

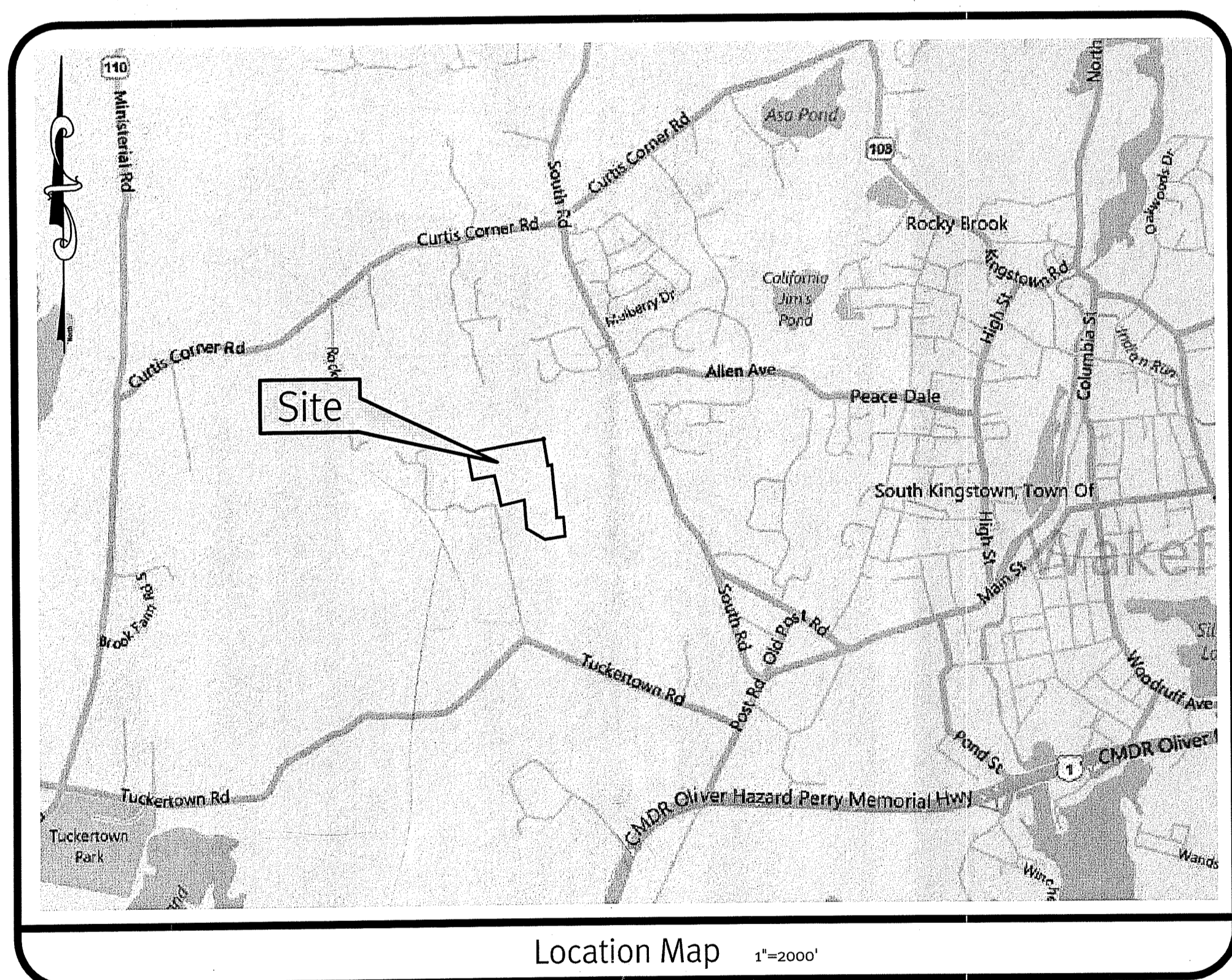
RIDEM Submission

Stone Soup Farm - Phase 3

South Road

South Kingstown, Rhode Island

Assessor's Plat 55-2, Lot 1



Sheet Index

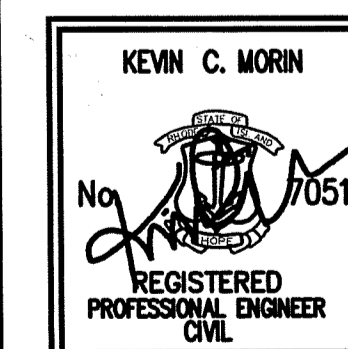
1. Cover Sheet
2. Half Mile Aerial Map
3. Existing Conditions
4. Site Plan
5. Grading Plan - 1
6. Grading Plan - 2
7. Plan & Profile - 1
8. Plan & Profile - 2
9. Detail Sheet

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED FEB 17 2014 FILE # 13-0088
NO CHANGES ALLOWED WITHOUT PERMIT APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

[Signature]

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

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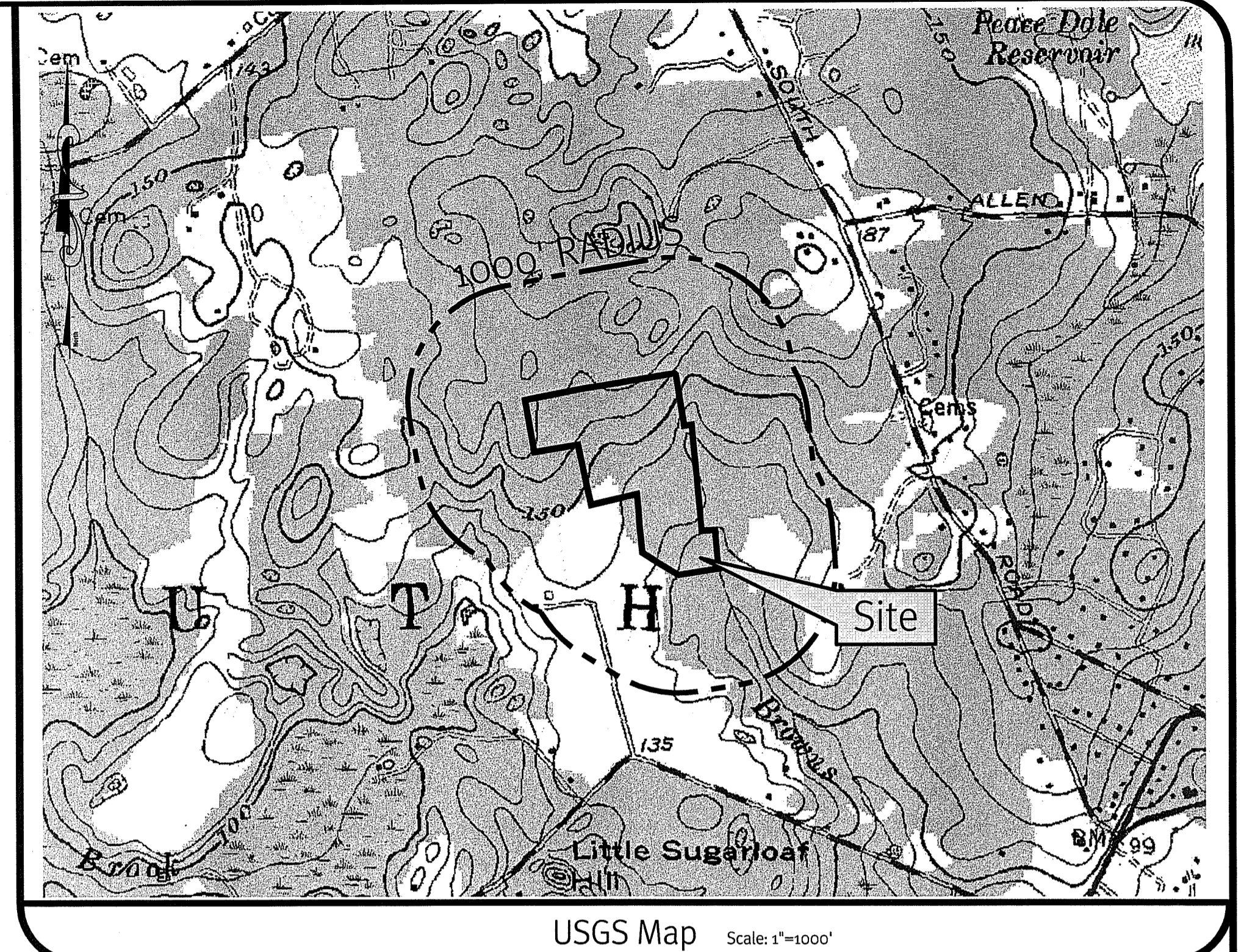
Cover Sheet
Stone Soup Farm - Phase 3
Assessor's Plat 55-2, Lot 1
South Kingstown, Rhode Island

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Sand Dollar, LLC
151 Pond Street
Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|----------|-----------------------------|-----|
| 10 | 2-4-214 | RIDEM Submission | MSC |
| 9 | 1-28-14 | RIDEM Submission | MSC |
| 8 | 12-2-13 | 10% Comments | DAR |
| 7 | 11-14-13 | Preliminary Plan Submission | MSC |
| 6 | 9-16-13 | CRWC Assent Submission | DAR |
| 5 | 9-1-13 | CRWC Submission | DAR |
| 4 | 7-16-13 | RIDEM Resubmission | DAR |
| 3 | 5-31-13 | RIDEM Submission | DAR |
| 2 | 12-9-12 | Master Plan Resubmission | DAR |
| 1 | 11-16-12 | Master Plan Submission | DAR |
| 0 | 6-6-12 | Pre-Application Submission | DAR |



USGS Map Scale: 1"=1000'

DEPARTMENT OF ENVIRONMENT & PLANNING
 DIVISION OF PLANNING & DEVELOPMENT
 AS SPECIFIED IN THE LIST OF APPROVALS
 DATED FEB. 17, 2014 13-0088
 NO CHANGES ALLOWED WITHOUT THE APPROVED PLANS MUST BE AT COM.

Kevin C. Morin

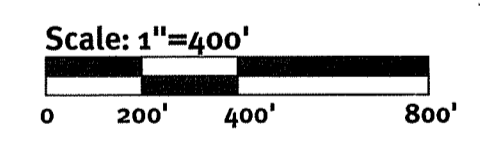
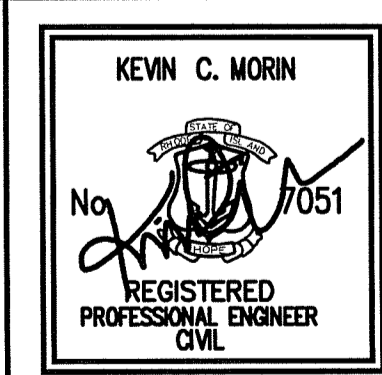


Photo obtained from the RI-GIS of 2011 Digital Orthophotography Southern Urban Areas of Rhode Island.

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Half Mile Aerial Map
Stone Soup Farm - Phase 3
 Assessor's Plat 55-2, Lot 1
 South Kingstown, Rhode Island

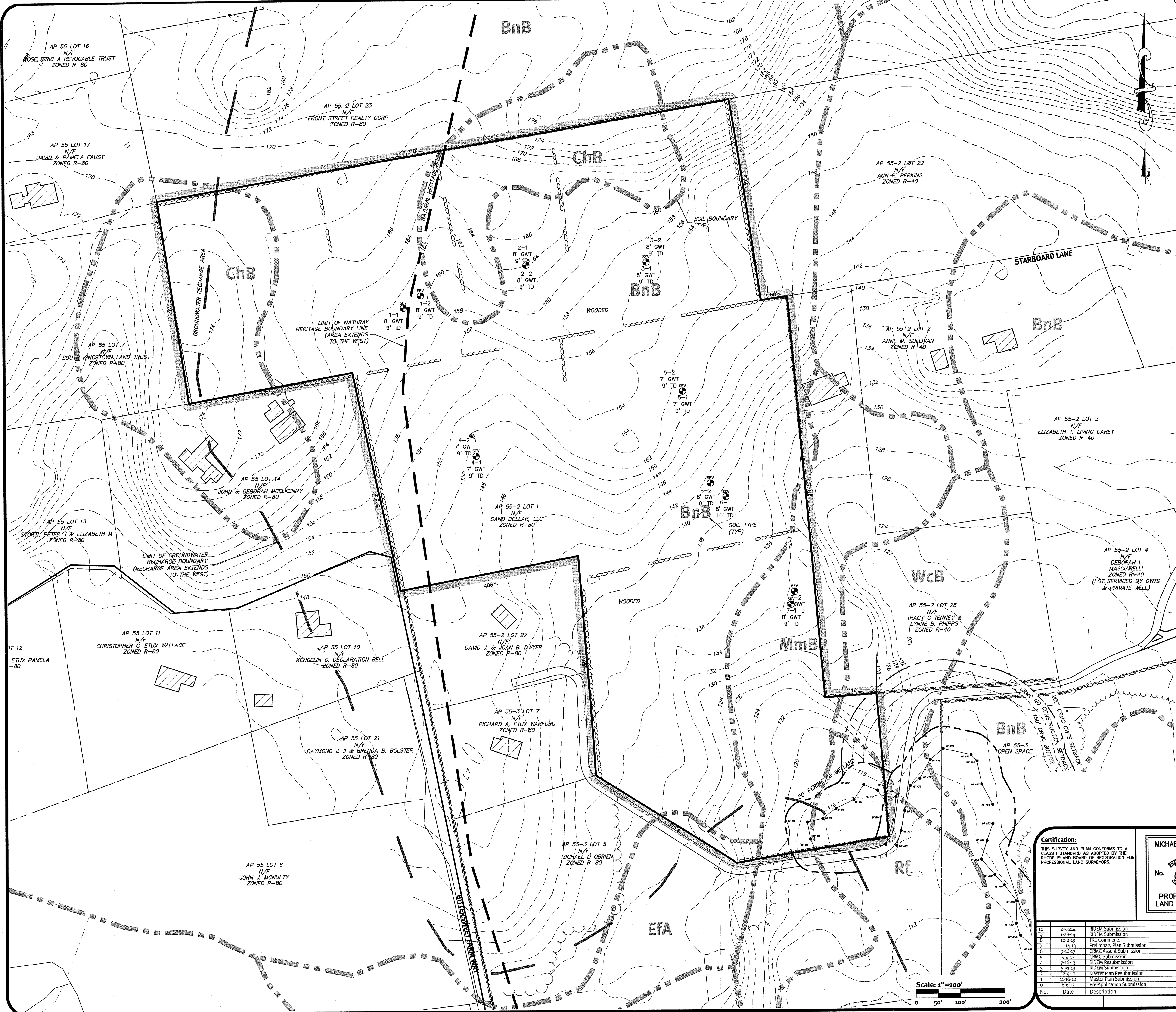
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| 1 | 11-15-12 | Master Plan Submission | DKR |
| 0 | 6-5-12 | Pre-Application Submission | DKR |

Engineers • Planners • Surveyors



- General Notes:**
- THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN ASSESSOR'S PLAT 55-2 LOT 1. THE SITE IS 33.92± ACRES AND IS ZONED R-80.
 - THE OWNER OF AP 55-2 LOT 1 IS: SAND DOLLAR, LLC, 151 POND STREET, WAKEFIELD, RI 02879
 - THIS SITE IS LOCATED WITHIN A ZONE X FEMA FLOOD ZONE. REFERENCE FEMA FLOOD INSURANCE RATE MAP 4400800194H, MAP REVISED OCTOBER 19, 2010. ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN
 - ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-7233, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
 - THE WETLAND FLAG LOCATIONS SHOWN WERE FLAGGED AND SURVEYED BY DIPRETE ENGINEERING.
 - THE CONTOUR INTERVAL IS 2 FEET & TOPOGRAPHY IS TAKEN FROM THE TOWN OF SOUTH KINGSTOWN GIS DATABASE. DIPRETE ENGINEERING PERFORMED LIMITED TOPOGRAPHIC SURVEY IN THE AREAS OF THE PROPOSED DEVELOPMENT TO CHECK ACCURACY.
 - A PORTION OF THE SUBJECT PARCEL IS LOCATED IN A NATURAL HERITAGE AREA.
 - THE SITE IS LOCATED IN THE CRMC SALT POND SPECIAL AREA MANAGEMENT PLAN (SELF SUSTAINING LANDS).
 - A PORTION OF THE SUBJECT PARCEL IS LOCATED IN A GROUNDWATER RECHARGE AREA.

Soil Information:

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

| SOIL NAME | DESCRIPTION |
|-----------|--|
| BnB | BRIDGHAMPTON-CHARLTON COMPLEX, VERY STONY, 0 TO 8 PERCENT SLOPES |
| ChB | CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES |
| EFA | ENFIELD SILT LOAM, 0 TO 3 PERCENT SLOPES |
| MmB | MERRIMAC SANDY LOAM, 3 TO 8 PERCENT SLOPES |
| Rf | RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS |
| WcB | WAPPING VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES |

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| | | | |
|-----------|-----------------------------------|-----------|-----------------|
| — | PROPERTY LINE | — | UTILITY POLE |
| - - - | WETLAND LINE | WF P-13 | WETLAND FLAG |
| - - - - - | 50' PERIMETER WETLAND | N/F | NOW OR FORMERLY |
| - - - - - | 100' RIVERBANK WETLAND | AP | ASSESSOR'S PLAT |
| - - - - - | 150' CRMC BUFFER | - - - - - | 2' CONTOUR |
| - - - - - | 175' CRMC NO CONSTRUCTION SETBACK | - - - - - | 10' CONTOUR |
| - - - - - | 200' CRMC OWTS SETBACK | - - - - - | TREELINE |
| - - - - - | SOIL BOUNDARY LINE | - - - - - | STONE WALL |
| HkC | SOIL IDENTIFICATION | - - - - - | FENCE |
| | | - - - - - | PAVEMENT |

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Certification:
 THIS SURVEY AND PLAN CONFORMS TO A CLASS 1 STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

MICHAEL E. GAVITT
 No. 1981
 PROFESSIONAL LAND SURVEYOR

Existing Conditions
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 Assessor's Plat 55-2, Lot 1
 South Kingstown, Rhode Island

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| 3 | 5-21-13 | RIDEM Submission | DAR |
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| 1 | 11-18-12 | Master Plan Submission | DAR |
| 0 | 6-6-12 | Pre-Application Submission | DAR |

Scale: 1"=100'
 0 50' 100' 200'

Engineers • Planners • Surveyors



- General Notes:**
- THE SITE IS PROPOSED TO BE SERVICED BY PRIVATE WELLS AND PRIVATE ON-SITE WASTE WATER TREATMENT SYSTEMS (OWTS). THERE ARE NO OWTS PROPOSED WITHIN 200' OF THE WETLAND.
 - THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE STORMWATER MANAGEMENT SYSTEM MEETS RIDEM AND SOUTH KINGSTOWN BEST MANAGEMENT PRACTICES.
 - THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE.
 - THE SITE IS PROPOSED WITH UNDERGROUND UTILITIES.
 - PORTIONS OF THE SITE ARE LOCATED WITHIN A NATURAL HERITAGE AREA, AND GROUNDWATER RECHARGE AREA.
 - THE SITE IS LOCATED WITHIN A CRMC SALT POND REGION SAMP CLASSIFIED AS SELF SUSTAINING LANDS.

Dimensional Regulations:

| | |
|-----------------------------|------------------|
| UNDERLYING ZONE: | RESIDENTIAL R-80 |
| MINIMUM LOT AREA: | 80,000 SF |
| MINIMUM FRONTAGE/LOT WIDTH: | 200 (20' ±) |
| MAXIMUM BUILDING COVERAGE: | 20% |
| MAXIMUM HEIGHT: | 35' |
| MINIMUM FRONT YARD: | 60' |
| MINIMUM CORNER YARD: | 40' |
| MINIMUM SIDE YARD: | 40' |
| MINIMUM REAR YARD: | 50' |

* PER SECTION 502.2.A LOT FRONTAGE AND WIDTH, FLEXIBLE PROVISIONS- IN R10 TO R200 ZONES, THE PLANNING BOARD IS AUTHORIZED TO REDUCE THE LOT FRONTAGE AND LOT WIDTH OF NEWLY CREATED LOTS IN A SUBDIVISION ON ANY PUBLIC OR APPROVED PRIVATE STREET TO A MINIMUM OF 20 FEET.

Development Data:

| | |
|---------------------------|---------------------------------------|
| TOTAL SITE AREA: | 33.92 ACRES |
| AREA TO BE DEEDED: | 5.54 ACRES |
| AREA OF DEVELOPMENT: | 28.38 ACRES |
| TOTAL NUMBER OF LOTS: | 7 |
| TOTAL DWELLING UNITS: | 7 |
| TOTAL AREA OF LOTS: | 9.85 ACRES |
| TOTAL AREA OF OPEN SPACE: | 17.03 ACRES (60% SUITABLE OPEN SPACE) |
| TOTAL AREA OF ROW: | 1.50 ACRES |

Density Analysis:

| | |
|--|--|
| TOTAL APPROXIMATE LOT AREA: | 1,476,684 SQ FT |
| TOTAL APPROXIMATE AREA TO BE DEEDED: | 241,322 SQ FT |
| TOTAL APPROXIMATE AREA OF DEVELOPMENT: | 1,235,362 SQ FT |
| DENSITY CALCULATION: | 1,235,362 SQ FT/80,000 SQ FT = 15 LOTS |

Affordable Housing (Inclusionary Zoning):

A MINIMUM OF 20 PERCENT OF THE BASIC MAXIMUM NUMBER OF LOTS/UNITS MUST BE AFFORDABLE TO LOW AND/OR MODERATE INCOME HOUSEHOLDS AS DEFINED UNDER C.L. 1956, §45-53, LOW AND MODERATE INCOME HOUSING ACT, WHERE SUCH CALCULATION YIELDS A FRACTION OF A UNIT AND SUCH FRACTION IS .5 OR ABOVE THE REQUIREMENT SHALL BE ROUNDED TO THE NEXT HIGHER, WHOLE NUMBER.

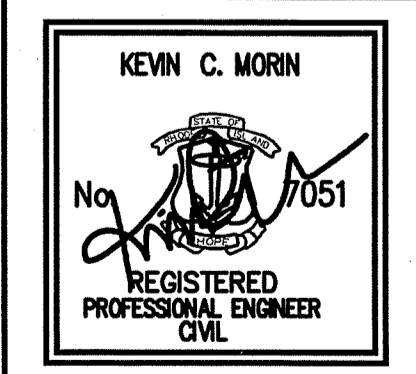
| | |
|-------------------------------------|---|
| BASIC MAXIMUM NUMBER OF LOTS/ UNIT: | 7 UNITS PROPOSED |
| AFFORDABLE CALCULATION: | BASIC MAX UNITS * 0.2 |
| LOT CALCULATION: | 7 UNITS * 0.2 = 1.4 UNITS |
| AFFORDABLE UNITS PROPOSED: | 1 UNIT (TO BE PROVIDED AT OFFSITE LOCATION) |

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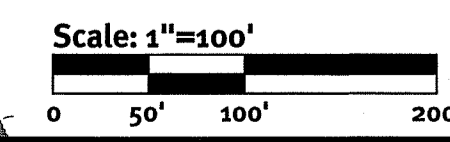


Site Plan
Stone Soup Farm - Phase 3
Assessor's Plat 55-2, Lot 1
South Kingstown, Rhode Island

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Sand Dollar, LLC
151 Pond Street
Wakefield, RI 02879

| No. | Date | Description | By: |
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| 9 | 1-28-14 | RIDEM Submission | MISC |
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Engineers - Planners - Surveyors



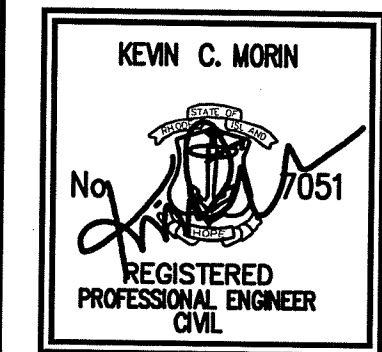
- ### General Construction Notes
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 2. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ROOF DOWNSPOUTS ARE DIRECTED TOWARD DESIGNATED QPA AREAS.
 3. WATER BARS TO BE INSTALLED AS NECESSARY ALONG DOWN GRADIENT EDGE OF GRAVEL ROADWAY TO CONVEY STORM WATER TO PRESERVED WOODED AREAS.
 4. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDINGS. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
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- ### Legend:
- QUALIFIED PEROUS AREAS (diagonal hatching)
 - PROPOSED OWTS (diagonal hatching)
 - GRAVEL ROAD/DRIVEWAY (stippled pattern)
 - SIGHT LINE TRIMMING AREA (cross-hatching)
 - PROPOSED VARIABLE WIDTH ROADWAY EASEMENT (cross-hatching)
 - PROPOSED MAINTENANCE EASEMENT (diagonal hatching)
 - EXISTING PROPERTY LINE (solid line)
 - PROPOSED PROPERTY LINE (dashed line)
 - EXISTING MINOR CONTOUR (dashed line with elevation)
 - EXISTING PROPERTY LINE (dashed line with elevation)
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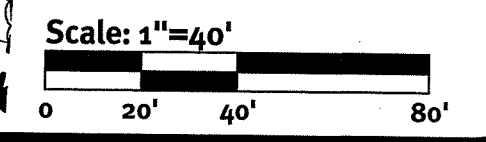


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Engineers • Planners • Surveyors



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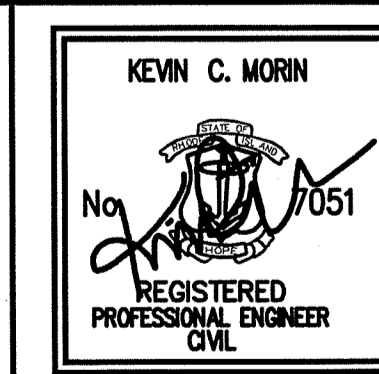
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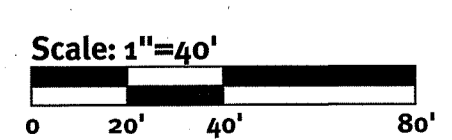
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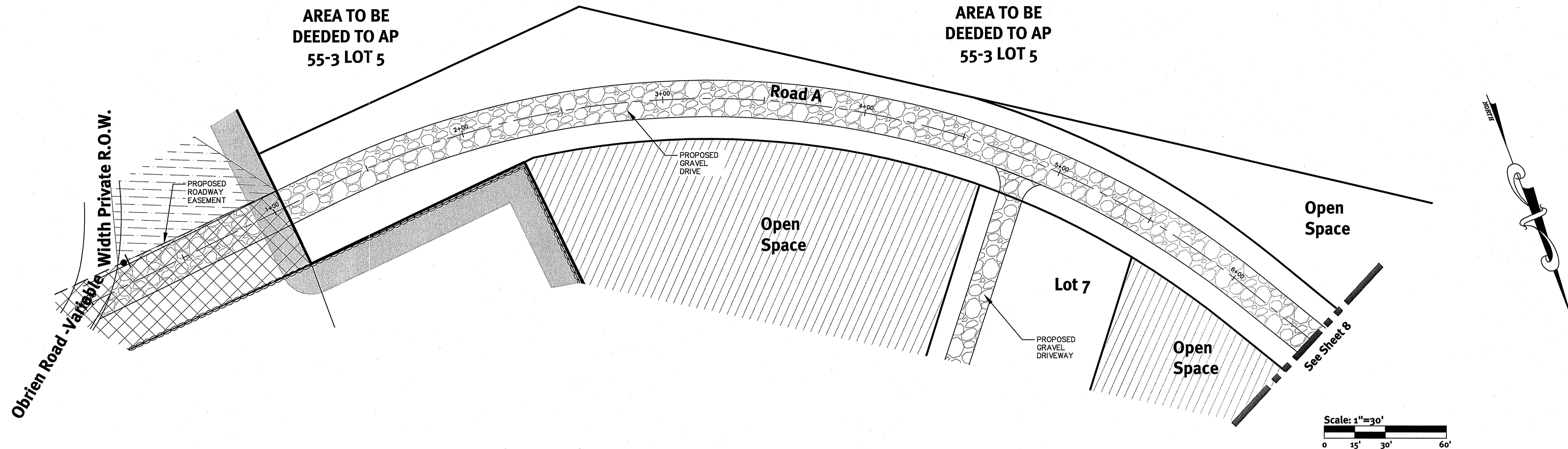
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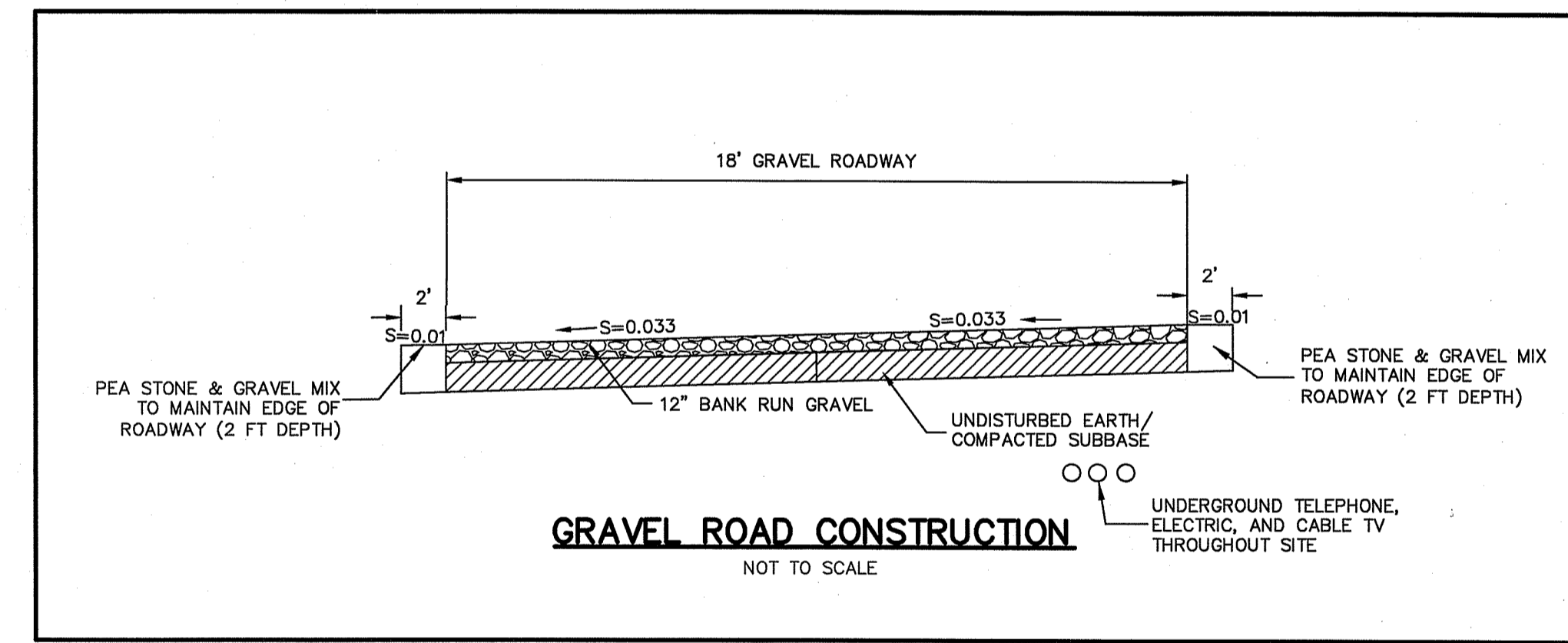
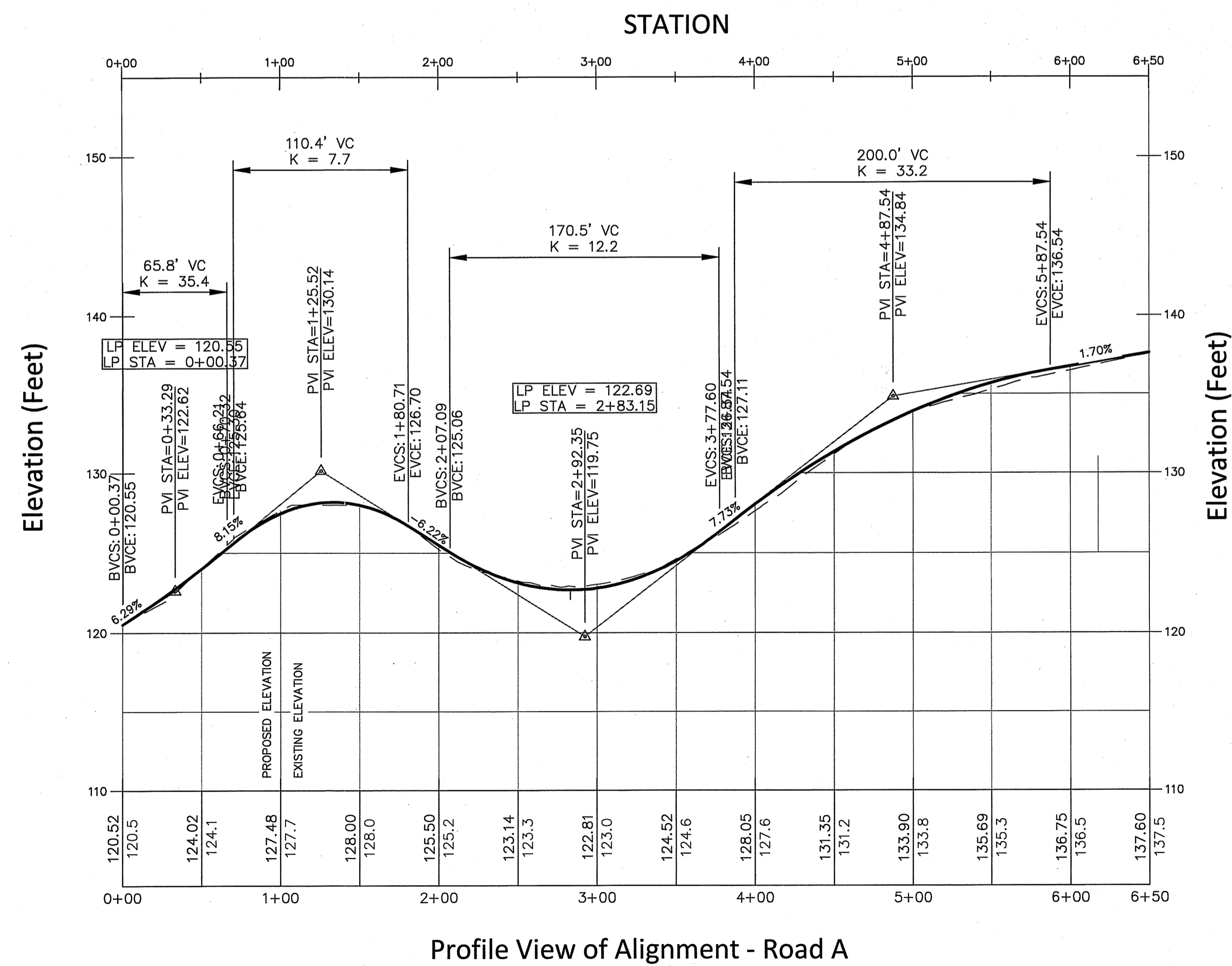
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| 4 | 7-16-13 | RIDEM Resubmission | DAR |
| 3 | 5-31-13 | RIDEM Submission | DAR |
| 2 | 12-9-12 | Master Plan Resubmission | DAR |
| 1 | 11-16-12 | Master Plan Submission | DAR |
| 0 | 6-6-12 | Pre-Application Submission | DAR |



Engineers • Planners • Surveyors

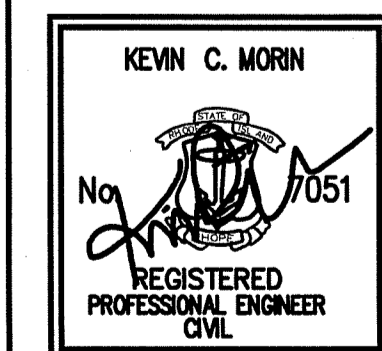
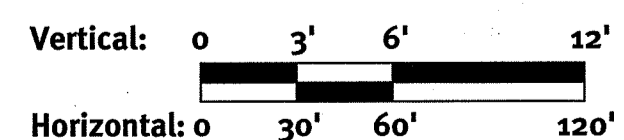


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 17 2014 FILE # 13-0088
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE



THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

THIS REGULATORY SUBMISSION SET SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED 'ISSUED FOR CONSTRUCTION' AND SIGNED BY A DIPRETE ENGINEERING REPRESENTATIVE.



Plan & Profile - 1

Stone Soup Farm - Phase 3

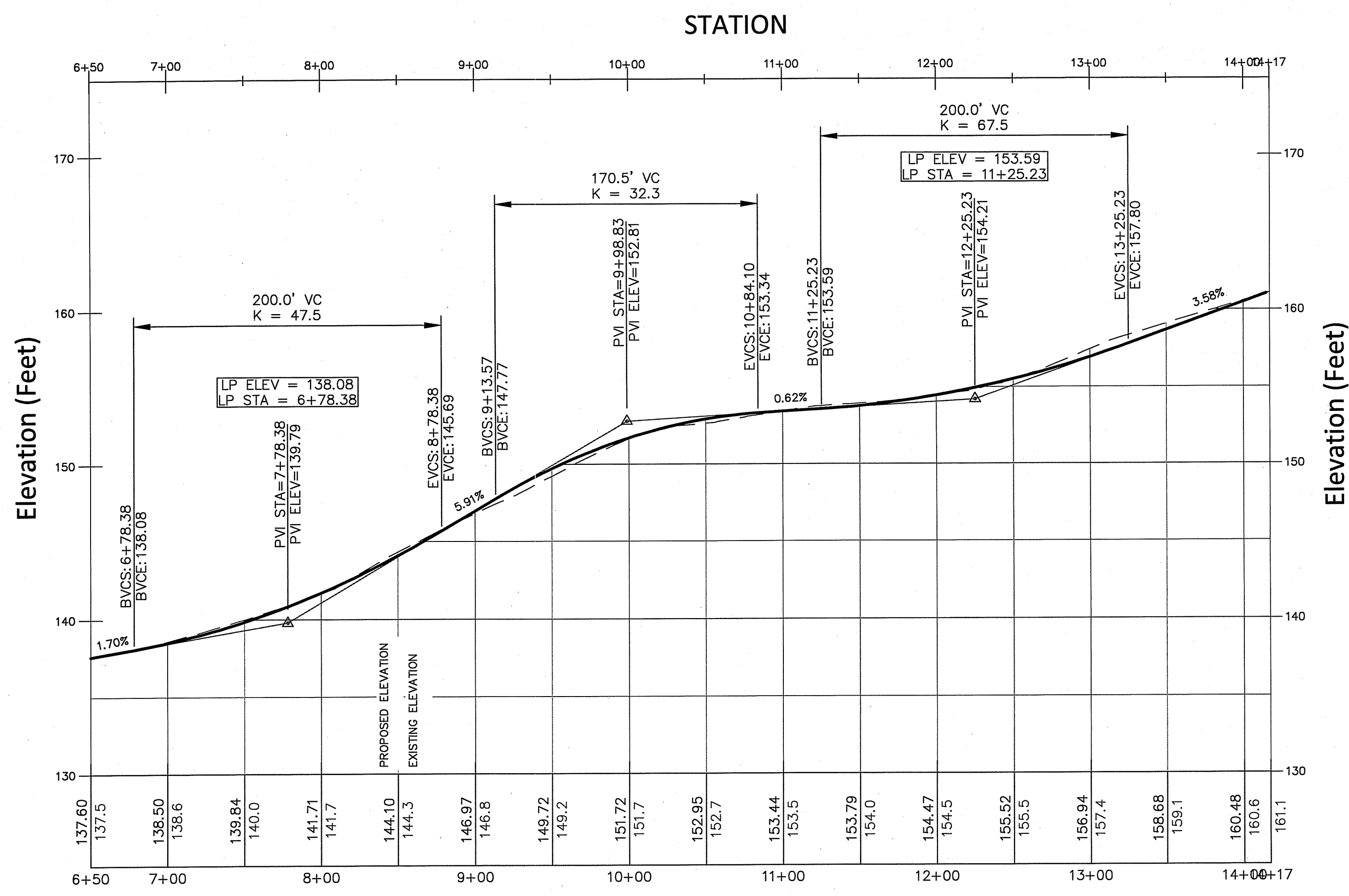
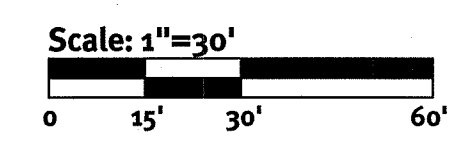
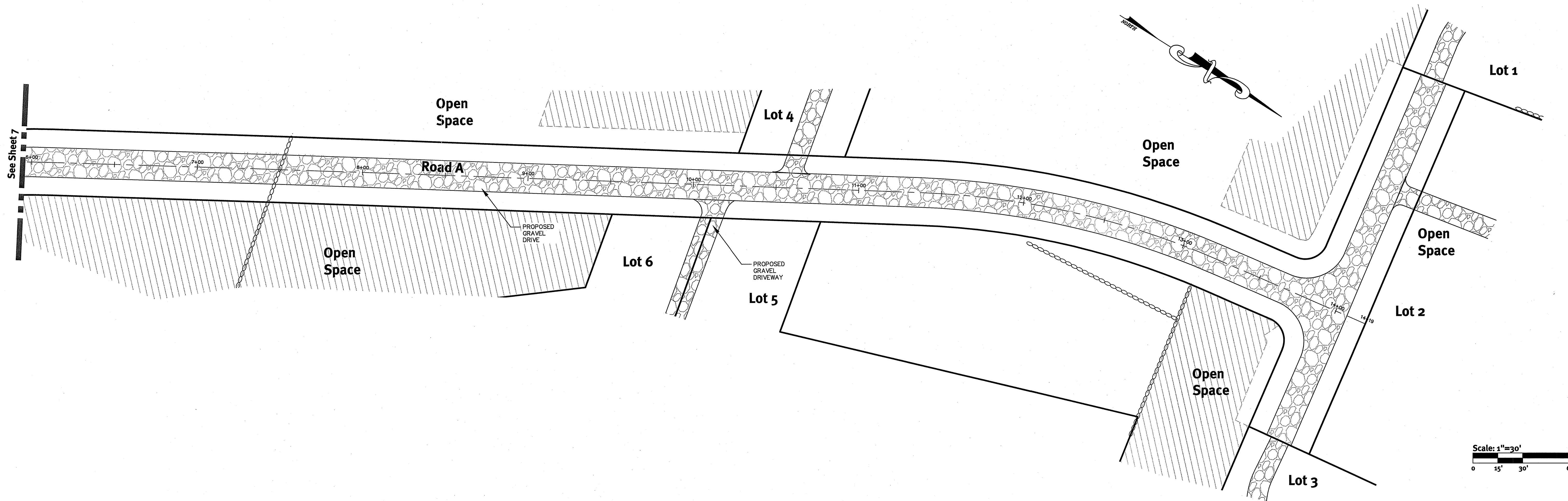
Assessor's Plat 55-2, Lot 1
 South Kingstown, Rhode Island

DiPrete Engineering

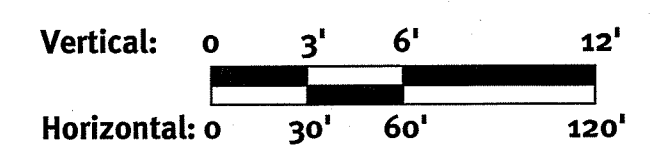
Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Sand Dollar, LLC
 151 Pond Street
 Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|----------|-----------------------------|-----|
| 10 | 2-5-2014 | RIDEM Submission | MSC |
| 9 | 1-28-14 | RIDEM Submission | MSC |
| 8 | 12-2-13 | TRC Comments | DKR |
| 7 | 10-14-13 | Preliminary Plan Submission | MSC |
| 6 | 9-16-13 | CRWC Assent Submission | DKR |
| 5 | 9-1-13 | CRWC Submission | DKR |
| 4 | 7-18-13 | RIDEM Resubmission | DKR |
| 3 | 5-31-13 | RIDEM Submission | DKR |
| 2 | 12-4-12 | Master Plan Resubmission | DKR |
| 1 | 10-18-12 | Master Plan Submission | DKR |
| 0 | 6-6-12 | Pre-Application Submission | DKR |



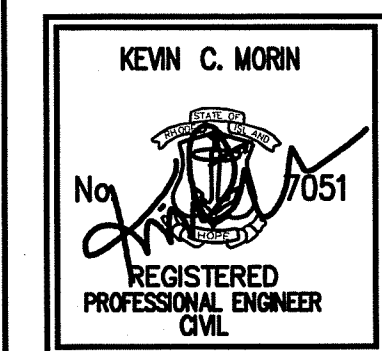
Profile View of Alignment - Road A



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 17 2014 FILE # 13-0088
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Justin D. Wenzel
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
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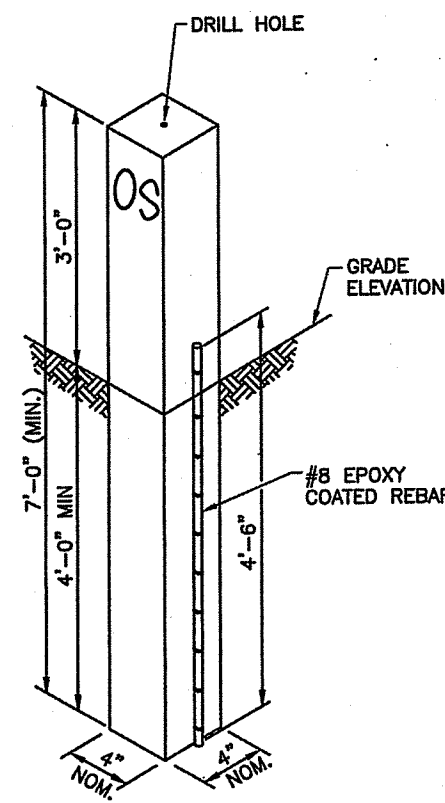


Plan & Profile - 2
Stone Soup Farm - Phase 3
 Assessor's Plat 95-2, Lot 1
 South Kingstown, Rhode Island



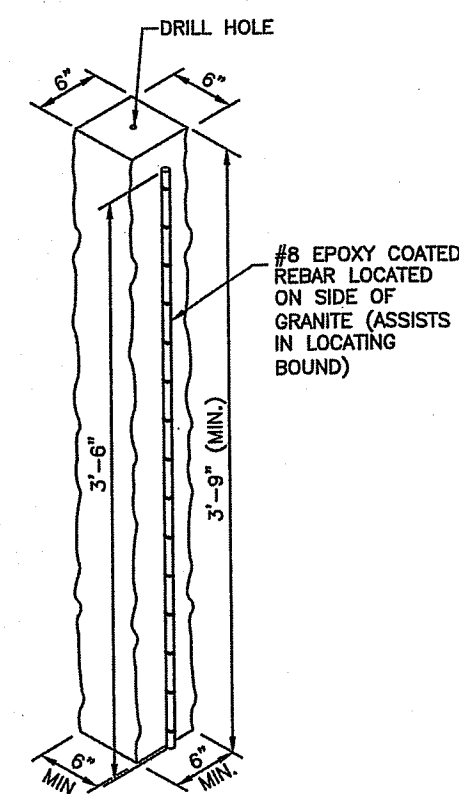
Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com
 Owner / Applicant:
Sand Dollar, LLC
 151 Pond Street
 Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|----------|-----------------------------|-----|
| 10 | 2-5-2014 | RIDEM Submission | MSC |
| 9 | 1-28-14 | RIDEM Submission | MSC |
| 8 | 12-2-13 | TRC Comments | DAR |
| 7 | 10-14-13 | Preliminary Plan Submission | MSC |
| 6 | 9-16-13 | CRWC Assent Submission | DAR |
| 5 | 9-11-13 | CRWC Submission | DAR |
| 4 | 7-16-13 | RIDEM Resubmission | DAR |
| 3 | 5-31-13 | RIDEM Submission | DAR |
| 2 | 12-4-12 | Master Plan Resubmission | DAR |
| 1 | 11-19-12 | Master Plan Submission | DAR |
| 0 | 6-6-12 | Pre-Application Submission | DAR |



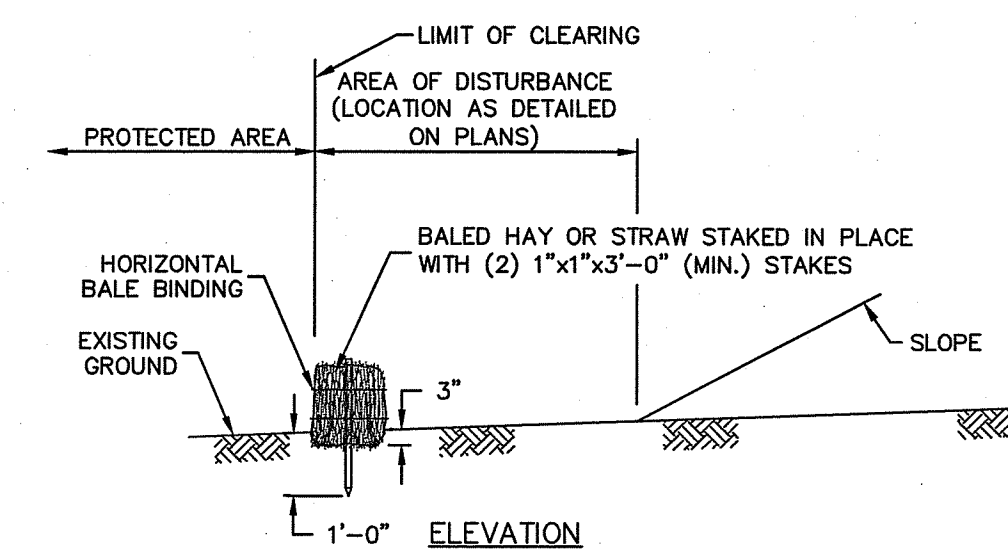
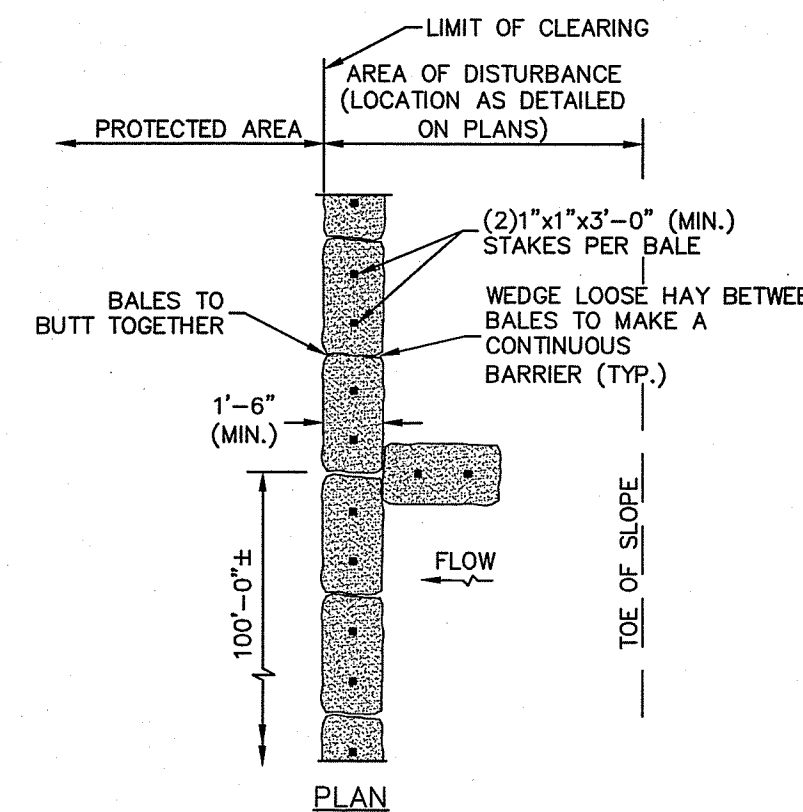
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION I.15 OF THE TSK STANDARD SPECIFICATIONS.
 2. BOUND TO BE 4" X 4" PRESSURE TREATED TIMBER.
 3. TOP SURFACE OF BOUND TO BE DRESSED SQUARE.
 4. CONICAL DRILL HOLE IN CENTER OF TOP TO BE 1/4" AND 3/4" DEEP.
 5. ROUTERED LETTERS "OS" SHALL APPEAR ON OPPOSITE SIDES AND BE 2" X 3".

| TOWN OF SOUTH KINGSTOWN DEPARTMENT OF PUBLIC SERVICES | | |
|---|------|----------|
| OPEN SPACE BOUND | | |
| NO. | BY | DATE |
| 1 | W.S. | 10-25-05 |
| | | |
| OPEN SPACE BOUND DETAIL NOT TO SCALE | | |



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION I.15 OF THE TSK STANDARD SPECIFICATIONS.
 2. BOUND TO BE QUARRY SPLIT FROM FINE GRAIN GRANITE FREE FROM NATURAL FRACTURES, SEAMS, LAMINATIONS, CRACKS OR IMPURITIES.
 3. TOP SURFACE OF BOUND TO BE DRESSED OR SAWED.
 4. CONICAL DRILL HOLE IN CENTER OF TOP TO BE 1/4" AND 3/4" DEEP.
 5. BOTTOM TO BE AT LEAST 6" SQUARE AND FLAT.
 6. BOUNDS TO BE SET 6" ABOVE FINISHED GRADE, EXCEPT IN SIDEWALKS, LAWNS AND DRIVEWAYS WHERE THEY SHALL BE SET FLUSH WITH FINISHED GRADE.

| TOWN OF SOUTH KINGSTOWN DEPARTMENT OF PUBLIC SERVICES | | |
|---|------|----------|
| GRANITE HIGHWAY BOUND | | |
| NO. | BY | DATE |
| 1 | W.S. | 10-25-05 |
| | | |
| GRANITE HIGHWAY BOUND DETAIL NOT TO SCALE | | |

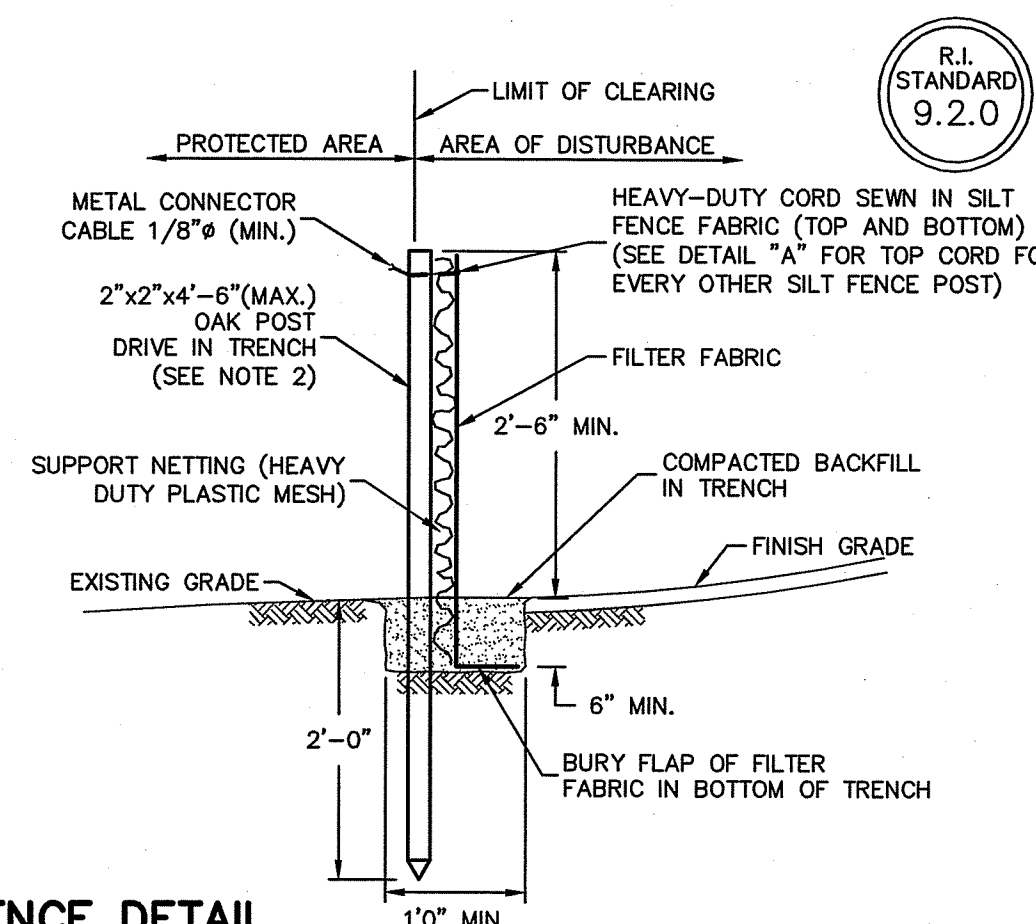
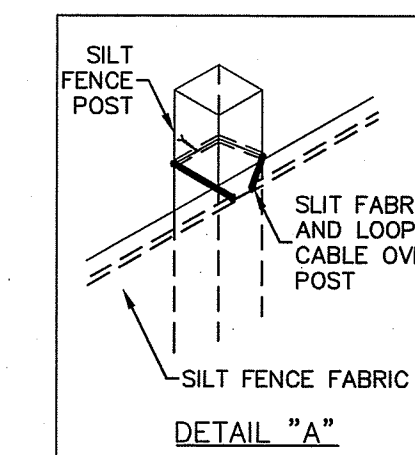


BALED HAY EROSION CHECK

NOT TO SCALE

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TO BE USED WHERE THE EXISTING GROUND SLOPES AWAY FROM THE HIGHWAY EMBANKMENT AS CALLED FOR ON PLANS.
 3. AT APPROXIMATE 100'-0" INTERVALS A BALE OF HAY IS TO BUTT PERPENDICULARLY.

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

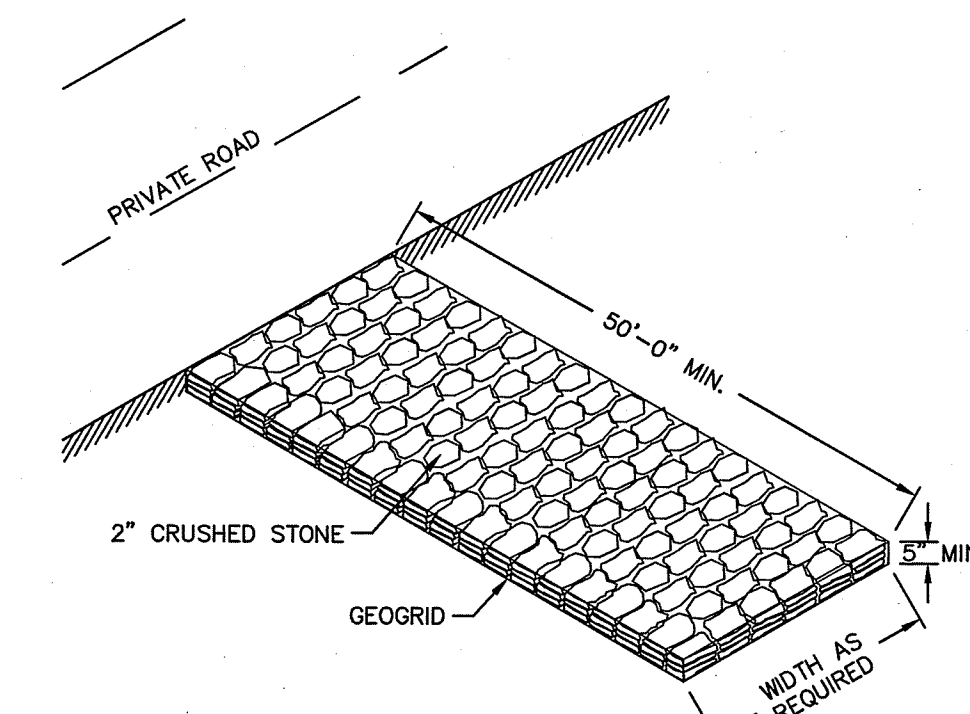


SILT FENCE DETAIL

NOT TO SCALE

QUALIFIED PERVIOUS AREAS (QPAs) NOTES:

1. THE MAXIMUM ROOFTOP AREA CONTRIBUTING TO ONE DOWNSPOUT SHOULD BE 1,000 SQ. FT.
2. THE SLOPE OF THE QPA SHALL BE LESS THAN OR EQUAL TO 5.0%.
3. DOWNSPOUTS FROM RESIDENTIAL DWELLINGS SHALL HAVE APPROPRIATE PROVISIONS TO INDUCE SHEET FLOW.
4. FERTILIZATION OF QUALIFIED PERVIOUS AREAS SHOULD BE KEPT TO A MINIMUM. IF DONE IT MUST COMPLY WITH APPENDIX G OF THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL.
5. QPA AREAS ARE SUBJECT TO CHANGE DEPENDANT UPON FINAL DRIVEWAY AND HOUSE LOCATION. QPA DESIGNATION FOR LOT DEVELOPMENT TO BE VERIFIED AT THE SOIL EROSION CONTROL PERMIT APPLICATION FOR EACH LOT TO REFLECT FINAL HOUSE DESIGN.



NOTE: SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

CONSTRUCTION ACCESS

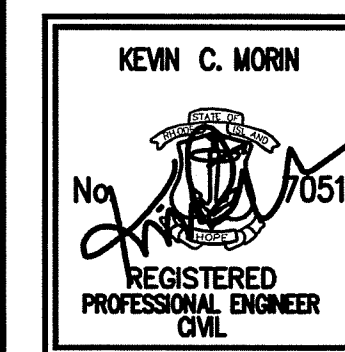
NOT TO SCALE

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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED FEB 17 2011 FILE # 13-0088
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kevin C. Morin



Detail Sheet
Stone Soup Farm - Phase 3
 Assessor's Plat 55-2, Lot 1
 South Kingstown, Rhode Island

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Sand Dollar, LLC
 151 Pond Street
 Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|----------|-----------------------------|-----|
| 10 | 2-5-2011 | RIDEM Submission | MSC |
| 9 | 1-28-11 | RIDEM Submission | MSC |
| 8 | 12-2-10 | TIC Comments | DKR |
| 7 | 11-14-10 | Preliminary Plan Submission | MSC |
| 6 | 9-16-10 | CRMC Assent Submission | DKR |
| 5 | 9-4-10 | CRMC Submission | DKR |
| 4 | 7-16-10 | RIDEM Resubmission | DKR |
| 3 | 5-31-10 | RIDEM Submission | DKR |
| 2 | 12-14-09 | Master Plan Resubmission | DKR |
| 1 | 11-16-09 | Master Plan Submission | DKR |
| 0 | 6-6-12 | Pre-Application Submission | DKR |

RIDEM Submission

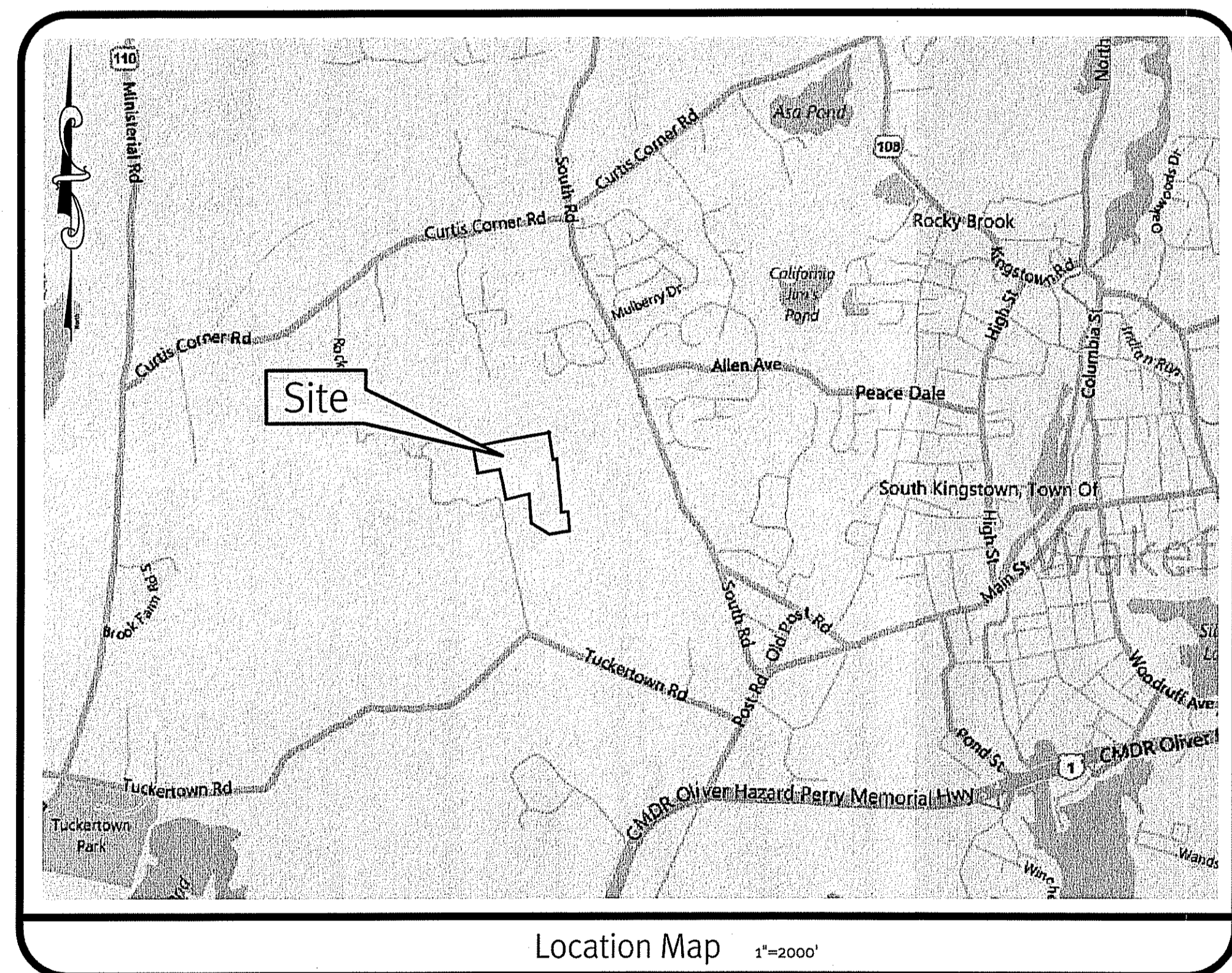
Stone Soup Farm - Phase 3

South Road

South Kingstown, Rhode Island

Assessor's Plat 55-2, Lot 1

JUL 26 2013



Sheet Index

1. Cover Sheet
2. Half Mile Aerial Map
3. Existing Conditions
4. Site Plan
5. Grading Plan - 1
6. Grading Plan - 2
7. Plan & Profile - 1
8. Plan & Profile - 2
9. Detail Sheet

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 30 2013 FILE # 13-088
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Kevin C. Morin

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Cover Sheet
Stone Soup Farm - Phase 3
Assessor's Plat 55-2, Lot 1
South Kingstown, Rhode Island

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com
Owner / Applicant:
Sand Dollar, LLC
151 Pond Street
Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|----------|----------------------------|-----|
| 4 | 7-16-13 | RIDEM Resubmission | DAR |
| 3 | 5-31-13 | RIDEM Submission | DAR |
| 2 | 12-4-12 | Master Plan Resubmission | DAR |
| 1 | 12-18-12 | Master Plan Submission | DAR |
| 0 | 6-6-12 | Pre-Application Submission | DAR |

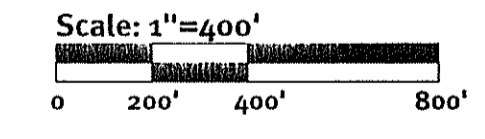
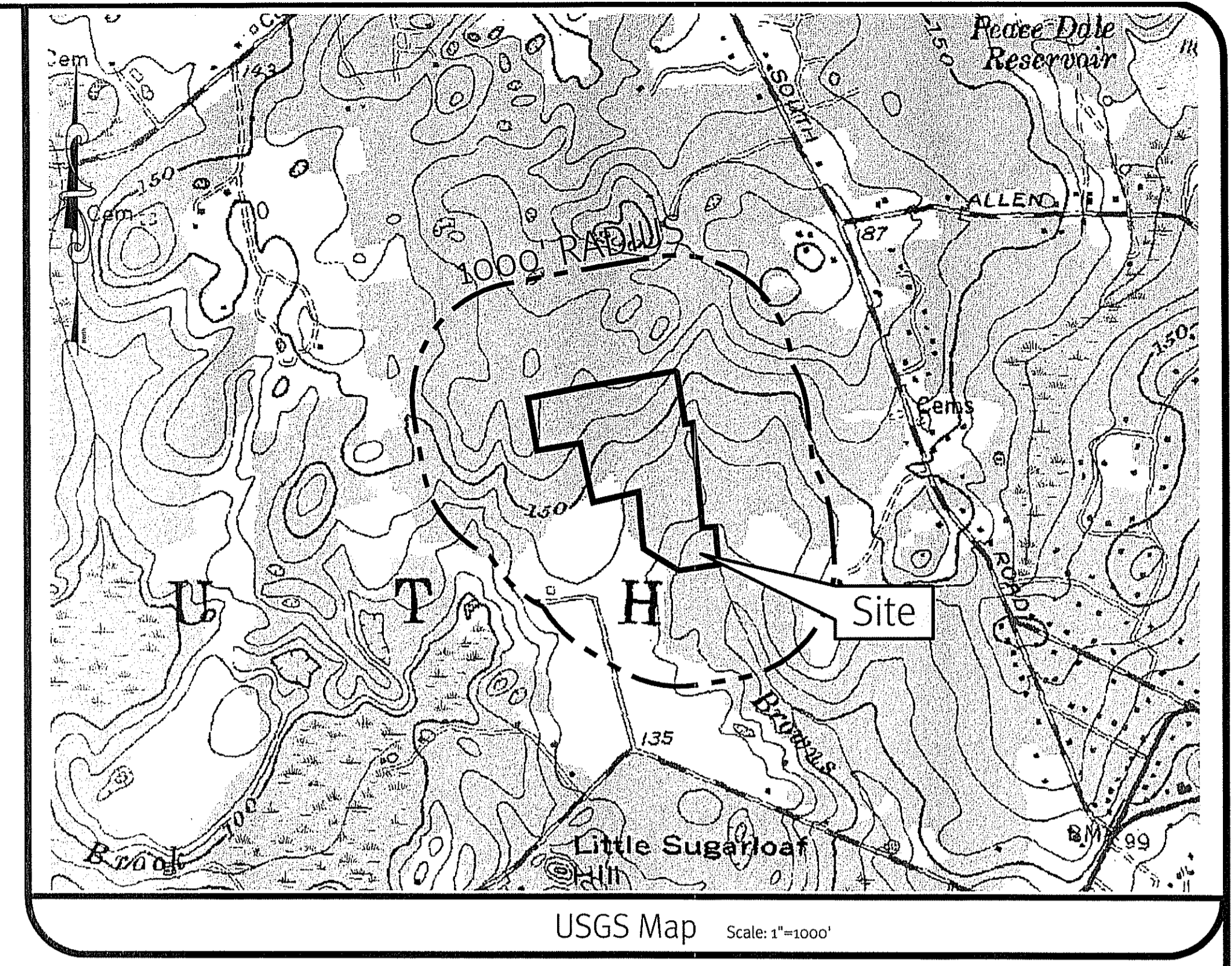
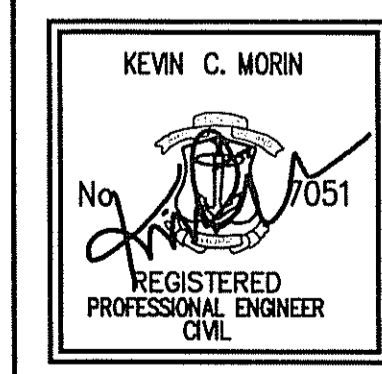


Photo obtained from the RI-GIS of 2011 Digital Orthophotography Southern Urban Areas of Rhode Island.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 PUBLIC UTILITIES DIVISION
 PUBLIC UTILITIES PROGRAM
 AIR POLLUTION CONTROL DIVISION
 AIR QUALITY CONTROL PERMITTING APPROVAL
 DATE: AUG 30 2013 13:00
 NO CHANGES TO THIS PLAN WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

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Half Mile Aerial Map
Stone Soup Farm - Phase 3
 Assessor's Plat 55-2, Lot 1
 South Kingstown, Rhode Island

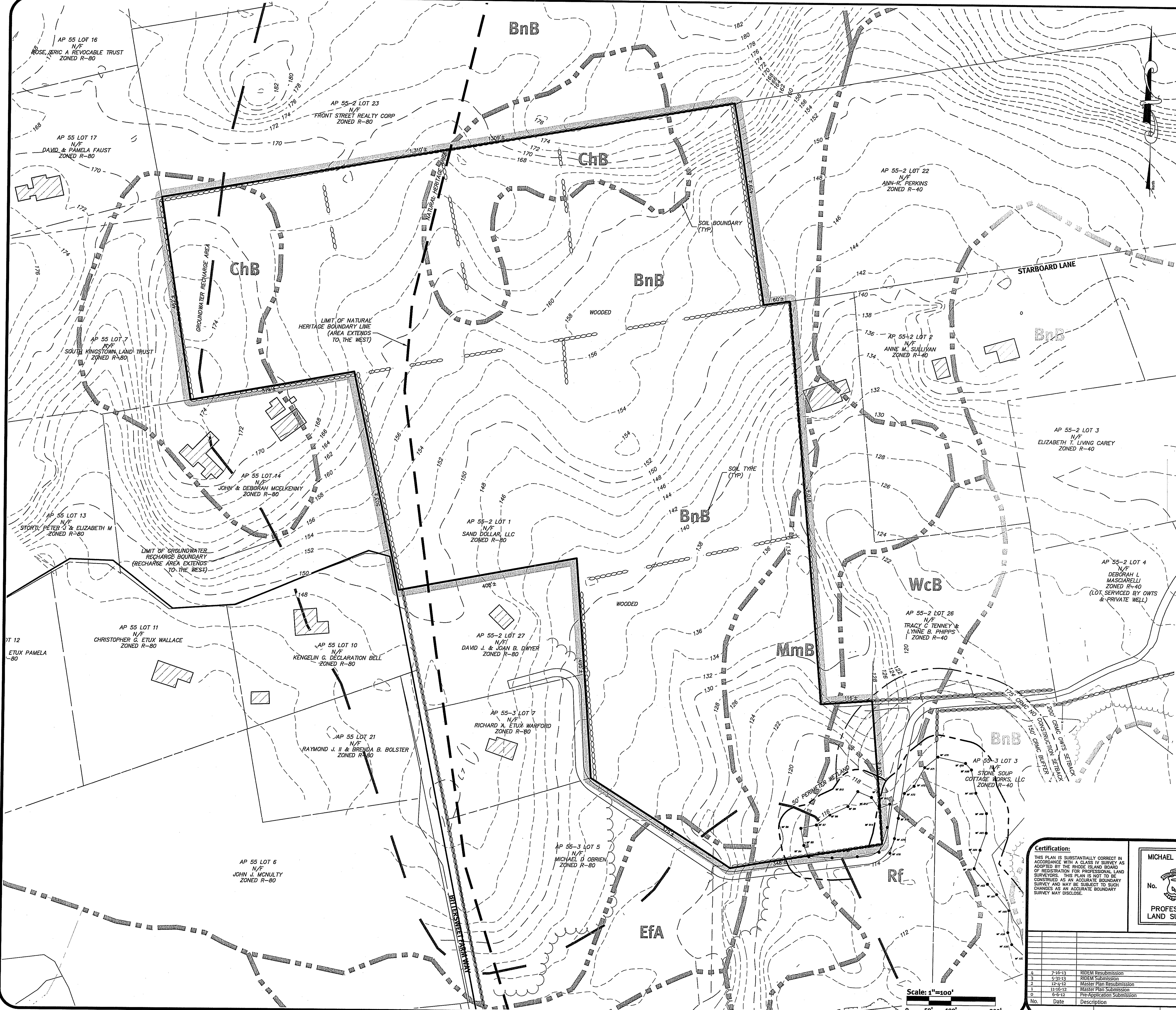


Two Stafford Court Cranston, RI 02920
 Tel 401-943-1000 Fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Sand Dollar, LLC
 151 Pond Street
 Wakefield, RI 02879

| No. | Date | Description | By |
|-----|----------|----------------------------|-----|
| 4 | 7-19-13 | RIDEM Resubmission | DAR |
| 3 | 5-31-13 | RIDEM Submission | DAR |
| 2 | 12-4-12 | Master Plan Resubmission | DAR |
| 1 | 11-16-12 | Master Plan Submission | DAR |
| 0 | 6-6-12 | Pre-Application Submission | DAR |

Engineers • Planners • Surveyors



- General Notes:**
1. THE SITE IS LOCATED ON THE TOWN OF SOUTH KINGSTOWN ASSESSOR'S PLAT 55-2 LOT 1. THE SITE IS 33.92± ACRES AND IS ZONED R-80.
 2. THE OWNER OF AP 55-2 LOT 1 IS: SAND DOLLAR, LLC, 151 POND STREET, WAKEFIELD, RI 02879
 3. THIS SITE IS LOCATED WITHIN A ZONE X FEMA FLOOD ZONE. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090C0194H, MAP REVISED OCTOBER 19, 2010. ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN
 4. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-7233, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
 5. THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS A CLASS II SURVEY AS PERFORMED BY JACKSON SURVEYING, P.O. BOX 454, CHARLESTOWN, RI 02813, PLANS DATED MAY 2011.
 6. THE WETLAND FLAG LOCATIONS SHOWN WERE FLAGGED AND SURVEYED BY DIPRETE ENGINEERING.
 7. THE CONTOUR INTERVAL IS 2 FEET & TOPOGRAPHY IS TAKEN FROM THE TOWN OF SOUTH KINGSTOWN GIS DATABASE. DIPRETE ENGINEERING PERFORMED LIMITED TOPOGRAPHIC SURVEY IN THE AREAS OF THE PROPOSED DEVELOPMENT TO CHECK ACCURACY.
 8. A PORTION OF THE SUBJECT PARCEL IS LOCATED IN A NATURAL HERITAGE AREA.
 9. THE SITE IS LOCATED IN THE CRMC SALT POND SPECIAL AREA MANAGEMENT PLAN (SELF SUSTAINING LANDS).
 10. A PORTION OF THE SUBJECT PARCEL IS LOCATED IN A GROUNDWATER RECHARGE AREA.

Soil Information:
(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

| SOIL NAME | DESCRIPTION |
|-----------|--|
| BnB | BRIDGEHAMPTON-CHARLTON COMPLEX, VERY STONY, 0 TO 8 PERCENT SLOPES |
| ChB | CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES |
| EFA | ENFIELD SILT LOAM, 0 TO 3 PERCENT SLOPES |
| MmB | MERRIMAC SANDY LOAM, 3 TO 8 PERCENT SLOPES |
| Rf | RIDGEBURY, WHITMAN, AND LEICESTER EXTREMELY STONY FINE SANDY LOAMS |
| WcB | WAPPING VERY STONY SILT LOAM, 0 TO 8 PERCENT SLOPES |

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 1 AUG 30 2013 FILE # 13-002P
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Michael D. Wencel
REGISTERED PROFESSIONAL LAND SURVEYOR

| | |
|-----------------------------------|----------------------|
| PROPERTY LINE | UTILITY POLE |
| WETLAND LINE | WF P-13 WETLAND FLAG |
| 50' PERIMETER WETLAND | EX OWTS |
| 100' RIVERBANK WETLAND | N/F NOW OR FORMERLY |
| 150' CRMC BUFFER | AP ASSESSOR'S PLAT |
| 175' CRMC NO CONSTRUCTION SETBACK | 2' CONTOUR |
| 200' CRMC OWTS SETBACK | 10' CONTOUR |
| SOIL BOUNDARY LINE | TRELINE |
| SOIL IDENTIFICATION | STONE WALL |
| | FENCE |
| | PAVEMENT |

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Certification:
THIS PLAN IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH A CLASS II SURVEY AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSIDERED AS AN ACCURATE BOUNDARY SURVEY AND MAY BE SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.

MICHAEL E. GAVITT
No. 1981
PROFESSIONAL LAND SURVEYOR

Existing Conditions
Stone Soup Farm - Phase 3
Assessor's Plat 55-2, Lot 1
South Kingstown, Rhode Island

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Sand Dollar, LLC
151 Pond Street
Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|----------|----------------------------|-----|
| 1 | 7-26-13 | NDCM Resubmission | DAR |
| 2 | 8-23-13 | NDCM Submission | DAR |
| 3 | 12-4-12 | Master Plan Resubmission | DAR |
| 4 | 11-16-12 | Master Plan Submission | DAR |
| 5 | 6-9-12 | Pre-Application Submission | DAR |

Scale: 1"=100'
0 50' 100' 200'

Engineers • Planners • Surveyors



- General Notes:**
- THE SITE IS PROPOSED TO BE SERVICED BY PRIVATE WELLS AND PRIVATE ON-SITE WASTE WATER TREATMENT SYSTEMS (OWTS). THERE ARE NO OWTS PROPOSED WITHIN 200' OF THE WETLAND.
 - THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF SOUTH KINGSTOWN SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE STORMWATER MANAGEMENT SYSTEM MEETS RIDEM AND SOUTH KINGSTOWN BEST MANAGEMENT PRACTICES.
 - THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE.
 - THE SITE IS PROPOSED WITH UNDERGROUND UTILITIES.
 - PORTIONS OF THE SITE ARE LOCATED WITHIN A NATURAL HERITAGE AREA, AND GROUNDWATER RECHARGE AREA.
 - THE SITE IS LOCATED WITHIN A CRMC SALT POND REGION SAMP CLASSIFIED AS SELF SUSTAINING LANDS.

Dimensional Regulations:

| | |
|-----------------------------|------------------|
| UNDERLYING ZONE: | RESIDENTIAL R-80 |
| MINIMUM LOT AREA: | 80,000 SF |
| MINIMUM FRONTAGE/LOT WIDTH: | 200 (20' *) |
| MAXIMUM BUILDING COVERAGE: | 20% |
| MAXIMUM HEIGHT: | 35' |
| MINIMUM FRONT YARD: | 50' |
| MINIMUM CORNER YARD: | 40' |
| MINIMUM SIDE YARD: | 40' |
| MINIMUM REAR YARD: | 50' |

* PER SECTION 502.2.A LOT FRONTAGE AND WIDTH, FLEXIBLE PROVISIONS-- IN R10 TO R200 ZONES, THE PLANNING BOARD IS AUTHORIZED TO REDUCE THE LOT FRONTAGE AND LOT WIDTH OF NEWLY CREATED LOTS IN A SUBDIVISION ON ANY PUBLIC OR APPROVED PRIVATE STREET TO A MINIMUM OF 20 FEET.

Development Data:

| | |
|---------------------------|---------------------------------------|
| TOTAL SITE AREA: | 33.92 ACRES |
| AREA TO BE DEEDED: | 5.54 ACRES |
| AREA OF DEVELOPMENT: | 28.38 ACRES |
| TOTAL NUMBER OF LOTS: | 7 |
| TOTAL DWELLING UNITS: | 7 |
| TOTAL AREA OF LOTS: | 9.85 ACRES |
| TOTAL AREA OF OPEN SPACE: | 17.03 ACRES (60% SUITABLE OPEN SPACE) |
| TOTAL AREA OF ROW: | 1.50 ACRES |

Density Analysis:

| | |
|--|--|
| TOTAL APPROXIMATE LOT AREA: | 1,476,684 SQ FT |
| TOTAL APPROXIMATE AREA TO BE DEEDED: | 241,322 SQ FT |
| TOTAL APPROXIMATE AREA OF DEVELOPMENT: | 1,235,362 SQ FT |
| DENSITY CALCULATION: | 1,235,362 SQ FT/80,000 SQ FT = 15 LOTS |

Affordable Housing (Inclusionary Zoning):

A MINIMUM OF 20 PERCENT OF THE BASIC MAXIMUM NUMBER OF LOTS/UNITS MUST BE AFFORDABLE TO LOW AND/OR MODERATE INCOME HOUSEHOLDS AS DEFINED UNDER G.L. 1956, §45-53, LOW AND MODERATE INCOME HOUSING ACT. WHERE SUCH CALCULATION YIELDS A FRACTION OF A UNIT AND SUCH FRACTION IS .5 OR ABOVE THE REQUIREMENT SHALL BE ROUNDED TO THE NEXT HIGHER, WHOLE NUMBER.

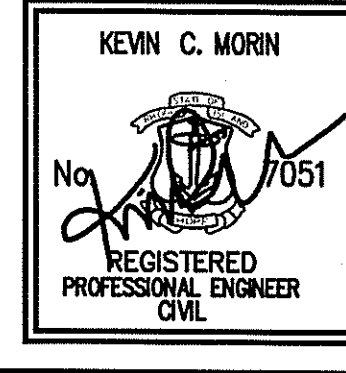
| | |
|-------------------------------------|---|
| BASIC MAXIMUM NUMBER OF LOTS/ UNIT: | 7 UNITS PROPOSED |
| AFFORDABLE CALCULATION: | BASIC MAX UNITS * 0.2 |
| LOT CALCULATION: | 7 UNITS * 0.2 = 1.4 UNITS |
| AFFORDABLE UNITS PROPOSED: | 1 UNIT (TO BE PROVIDED AT OFFSITE LOCATION) |

Kindly be advised that this Permit is not equivalent to a verification of the type or extent of freshwater wetlands on site.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
AS APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED 1AUG 30 2013 FILE # 13-0088
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

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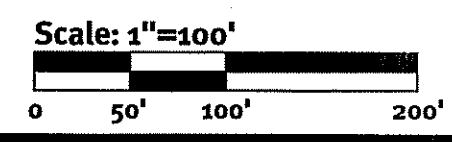


Site Plan
Stone Soup Farm - Phase 3
Assessor's Plat 55-2, Lot 1
South Kingstown, Rhode Island

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Sand Dollar, LLC
151 Pond Street
Wakefield, RI 02879

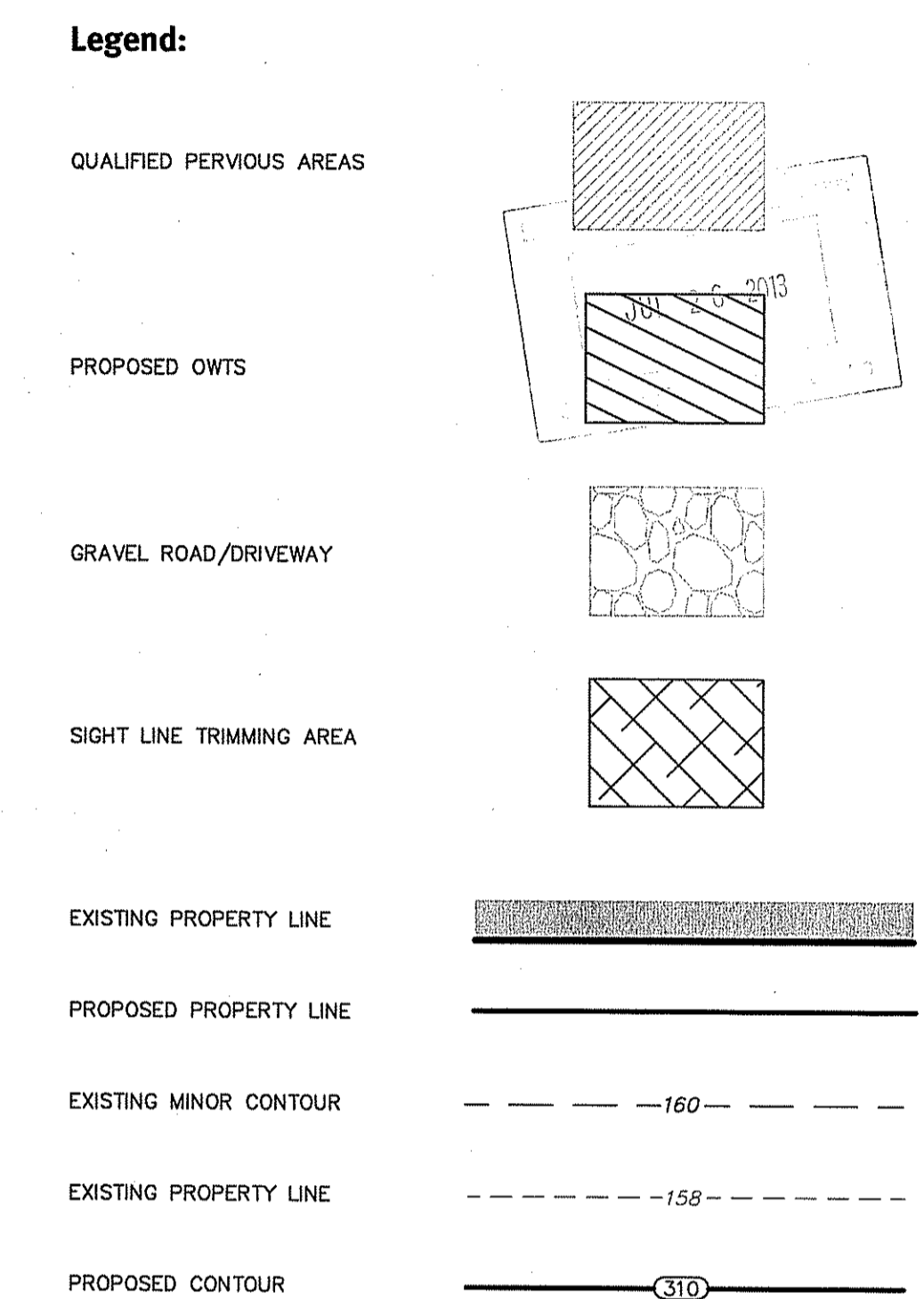
| No. | Date | Description | By: |
|-----|----------|----------------------------|-----|
| 4 | 7-16-13 | RIDEM Resubmission | DKR |
| 3 | 5-31-13 | RIDEM Submission | DKR |
| 2 | 12-4-12 | Master Plan Resubmission | DKR |
| 1 | 11-16-12 | Master Plan Submission | DKR |
| 0 | 6-6-12 | Pre-Application Submission | DKR |



Engineers • Planners • Surveyors



- ### General Construction Notes
1. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE PROPOSED HOMES TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
 2. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ROOF DOWNSPOUTS ARE DIRECTED TOWARD DESIGNATED QPA AREAS.
 3. WATER BARS TO BE INSTALLED AS NECESSARY ALONG DOWN GRADIENT EDGE OF GRAVEL ROADWAY TO CONVEY STORM WATER TO PRESERVED WOODED AREAS.
 4. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDINGS. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
 5. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS BY OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK. CALL TOLL FREE THE DIG SAFE CENTER AT 1-888-344-7233, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.

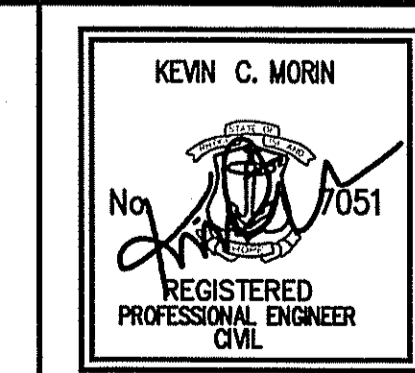


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DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Grading Plan - 1

Stone Soup Farm - Phase 3

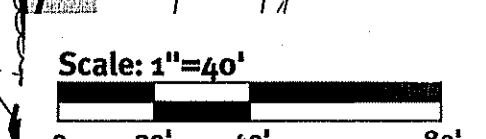
Assessor's Plat 55-2, Lot 1
 South Kingstown, Rhode Island

DiPrete Engineering

Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Sand Dollar, LLC
 151 Pond Street
 Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|----------|----------------------------|-----|
| 4 | 7-16-13 | RIDEM Resubmission | DAR |
| 3 | 5-31-13 | RIDEM Submission | DAR |
| 2 | 12-4-12 | Master Plan Resubmission | DAR |
| 1 | 11-16-12 | Master Plan Submission | DAR |
| 0 | 6-8-12 | Pre-Application Submission | DAR |
| No. | Date | Description | By: |



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General Construction Notes

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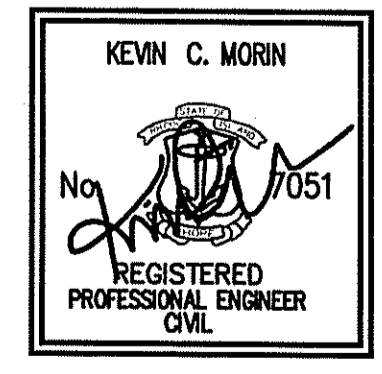
Legend:

- QUALIFIED PERVIOUS AREAS
- PROPOSED OWTS
- GRAVEL ROAD/DRIVEWAY
- SIGHT LINE TRIMMING AREA
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING MINOR CONTOUR
- EXISTING PROPERTY LINE
- PROPOSED CONTOUR

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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Master D. Wenzel
 REGISTERED PROFESSIONAL ENGINEER

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
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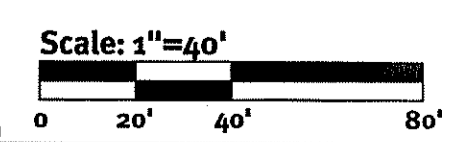
Grading Plan - 2
Stone Soup Farm - Phase 3
 Assessor's Plat 55-2, Lot 1
 South Kingstown, Rhode Island



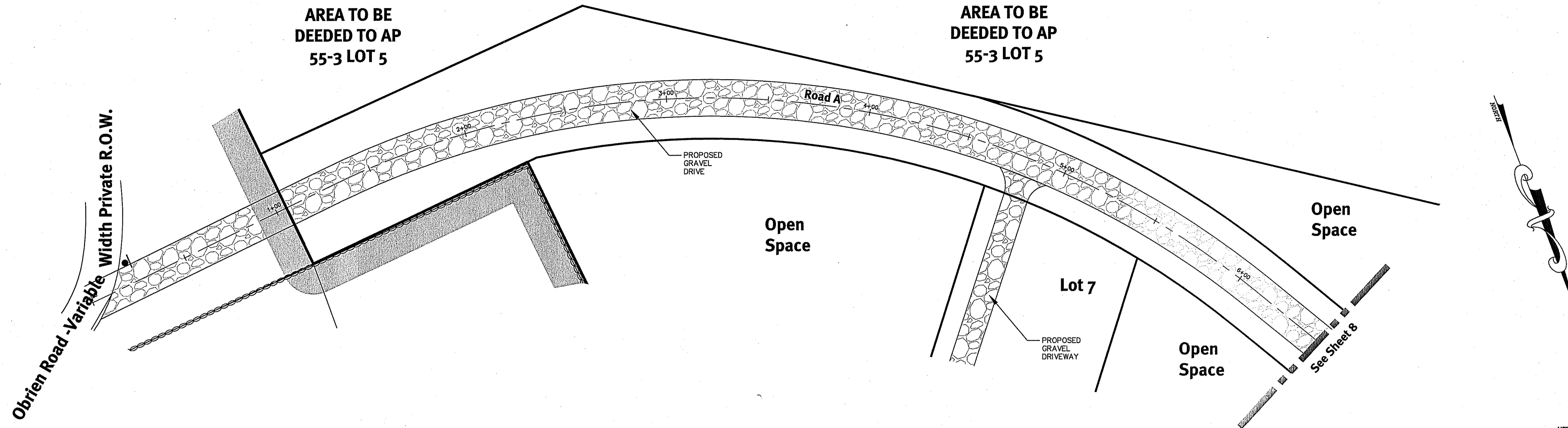
Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com

Owner / Applicant:
Sand Dollar, LLC
 151 Pond Street
 Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|----------|----------------------------|-----|
| 1 | 7-16-13 | RIDEM Resubmission | DAR |
| 2 | 5-31-13 | RIDEM Submission | DAR |
| 3 | 12-9-12 | Master Plan resubmission | DAR |
| 4 | 11-08-12 | Master Plan Submission | DAR |
| 5 | 6-12 | Pre-application Submission | DMR |

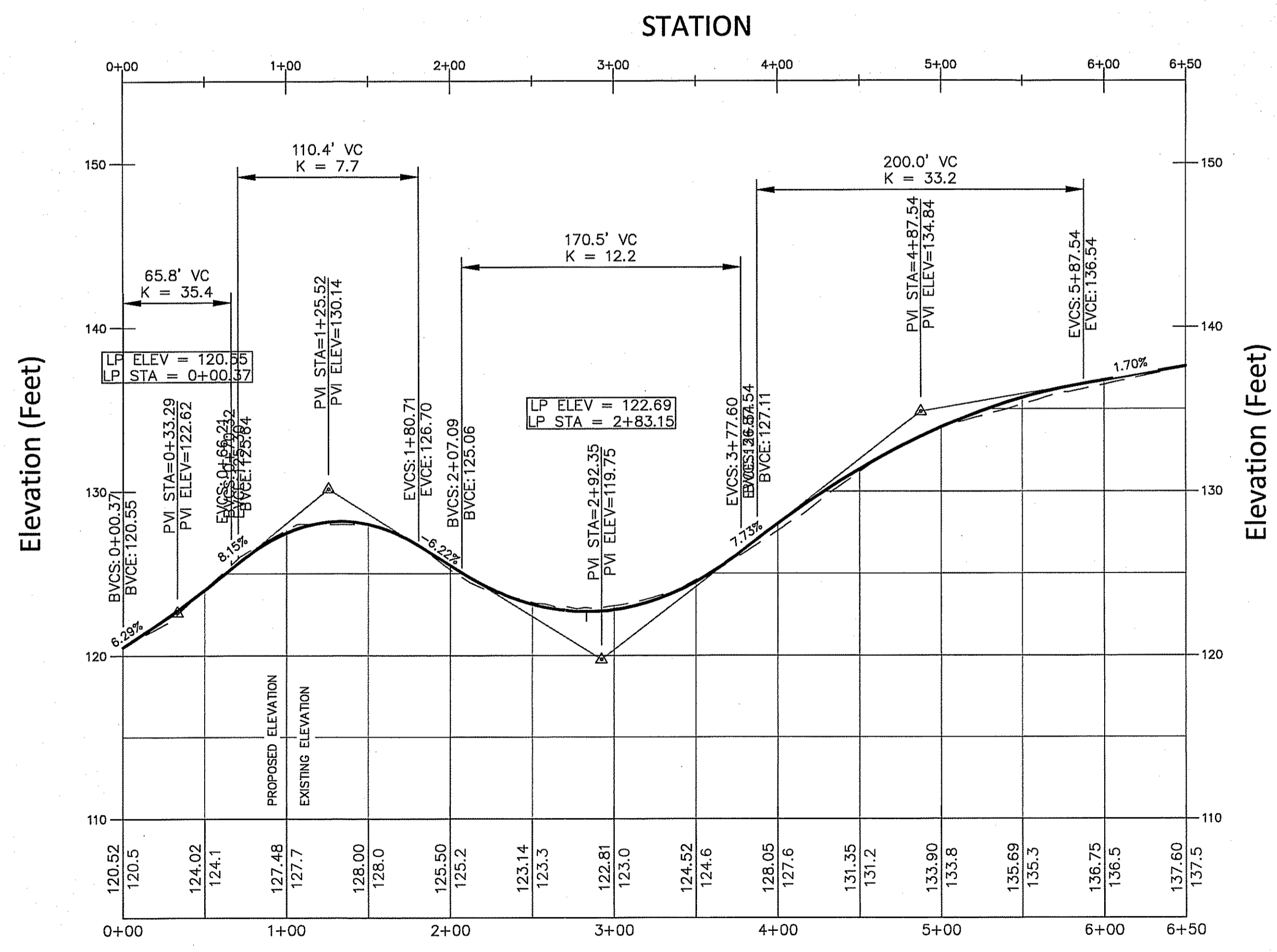


AP 55-2 LOT 1
 N/P
 SAND DOLLAR, LLC
 ZONED R-80

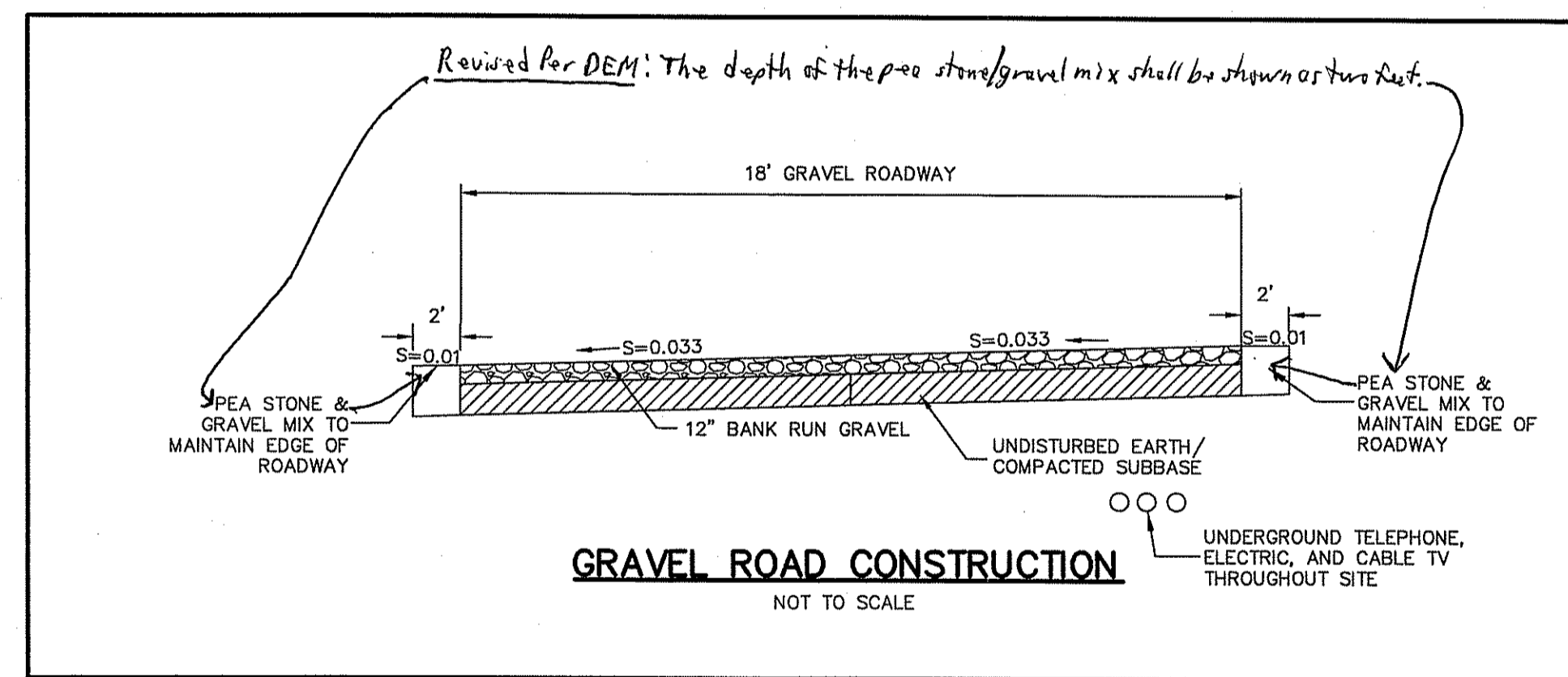
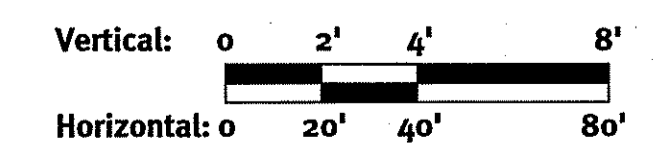


JUL 26 2013

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
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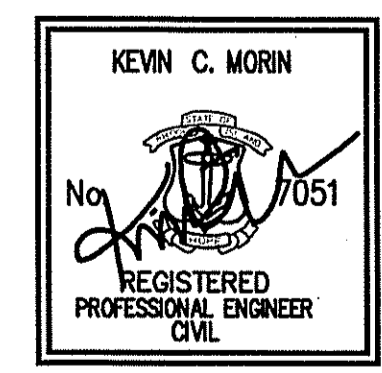


Profile View of Alignment - Road A



GRAVEL ROAD CONSTRUCTION

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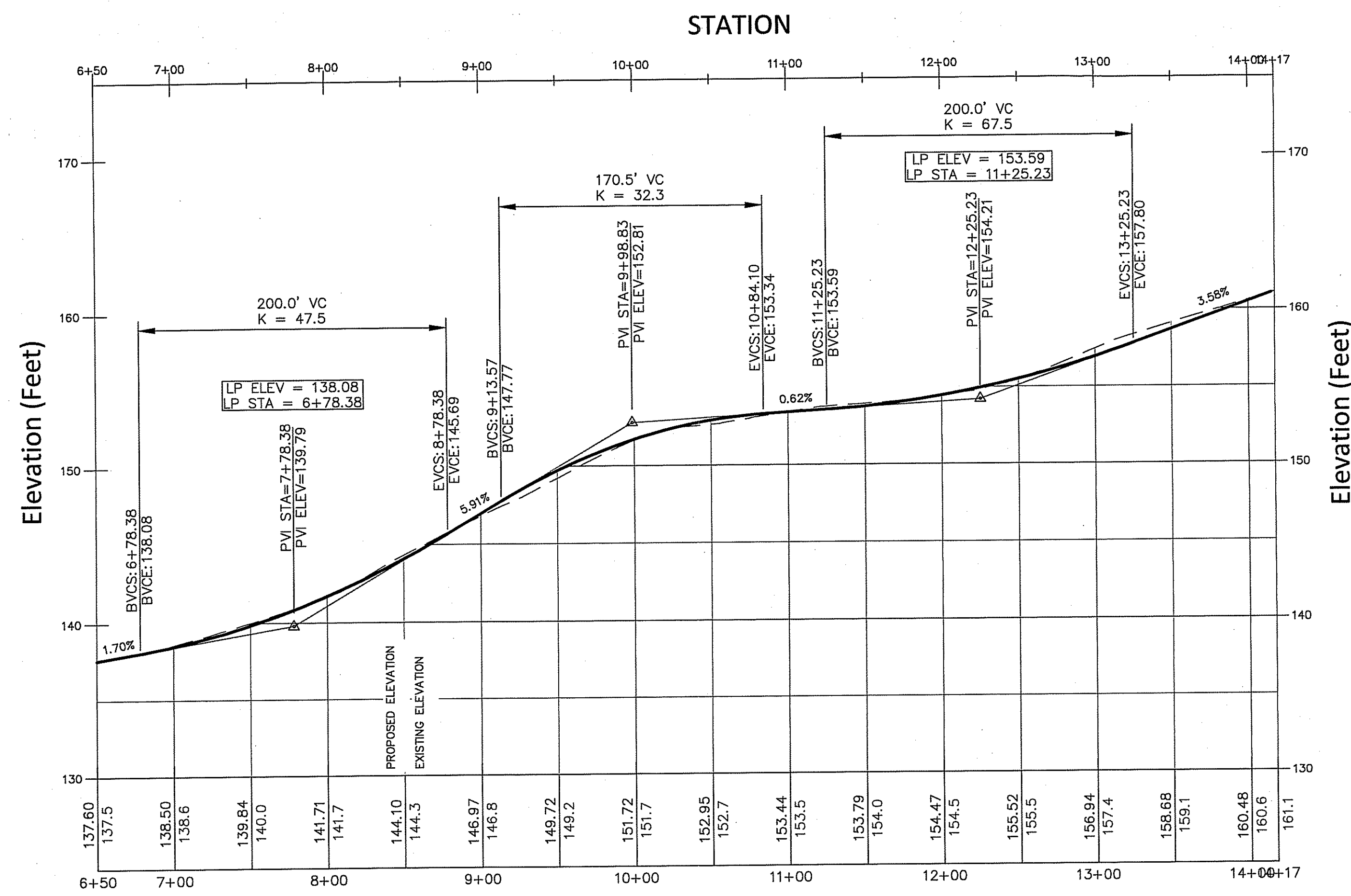
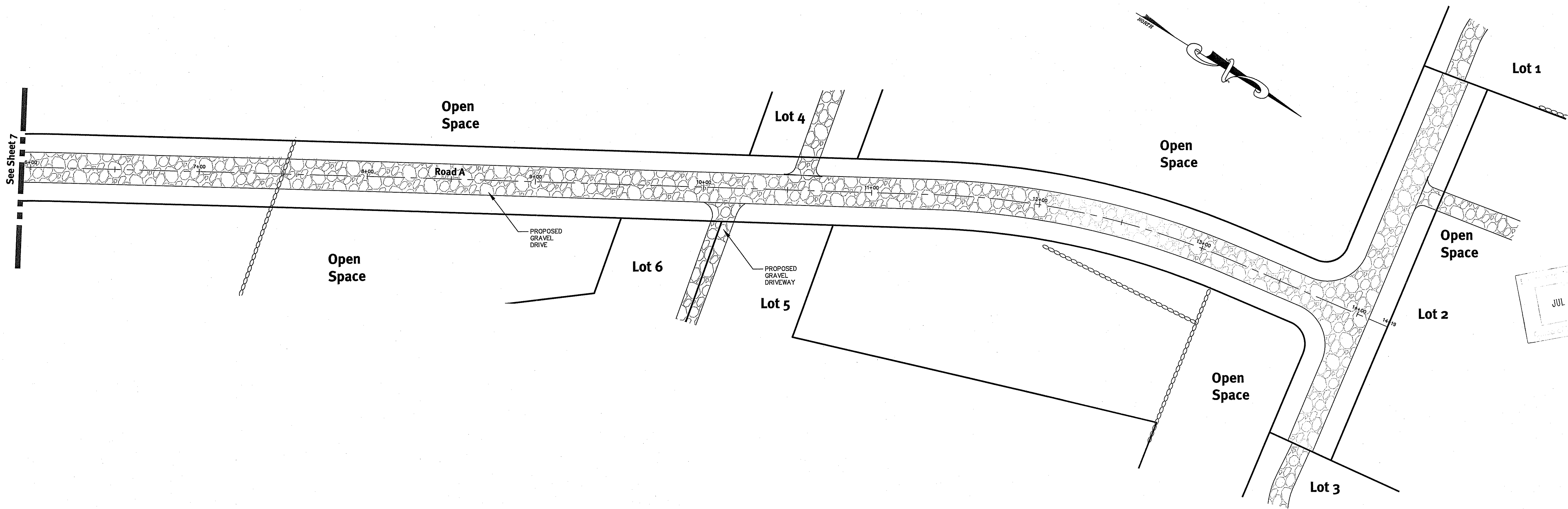


Plan & Profile - 1
Stone Soup Farm - Phase 3
 Assessor's Plat 55-2, Lot 1
 South Kingstown, Rhode Island

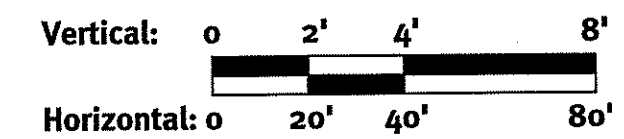
DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.DiPrete-Eng.com
 Owner / Applicant:
Sand Dollar, LLC
 151 Pond Street
 Wakefield, RI 02879

| No. | Date | Description | By: |
|-----|----------|----------------------------|-----|
| 1 | 7-16-13 | RIDEM Resubmission | DAR |
| 2 | 5-31-13 | RIDEM Submission | DAR |
| 3 | 12-3-12 | Master Plan Resubmission | DAR |
| 4 | 13-10-12 | Master Plan Submission | DAR |
| 5 | 6-6-12 | Pre-Application Submission | DAR |

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Profile View of Alignment - Road A

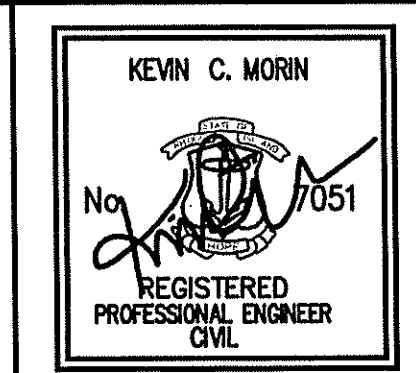


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Kevin C. Morin
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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Plan & Profile - 2
Stone Soup Farm - Phase 3

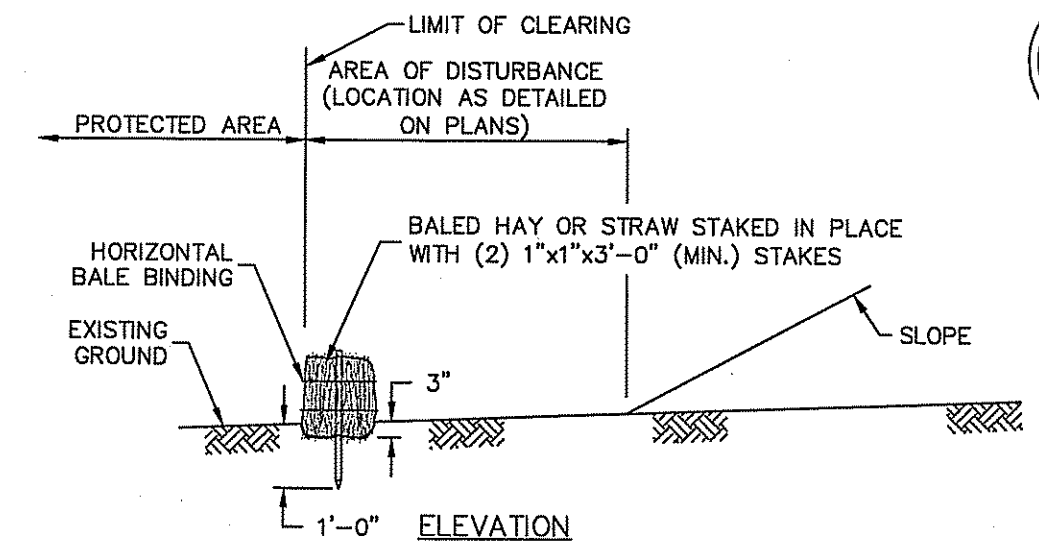
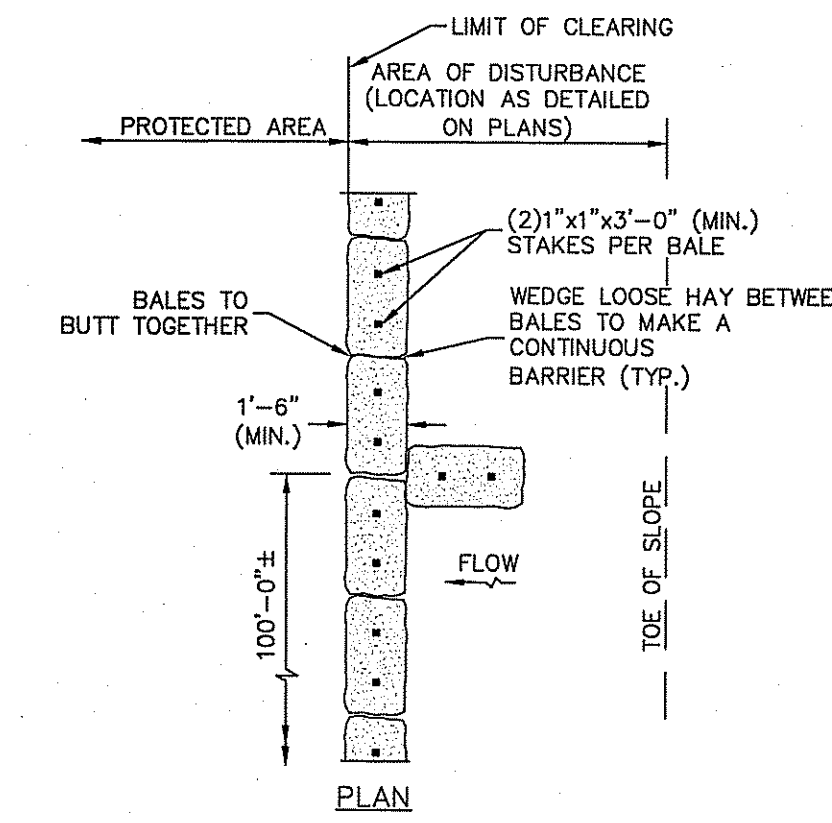
Assessor's Plat 55-2, Lot 1
South Kingstown, Rhode Island



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Owner / Applicant:
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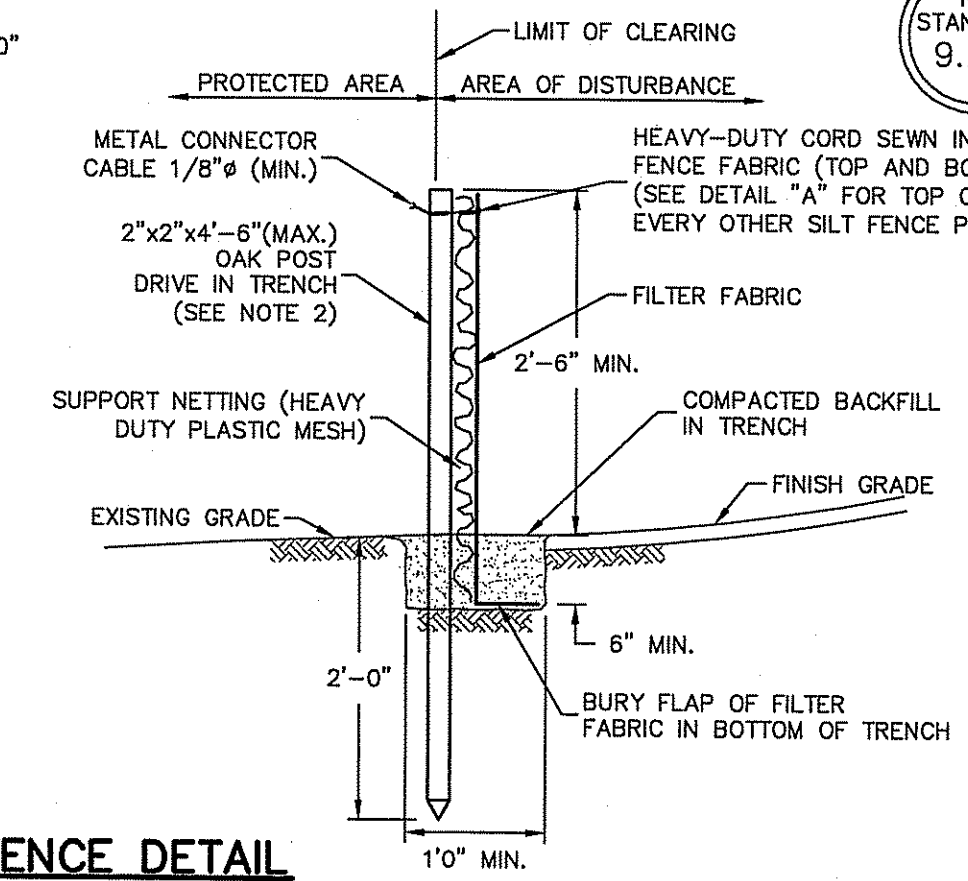
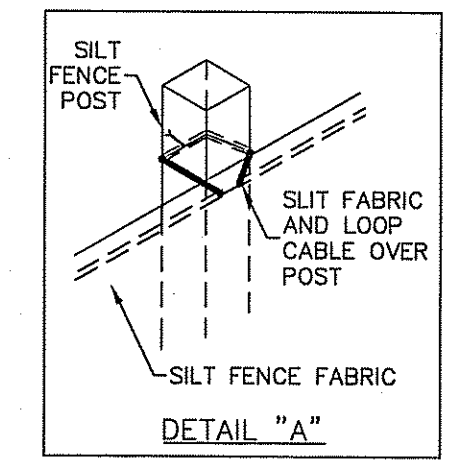
| No. | Date | Description | By: |
|-----|----------|----------------------------|-----|
| 4 | 7-16-13 | RIDEM Resubmission | DAR |
| 3 | 5-31-13 | RIDEM Submission | DAR |
| 2 | 12-9-12 | Master Plan Resubmission | DAR |
| 1 | 11-16-12 | Master Plan Submission | DAR |
| 0 | 6-6-12 | Pre-Application Submission | DAR |



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TO BE USED WHERE THE EXISTING GROUND SLOPES AWAY FROM THE HIGHWAY EMBANKMENT AS CALLED FOR ON PLANS.
 3. AT APPROXIMATE 100'-0" INTERVALS A BALE OF HAY IS TO BUTT PERPENDICULARLY.

BALED HAY EROSION CHECK
NOT TO SCALE

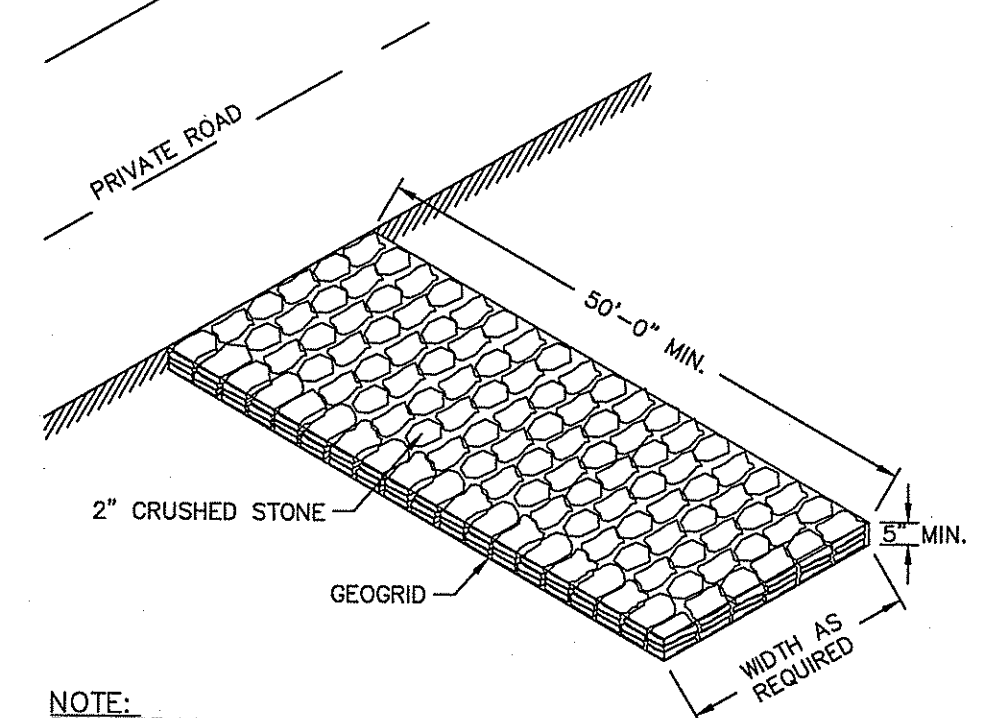
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
 2. 2"x2"x4'-6" (MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVIDE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
 3. 1"x1"x4'-6" (MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
 4. SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



SILT FENCE DETAIL
NOT TO SCALE

QUALIFIED PERVIOUS AREAS (QPAs) NOTES:

1. THE MAXIMUM ROOFTOP AREA CONTRIBUTING TO ONE DOWNSPOUT SHOULD BE 1,000 SQ. FT.
2. THE SLOPE OF THE QPA SHALL BE LESS THAN OR EQUAL TO 5.0%.
3. DOWNSPOUTS FROM RESIDENTIAL DWELLINGS SHALL HAVE APPROPRIATE PROVISIONS TO INDUCE SHEET FLOW.
4. FERTILIZATION OF QUALIFIED PERVIOUS AREAS SHOULD BE KEPT TO A MINIMUM. IF DONE IT MUST COMPLY WITH APPENDIX G OF THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL.

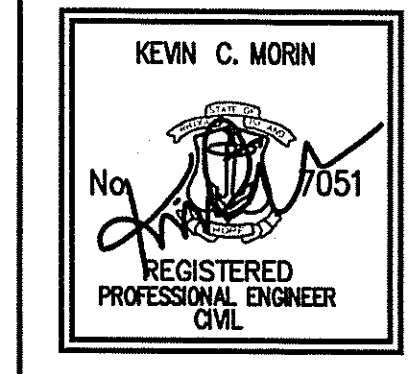


NOTE:
SHALL BE IN ACCORDANCE WITH SECTION 211 OF THE R.I. STANDARD SPECIFICATIONS.

CONSTRUCTION ACCESS
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
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Kevin C. Morin



Detail Sheet
Stone Soup Farm - Phase 3
Assessor's Plat 55-2, Lot 1
South Kingstown, Rhode Island



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| No. | Date | Description | By: |
|-----|----------|----------------------------|-----|
| 4 | 7-16-13 | RIDEM Resubmission | DAR |
| 3 | 5-31-13 | RIDEM Submission | DAR |
| 2 | 12-2-12 | Master Plan Resubmission | DAR |
| 1 | 11-15-12 | Master Plan Submission | DAR |
| 0 | 6-5-12 | PRE-Application Submission | DAR |

Engineers • Planners • Surveyors