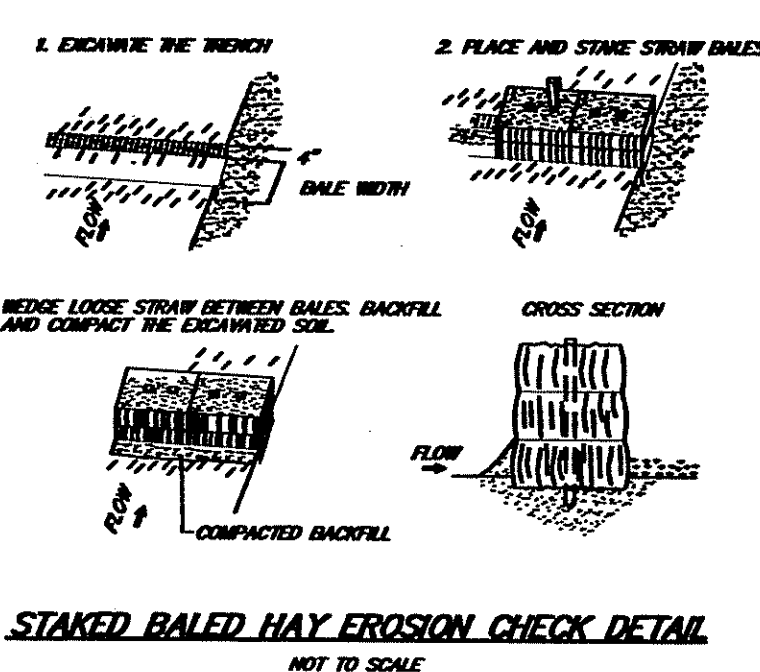
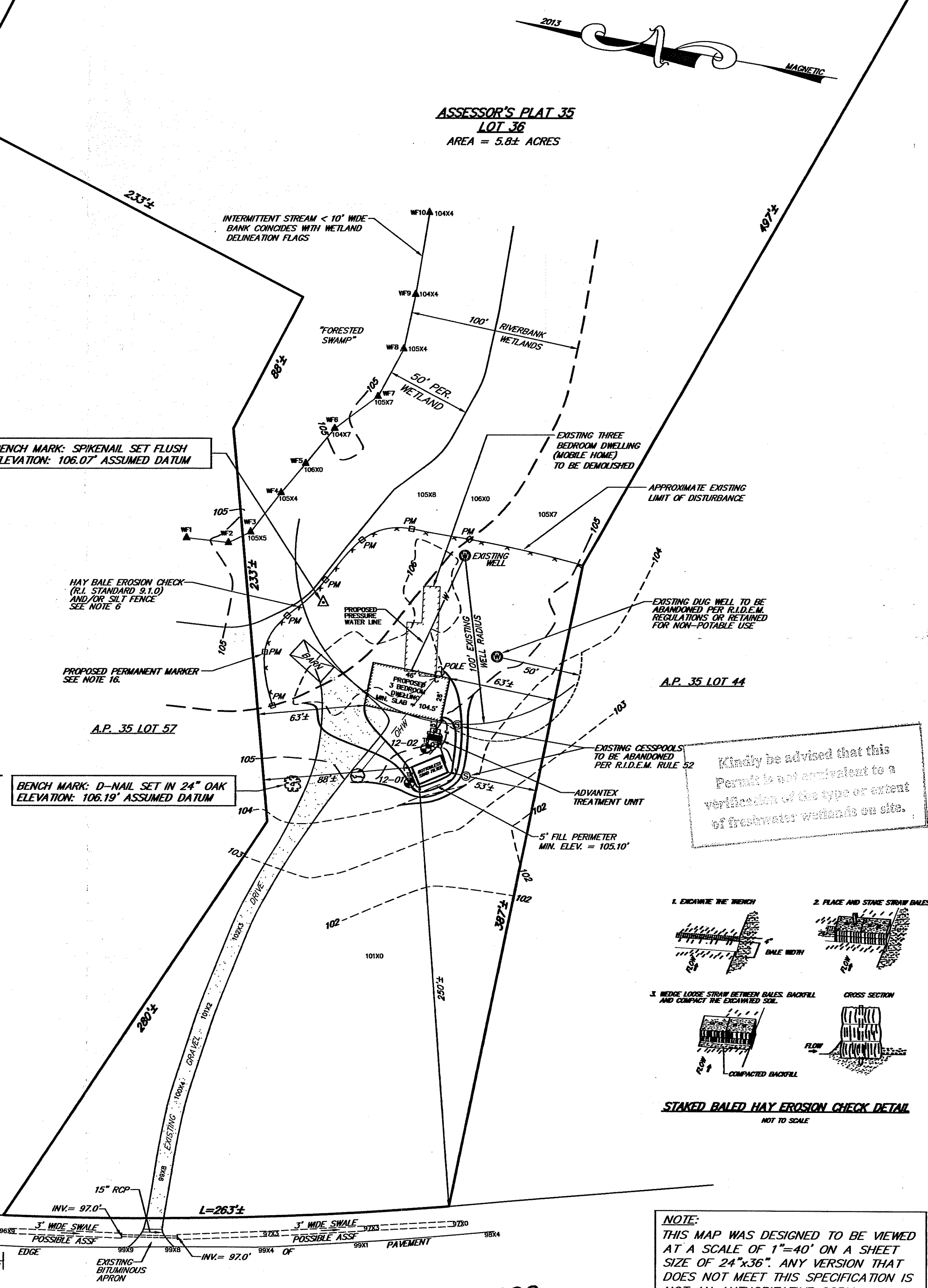


- GENERAL NOTES**
- TOPOGRAPHY AND ELEVATIONS SHOWN ARE FROM AN ON-SITE SURVEY PERFORMED IN FEBRUARY 2013 TO A CLASS II VERTICAL STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THE BENCHMARK FOR THE SURVEY WAS ASSUMED.
  - THE SITE LIES WITHIN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN). REFERENCE F.L.R.M. MAP NUMBER 44007C02600 DATED MARCH 2, 2008.
  - WETLANDS EDGES (FORESTED WETLAND AND STREAM) WERE DELINEATED BY ECOSYSTEM SOLUTIONS, INC. IN JANUARY 2013.
  - REFER TO SOIL EVALUATION APPLICATION #9330-3867 DATED NOVEMBER 14, 2012 FOR WATER TABLE DATA.
  - EXCEPT FOR THE DEPICTED IMPROVEMENTS THE SITE IS ENTIRELY WOODED.
  - HAY BALE EROSION CHECK (R.I. STANDARD 9.1.0) AND/OR SILT FENCE SHALL BE INSTALLED AT ALL LIMITS OF DISTURBANCE PRIOR TO EARTH DISTURBING ACTIVITIES, AND SHALL BE MAINTAINED UNTILL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
  - ALL IMPROVEMENTS SHALL BE ACCURATELY LOCATED AND STAKED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - ALL DISTURBED AREAS SHALL BE STABILIZED WITH 4" LOAM AND SEED OR SOG. PROPOSED SLOPES SHALL BE 3:1 (TYPICAL), 2:1 IN WETLANDS.
  - EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY. DIG SAFE AND APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION FOR ACCURATE UTILITY LOCATIONS.
  - ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF THE R.I.D.E.M. WETLANDS AND O.W.T.S. PERMITS, AND IN COMPLIANCE WITH ALL TOWN REGULATIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
  - ALL EXCESS SOIL, STUMPS, TREES, ROCKS, BOULDERS AND OTHER REFUSE SHALL BE DISCARDED OFF SITE OUTSIDE OF ALL WETLANDS AND WETLANDS SETBACK AREAS UNLESS OTHERWISE SPECIFIED.
  - NO WORK IS ALLOWED WITHIN STATE REGULATED WETLANDS EXCEPT AS SPECIFICALLY SHOWN.
  - THE SITE IS WITHIN THE SCITUATE RESERVOIR WATERSHED CRITICAL RESOURCE AREA.
  - ALL STAGES OF O.W.T.S. CONSTRUCTION MUST BE SUPERVISED BY THE SYSTEM DESIGNER.
  - PRIOR TO COMMENCEMENT OF ANY SITE ALTERATIONS, PERMANENT BUFFER ZONE MARKERS MUST BE INSTALLED ALONG THE LIMIT OF DISTURBANCE AT THE LOCATIONS INDICATED AS "PM" ON THE APPROVED SITE PLANS, IN ORDER TO PROVIDE PERMANENT REFERENCE POINTS ON SITE THAT ARE CLEAR TO PRESENT AND FUTURE PROPERTY OWNERS. A PERMANENT-TYPE TAG OR SIGN LABELED "PERM. BUFFER ZONE" MUST BE PLACED ON EACH MARKER. NO ALTERATIONS OF ANY KIND ARE PERMITTED BEYOND THESE MARKERS WITHOUT FIRST OBTAINING THE NECESSARY PERMIT FROM RIDEM.

- LEGEND**
- A.P. ASSESSOR'S PLAT
  - SQ. FT. SQUARE FEET
  - - - - - EXISTING CONTOUR
  - — — — — PROPOSED CONTOUR
  - ⊙ UTILITY POLE
  - ⊙ SPOT ELEVATION
  - ⊙ CONCRETE SEPTIC COVER
  - ⊙ SOIL EVALUATION TEST HOLES
  - ⊙ EXISTING/PROPOSED WELL
  - W — PROPOSED WATER SERVICE

**HTM GROUND WATER & LEDGE DEPTH TABLE**

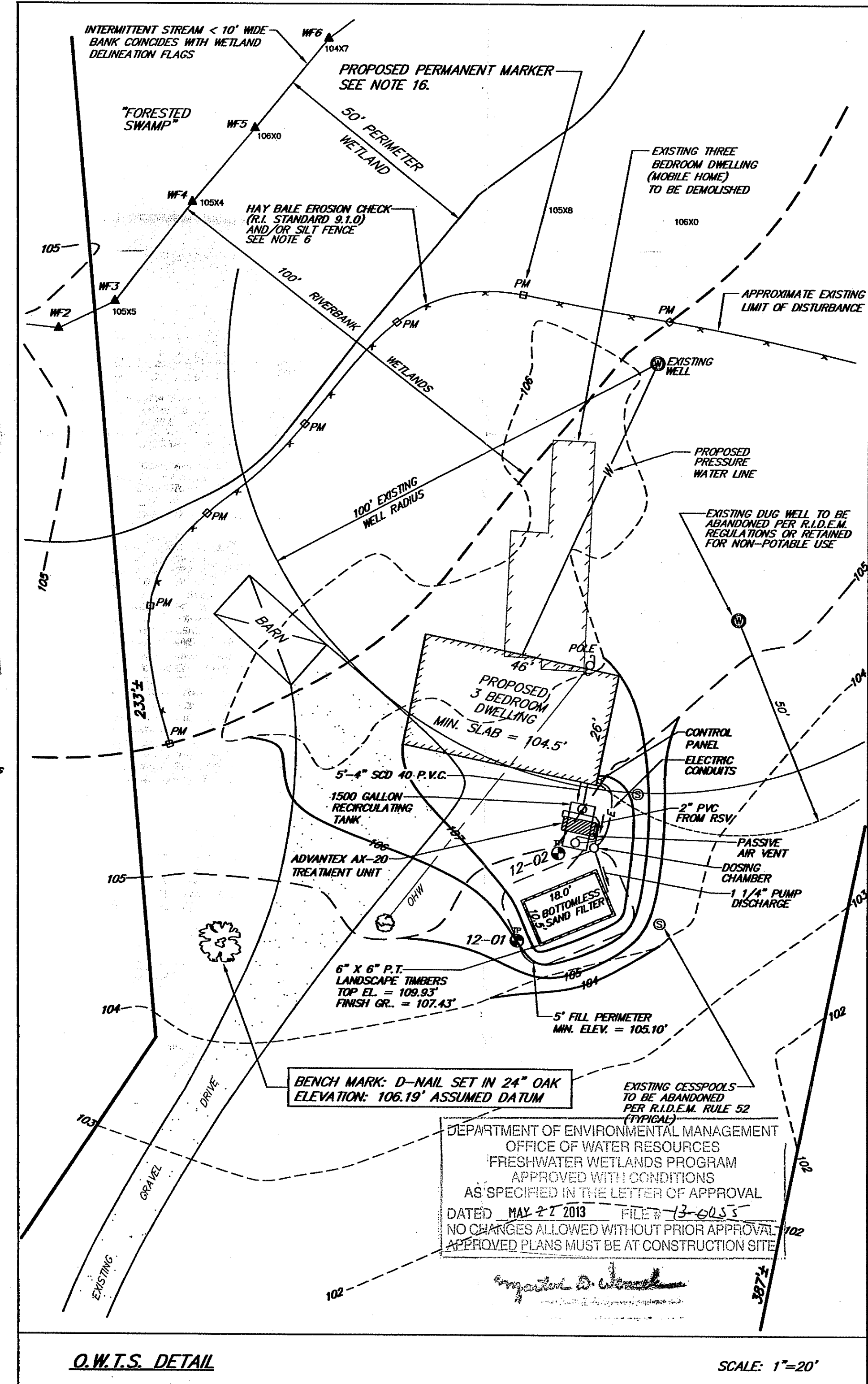
TEST PIT	HTM DEPTH	ORIGINAL GROUND ELEVATION	GROUNDWATER DEPTH	GROUNDWATER ELEVATION	LEDGE DEPTH	LEDGE ELEVATION
12-01	0.5'	103.9'	1.5'	102.4'	8.0'	95.9'
12-02	0.33'	104.6'	1.5'	103.1'	8.0'	96.6'



**NOTE:**  
THIS MAP WAS DESIGNED TO BE VIEWED AT A SCALE OF 1"=40' ON A SHEET SIZE OF 24"x36". ANY VERSION THAT DOES NOT MEET THIS SPECIFICATION IS NOT AN AUTHORITY COPY.

**OWNER/APPLICANT**  
STELLA C. PINGATORE  
C/O DAWN BRAYTON  
347 FOX ROAD  
PUTNAM, CONNECTICUT 06260

- DESIGN AND CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RULES AND REGULATIONS, AS AMENDED.
  - THE TOP OF FOUNDATION ELEVATION SHOWN HAS BEEN DESIGNED FOR O.W.T.S. PURPOSES ONLY. THE OWNER AND/OR CONTRACTOR IS ADVISED TO DETERMINE WHETHER THE BASEMENT FLOOR OF THE PROPOSED DWELLING IS AT OR BELOW THE GROUND WATER TABLE AND, IF SO, RAISE THE FOUNDATION ACCORDINGLY.
  - THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY PROPOSED DEVIATIONS FROM THIS SITE PLAN. THE DESIGNER MUST PERFORM ALL NECESSARY INSPECTIONS, BOTH DURING AND AFTER INSTALLATION, BEFORE ANY COMPONENT OF THE SYSTEM IS COVERED.
  - THE PROPERTY BOUNDARIES SHOWN HEREON HAVE BEEN COMPILED FROM MAPS, DEEDS, AND OTHER SOURCES OF INFORMATION, AND ARE SUBJECT TO SUCH MODIFICATIONS AS AN ACTUAL BOUNDARY SURVEY MAY DISCLOSE. TO THE EXTENT THAT SUCH BOUNDARIES ARE CRITICAL TO THE O.W.T.S. LOCATION, THEY MUST BE ESTABLISHED PRIOR TO CONSTRUCTION.
  - A MINIMUM BUFFER OF 10' SHOULD BE MAINTAINED BETWEEN THE BOTTOMLESS SAND FILTER AND NEIGHBORING TREES AND SHRUBS. IF THE BUFFER CANNOT BE MAINTAINED THEN A ROOT BARRIER FABRIC SHALL BE PLACED BETWEEN THE TREES/SHRUBS AND THE SAND FILTER.
  - THE EXCAVATION SHALL BE LEVEL AND SCARIFIED.
  - ALL TOPSOIL AND SUBSOIL WITHIN A 5' PERIMETER OF THE SYSTEM SHALL BE STRIPPED AND BACKFILLED WITH FILTER SAND. EXCAVATION INTO IMPERVIOUS MATERIAL IS PROHIBITED UNLESS OTHERWISE APPROVED BY THE DIRECTOR.
  - MAINTAIN TRENCH INVERT ELEVATION FOR 5' BEYOND THE PERIMETER OF THE LEACHING FIELD. THE ADJACENT SIDE SLOPE SHALL NOT BE STEEPER THAN 3:1 FOR A 25' MIN. DISTANCE FROM THE EDGE OF LEACH FIELD. MAINTAIN 5' TO PROPERTY LINE FROM TOE OF 3:1 SIDE SLOPE.
  - INSTALL CAST IRON PIPE OR EQUIVALENT FROM THE FOUNDATION TO THE SEPTIC TANK. ALL OTHER PIPES MUST BE SDR 35 P.V.C. OR EQUIVALENT. ALL PIPING SHALL BE INSTALLED AT CONTINUOUS SLOPE WITH NO SAGS OR HIGH POINTS. ALL MANHOLES TO GRADE SHALL HAVE GASKETED WATERTIGHT COVERS AND THE SURFACE SHALL BE GRADED TO DRAIN AWAY FROM THE MANHOLES.
  - SUBSURFACE DRAINS AND WATER SUPPLY LINE TO BE INSTALLED IN CONFORMANCE WITH DISTANCES SPECIFIED IN TABLE 22.1.
  - ALL KNOWN EXISTING AND PROPOSED PUBLIC WATER SUPPLY WELLS WITHIN 500' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED PRIVATE WELLS WITHIN 200' OF THE SYSTEM ARE SHOWN; ALL KNOWN EXISTING AND PROPOSED SEPTIC SYSTEMS WITHIN 100' OF THE WELL ARE SHOWN.
  - ALL WORK MUST CONFORM TO THE REQUIREMENTS OF OTHER EXISTING PERMITS, IF ANY.
  - WITH RESPECT TO MUNICIPAL ZONING REQUIREMENTS, THE DESIGNER HAS MADE A REASONABLE EFFORT TO ASCERTAIN THE APPLICABLE DIMENSIONAL SETBACKS AND OTHER CONSTRAINTS TO DEVELOPMENT. HOWEVER, TO THE POSSIBILITY OF UNRECORDED VARIANCES, NON-COMFORMING USES, AND OTHER RELEVANT DOCUMENTS, IT REMAINS THE RESPONSIBILITY OF THE OWNER TO VERIFY THAT THIS DESIGN SATISFIES LOCAL CODES.
  - ALL STAGES OF CONSTRUCTION MUST BE SUPERVISED BY THE DESIGNER OF RECORD. UNLESS WAIVED BY THE DESIGNER, ALL IMPROVEMENTS MUST BE STAKED BY THE DESIGNER OR HIS AGENTS PRIOR TO CONSTRUCTION. THESE INCLUDE THE O.W.T.S., FOUNDATION, WELL, EROSION CONTROLS, CLEARING LIMITS AND ANY OTHER FEATURES DEEMED CRITICAL TO THE DESIGN.



APR - 2 2013

**SCITUATE SURVEYS, INC.**

410 TIOGUE AVENUE  
COVENTRY, RHODE ISLAND 02816  
401.821.8101

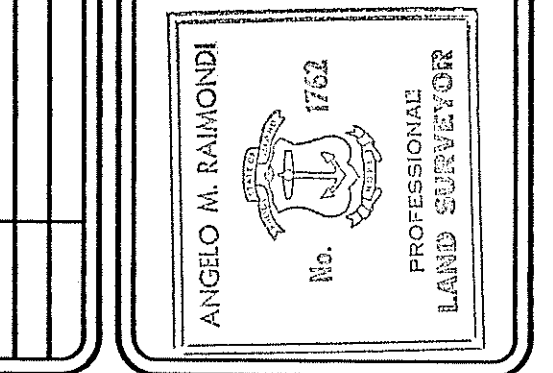
LAND SURVEYING/MAPPING/SITE PLANNING

SCALE IN FEET: 0 20 40 60 80 100 120

FOR STREET AND ROAD INDEX FILE UNDER:  
CHOPMIST HILL ROAD-ROUTE 102

THIS DATA COLLECTION SURVEY AND PLAN CONFORM TO A CLASS III MEASUREMENT STANDARD AS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BY: *Angela M. Rainaldi*  
ANGELA M. RAINALDI  
PROFESSIONAL LAND SURVEYOR



PLAN SHOWING  
PROPOSED IMPROVEMENTS TO  
**ASSESSOR'S PLAT 35 LOT 36**  
#1228 CHOPMIST HILL ROAD ~ ROUTE 102  
SCITUATE RHODE ISLAND  
PREPARED FOR: STELLA C. PINGATORE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED MAY 27 2013 FILE# 13-0253  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

DATE: MARCH 11, 2013 REVISION:  
SCALE: 1"=40'

PROJECT NO.: SS2536 SHEET 1 OF 1  
DRAWING NO.: SS3949