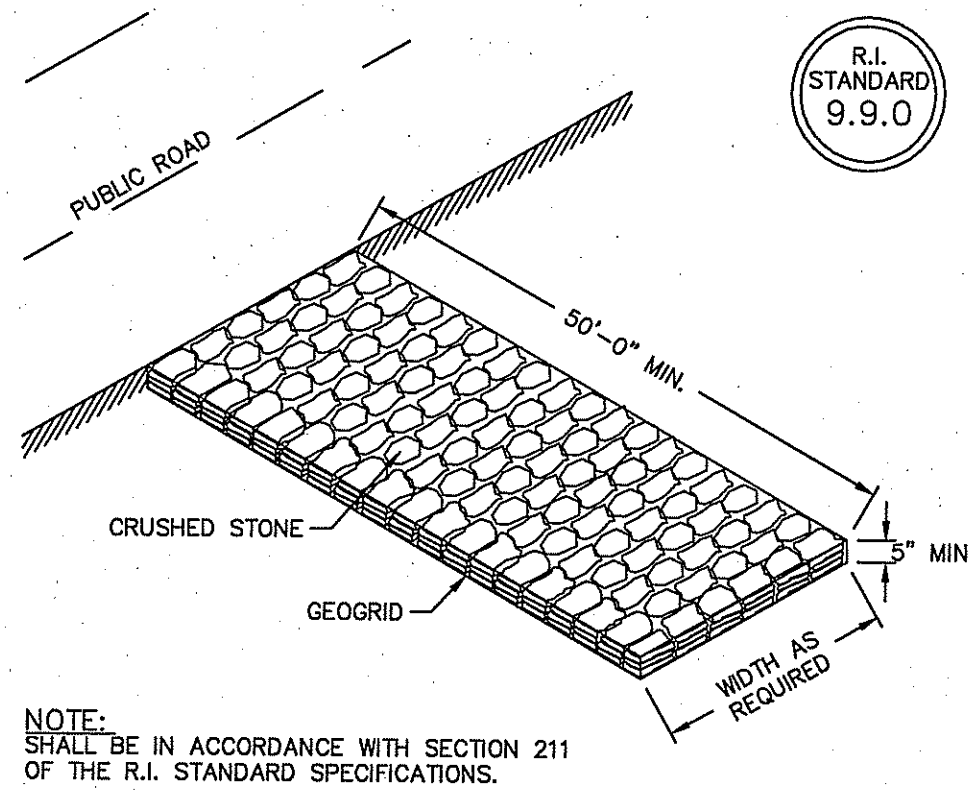
Diprete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-664-6006 www.Diprete-Eng.com
Engineers • Planners • Surveyors

JASON P. CLOUGH
No. 01010
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.
Design By: R.B.S.
Drawn By: R.B.S.

No.	Date	Description	R.B.S.	By:
0	02/22/2013	02081, Assessor's Information Plan Submission	R.B.S.	By:

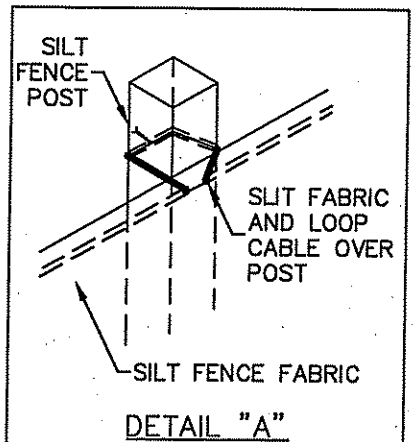
Site & Parking Plan
Wendy's
Assessor's Plat 9/3/Lots 2889, 2901, & 2961
250 Reservoir Avenue, Cranston, Rhode Island
Application for: Investment Corporation (06/9/10) (06/28/09 & 2010)
& Ronald R. Picerne, Trustee of Ronald R. Picerne Trust (02/27/2013)
7 Lambert Road, Warwick, RI 02886 | Tel: 401-732-3700
(Address Same for Both Owners)
DE JOB No: 0105-0331 Copyright 2013 by Diprete Engineering Associates, Inc.



CONSTRUCTION ACCESS

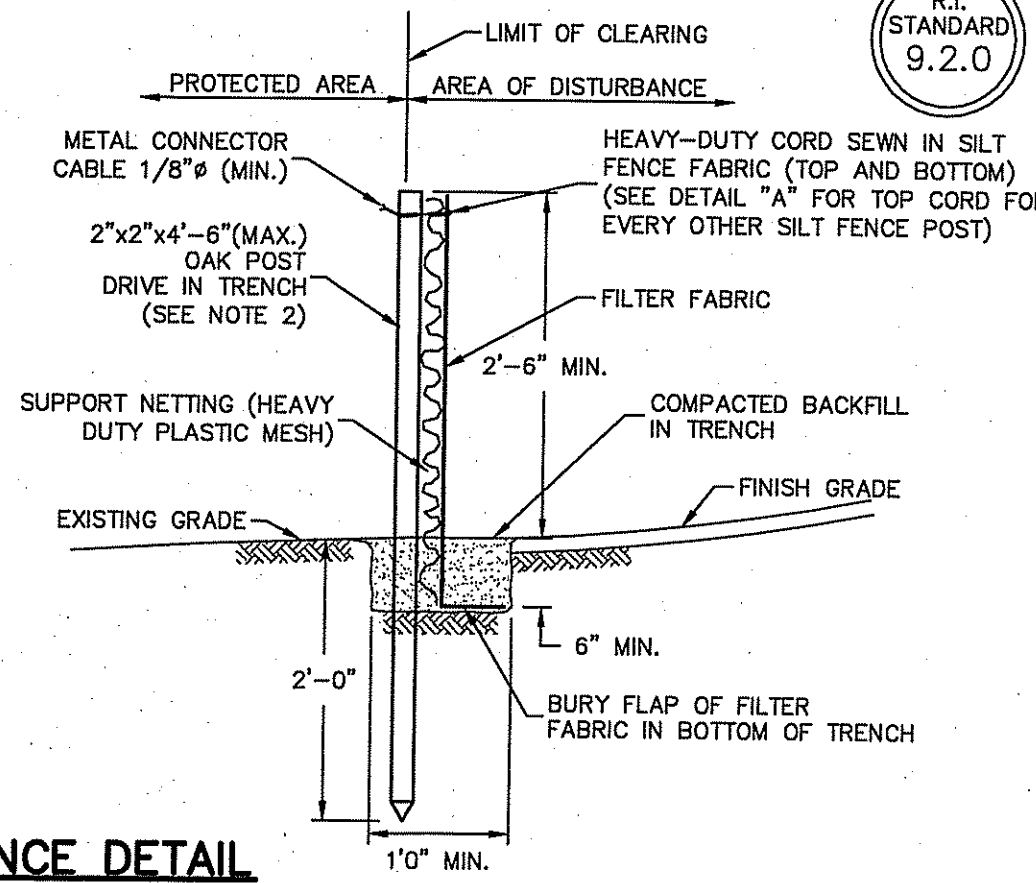
NOT TO SCALE

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVERNE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

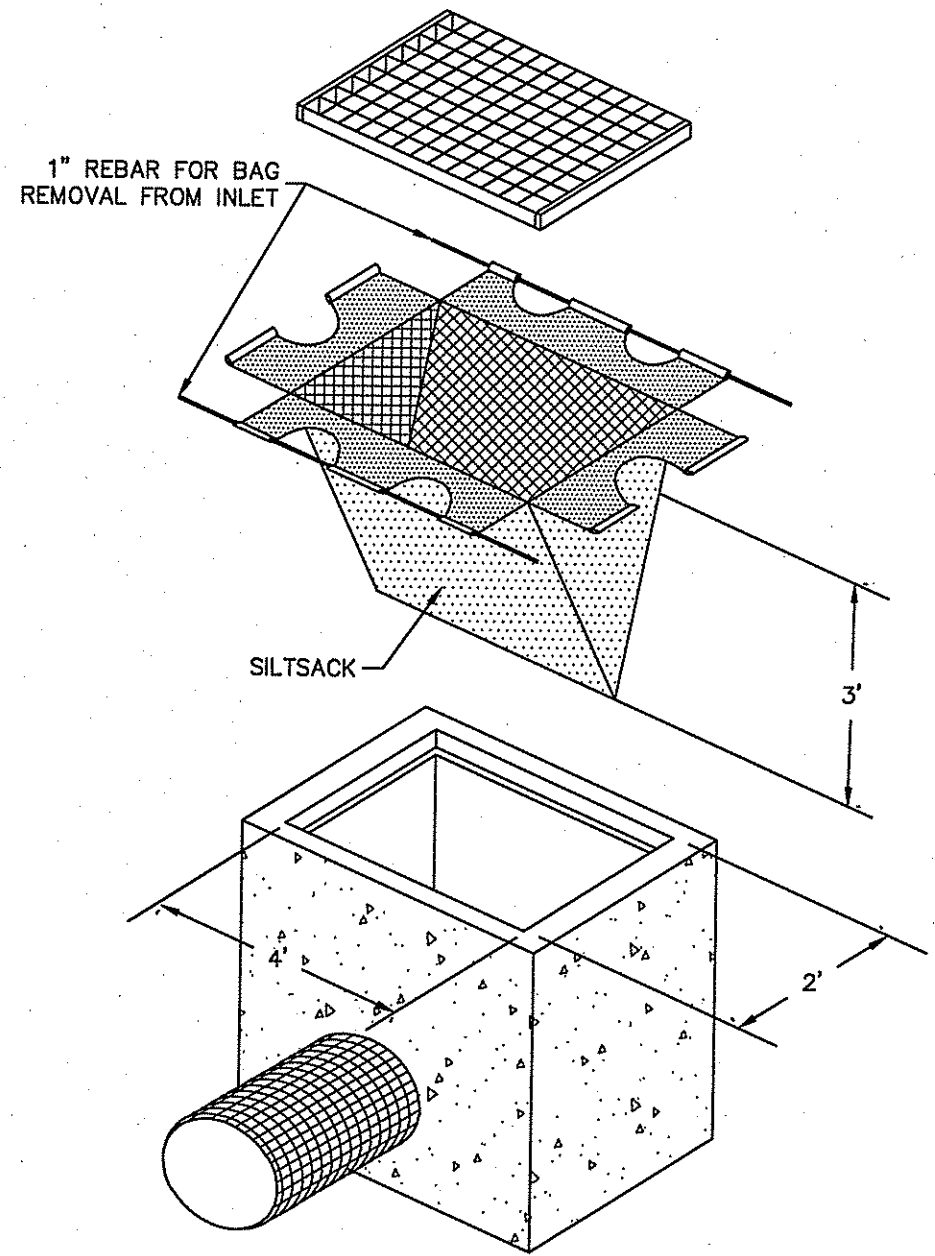


SILT FENCE DETAIL

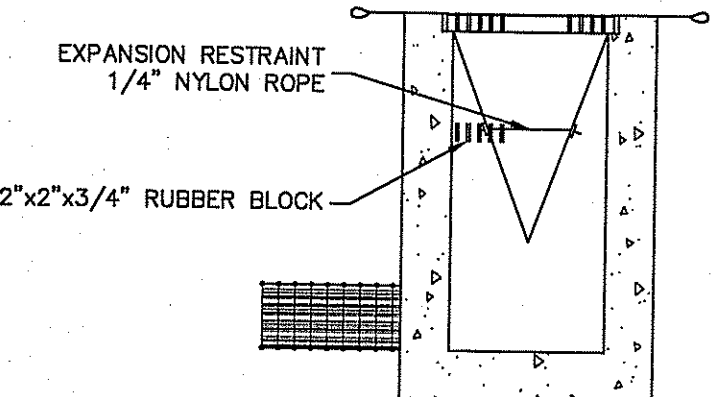
NOT TO SCALE



R.I. STANDARD 9.2.0



NOTE:
REGULAR FLOW=40 GAL./MIN./SF
HIGH FLOW=200 GAL./MIN./SF

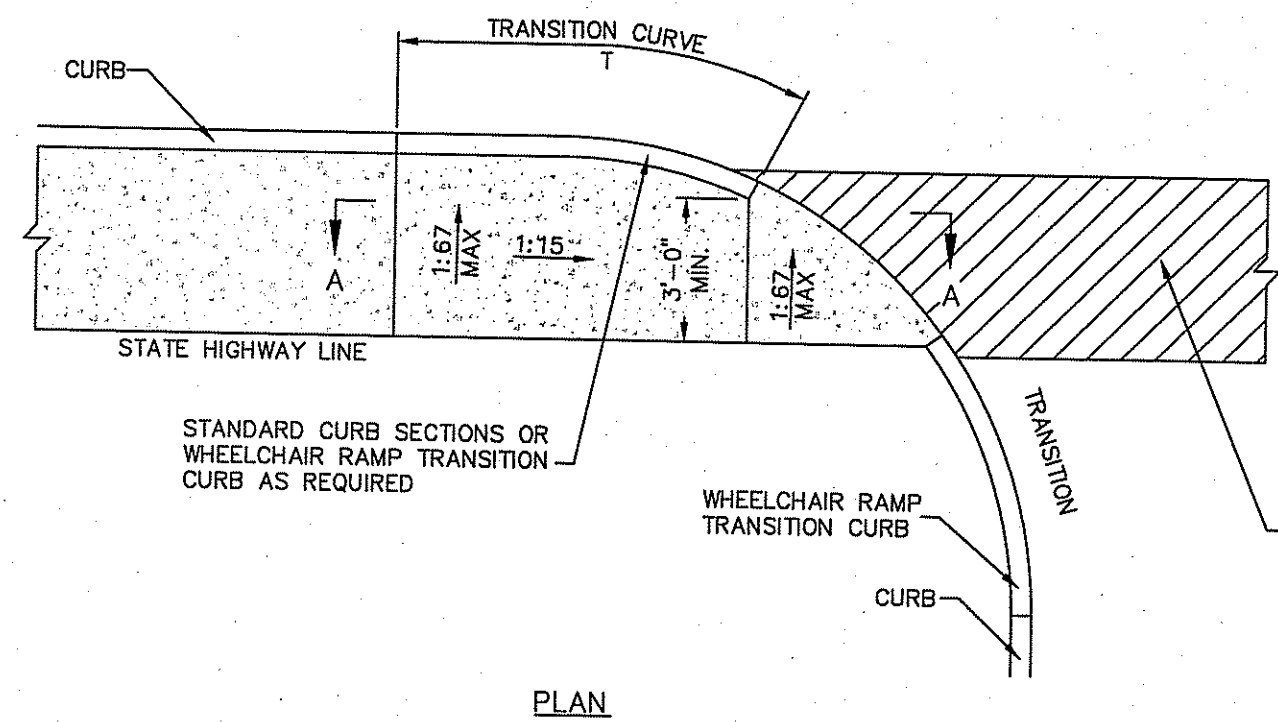


SILT SACK DETAIL

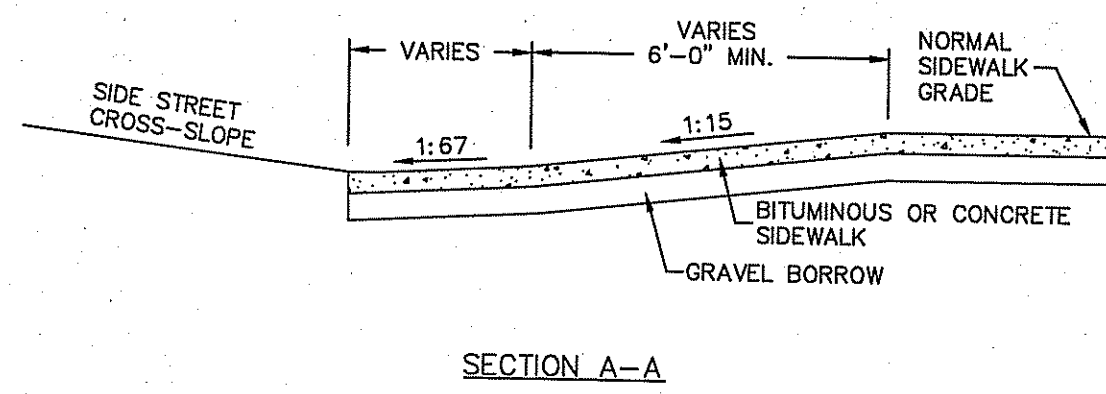
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED APR. 22 2013 FILE # 13-0036
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Magister D. Wenzel

PROFILE GRADE	T
0.00	7.5
0.01	9.0
0.02	11.0
0.03	13.5
0.04	16.0
0.05	30.0



PLAN

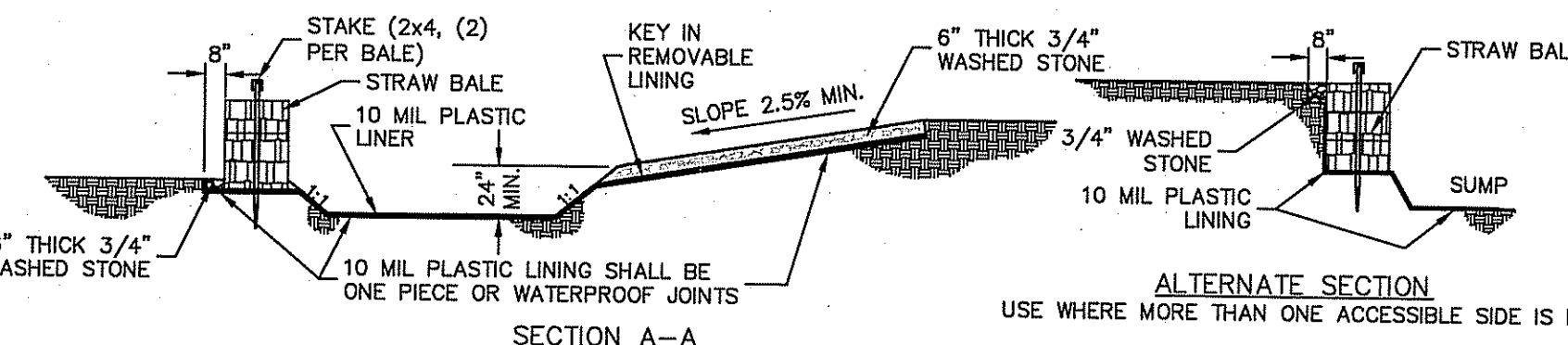
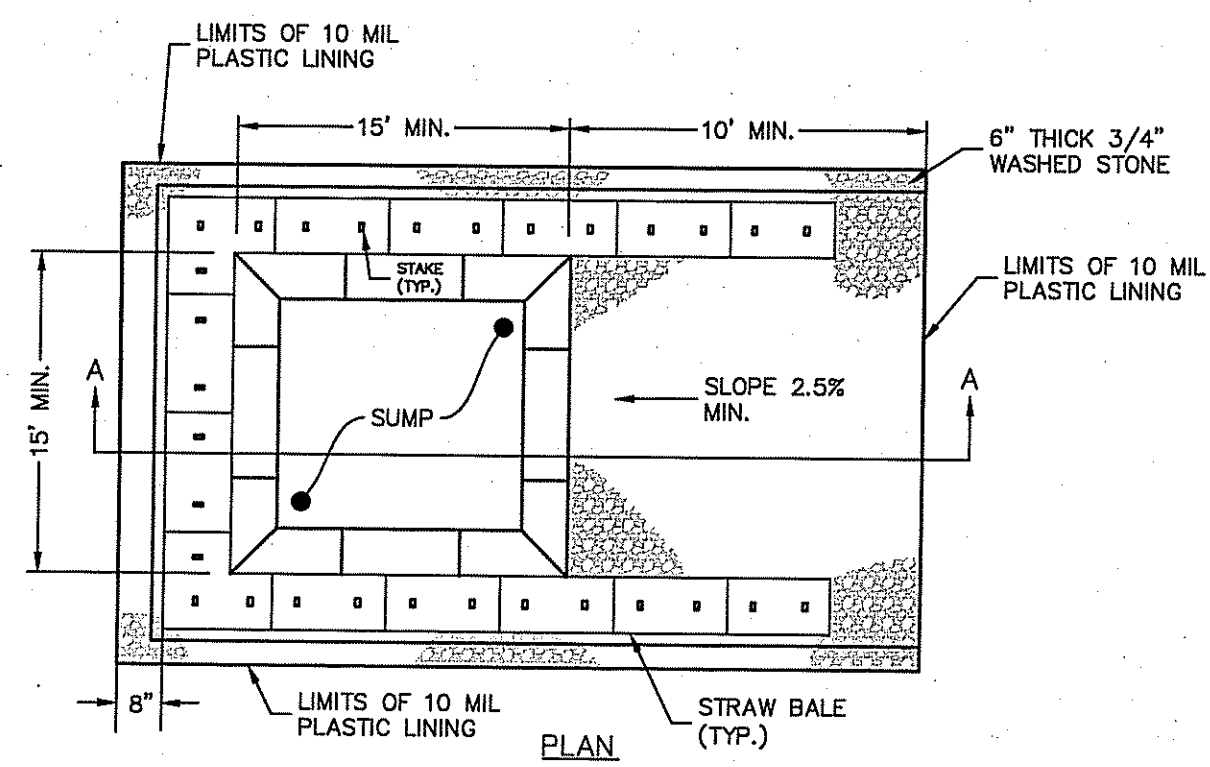


SECTION A-A

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 904 OF THE R.I. STANDARD SPECIFICATIONS.
 2. THIS DETAIL IS TO BE USED ONLY WHEN STATE RIGHT-OF-WAY IS LIMITED TO BACK OF SIDEWALK, AND SIDEWALK IS NARROW WITH NO PEDESTRIAN TRAFFIC FROM SIDE STREET.
 3. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, IF POSSIBLE, THE OBSTRUCTION WILL BE PLACED SUCH THAT IT FALLS OUTSIDE OF THE RAMP.
 4. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 5. DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
 6. LOCATION OF WHEELCHAIR RAMPS IS AS SHOWN ON CONTRACT DRAWINGS.
 7. ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 8. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
 9. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 10. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3'-0" SHALL BE MAINTAINED.
 11. MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.3.1.

WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS (ADA)

NOT TO SCALE



ALTERNATE SECTION
USE WHERE MORE THAN ONE ACCESSIBLE SIDE IS NEEDED

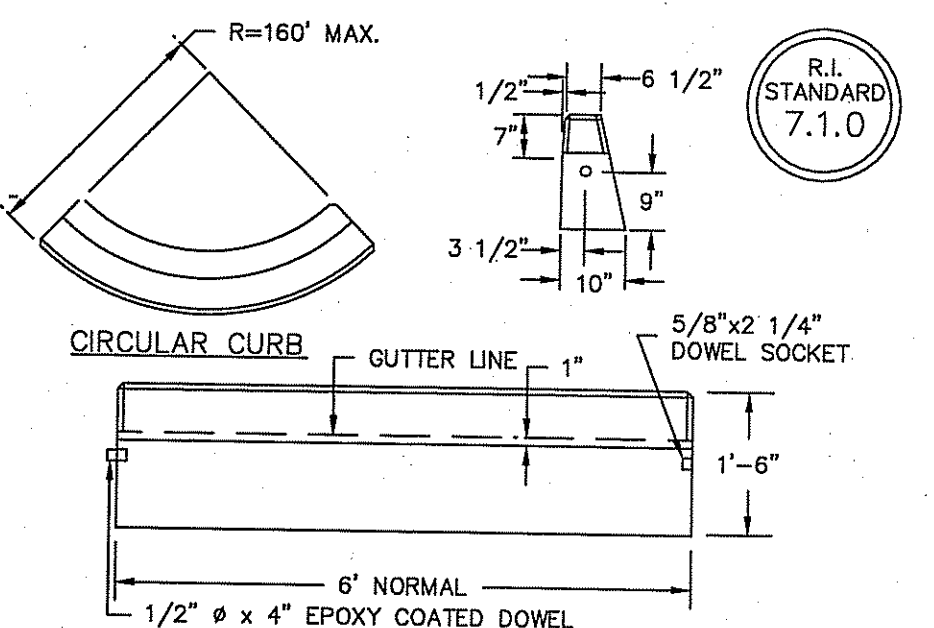
- NOTES:**
1. PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 2. WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 3. FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
 4. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
 5. SAW CUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT & GRINDING TO BE DISPOSED OF IN THE PIT.
 6. CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, & SURFACE WATERS.
 7. MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

CONCRETE WASHOUT AREA

(NOT TO SCALE)



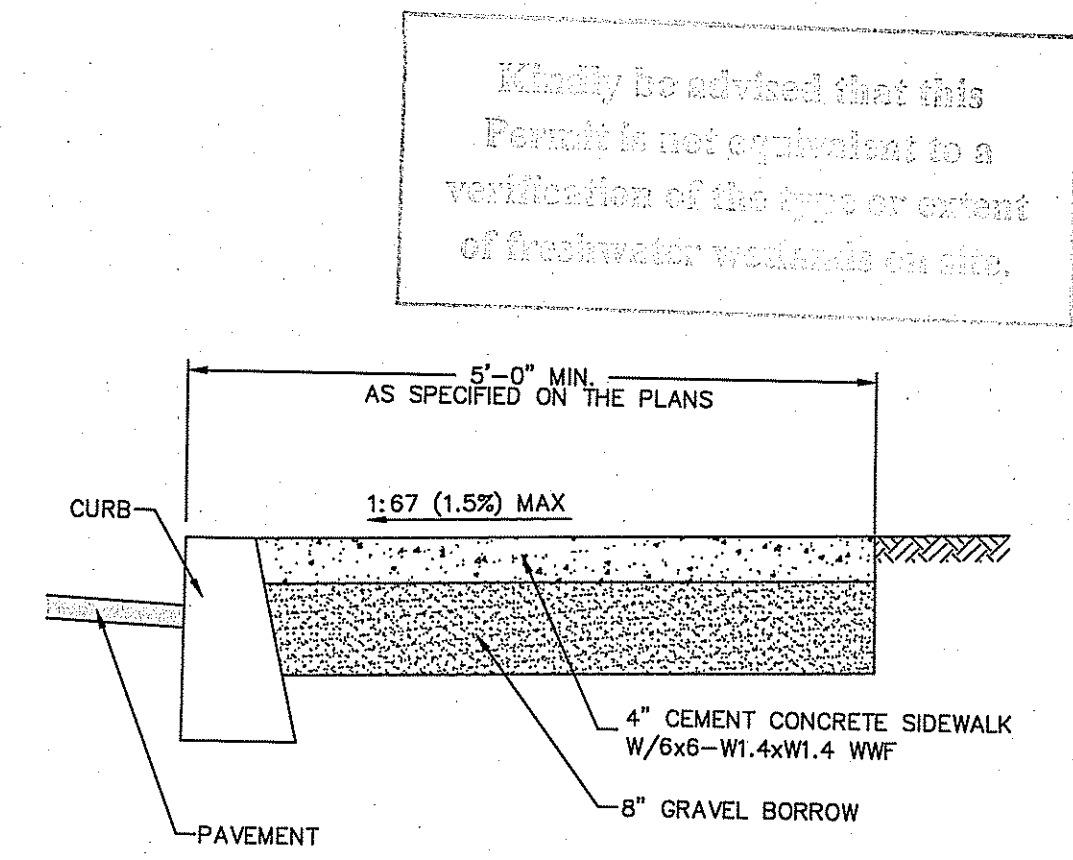
WASHOUT SIGN



PRECAST CONCRETE CURB

NOT TO SCALE

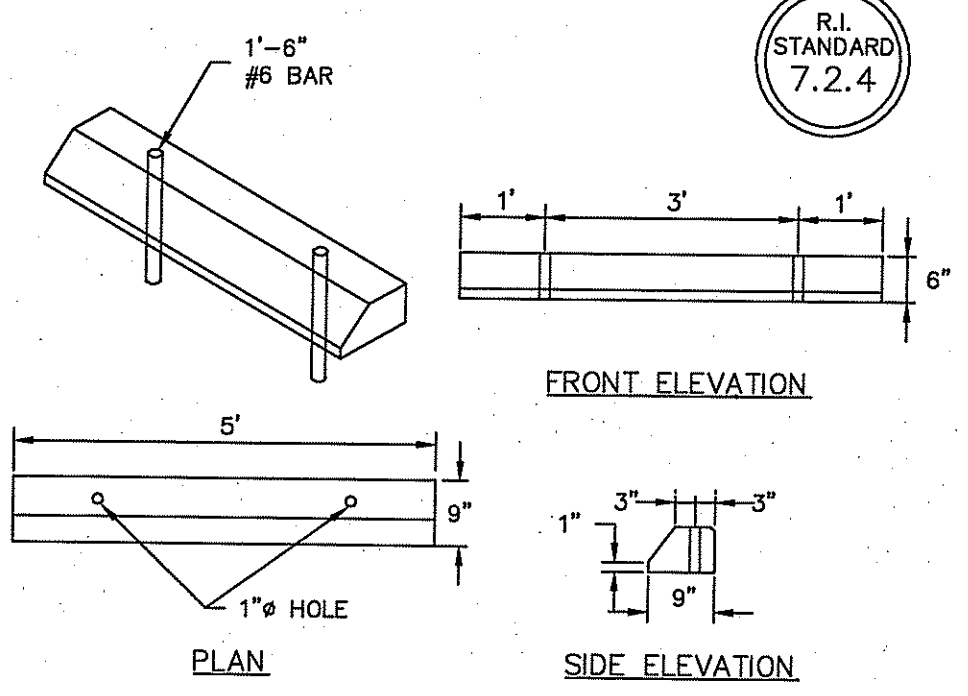
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADII.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.



CEMENT CONCRETE SIDEWALK

NOT TO SCALE

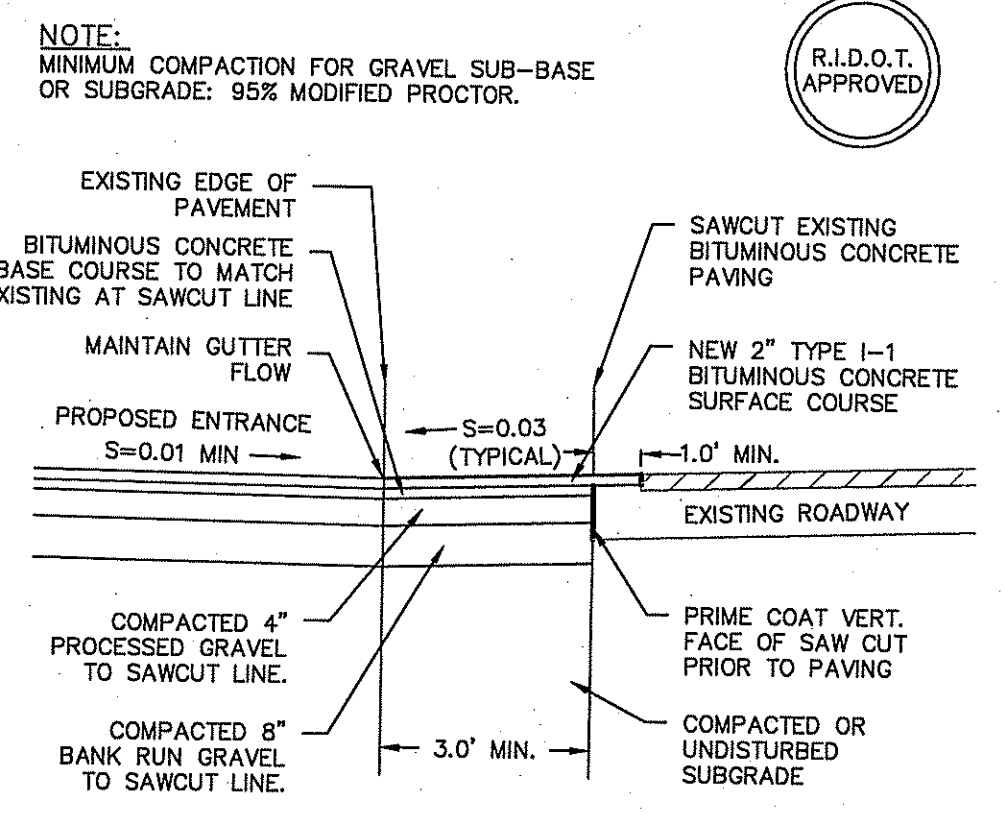
Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



PRECAST CONCRETE CAR STOPS

NOT TO SCALE

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 3. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.

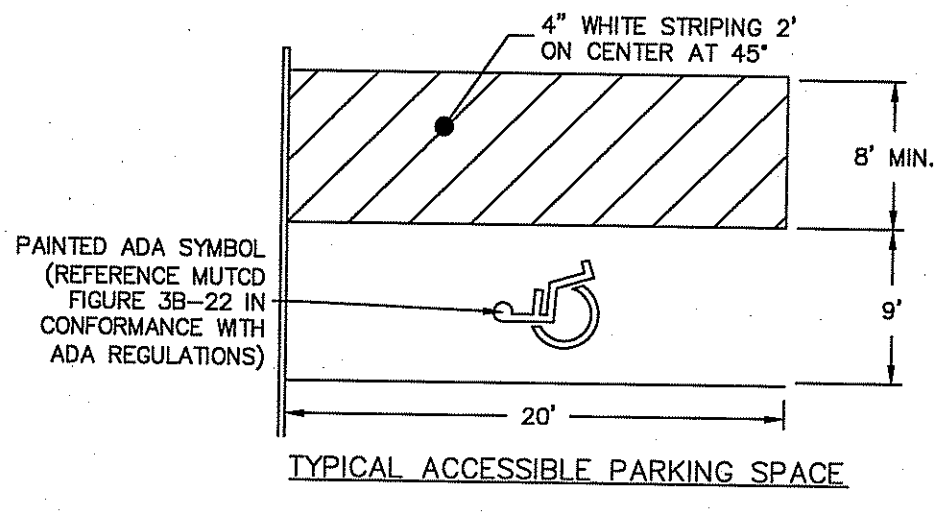


SAWCUT & MATCH

NOT TO SCALE

NOTE:
MINIMUM COMPACTION FOR GRAVEL SUB-BASE OR SUBGRADE: 95% MODIFIED PROCTOR.

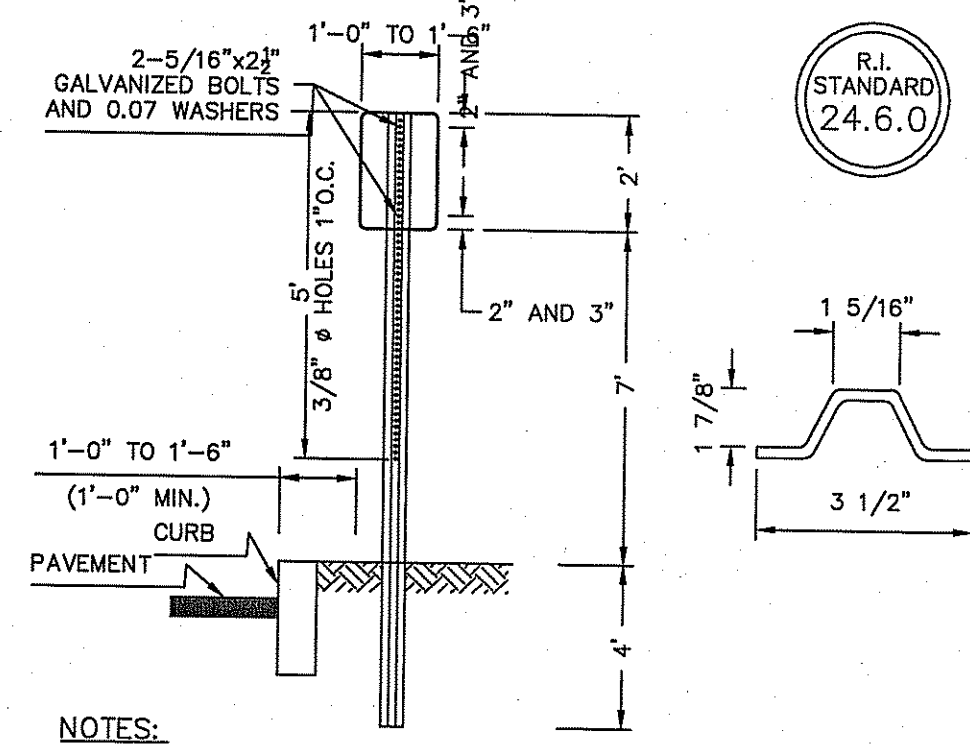
R.I.D.O.T. APPROVED



TYPICAL ACCESSIBLE PARKING SPACES

NOT TO SCALE

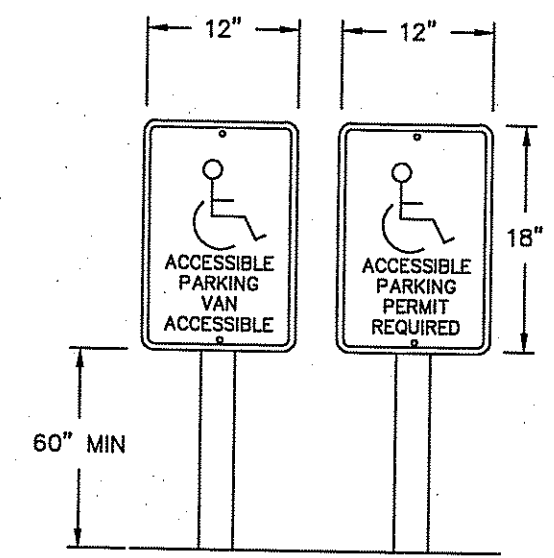
- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.
 3. MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.1.0.



PARKING SIGN MOUNTING DETAIL

NOT TO SCALE

- NOTES:**
1. SHALL BE IN ACCORDANCE WITH SECTION T.15 OF THE STANDARD SPECIFICATIONS.
 2. PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOR MORE THAN 45° WITH A LINE PARALLEL TO FLOW OF TRAFFIC, 1'-6" (1" MIN.) FROM EDGE OF CURB FACE.



TYPICAL ACCESSIBLE PARKING POST & SIGN

NOT TO SCALE

- NOTES:**
1. SIGN SHALL BE PLACED BEHIND APPLICABLE VAN ACCESSIBLE OR ACCESSIBLE SPACE AS SHOWN ON SIGNAGE PLAN.
 2. ACCESSIBLE PARKING SPACES AND SIGNAGE SHALL COMPLY WITH LATEST VERSION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN OR THE RI BUILDING CODE WHICHEVER STANDARD CONTROLS.

This regulatory submission set shall not be used for construction purposes unless issued for construction and signed by a DiPrete Engineering representative.

The contractor is responsible for all of the means, methods, safety, precautions and requirements, and OSHA conformance in the implementation of this plan and design.

R.B.S. No.	Date	Description	By
13-0036	02/27/2013	Final Preliminary Determination Plan Submission	R.B.S.
			Design By: R.B.S.

JASON P. CLOUGH
No. 0101010101
REGISTERED PROFESSIONAL ENGINEER
CIVIL

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com
Engineers - Planners - Surveyors

* SEE PHOTOMETRIC PLAN FOR QUANTITY AND LOCATION OF FLOODS

*** IMPORTANT NOTE TO G.C.**
IF SUPER LIGHTING IS NOT USED, SERIES II FASCIA LIGHTING IS REQUIRED. CONTACT OWNER FOR ADDITIONAL INFORMATION.

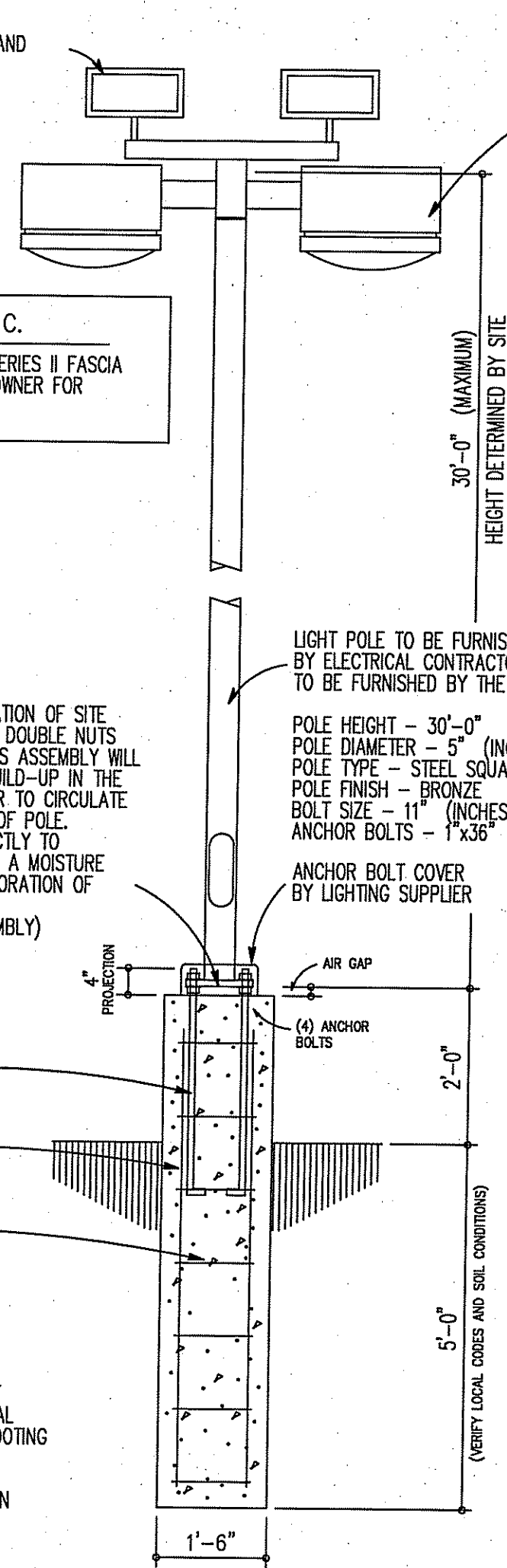
FOR PROPER INSTALLATION OF SITE LIGHTING ALWAYS USE DOUBLE NUTS AND WASHERS. THIS ASSEMBLY WILL PREVENT MOISTURE BUILD-UP IN THE POLE BY ALLOWING AIR TO CIRCULATE THROUGH THE INSIDE OF POLE. BASES MOUNTED DIRECTLY TO CONCRETE CAN CAUSE A MOISTURE BUILD-UP AND DETERIORATION OF THE POLE'S STABILITY (DO NOT GROUT ASSEMBLY)

TIE ANCHOR BOLTS TO #5 VERTICALS
(7) #5 VERTICAL BARS
#3 HORIZONTAL TIES 12" O.C.

NOTE: REINFORCING BASED ON 90 MPH WIND AND 2500 PSF SOIL BEARING PRESSURE.

LIGHTING SUPPLIER TO DETERMINE IF WIND LOADS, SOIL BEARING OR LOCAL OBSTACLES DIFFER AND ADJUST FOOTING ACCORDINGLY.

WHEN POSSIBLE, LOCATE POLES ON OUTSIDE PERIMETER OF SITE



EXTERIOR POLE LIGHTS

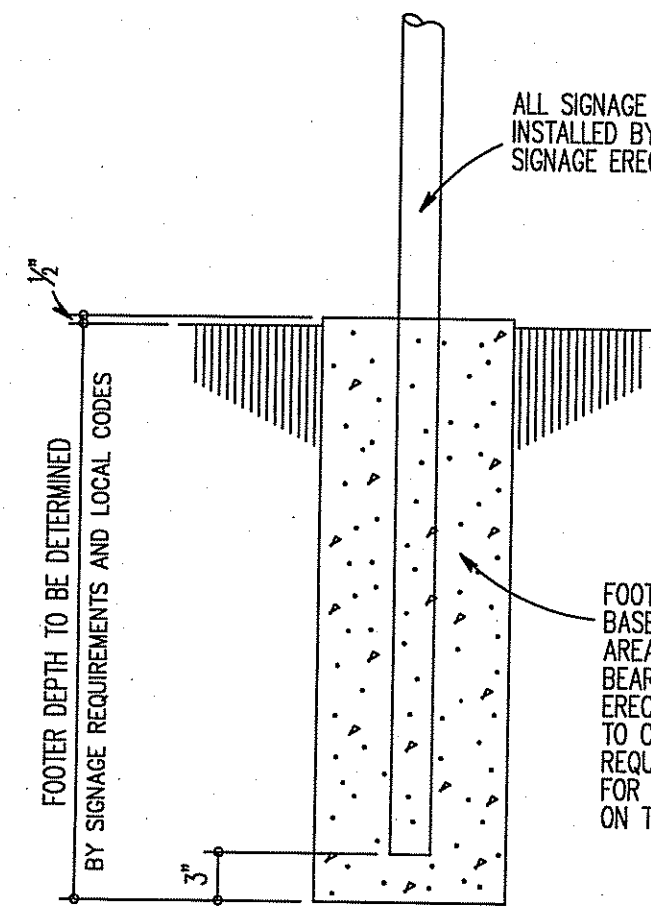
SCALE: 1/2" = 1'-0"

LIGHTING NOTES

- SITE LIGHTING TO BE A PULSE START 750 WATT METAL HALIDE VERTICAL BURN FIXTURE MULTIPLE DISTRIBUTION SHAPES (TYPES 1, 2, 3, 4) WILL BE ALLOWED TO MEET FOOTCANDLE REQUIREMENTS USING SEGMENTED OPTICS.
- * MOUNTED ATOP DESIGNATED POLES WILL BE TWO (2) PULSE START 320 WATT METAL HALIDE FLOODS DIRECTED TOWARD THE BUILDING (SUPER LIGHTING).
- LOT IS REQUIRED TO HAVE AN INITIAL AVERAGE OF 10 FOOTCANDLES AND THEN BE REQUIRED TO MAINTAIN A MINIMUM OF 2 FOOTCANDLES
- LUMINAIRE FINISH TO BE BRONZE
- BALLAST SHALL BE MULTITAP 120, 208, 240, OR 277 VOLT 480 VOLT AVAILABLE UPON REQUEST WITH A TWO (2) YEAR WARRANTY
- SEE SPECIFICATIONS FOR A LIST OF APPROVED SUPPLIERS.

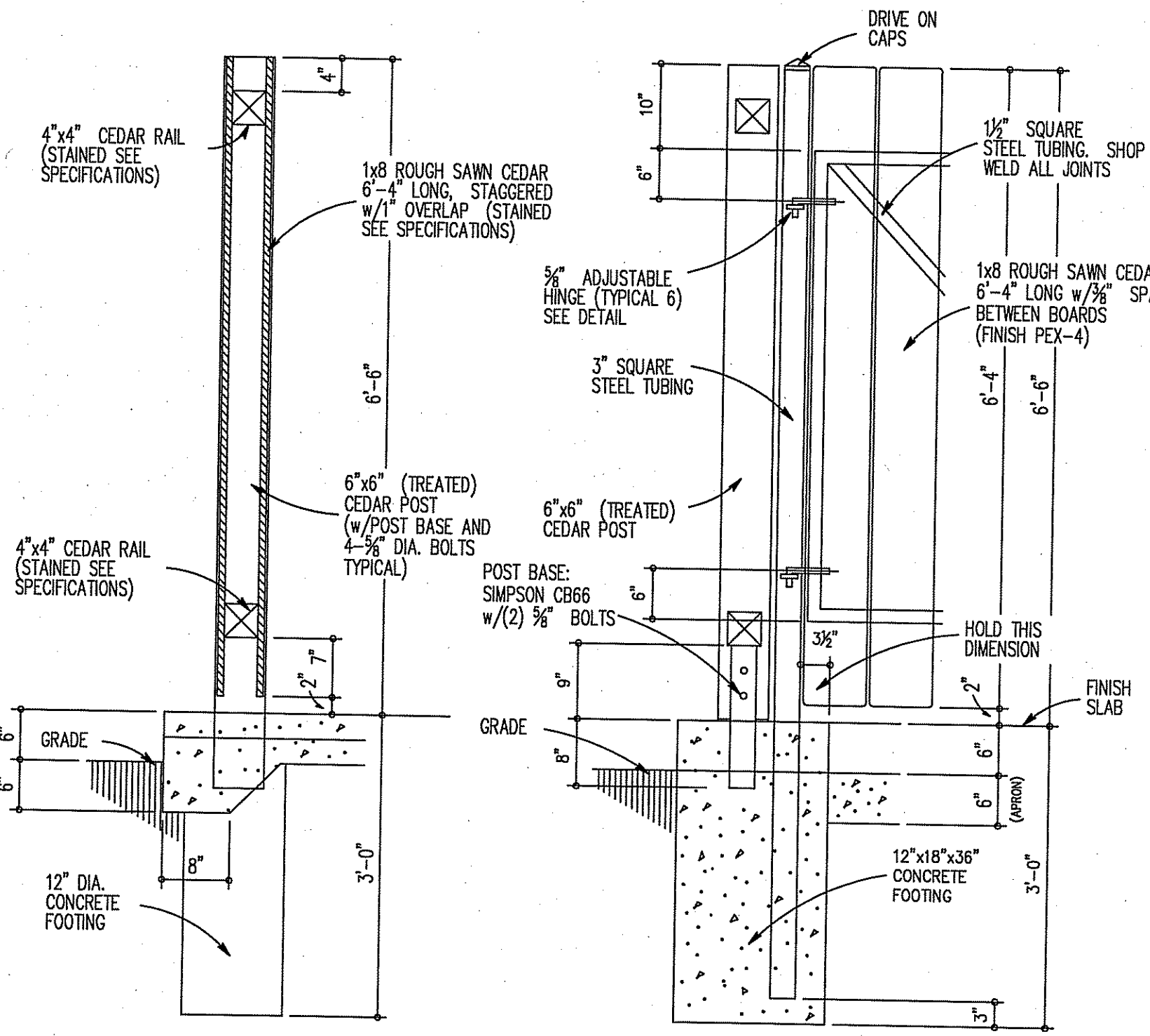
GENERAL NOTE FOR DETAIL SHEET 3:

DETAIL SHEET 3 REFLECTS A COMPILATION OF DETAILS PROVIDED TO DIPRETE ENGINEERING SUPPLIED BY THE WENDY'S CORPORATION DEPENDING STANDARD SITE DETAILS SPECIFIED FOR THE WENDY'S STORE NO. 2012 ULTRA MODERN SEE 2012 NEW BUILDING DESIGN LAYOUT.



EXTERIOR SIGNAGE FOOTER

SCALE: 1" = 1'-0"



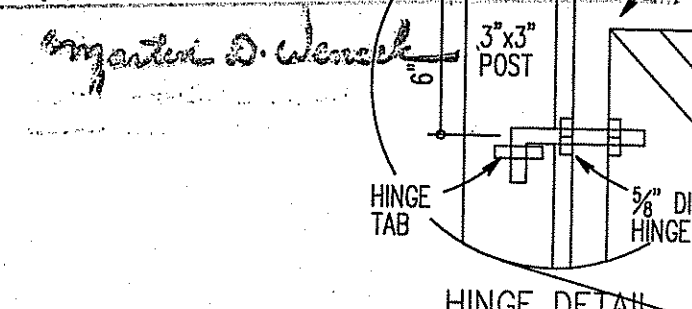
SCALE: 3/4" = 1'-0"

SCALE: 3/4" = 1'-0"

GENERAL NOTES

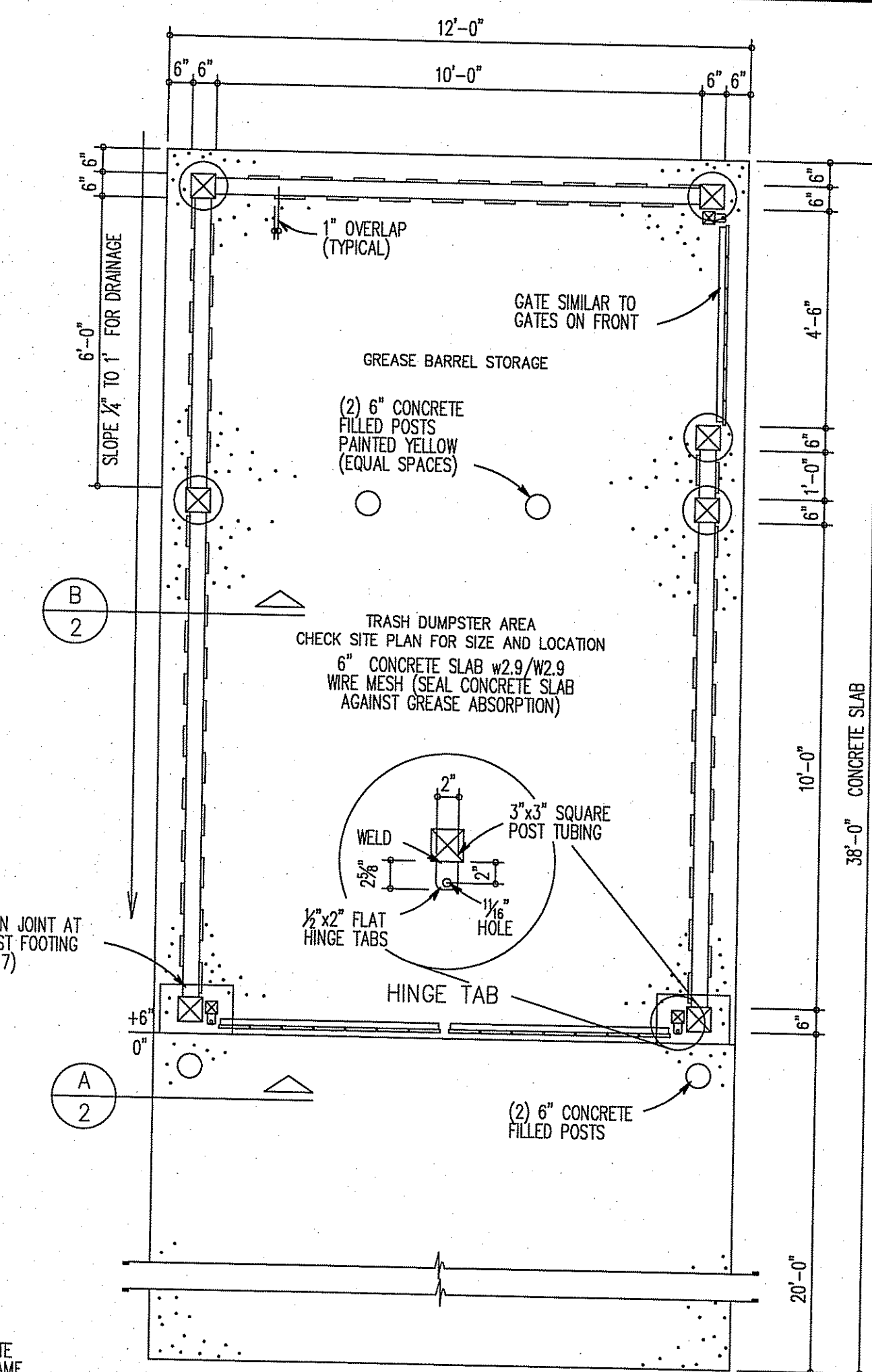
- ALL SIGNS SHALL BE ERECTED IN ACCORDANCE WITH ALL LOCAL CODES AND SOIL CONDITIONS.
- DESIGNS ARE TO BE DETERMINED BY SIGN SUPPLIER (VERIFY LOCAL WIND AND SOIL CONDITIONS).
- ALL PAINTED PAVEMENT MARKERS ARE TO BE SOLID YELLOW AND FURNISHED BY GENERAL CONTRACTOR.
- WHEN UNABLE TO VIEW CARS PLACING ORDERS DIRECTLY FROM PICK-UP WINDOW A 24" CONVEX MIRROR SHALL BE PLACED IN AN APPROPRIATE LOCATION TO VIEW CUSTOMERS AT ORDER STATION.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WELLS AND PROGRAM
APPROVED WITH COMMENTS
AS SPECIFIED BY THE LETTER OF APPROVAL
DATED APR 2 2 2013 FILE # 13-00236
NO CHANGES ALLOWED WITHOUT PERMIT APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



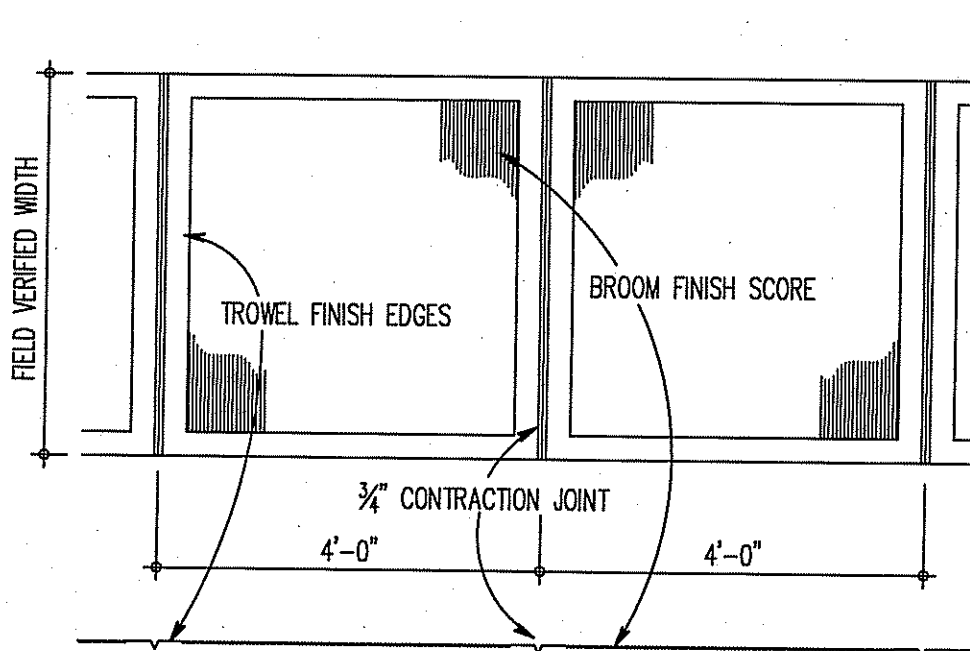
GATE LATCH DETAIL

SCALE: 3" = 1'-0"



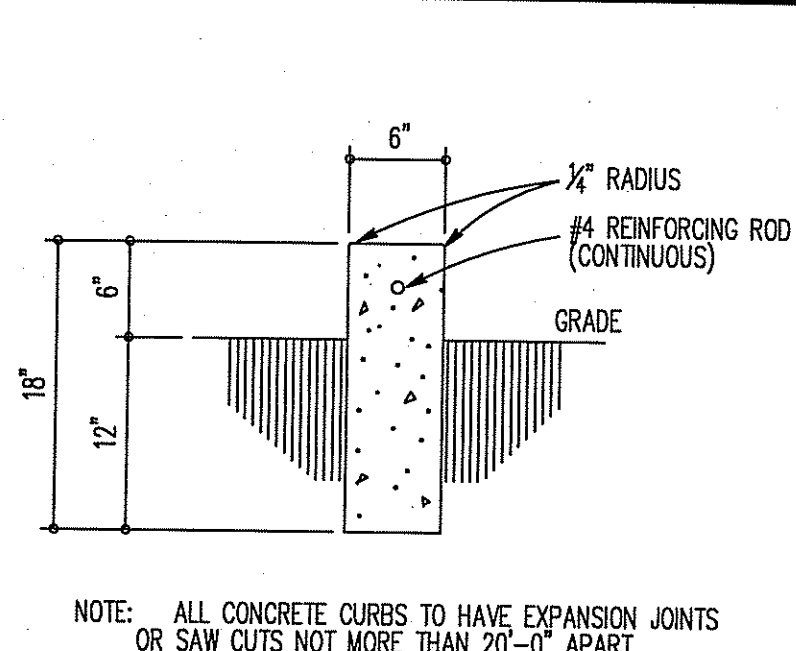
STANDARD TRASH ENCLOSURE PLAN

SCALE: 3/8" = 1'-0"



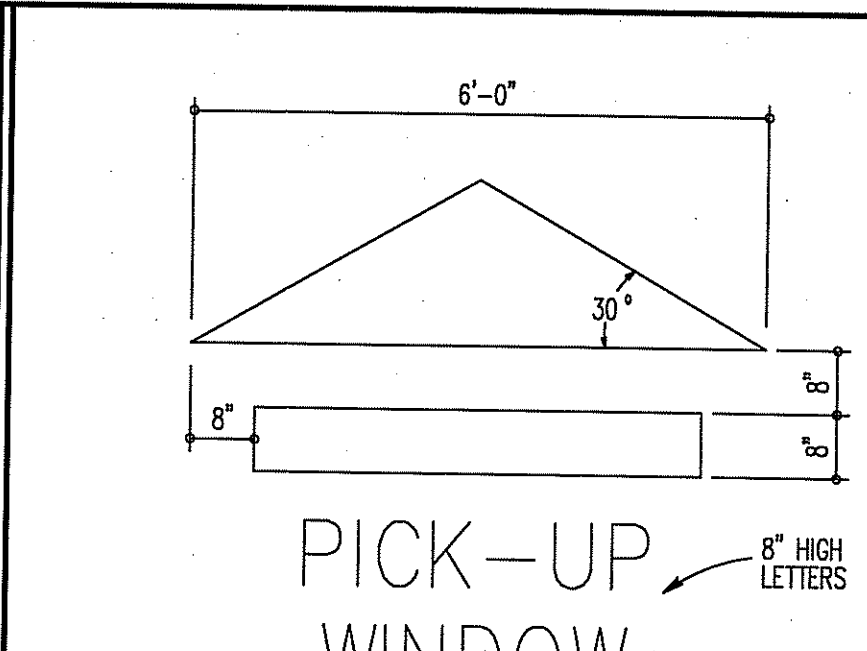
SIDEWALK FINISH DETAIL

NO SCALE



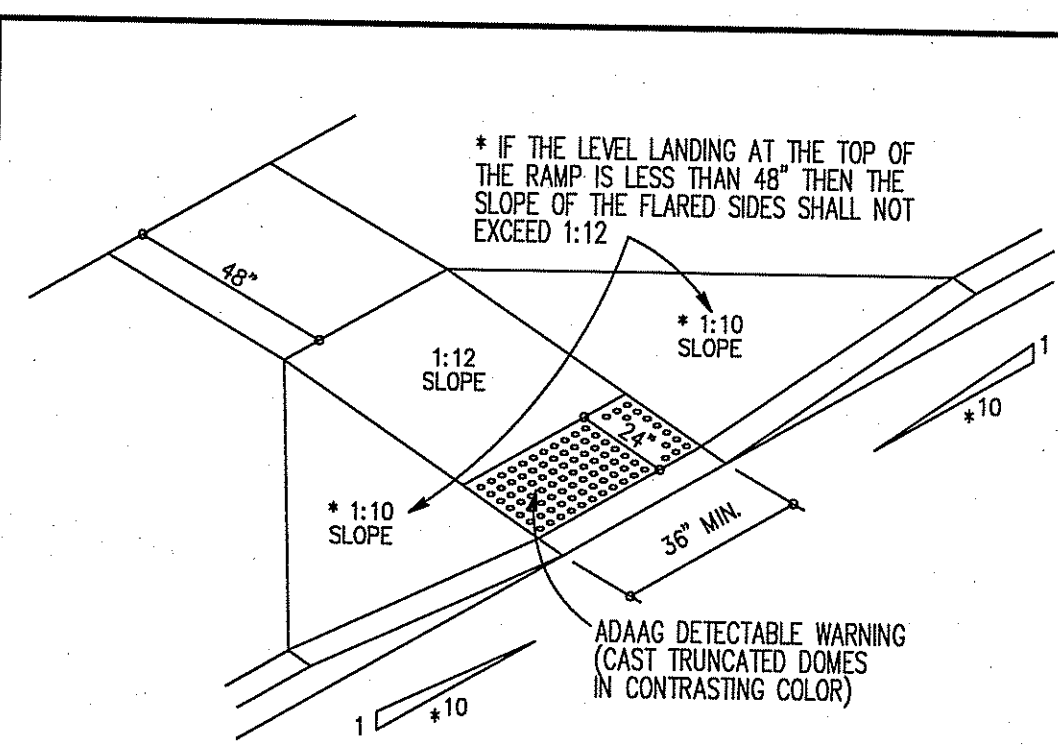
CONCRETE CURB DETAIL

SCALE: 1" = 1'-0"



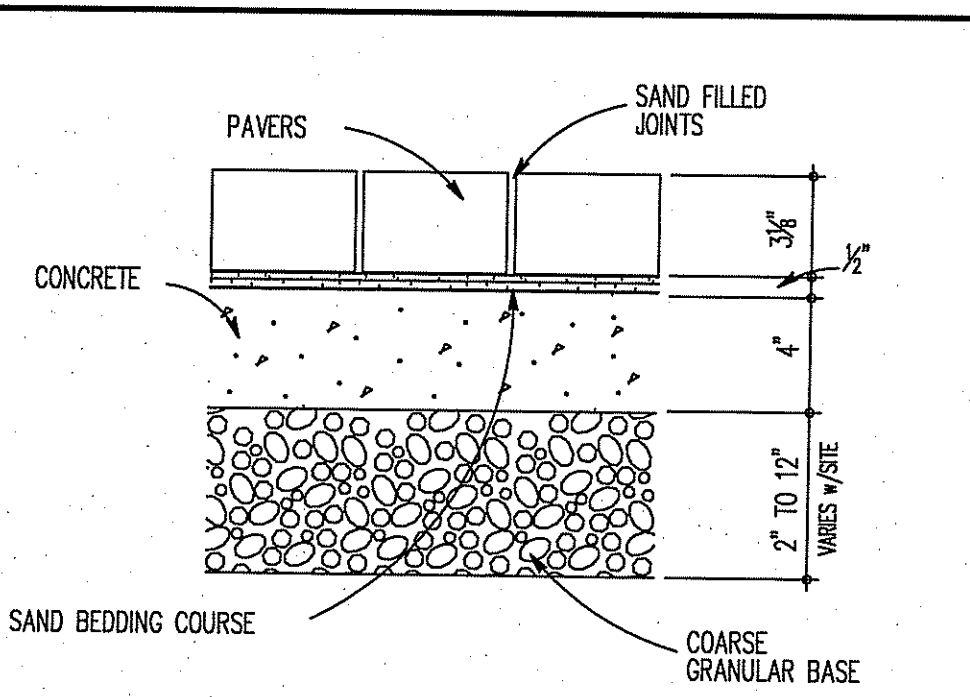
PAVEMENT MARKER DETAILS

SCALE: 1/2" = 1'-0"



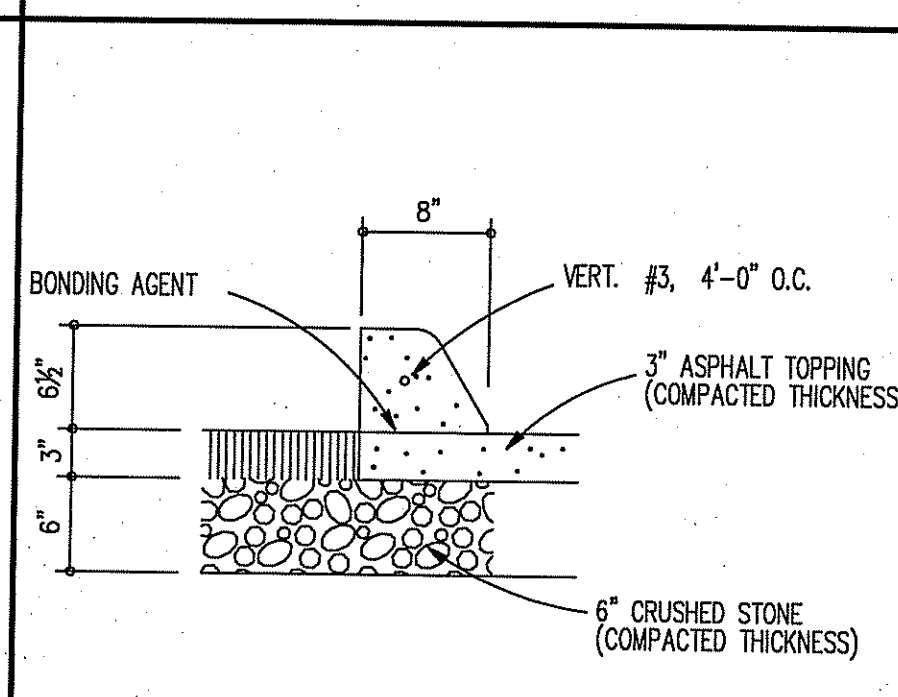
CURB RAMP DETAIL

NO SCALE



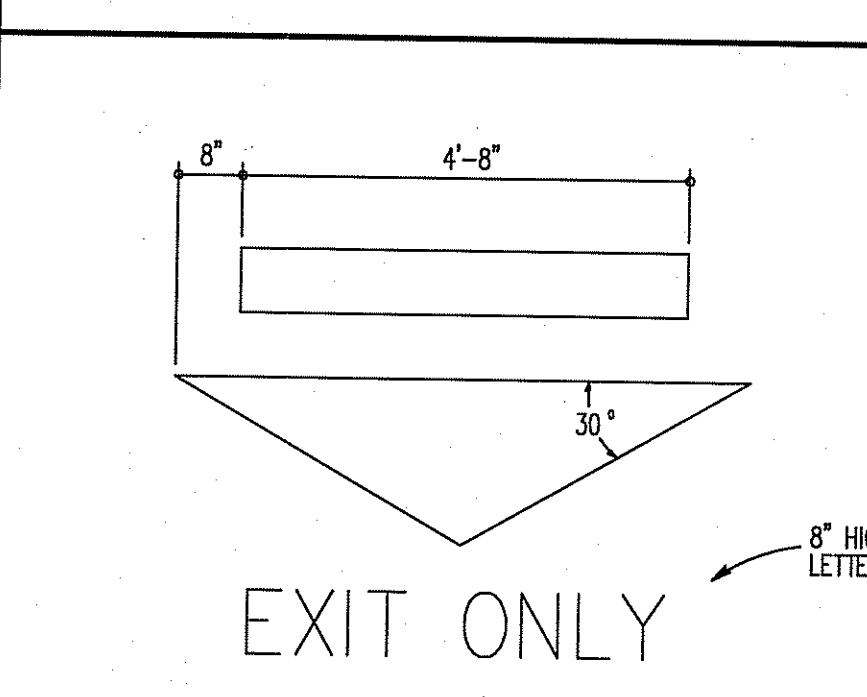
PAVER DETAIL

NO SCALE



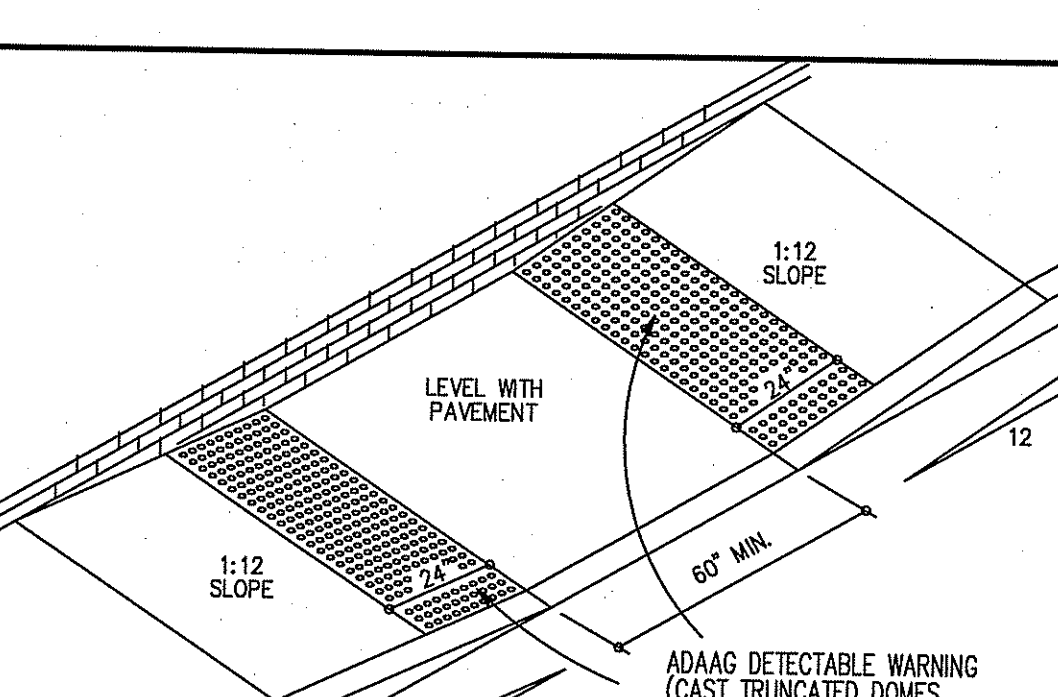
EXTRUDED CURB DETAIL

SCALE: 1" = 1'-0"



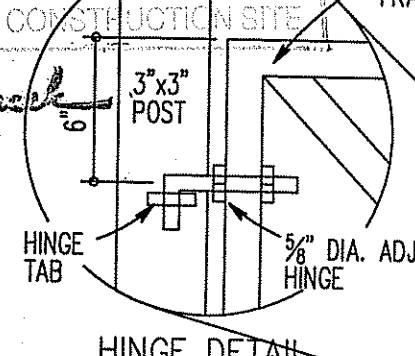
PAVEMENT MARKER DETAILS

SCALE: 1/2" = 1'-0"



SIDEWALK RAMP DETAIL

NO SCALE



GATE LATCH DETAIL

SCALE: 3" = 1'-0"

(1 REQUIRED)

SCALE: 3" = 1'-0"

(2 REQUIRED)

SCALE: 3" = 1'-0"

(2 REQUIRED)

SCALE: 3" = 1'-0"

(2 REQUIRED)

SCALE: 3" = 1'-0"

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(2 REQUIRED)

SCALE: 3" = 1'-0"

(2 REQUIRED)

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
Tel: 401-949-1000 Fax: 401-464-6006 www.DiPrete-Eng.com

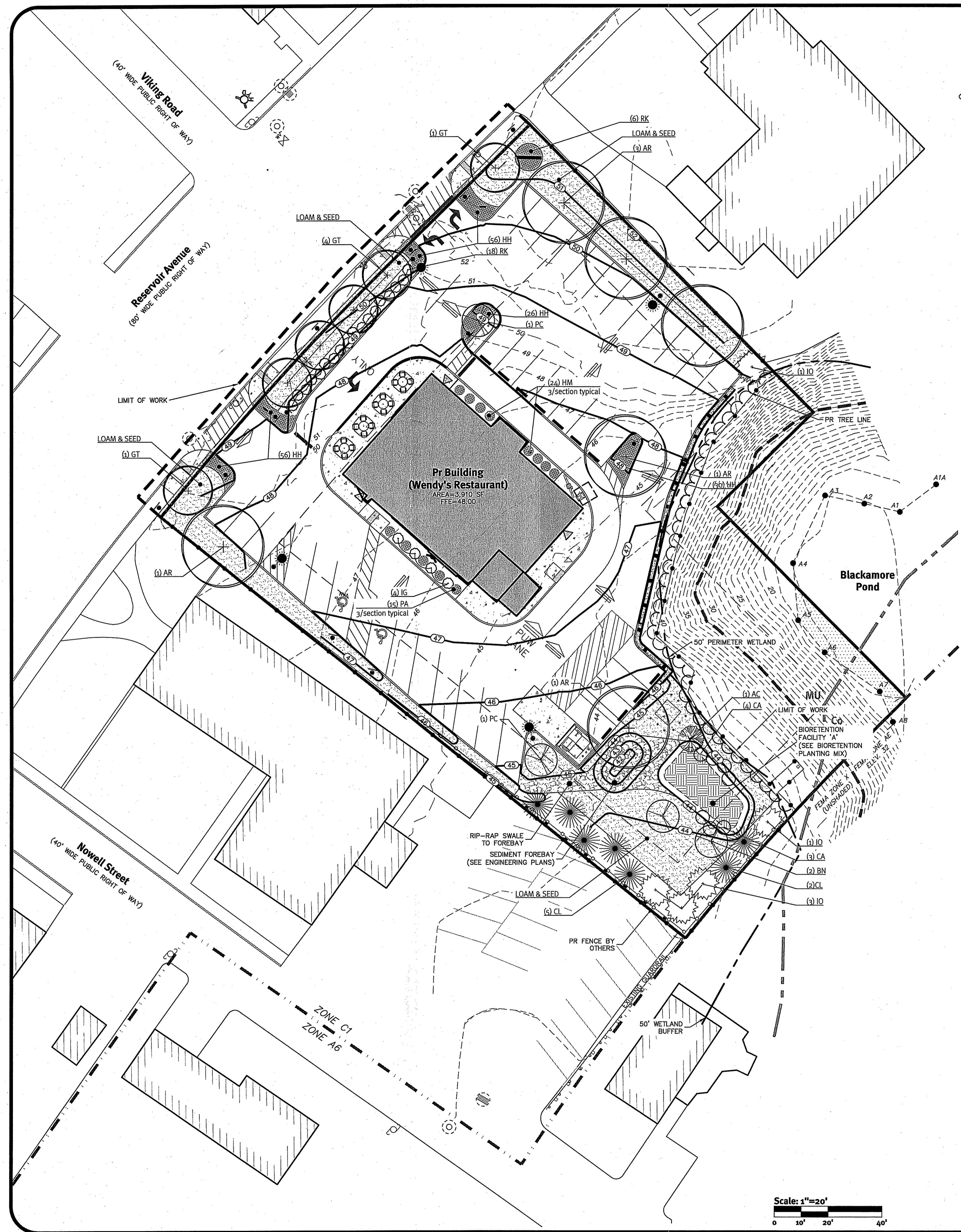
JASON P. CLOUGH
No. 0000000000
REGISTERED PROFESSIONAL ENGINEER
CIVIL

This regulatory submission shall not be used for construction purposes until it is approved for construction and signed by a DiPrete Engineering representative.
The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

By: R.B.S.	Check: R.B.S.
Date: Description	Design By: R.B.S.

Wendy's
Assessor's Plat 9/3 Lots 2899, 2901, & 3361
950 Reservoir Avenue, Cranston, Rhode Island
Applicant: Pricem Investment Corporation (for 2/3 lots 2901 & 3361)
Pricem Real Estate Group (for 1/3 lot 2901)
75 Lambert Loop Highway, Warwick, RI 02886 (Tel: 401-232-2700)
1000 Main Street, Cranston, RI 02910 (Tel: 401-949-1000)

W:\Storage\demain\Projects\0161-331 - Wendy's Reservoir Ave\AutoCAD Drawings\0161-331-LAMP.dwg, 3/13/2013 12:55:28 PM, Jascoc, DWG To PDF.pc3



- General Notes:**
1. SITE INFORMATION TAKEN FROM PLANS PREPARED BY DIPRETE ENGINEERING IN FEBRUARY 2013 FOR PROPOSED WENDY'S AT 950 RESERVOIR AVENUE IN CRANSTON, RHODE ISLAND.
 2. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
 3. CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
 4. ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
 5. PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 6. ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GRADE AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
 7. CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
 8. ALL PLANTS TO RECEIVE A MINIMUM OF TWO (2) INCHES OF MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS.
 9. TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
 10. CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING UNIVERSITY OF RHODE ISLAND SEED MIX NO. 2 OR EQUIVALENT AT A RATE OF 4-5 LBS. PER 1,000 SF.
 11. RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
 12. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.

Post Development Data:

TOTAL SITE AREA:	41,390 SF (0.954 ACRES)
PAVED AREA:	20,579 SF (0.474 ACRES)
BUILDING AREA:	3,910 SF (0.094 ACRES)
LANDSCAPE AREA:	10,193 SF (0.244 ACRES)
WOODED AREA:	6,708 SF (0.154 ACRES)
TOTAL NUMBER OF BUILDINGS:	1

*TAKEN FROM DIPRETE ENGINEERING PLANS AS REFERENCED IN GENERAL NOTE NO. 1

Bioretention Planting Mix

Qty.	Botanical Name	Common Name	Size/ Spacing
30	<i>Aster novae angliae</i>	New England Aster	2" plug @ 12" O.C.
30	<i>Elymus australis</i>	Blue Wild Indigo	2" plug @ 12" O.C.
30	<i>Echinacea purpurea</i>	Purple Coneflower	2" plug @ 12" O.C.
30	<i>Eupatorium purpureum</i>	Joe Pye Weed	2" plug @ 12" O.C.
30	<i>Iris versicolor</i>	Blue Flag	2" plug @ 12" O.C.
30	<i>Schizachyrium scoparium</i>	Little Bluestem Grass	2" plug @ 12" O.C.

- Bioretention Facility Planting Notes**
- BIORETENTION PRACTICES**
1. THE BIORETENTION FACILITIES HAVE BEEN DESIGNED IN ACCORDANCE WITH B.7 BIORETENTION PRACTICES AND B.9.3 RHODE ISLAND LID PRACTICES - ACCEPTABLE BIORETENTION PLANT LIST OF THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, DECEMBER 2010.
 2. THE SURFACE SHALL BE RAKED SMOOTH AFTER THE BIORETENTION FACILITY HAS BEEN CONSTRUCTED PER THE ENGINEERING PLANS AND DETAILS. PLANTS SHALL BE INSTALLED AS INDICATED ON THE LANDSCAPE PLANS.
 3. THE MULCH LAYER SHOULD BE SHREDDED HARDWOOD MULCH THAT IS WELL AGED (STOCKPILED OR STORED FOR AT LEAST SIX (6) MONTHS), UNIFORM IN COLOR AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, SOIL ROOTS, ETC. THE MULCH SHOULD BE APPLIED TO A MAXIMUM DEPTH OF THREE INCHES. GRASS CLIPPINGS SHOULD NOT BE USED AS A MULCH MATERIAL.
 4. BIORETENTION PLANTING MIX SHALL BE PLANTED IN CLUSTERS AND SHALL BE EVENLY DISTRIBUTED SO THAT APPROXIMATELY 1/3 OF THE BOTTOM AND SIDE SLOPES ARE COVERED WITH THE SPECIFIED PLANTS. SEE CIVIL ENGINEERING PLANS FOR FURTHER DETAIL.
 5. PLANT MATERIALS PLANTED IN THE BIORETENTION FACILITY SHALL BE BACKFILLED WITH THE BIORETENTION SOIL AS SHOWN IN ENGINEERING PLANS.
- BIORETENTION MAINTENANCE**
1. THE BIORETENTION FACILITIES SHALL BE MAINTAINED IN ACCORDANCE WITH 5.5 FILTERING SYSTEMS OF THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, DECEMBER 2010 OR MOST RECENT EDITION.
 2. SEE ALSO PLANS PREPARED BY DIPRETE ENGINEERING AS REFERENCED IN GENERAL NOTE NO. 1.

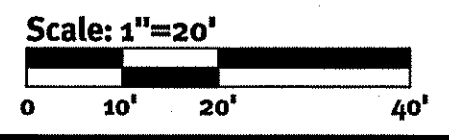
Plant Schedule

Key	Qty.	Botanical Name	Common Name	Size/Cont
AR	6	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	2.5-3" cal. B&B
AC	1	<i>Amelanchier canadensis</i>	Shadblow Amelberry	5/6" B&B stump
BN	2	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	#7 CONT.
CA	7	<i>Clethra alnifolia</i>	Summersweet	#3 CONT.
CL	7	<i>Cupressocyparis x leylandii</i>	Leyland Cypress	5/6" B&B
GT	6	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Thornless Honey Locust	2.5-3" cal. B&B
HH	168	<i>Hemerocallis x 'Happy Returns'</i>	Happy Returns Daylily	#1 CONT.
HM	24	<i>Hakonechloa macra</i> 'Albostriata'	Japanese Forest Grass	#1 CONT.
IG	4	<i>Ilex glabra</i> 'Shamrock'	Shamrock Compacy Inkberry	#5 CONT.
IO	5	<i>Ilex opaca</i> - female	Female American Holly	7/8" B&B
PA	15	<i>Pennisetum alopecuroides</i> 'Little Bunny'	Little Bunny Fountain Grass	#1 CONT.
PC	2	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear	2.5-3" cal. B&B
RW	24	<i>Rosa 'White Knock Out'</i>	White Knock Out Rose	#3 CONT.

- City of Cranston Zoning Code**
17.84.070 Development and Landscaping Design Standards
- C. LANDSCAPE STANDARDS.**
- 1. GENERAL REQUIREMENTS.**
- A. LANDSCAPING SHALL BE PROVIDED AS PART OF SITE PLAN DESIGN. IT SHALL BE CONCEIVED IN A TOTAL PATTERN THROUGHOUT THE SITE, INTEGRATING VARIOUS ELEMENTS OF THE SITE DESIGN, PRESERVING AND ENHANCING THE PARTICULAR IDENTITY OF THE SITE WHERE APPROPRIATE. LANDSCAPING SHALL CONSTITUTE A MINIMUM FIFTEEN (15) PERCENT OF THE ENTIRE SITE.
- REQUIRED LANDSCAPING = 15%
 TOTAL SITE AREA = 41,390 SF
 PROPOSED LANDSCAPE AREA = 10,193 SF
 10,193 SF / 41,390 SF = (0.246) 25%
- 3. SHADE TREES.**
- A. LOCATION. SHADE TREES SHALL BE EITHER PLANTED OR MAINTAINED AT INTERVALS OF NO MORE THAN THIRTY-FIVE (35) FEET ALONG BOTH SIDES OF ALL NEW OR EXISTING STREETS ABUTTING A DEVELOPMENT SITE. IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN, THE SPR COMMITTEE MAY PERMIT SPACING OF TREES AT GREATER INTERVALS WHERE THE APPLICANT DEMONSTRATES TO THE SATISFACTION THAT THE SPR COMMITTEE THAT SUCH SPACING IS NECESSARY FOR THE PRESERVATION OF LARGE EXISTING TREES OR OTHER PLANTING OF LARGE TREE SPECIES.
- FRONTAGE ALONG RESERVOIR AVENUE = 200 LF
 SHADE TREES REQUIRED = 200 LF / 35 = (5.71) 6 REQUIRED
 SHADE TREES PROPOSED ALONG RESERVOIR AVENUE = 6
- C. PLANTING SPECIFICATIONS.** STREET TREES SHALL HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES AT TIME OF PLANTING AND MUST BE NURSERY-GROWN, OF SUBSTANTIALLY UNIFORM SIZE AND SHAPE AND HAVE STRAIGHT TRUNKS. STREET TREES WITH THE EXCEPTION OF ORNAMENTAL TREES, SHALL HAVE OR WILL HAVE, WHEN FULLY MATURE, A MINIMUM CALIPER OF TWELVE (12) INCHES. TREES SHALL BE PROPERLY PLANTED AND STAKED AND PROVISION MADE BY THE DEVELOPER FOR REGULAR WATERING AND MAINTENANCE UNTIL THEY ARE ESTABLISHED. DEAD AND DISEASED TREES SHALL BE REMOVED AND REPLACED BY THE OWNER ON AT LEAST AN ANNUAL BASIS. FAILURE TO PROPERLY MAINTAIN STREET TREES SHALL RESULT IN SUCH WORK BEING PERFORMED BY THE CITY AT THE OWNER'S EXPENSE.
- 4. BUFFERING**
- E. PLANTING SPECIFICATIONS. PLANT MATERIALS SHALL BE SUFFICIENTLY LARGE AND PLANTED IN SUCH A FASHION THAT A YEAR-ROUND EFFECTIVE BUFFER HEIGHT OF AT LEAST EIGHT FEET IN HEIGHT SHALL BE PRODUCED WITHIN THREE GROWING SEASONS. ALL PLANTINGS SHALL BE INSTALLED ACCORDING TO ACCEPTED HORTICULTURAL STANDARDS.
- 5. PARKING AREA LANDSCAPING REQUIREMENTS.**
- A. TREES SHALL BE PLANTED WITHIN THE PLANTING STRIP OR IN SIDEWALK AREAS AS MAY BE APPROPRIATE, AT INTERVALS OF NO MORE THAN THIRTY-FIVE (35) FEET AND SHALL HAVE A MINIMUM CALIPER AT TIME OF PLANTING OF TWO AND ONE-HALF INCHES.
- B. THE INTERIOR OF PARKING AREAS SHALL BE SUITABLY LANDSCAPED WITH TREES, SHRUBS, PLANTS OR OTHER LIVE VEGETATION, IN ADDITION TO THE REQUIRED BUFFER STRIP A MINIMUM OF TEN (10) SQUARE FEET OF LANDSCAPING FOR EACH PARKING SPACE SHALL BE PROVIDED WITHIN ANY OFF-STREET PARKING AREA. EACH ROW OF PARKING SPACES SHALL BE TERMINATED BY LANDSCAPED ISLANDS WHICH MEASURE NOT LESS THAN FIVE FEET IN WIDTH AND NOT LESS THAN EIGHTEEN (18) FEET IN LENGTH. THE INTERIOR OF THE PARKING AREA SHALL INCORPORATE LANDSCAPED AREAS IN APPROPRIATE LOCATIONS IN ORDER TO PREVENT LONG, UNINTERRUPTED ROWS OF PARKING SPACES. SUCH LANDSCAPED ISLANDS MAY BE INCLUDED IN CALCULATING THE REQUIRED LANDSCAPED AREA. MANDATORY TERMINAL ISLANDS SHALL BE SURROUNDED WITH CONTINUOUS RAISED CURBING. INTERIOR ISLANDS AND DIVIDER MEDIANS SHALL BE PROTECTED FROM ENCROACHMENT OF MOTOR VEHICLES IN A MANNER APPROVED BY THE SPR COMMITTEE. PEDESTRIAN PATHS MAY BE INCORPORATED WITHIN THE LANDSCAPED AREA PROVIDED A MINIMUM DIMENSION OF FOUR FEET, EXCLUSIVE OF PAVED AREAS, IS MAINTAINED FOR ALL LANDSCAPED AREAS.
- REQUIRED LANDSCAPING PER PARKING SPACE = 10 SF
 PROPOSED PARKING SPACES = 36
 TOTAL REQUIRED LANDSCAPING = 10 SF X 36 = 360 SF
 TOTAL PROPOSED LANDSCAPING = 652 SF
- C. THE INTERIOR OF PARKING AREAS SHALL BE SHADED BY DECIDUOUS TREES (EITHER RETAINED OR PLANTED BY THE DEVELOPER) THAT HAVE OR WILL HAVE WHEN FULLY MATURE A TRUNK OF AT LEAST TWELVE (12) INCHES IN DIAMETER. THE MINIMUM CALIPER OF NEW TREES AT TIME OF PLANTING SHALL BE AT LEAST TWO AND ONE-HALF INCHES. AT MATURITY, EACH TREE SHALL BE PRESUMED TO SHADE A CIRCULAR AREA HAVING A RADIUS OF FIFTEEN (15) FEET WITH A TRUNK AS THE CENTER AND THERE MUST BE SUFFICIENT TREES SO THAT, USING THIS STANDARD, TWENTY (20) PERCENT OF THE PARKING AREA WILL BE SHADED. TREES SHALL BE LOCATED SO THAT THEY ARE SURROUNDED BY AT LEAST ONE HUNDRED (100) SQUARE FEET OF UNPAVED AREA, WHICH MAY BE COUNTED TOWARDS CALCULATING THE REQUIRED LANDSCAPED AREA. PARKING AREAS SHALL BE LAID OUT AND DETAILED TO PREVENT VEHICLES FROM STRIKING TREES AND TO PROTECT FOR THE HEALTHY GROWTH OF THE SELECTED TREE SPECIES. VEHICLES WILL BE PRESUMED TO HAVE A BODY OVERHANG OF THREE FEET, SIX INCHES.
- MATURE TREE SHADE COVER = (R=15X15 SF)*3.14 = 706.5 SF/ TREE
 PROPOSED PAVED AREA = 20,579 SF
 REQUIRED PARKING AREA TO BE SHADED = 20,579 SF X 0.2 = 4,116 SF
 REQUIRED NUMBER OF TREES = 4,116 SF / 706.5 SF = (5.83) 6 REQUIRED
 PROPOSED NUMBER OF TREES = 6
- TOTAL UNPAVED AREA REQUIRED AROUND ALL TREES = 100 SF X 12 TREES = 1,200 SF
 TOTAL UNPAVED AREA PROPOSED AROUND ALL TREES = 3,631 SF

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 22 2013 FILE # 13-0036
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.



Diprete Engineering
 Two Stafford Court, Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-943-6006 www.Diprete-Eng.com

Engineers • Planners • Surveyors

REGISTERED PROFESSIONAL ENGINEER
 STATE OF RHODE ISLAND
 No. 431

This regulatory submission set shall not be used for construction purposes unless stamped/issued for construction and signed by a Diprete Engineering representative.

The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

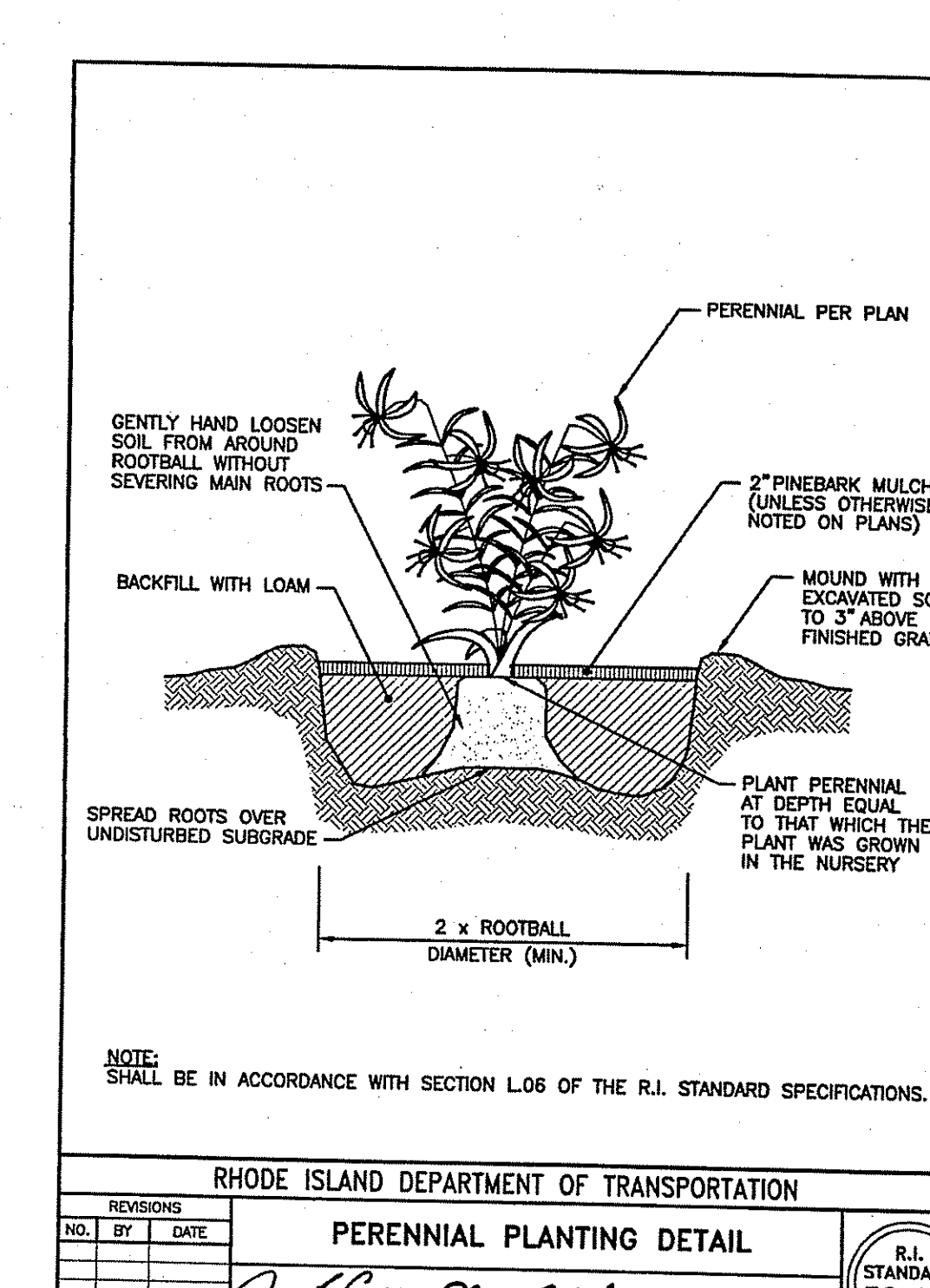
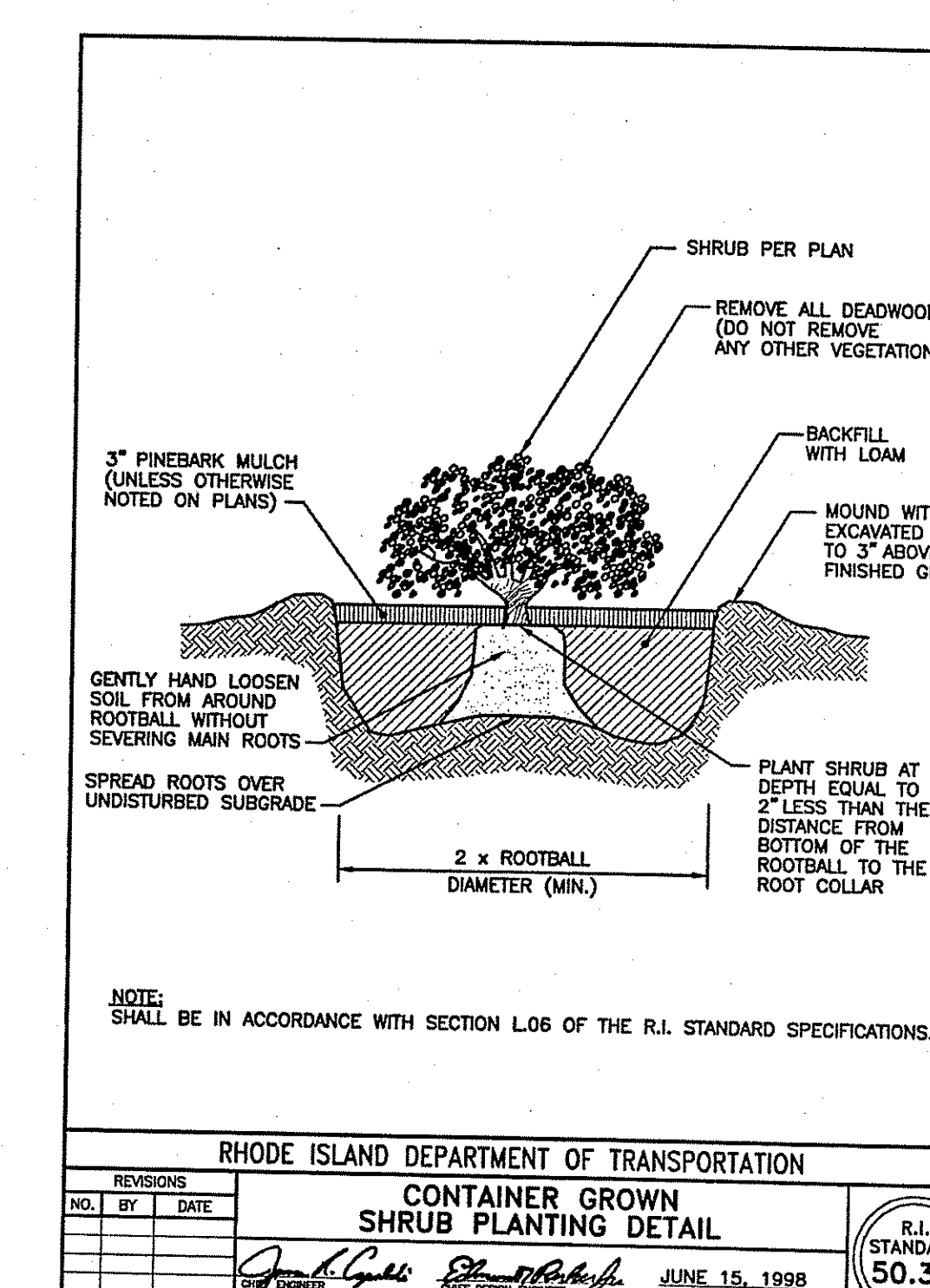
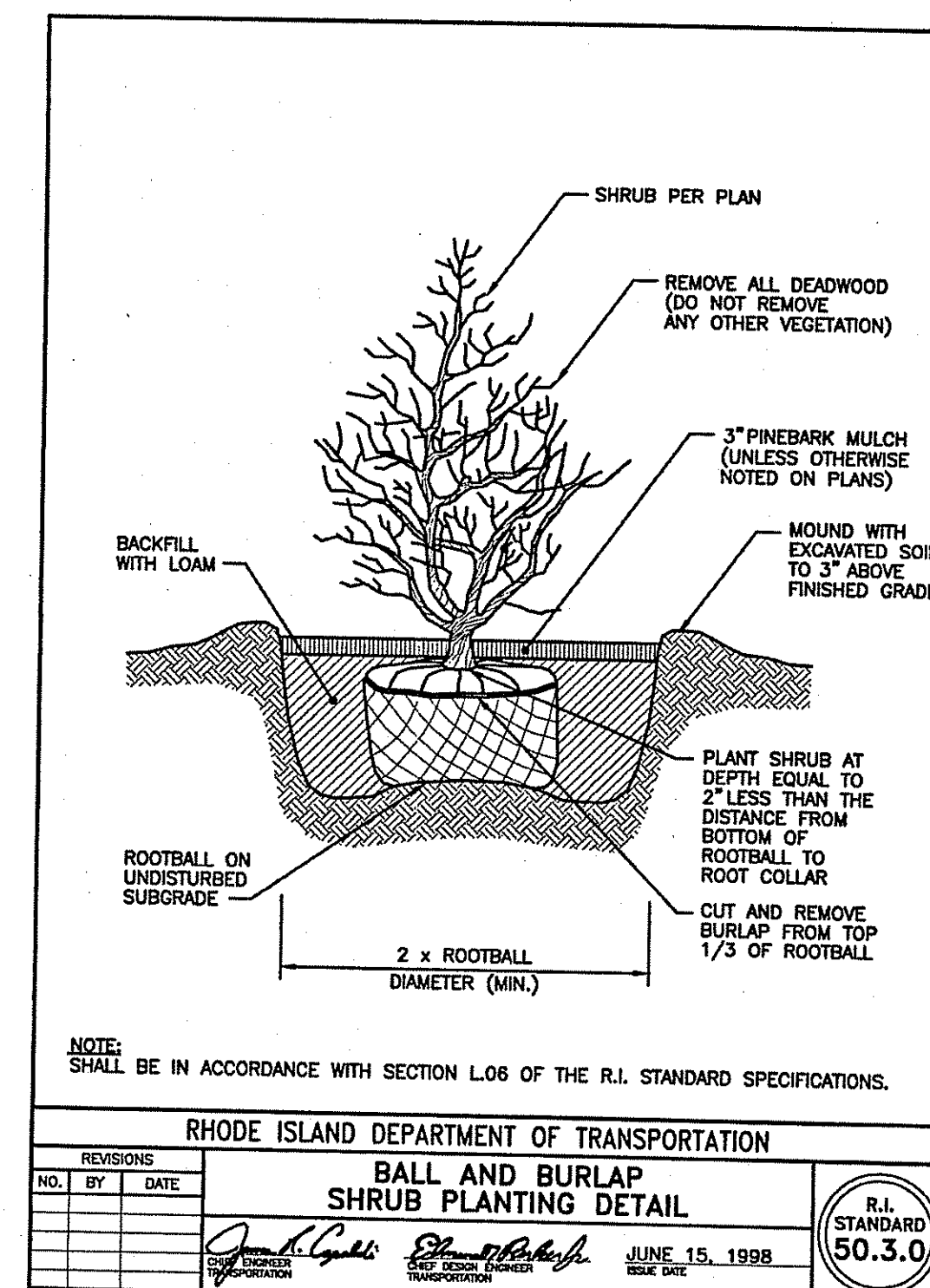
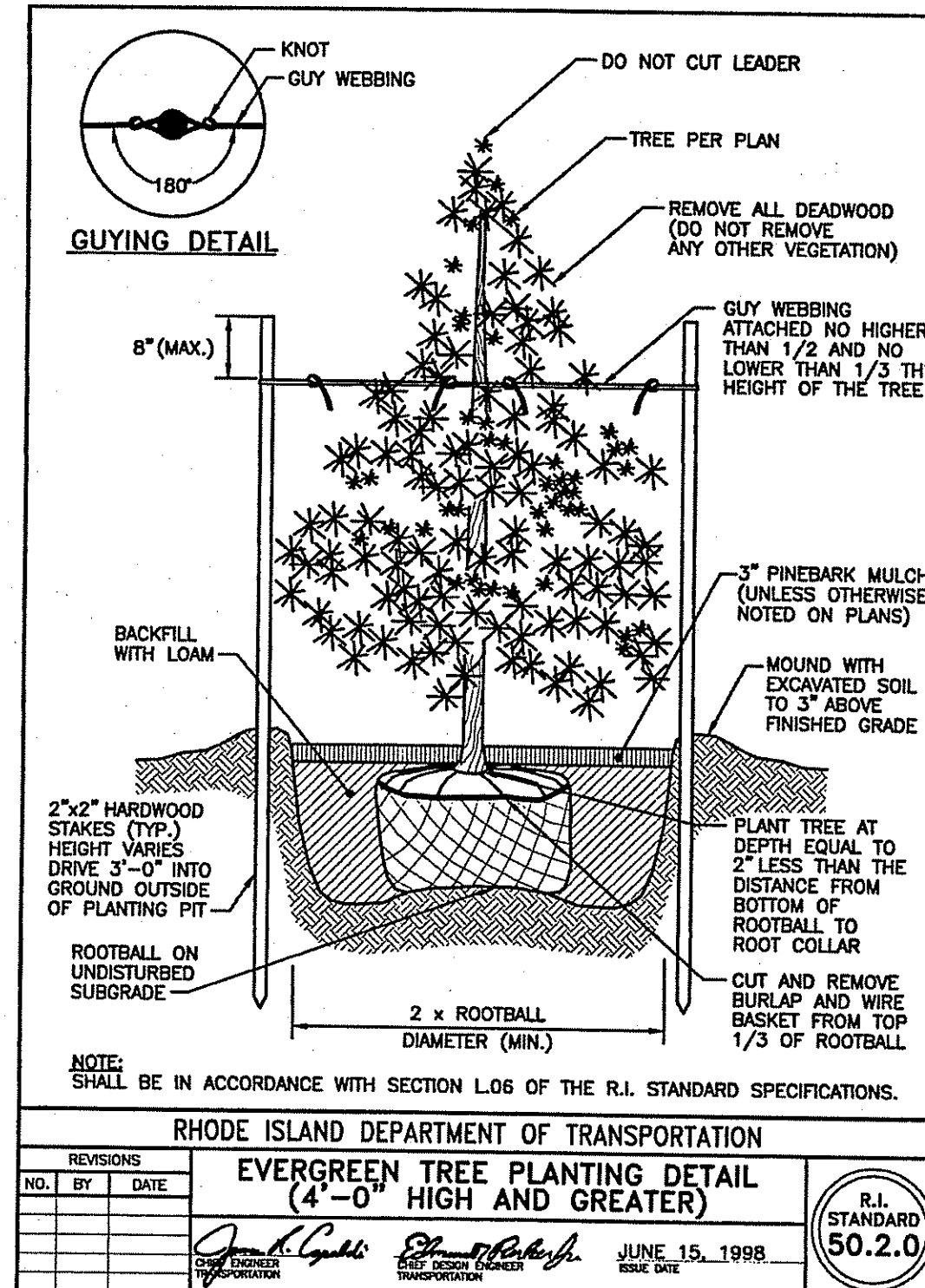
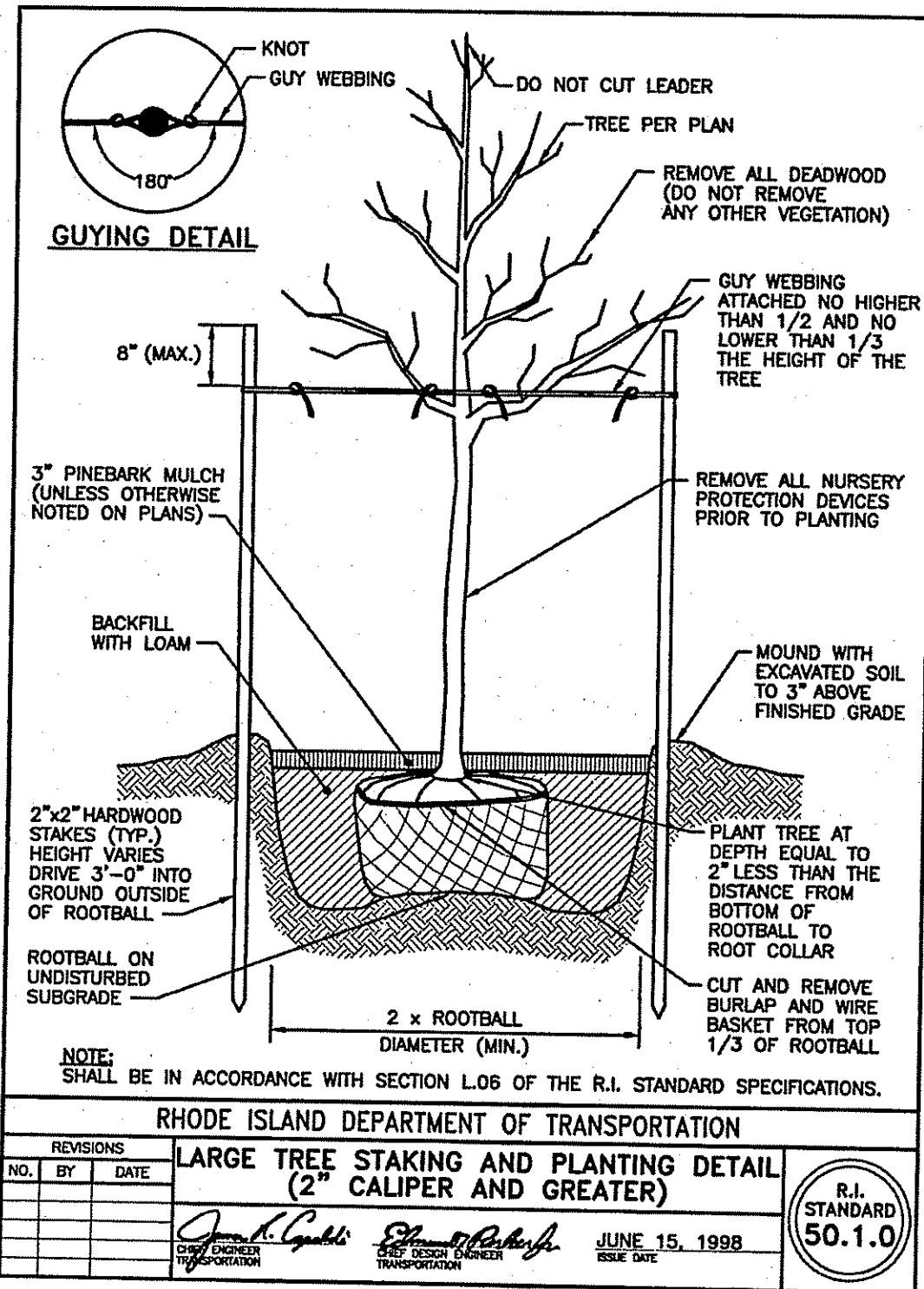
No.	Date	Description	By:
0	03/13/2013	RI&MA Preliminary Determination Pre-Submission	A.C.A.
1		Final	By:
2		Final	By:

Drawn By: A.C.A.
 Design By: A.C.A.

Landscape Plan
Wendy's
 Assessor's Plat: 9/3 Lots 2899, 2901, & 3361
 520 Reservoir Avenue, Cranston, Rhode Island
 P.R. Investment Corporation (AP 9/3 Lots 2900 & 3360)
 & Ronald R. Picerno, Trustee of Ronald R. Picerno
 75 Lambert Line Highway,
 Warwick, RI 02886 | Tel: 401-793-9700
 15 Lambert Line Highway, Warwick, RI 02886 | Tel: 401-793-9700
 (Address Same for Both Owners)

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SHEET 1 OF 2



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS

NO.	BY	DATE

NO. 1 BY DATE
John G. Gault *Shawn P. Kelly*
 JUN 15, 1998
 R.I. STANDARD 50.1.0

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS

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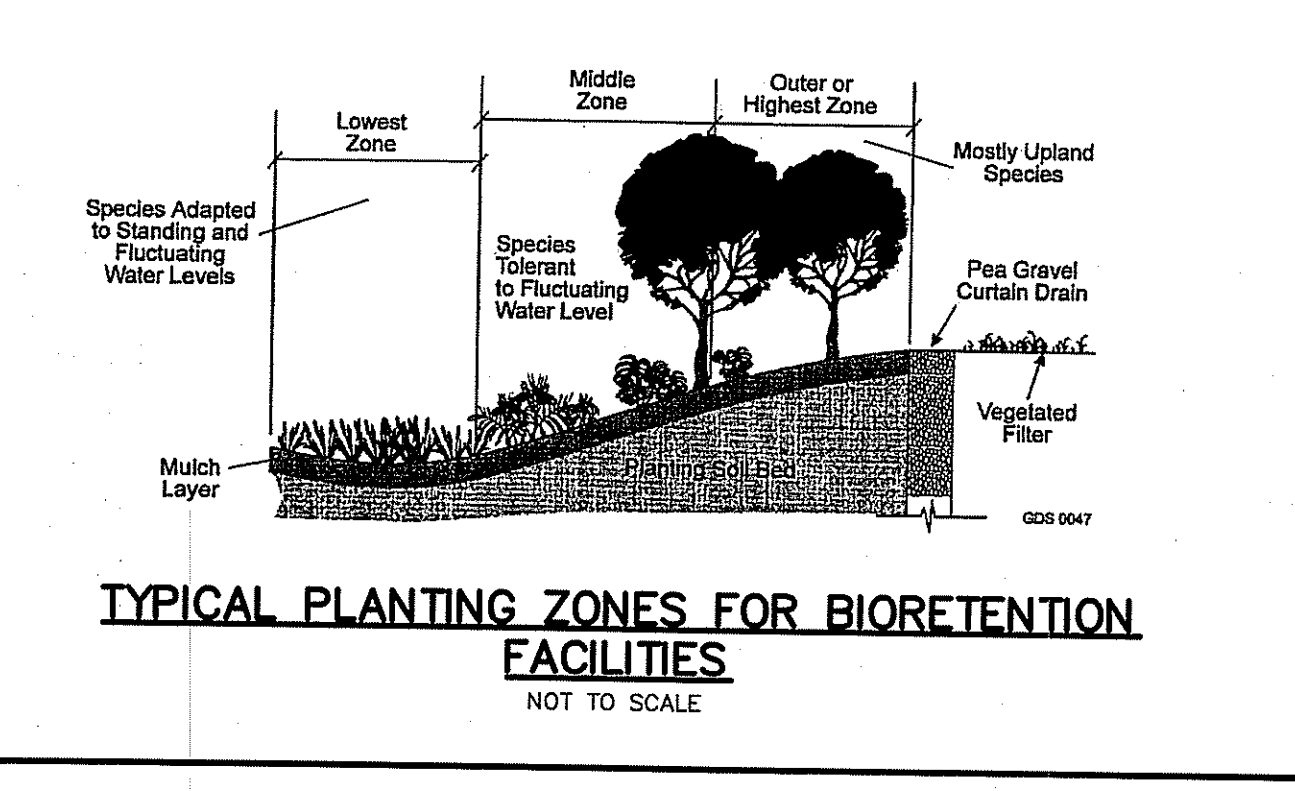
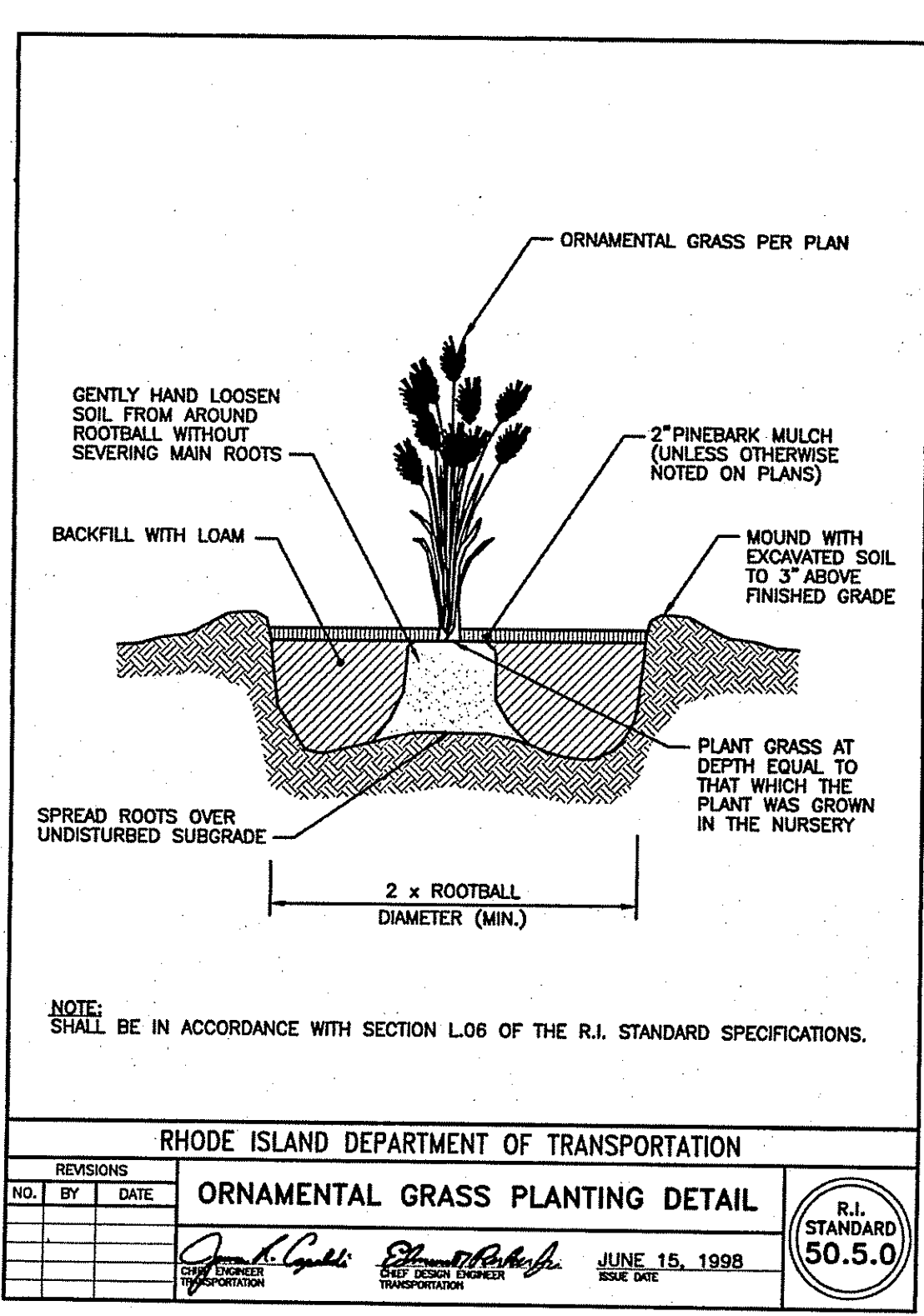
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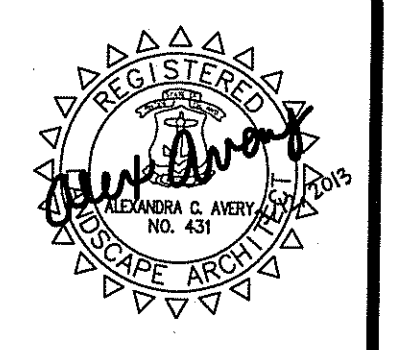
RHODE ISLAND DEPARTMENT OF TRANSPORTATION

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 R.I. STANDARD 50.5.0

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 Tel: 401-943-1000 Fax: 401-664-6006 www.Diprete-Eng.com



This regulatory submission set shall not be used for construction purposes unless stamped/issued for construction and signed by a Diprete Engineering representative.
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA compliance in the implementation of this plan and design.

No.	Date	Description	By:

Drawn By: A.C.A.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 22 2013 FILE # 13-0026
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Myranda D. Wenzel

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

Landscape Detail Sheet 1
Wendy's
 Assessors, 914/3 Lots 2899, 2901, & 3361
 950 Reservoir Avenue, Cranston, Rhode Island
 Applicant: **Picirone Real Estate Group**
 & Ronald R. Picirone, Trustee of Ronald R. Picirone
 Trust, 75 Lambert Road, Warwick, RI 02886
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