

LOCUS
NOT TO SCALE

- GENERAL NOTES:**
1. THE PARCEL IS PLAT 24, LOT 418.
 2. THE TOTAL PARCEL AREA IS 36,158 S.F. OR 0.8301 ACRES.
 3. THE AREA IS ZONED: R-1.
MINIMUM LOT AREA = 25,000 S.F.
MINIMUM LOT FRONTAGE = 100 FEET
MINIMUM BUILDING SETBACKS:
FRONT YARD = 20 FEET
SIDE YARD = 10 FEET
REAR YARD = 25 FEET
MAXIMUM LOT COVERAGE = 20%
MAXIMUM BUILDING HEIGHT = 35 FEET

- GENERAL CONTRACTOR'S NOTES:**
1. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE TAKEN FROM EXISTING FIELD LOCATION AND/OR EXISTING PLANS.
 2. NO EXCAVATION IS TO OCCUR UNTIL "DIG SAFE" AND ALL APPROPRIATE UTILITY COMPANIES HAVE BEEN NOTIFIED AND MARKED THE EXACT LOCATION ON THE GROUND.
 4. THE SEWER LATERAL, PUMP BASIN AND PRESSURE LINE NEEDS TO BE FLUSHED PRIOR TO TIE-IN.

- WATER NOTES:**
1. THE BEDDING FOR THE PROPOSED WATER SERVICE SHALL BE SAND, 8" AROUND THE SERVICE. IN AREAS OF LEDGE, THE SAND WILL BE 12" AROUND THE SERVICE.
 2. THE PROPOSED WATER SERVICE IS TO BE 1" TYPE K COPPER TUBING.

- SEWER NOTES:**
1. THE BEDDING FOR THE PROPOSED SEWER LATERAL SHALL BE CLEAN COARSE SAND, 8" AROUND THE SERVICE.
 2. THE PROPOSED SEWER LATERAL SHALL BE 2" SCHD40 PRESSURE RATED PVC PIPING WITH GLUED JOINTS.
 3. NO BENDS GREATER THAN 22 1/2' SHALL BE USED IN THE BUILDING SEWER FROM THE FOUNDATION TO THE PROPOSED ENVIRONMENTAL ONE PUMP BASIN. THE BENDS IN THE PROPOSED FORCE MAIN ARE TO MEET ENVIRONMENTAL ONE MANUFACTURER'S SPECIFICATIONS.
 4. THE PROPOSED ENVIRONMENTAL ONE PUMP BASIN IS TO BE DESIGNED BY MANUFACTURER TO MEET ALL TOWN OF CUMBERLAND REGULATIONS.
 5. AFTER THE ENVIRONMENTAL ONE PUMP IS CONNECTED, THE PUMP BASIN AND PIPING SHOULD BE FILLED, ENERGIZED AND INSPECTED FOR LEAKS BEFORE BACKFILLING THE PRESSURE LINES AND CONNECTIONS.

- SOIL EROSION AND SEDIMENTATION CONTROL NOTES:**
1. THE CONTRACTOR IS TO HAVE THE SILT FENCE INSTALLED BEFORE THE START OF ANY CONSTRUCTION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SILT FENCE THROUGHOUT CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE SILT FENCE AFTER ALL STORM EVENTS AND REPAIR THE EROSION CONTROL MEASURES AS NEEDED.
 4. ALL AREAS ON SITE NOT TO BE TREATED (ie: BUILDING, PAVEMENT, WALKWAYS, ETC.) ARE TO BE LOAMED AND SEEDING WITH A CONSERVATIVE GRASS SEED MIXTURE AS SOON AS POSSIBLE.
 5. THE EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN REVEGETATED AND FULLY ESTABLISHED.

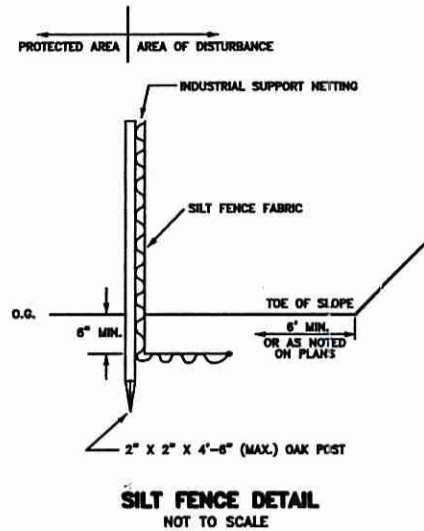
- RAIN GARDEN #1 CALCULATIONS:**
RAIN GARDEN SIZING CALCULATION PER RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT - TABLE 8: RAIN GARDEN SIZING
- * RAIN GARDEN DEPTH = 8 INCHES
 - * IMPERVIOUS DWELLING AREA = 1,800 S.F.
 - * SOIL TYPE: SILTY SOILS = 0.16 SIZING FACTOR
 - * 1,800 S.F. X 0.16 = 288 S.F. NEEDED
 - * PROPOSED RAIN GARDEN BOTTOM AREA = 300 S.F.

- RAIN GARDEN #2 CALCULATIONS:**
RAIN GARDEN SIZING CALCULATION PER RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE DOCUMENT FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT - TABLE 8: RAIN GARDEN SIZING
- * RAIN GARDEN DEPTH = 8 INCHES
 - * IMPERVIOUS DRIVEWAY AREA = 900 S.F.
 - * SOIL TYPE: SILTY SOILS = 0.16 SIZING FACTOR
 - * 900 S.F. X 0.16 = 144 S.F. NEEDED
 - * PROPOSED RAIN GARDEN BOTTOM AREA = 150 S.F.

- RAIN GARDEN NOTES:**
1. RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO (2) PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING PLANT GROWTH AND SURVIVAL. PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON.
 2. SILT/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATED SEDIMENT EXCEEDS ONE (1) INCH, OR WHEN WATER PONDS FOR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND REPLACED WITH FRESH SOIL MIXTURE AND MULCH.
 3. PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
 4. SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
 5. FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
 6. PERENNIAL PLANTS AND GROUND COVERS SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.
 7. THE PROPOSED PLANTINGS FOR THE RAIN GARDEN ARE SUGGESTED PLANTINGS. OTHER SUITABLE NATIVE PLANTS MAY BE USED IN THE RAIN GARDEN IN ACCORDANCE WITH THE RHODE ISLAND COASTAL PLANT GUIDE, WHICH IS LOCATED AT WWW.URI.EDU/CELS/CEOC/COASTALPLANTS/COASTALPLANTGUIDE.HTM.

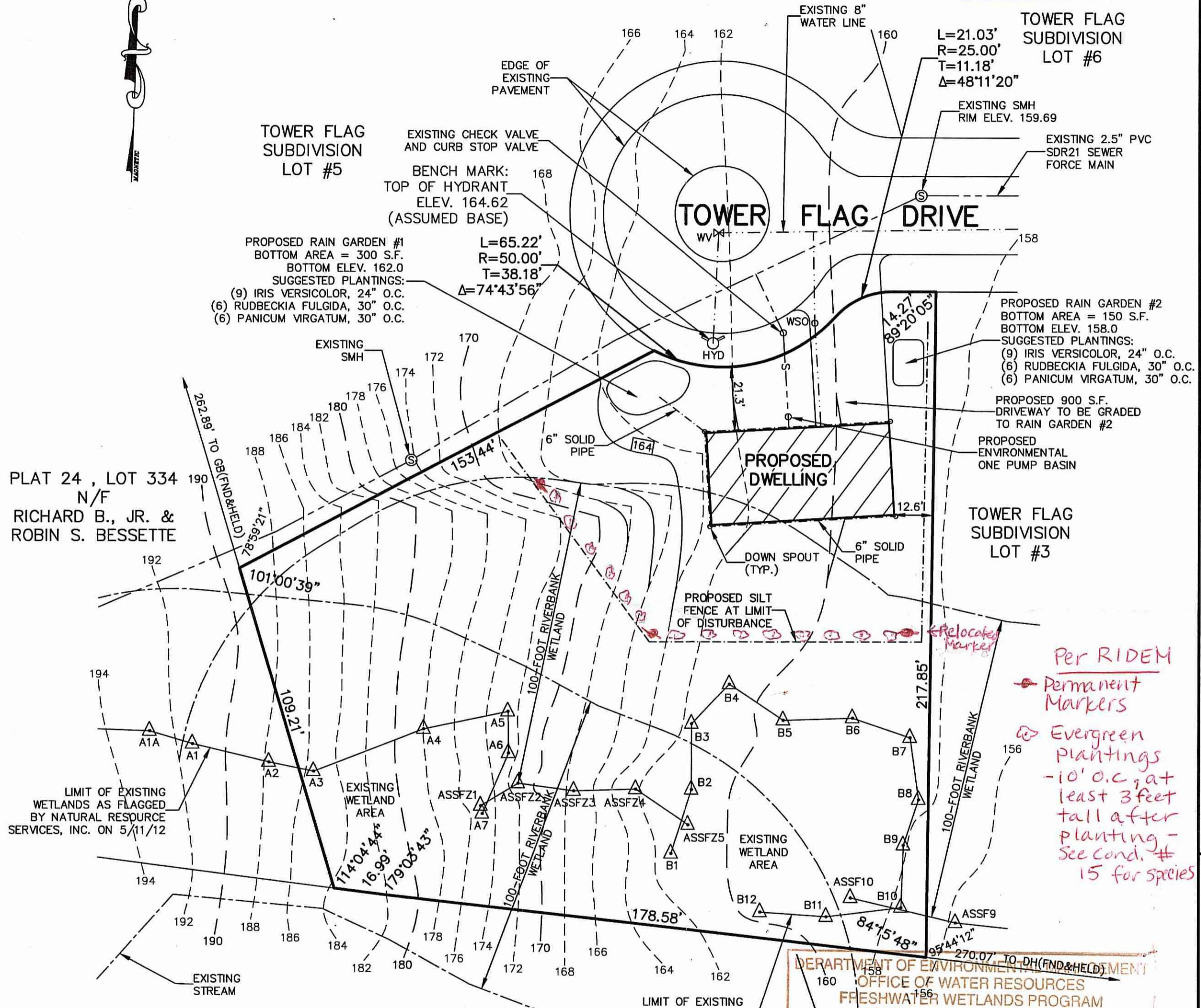
LEGEND

- GB GRANITE BOUND
- DH DRILL HOLE
- FND FOUND
- N/F NOW OR FORMERLY
- S.F. SQUARE FEET
- PL PROPERTY LINE
- WSO WATER SHUTOFF



A TOTAL OF 4,182 S.F. IS TO BE DISTURBED WITHIN THE 100-FOOT RIVERBANK WETLAND AREA.

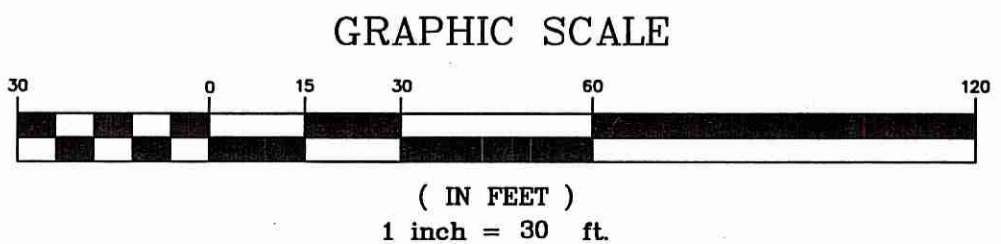
APR 25 2013
CITY OF WARRINGHER



PLAT 24, LOT 334
N/F
RICHARD B., JR. &
ROBIN S. BESSETTE

PLAT 24, LOT 84
N/F
EDWARD & WINIFRED HICKS

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
PLAT 24, LOT 418
DATED 03/20/13
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Edward & Winifred Hicks
Kathy Freeman



I HEREBY CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO A CLASS 1 STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

BY: *Michael R. Darveau*
MICHAEL R. DARVEAU, PLS#1978
DATE: 4/22/13

DARVEAU LAND SURVEYING, INC. P.O. BOX 7918 CUMBERLAND, R.I. 02864 PHONE 401-475-5700 E-MAIL: DARVEAUSURVEY@CDX.NET	
PROPOSED SITE PLAN FOR SUMMIT BUILDERS, LLC PLAT 24, LOT 418 TOWER FLAG DRIVE CUMBERLAND, RHODE ISLAND	SCALE: 1" = 30' DRAWN BY: S.A.K. DATE: APR. 22, 2013 PROJECT NO: 2012_015 SHEET NO: 1 OF 1