



PLAN VIEW
SCALE: 1"=60'

GENERAL NOTES:

- REFERENCE PLAN ENTITLED "MAP SHOWING DEVELOPMENT OF PROPERTY OF MICHAEL AND VERA GROSS BLANSFIELD, BLOCK ISLAND, NEW SHOREHAM, RI. SCALE: 1" = 30', MAY 28 1961."
- REFERENCE PLAN ENTITLED "SHEEP'S MEADOW IN THE TOWN OF NEW SHOREHAM, RI. PROPERTY OF NEW SHOREHAM COTTAGE SALES, INC. REVISED JUNE 1969, A.J. EASTERBROOKS, C.E. SCALE: 1" = 60'."
- REFERENCE A.P. 3
- REFERENCE DEED BOOK/PAGE 246/243, 102/301, 378/36, 101/84, 100/259, 37/117, 23/479, 168/30, 155/303, 147/171, 55/226, 27/21, 237/122, 82/327, 342/194, 182/307, 154/247, 328/302, 27/493, 237/122, 235/164, 160/112, 237/114
- UNDERGROUND UTILITIES ARE NOT LOCATED AS PART OF THIS PROJECT.
- SUBMITTALS OF THIS PLAN TO TOWN IS BEYOND THE SCOPE OF THIS PROJECT AND MUST BE PERFORMED UNDER A SEPARATE AGREEMENT.
- MODIFICATIONS TO THIS PLAN ARE PROHIBITED WITHOUT PERMISSION OF ATLAS LAND SURVEYING, LLC.
- THIS SURVEY & PLAN DOES NOT SHOW ANY PRESCRIPTIVE EASEMENTS OR SUFFICIENT EVIDENCE BY WHICH ANY DETERMINATION CAN BE MADE BY THIS SURVEYOR ABOUT THE EXISTENCE OF PRESCRIPTIVE EASEMENTS. SUCH EASEMENTS COULD EXIST ON THIS PROPERTY & NOT APPEAR ON THIS PLAN. USERS OF THIS PLAN ARE THEREFORE WARNED NOT TO BE ON THE ALERT FOR THE EXISTENCE OF PRESCRIPTIVE EASEMENTS NOT SHOWN HEREON.
- THIS PLAN IS GOOD FOR THE INTENT AS NOTED ONLY. THIS SURVEY WAS REPRODUCED BY REFERENCES, DEEDS, & HIGHWAY MAPS.
- PLAN DOES NOT STATE ANY OPINION REGARDING WHETHER THE OCCUPATION & USES NOT IN CONFORMANCE WITH THE RECORD LINE OF TITLE HAVE RIPPEN TO PRESCRIPTIVE EASEMENTS OR ADVERSE TITLE. THIS SURVEY & PLAN CONFORM TO A CLASS II PROPERTY LINE & CLASS III TOPOGRAPHY SURVEY AS ADOPTED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.
- WETLAND DELINEATION PERFORMED BY GREEN HILL ENVIRONMENTAL, LLC IN FEBRUARY 2011 & APRIL 2013.
- ALL CONSTRUCTION ACTIVITY PROPOSED WITHIN WETLAND & BUFFER AREA TO TAKE PLACE BETWEEN JUNE & OCTOBER ONLY. CONTRACTOR TO MAINTAIN INTEGRITY OF EROSION CONTROL DEVICES FOR THE DURATION OF THE PROJECT.

STORMWATER BMP MAINTENANCE NOTES:

- THE STORMWATER BMPs SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- PROPERTY OWNER SHALL MAINTAIN BMPs IN ACCORDANCE WITH THE 'STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE FAMILY RESIDENTIAL LOT DEVELOPMENT GUIDELINES'.
 - VEHICLES OR OTHER HEAVY EQUIPMENT SHALL NOT BE PARKED ON TOP OF THE STORMWATER BMPs SINCE THIS WILL COMPACT THE SOILS AND REDUCE THE INFILTRATION CAPACITY OF THE SOILS.
 - CRUSHED STONE TRENCHES:**
 - INSPECT THE RAIN GARDENS ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE.
 - ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE INFILTRATION PRACTICE ANNUALLY.
 - SWALES:**
 - VEGETATIVE SWALES SHALL BE INSPECTED ANNUALLY AND SHOULD BE INSPECTED AFTER LARGE STORM EVENTS.
 - ERODED SIDE SLOPES AND CHANNEL BOTTOMS SHALL BE STABILIZED AS NECESSARY.
 - IF THE SURFACE OF THE DRY SWALE BECOMES CLOGGED TO THE POINT THAT STANDING WATER IS OBSERVED ON THE SURFACE 48 HOURS AFTER PRECIPITATION EVENTS, THE BOTTOM SHALL BE ROTO-TILLED OR CULTIVATED TO BREAK UP AND HARD-PACKED SEDIMENT, AND THEN RESEDED.
 - VEGETATION IN DRY SWALES SHALL BE MOVED AS REQUIRED TO MAINTAIN MINIMUM GRASS HEIGHTS IN THE 4 TO 6 INCH RANGE.
 - EVERY FIVE YEARS, THE CHANNEL BOTTOM SHOULD BE SCRAPED TO REMOVE SEDIMENT AND TO RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE, AND SHOULD BE RESEDED TO RESTORE GROUND COVER, WHERE NECESSARY.

GRADING & DRAINAGE NOTES:

- CONTRACTOR TO FINE GRADE LOTS IN ACCORDANCE WITH STATE OF RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE. LOTS SHALL BE GRADED SO THAT ADDITIONAL ACCUMULATION OF SURFACE WATER DOES NOT OCCUR ACROSS ADJOINING PROPERTY. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER POINT OF COLLECTION SO AS NOT TO CREATE A HAZARD. LOTS SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. IMPERVIOUS SURFACES (DRIVEWAY) SHALL BE SLOPED AWAY FROM HOUSE AT A SLOPE OF 2% FOR AT LEAST 10 FEET.
- DO NOT ALLOW STREET RUNOFF TO ENTER SUBJECT PROPERTIES OR INTO THE RAIN GARDENS.

OWNER:
KELLY CONWAY
96 WEST MOUNTAIN ROAD
CANTON, CT 06019

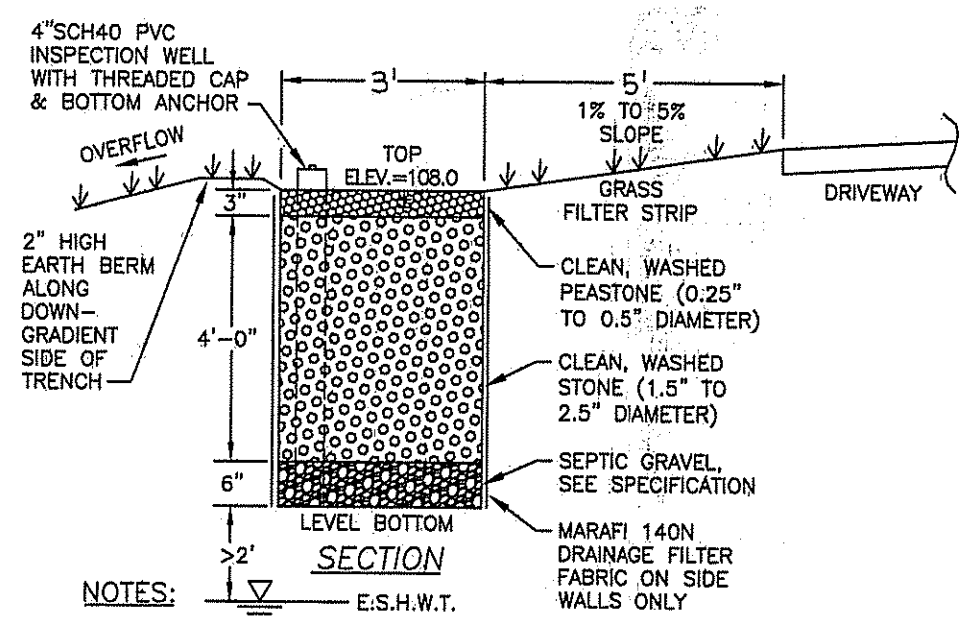
ZONING DISTRICT: RA
(SUBSTANDARD LOT OF RECORD)
MIN. AREA: 120,000 SQ. FT.
MIN. FRONTAGE: 200'
SETBACKS:
FRONT: 50'
REAR: 50'
SIDES: 50'

LEGEND

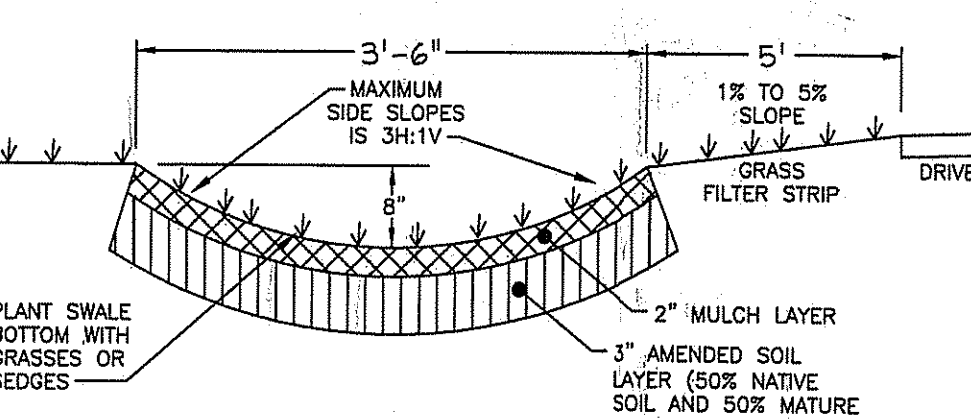
- CONCRETE BOUND FOUND
- IRON ROD SET
- IRON PIPE FOUND (IPF)
- UTILITY POLE
- PROP. WATER SHUTOFF
- DRILLHOLE SET
- SEPTIC TANK LID
- WELL
- STONE WALL
- PROPERTY LINE
- - - APPROX. PROPERTY LINE
- TREE



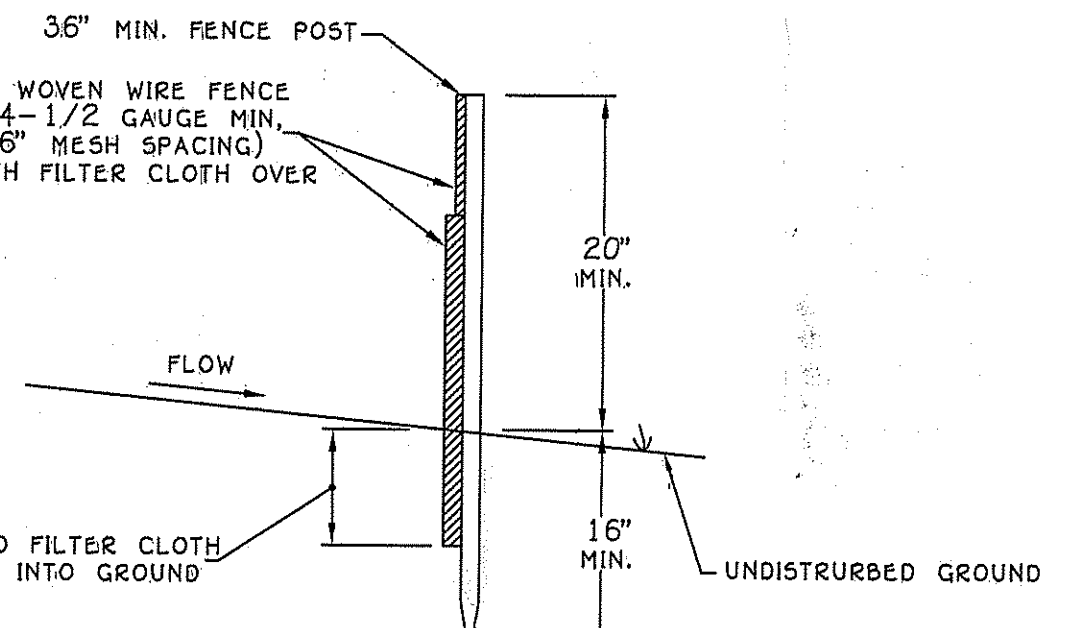
LOCUS MAP



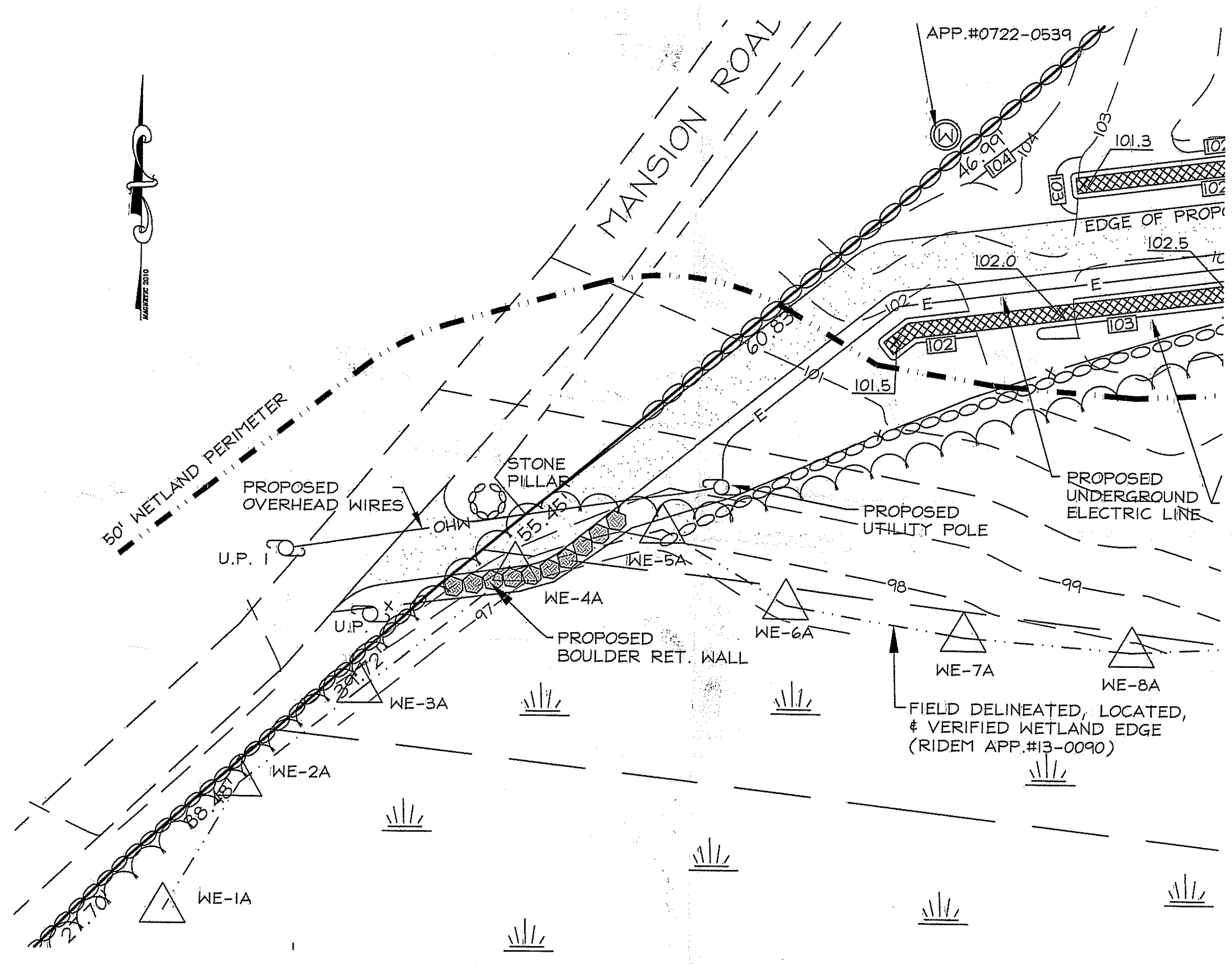
- NOTES:**
- FINE GRADE DRIVEWAY/DWELLING AREA SO RUNOFF DISCHARGES INTO CRUSHED STONE TRENCH TO MAXIMUM EXTENT POSSIBLE.
 - FINE GRADE DOWNGRADIENT SIDE OF TRENCH SO IT IS HIGHER THAN TOP OF TRENCH BY 2 INCHES.
 - PROTECT TRENCH AGAINST SEDIMENT LADEN RUNOFF DURING CONSTRUCTION BY USE OF BERMS AND/OR SILT FENCE.
 - CONSTRUCT TRENCH AT END OF CONSTRUCTION ACTIVITIES (AFTER DRIVEWAY IS CONSTRUCTED AND WHEN DWELLING IS NEAR COMPLETION).
 - SEPTIC GRAVEL SPECIFICATION: GRAVEL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 3" UP TO 10% MAY BE SIZED BETWEEN 3/4" AND 3". GRAVEL SHALL MEET THE FOLLOWING:
- | SIZE | % PASSING | SIZE | % PASSING |
|------|-----------|------|-----------|
| 3/4" | 100-100% | #40 | 100-50% |
| #4 | 55%-100% | #100 | 0%-20% |
| #10 | 50%-100% | #200 | 0%-2% |
6. KEEP TRENCHES 50 FEET AWAY FROM DRINKING WATER WELLS.
- TYPICAL CRUSHED STONE INFILTRATION TRENCH DETAIL**
NOT TO SCALE



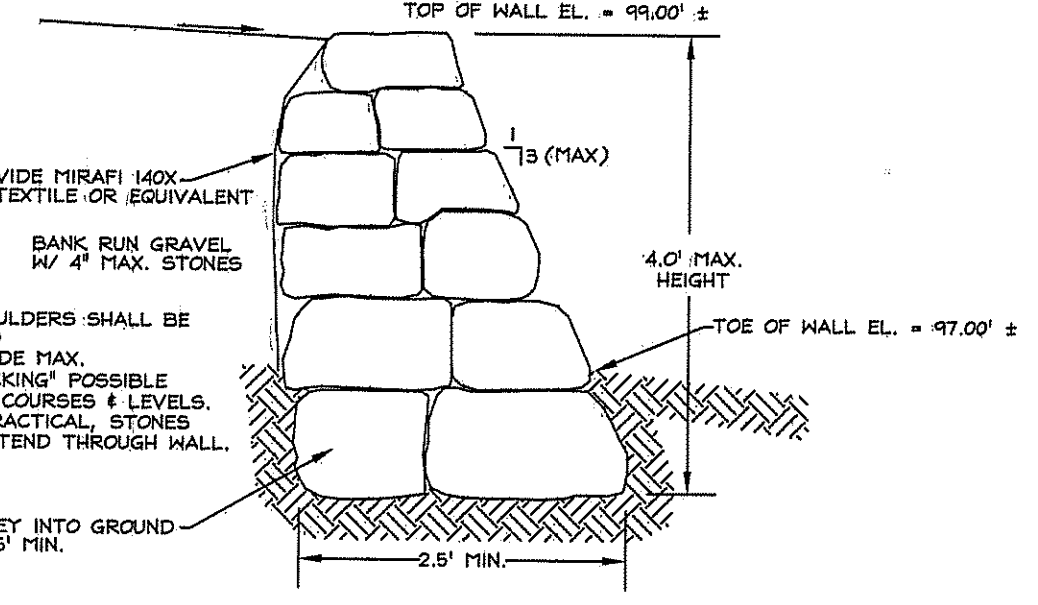
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 - KEEP SWALES 25 FEET AWAY FROM DRINKING WATER WELLS.
 - MAXIMUM LONGITUDINAL SLOPE OF SWALE SHALL BE 4%.
 - A MAXIMUM PONDING DEPTH OF 1 FOOT SHOULD BE MAINTAINED AT THE LONGITUDINAL MIDPOINT OF THE VEGETATED SWALE AND A MAXIMUM DEPTH OF 18 INCHES AT THE END POINT.
- VEGETATIVE SWALE DETAIL**
NOT TO SCALE



- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE:**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- SILT FENCE DETAIL**
N.T.S.



PLAN VIEW
SCALE: 1"=20'



TYPICAL BOULDER WALL DETAIL
N.T.S.

WETLAND DISTURBANCE

LAND AREA WITHIN WETLAND BUFFER TO BE DISTURBED = 1,891 SQ. FT.
LAND AREA WITHIN WETLANDS TO BE DISTURBED = 73 SQ. FT.
TOTAL LAND AREA WITHIN WETLANDS & BUFFER TO BE DISTURBED = 1,964 SQ. FT.

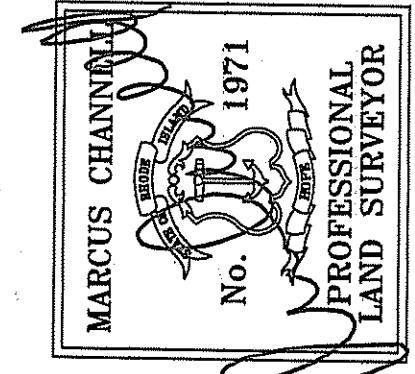
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 24 2015
713-0090
Nancy L. Freeman

STORMWATER BMP DESIGN BY:
TJB ENGINEERING, LLC

1050 MAIN STREET SUITE 31
EAST GREENWICH, RI 02818
PHONE: 401-996-1677

ONSITE WASTEWATER TREATMENT SYSTEM RE-DESIGN SITE PLAN

A.P. 3, LOT 138
MANSION ROAD
NEW SHOREHAM, RHODE ISLAND
AUG 17 2015
Prepared For:
KELLY CONWAY



ATLAS LAND SURVEYING, LLC
PROPERTY & CONSTRUCTION SURVEYING & MAPPING

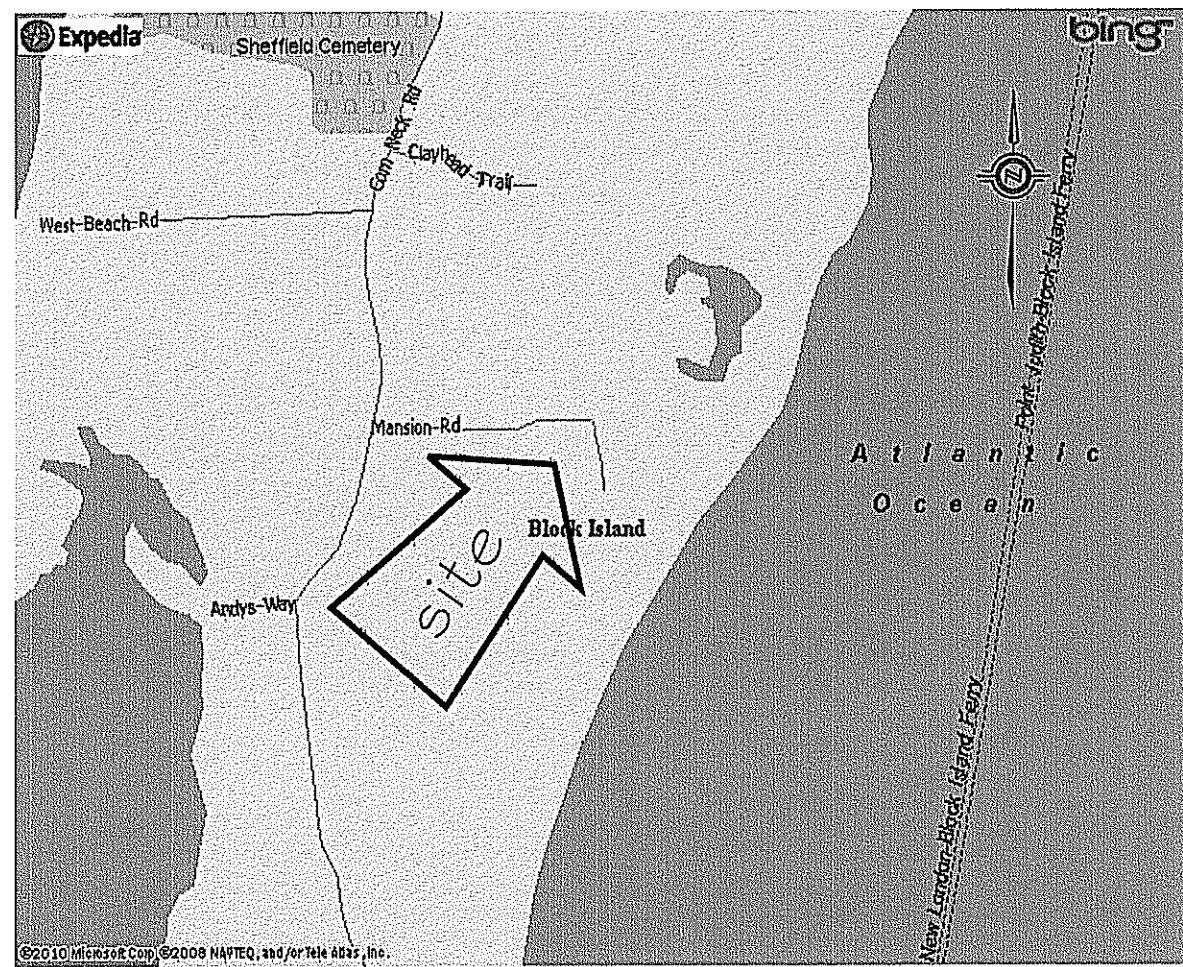
91 Parkway Drive ~ Warwick, RI 02886
401-737-4407
WWW.ATLASLANDSURVEYING.COM

REVISION: AUG. 2013
JULY 2015

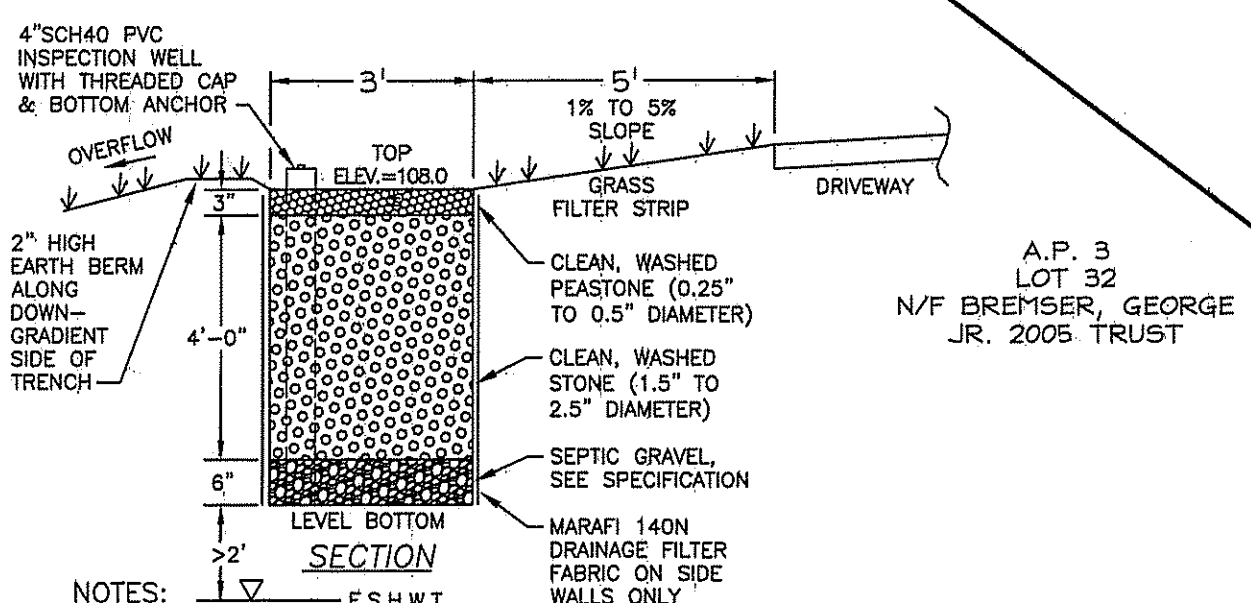
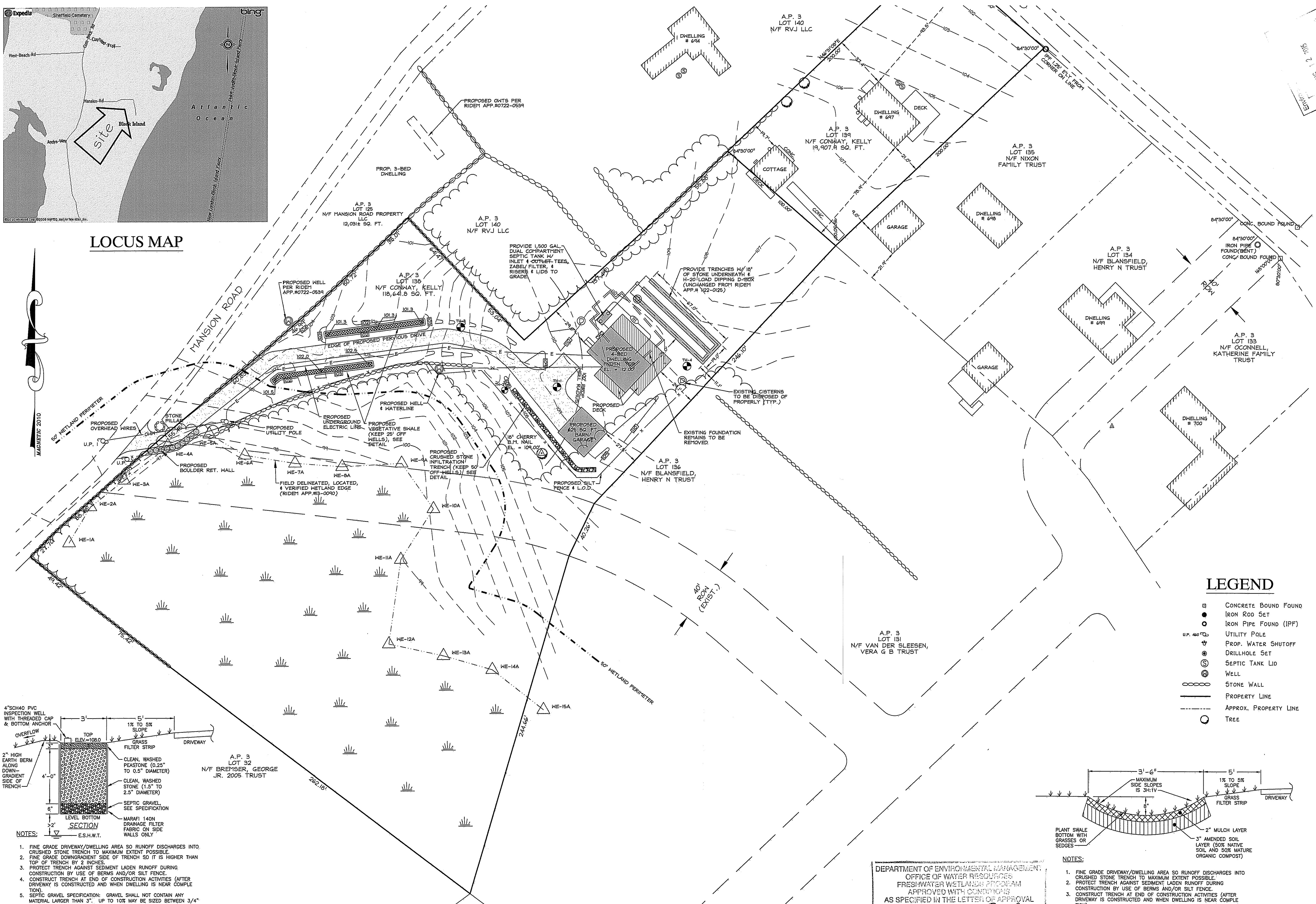
DATE: APRIL 2013
DRAWN BY: KRC
SCALE: AS NOTED

SHEET
1
OF 1 SHEETS
JOB NO. CLEAVER
DWG. NO. CLEAVER-WET

ATLAS LAND SURVEYING, LLC. COPYRIGHTED MATERIALS 2013



LOCUS MAP

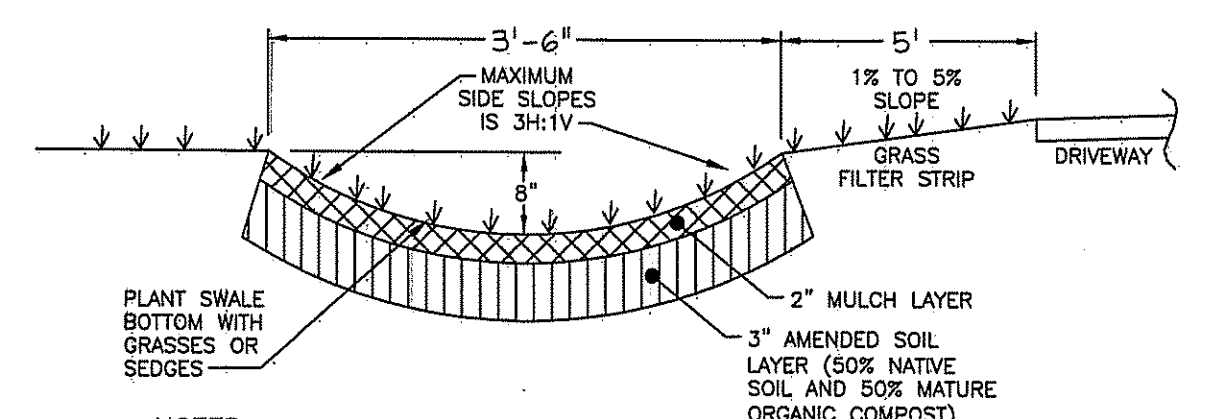


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NOT TO SCALE



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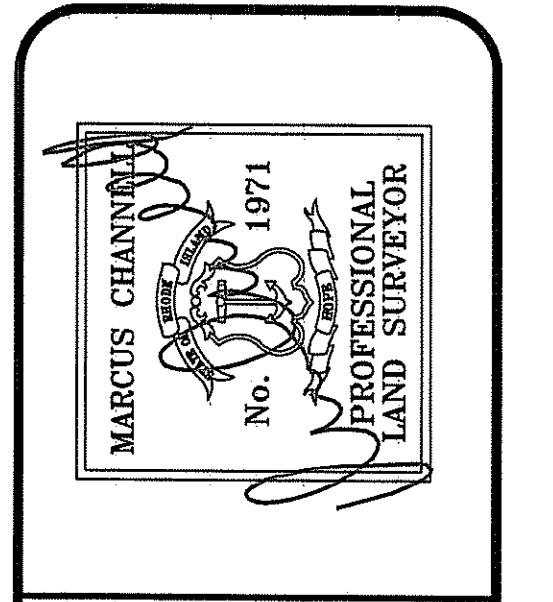
VEGETATIVE SWALE DETAIL
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED AUG 24, 2015 FILE # 13-07890
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Walter L. Freeman

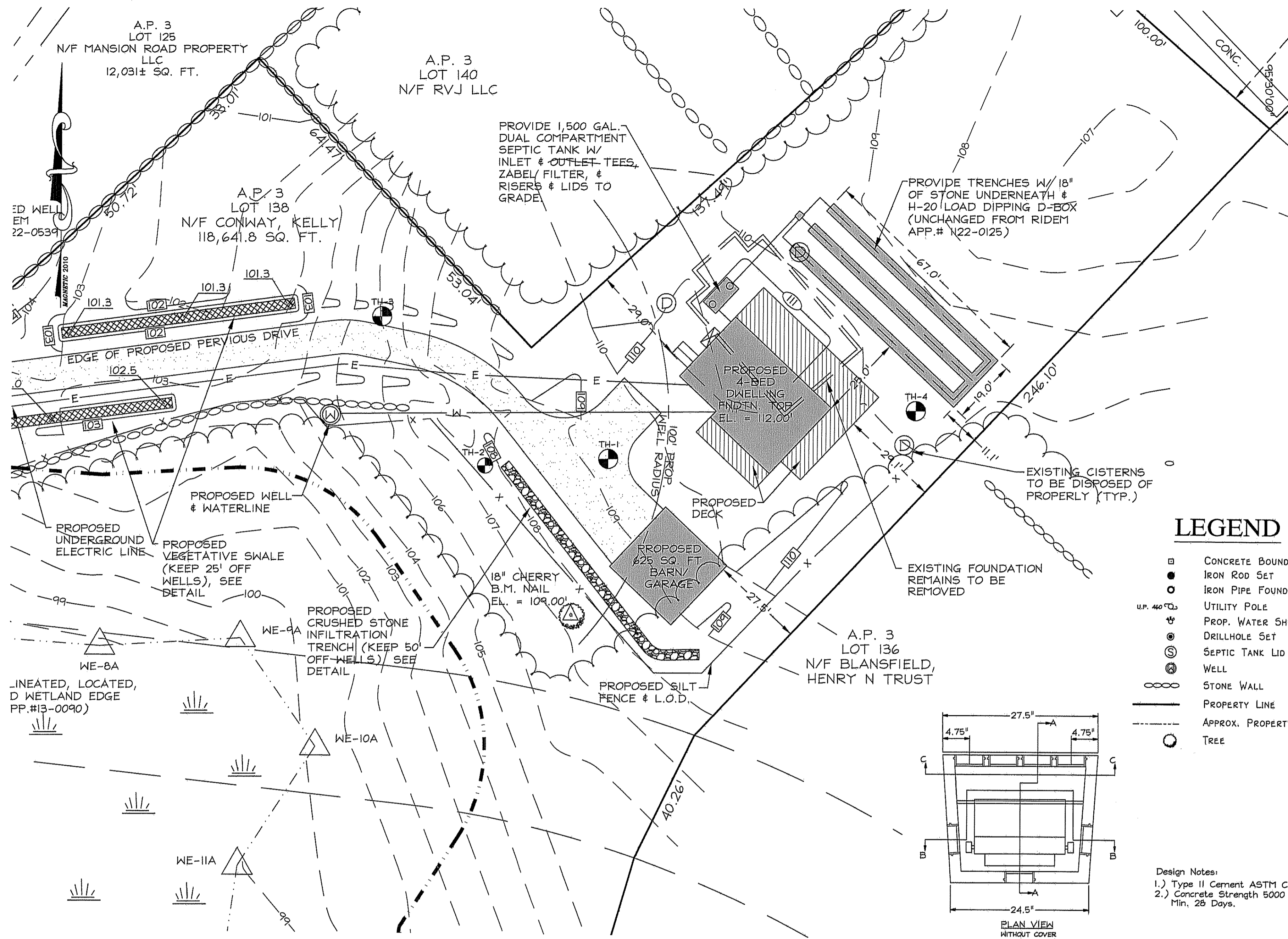
PLAN VIEW
SCALE: 1"=30'

NEW ONSITE WASTEWATER TREATMENT SYSTEM RE-DESIGN
A.P. 3, LOT 138
MANSION ROAD
NEW SHOREHAM, RHODE ISLAND
Prepared For:
KELLY CONWAY

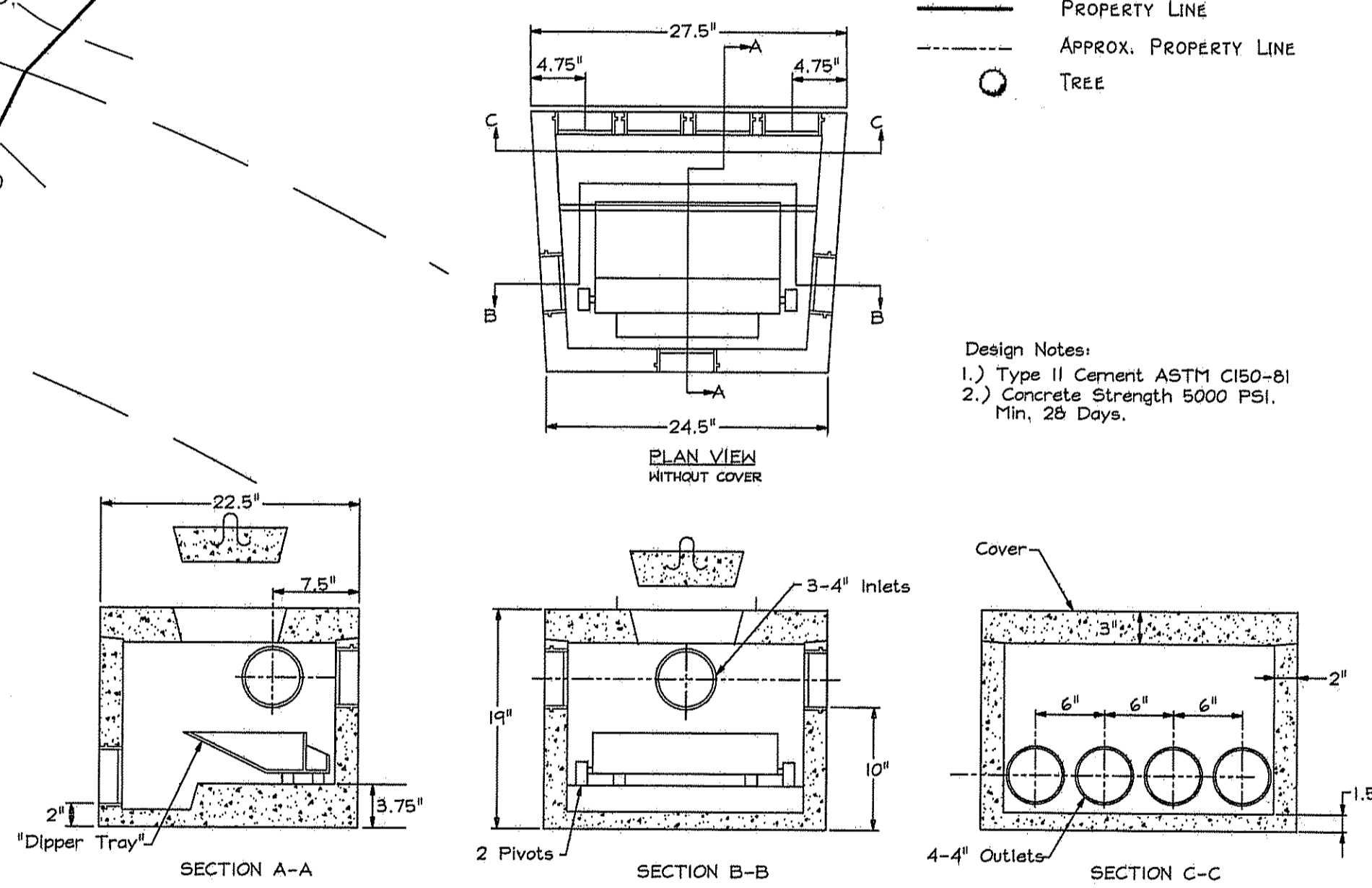
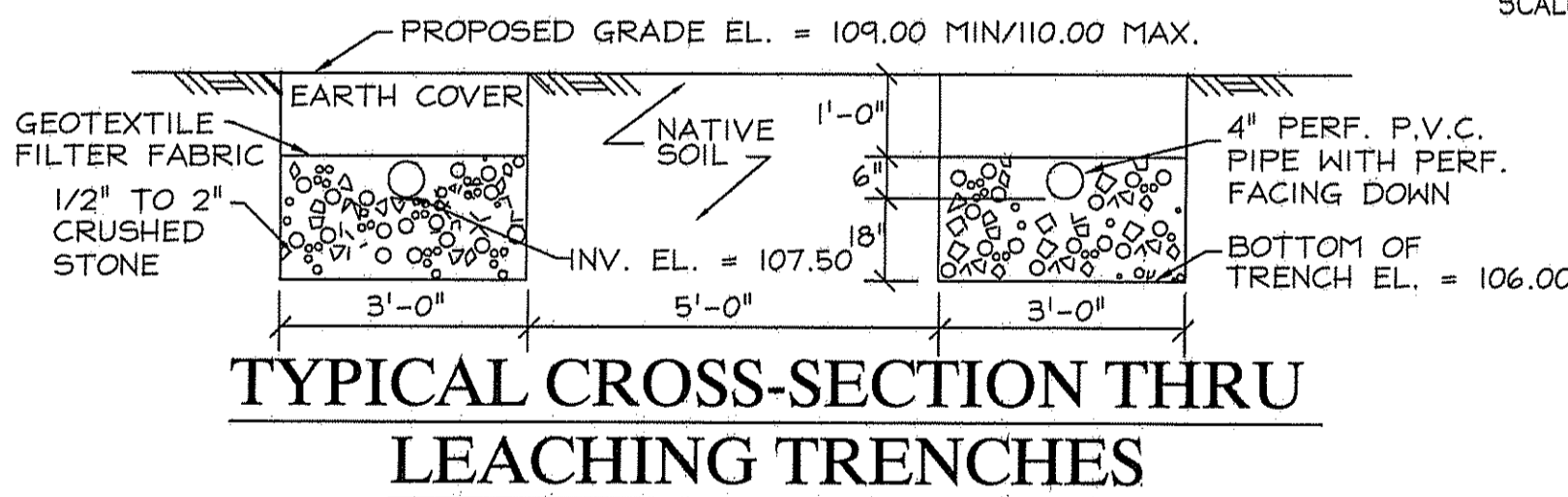


ATLAS LAND SURVEYING, LLC
PROPERTY & CONSTRUCTION SURVEYING & MAPPING
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401-737-4407
WWW.ATLASLANDSURVEYING.COM

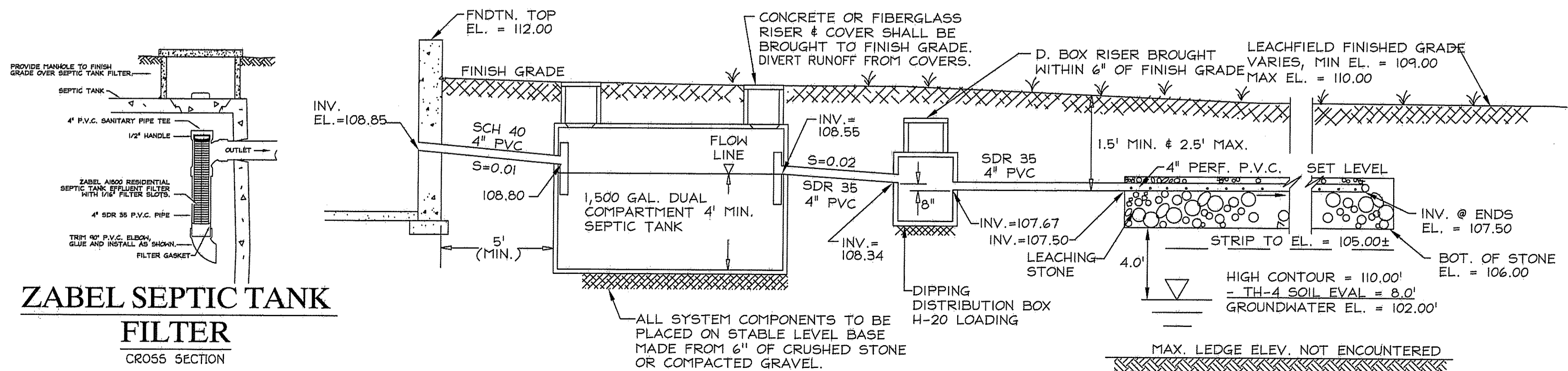
REVISION: JULY 2015
DATE: 17 MAR. 2011
DRAWN BY: KRC
SCALE: 1" = 30'
SHEET 2 OF 3 SHEETS 3
JOB NO.
DWG. NO.



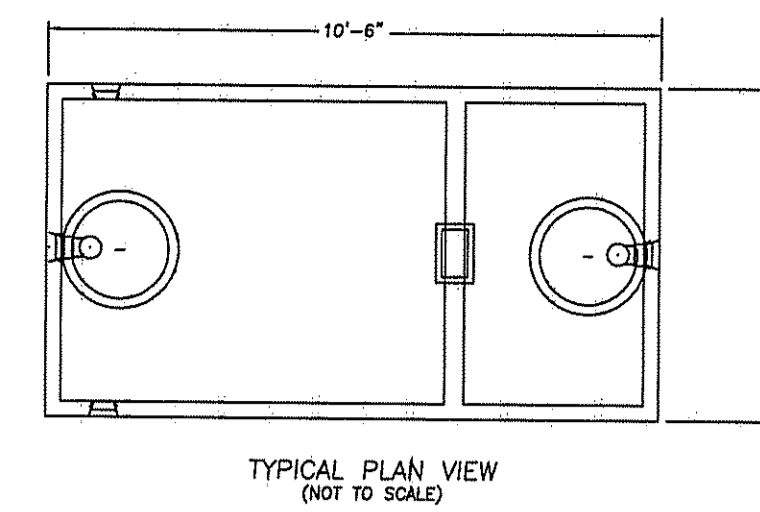
PLAN VIEW
SCALE: 1"=20'



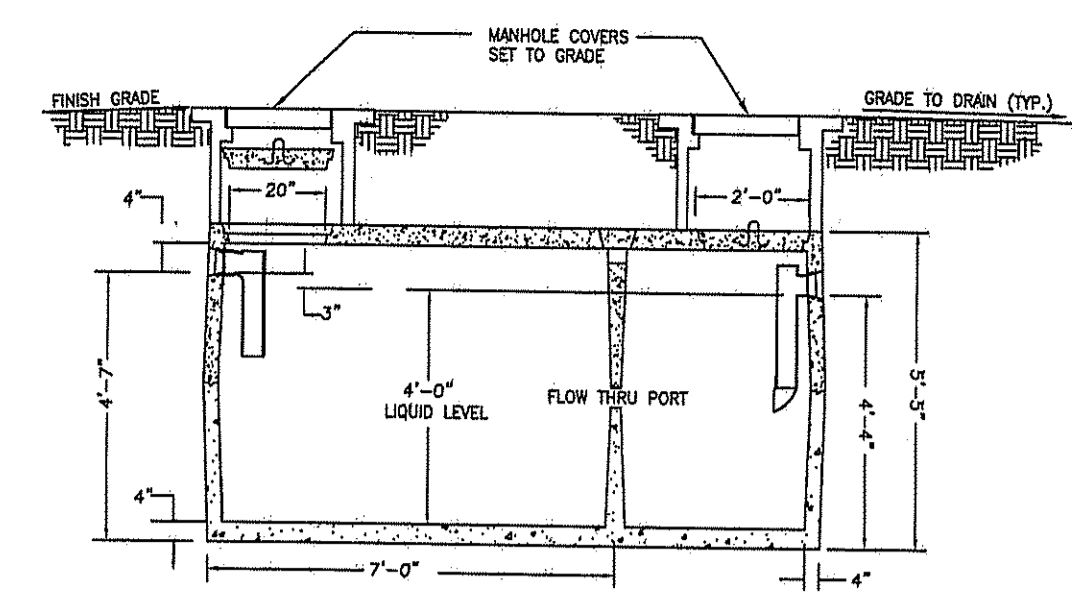
TYPICAL DIPPING D-BOX



TYPICAL PROFILE OF SYSTEM



TYPICAL DUAL COMPARTMENT 1,500 GAL. SEPTIC TANK
NOT TO SCALE



CONSTRUCTION, MATERIALS AND INSTALLATION SHALL CONFORM TO SECTION 506.00 OF RIDEM'S CURRENT "RULES AND REGULATIONS ESTABLISHING MINIMUM STANDARDS RELATIVE TO LOCATION, DESIGN, CONSTRUCTION AND MAINTENANCE OF INDIVIDUAL SEWAGE DISPOSAL SYSTEMS".

OFFICE OF WATER & WASTEWATER
APPROVED WITH PLAN
AS SPECIFIED IN THE LETTER
DATED AUG 24, 2015
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

FILE # 13-0090
Nancy C. February

OWTS GENERAL NOTES:

- THE SUBJECT PROPERTY "IS NOT" LOCATED WITHIN THE RHODE ISLAND COASTAL RESOURCES (CRMC) JURISDICTIONAL LIMITS.
- ALL PRIVATE AND PUBLIC DRINKING WATER LINES WITHIN 50 FEET OF THE PROPOSED ONSITE WASTEWATER TREATMENT SYSTEM (OWTS) ARE SHOWN, UNLESS OTHERWISE NOTED ON SITE PLAN.
- THERE ARE NO PUBLIC SEWERS AVAILABLE TO THE PROPERTY WITHIN 200 FEET UNLESS NOTED ON SITE PLAN.
- ALL EXISTING AND PROPOSED PRIVATE DRINKING WATER WELLS WITHIN THE REQUIRED SETBACKS OF THE PROPOSED OWTS LEACHFIELD ARE SHOWN AS REQUIRED BY REGULATION TABLE 22.5 INCLUDING THE ADDITIONAL 100' LIMIT.
- ALL EXISTING AND PROPOSED WELLS SERVING NON-POTABLE USES WITHIN 100 FEET OF THE OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- ALL EXISTING AND PROPOSED PUBLIC DRINKING WATER WELLS WITHIN 500 FEET OF THE PROPOSED OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON THE SITE PLAN. THE CONSTRUCTION DETERMINATION OF SAID WELLS IS IDENTIFIED ON THE SITE PLAN, UNLESS OTHERWISE NOTED.
- ALL WATERCOURSES, WETLANDS, AND DRAINS WITHIN 200 FEET OF THE PROPOSED OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON SITE PLAN.
- ALL STORM AND SUBSURFACE DRAINS WITHIN 200 FEET OF THE PROPOSED OWTS ARE SHOWN, UNLESS OTHERWISE NOTED ON SITE PLAN. THE ULTIMATE DISCHARGE OF SAID DRAINS ARE IDENTIFIED ON THE SITE PLANS.
- THE OWTS "IS NOT" LOCATED WITHIN THE WATERSHED OF A PUBLIC WATER SUPPLY OR OTHER CRITICAL RESOURCE AREA AS IDENTIFIED IN REGULATION RULE No. 38.
- ALL EXISTING OWTS ON ABUTTING PROPERTIES WITHIN 200 FEET OF A PROPOSED WELL TO SERVICE THE SUBJECT PROPERTY ARE IDENTIFIED ON THE SITE PLAN, UNLESS OTHERWISE NOTED.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN AN IDENTIFIED FLOOD ZONE. THE SUBJECT OWTS IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD PLAIN.
- IF A PROPOSED WELL IS REQUIRED TO SERVICE THE WATER REQUIREMENTS FOR THE SUBJECT PROPERTY, SAID WELL "DOES NOT" REQUIRE A VARIANCE FROM RIDEM'S "RULES AND REGULATIONS GOVERNING THE ENFORCEMENT OF CHAPTER 46-13.2 RELATING TO THE DRILLING OF DRINKING WATER WELLS".
- OWTS DESIGN DATA:
 - TOTAL NUMBER OF PROPOSED ROOMS IN DWELLING NOT TO EXCEED 10, PER TABLE 21.2 - 4 BED DESIGN
 - 4 BEDROOM DESIGN X 115 GALLONS PER BEDROOM - TOTAL DESIGN FLOW = 460 GPD
 - BASED ON THE SITE SOIL EVALUATION, THE MOST RESTRICTIVE SOIL DESIGN CATEGORY IS 5.
 - THE SOIL APPLICATION RATE = 0.52 GALS/SQ FT/DAY
 - TOTAL REQUIRED LEACHING AREA = 884.61 SQUARE FEET
 - TOTAL PROVIDED LEACHING AREA = 886.20 SQUARE FEET
 - LEACHFIELD: 19'11" X 67'11", TRENCHES W/18" OF STONE UNDERNEATH PROVIDED
- OWTS GENERAL CONSTRUCTION NOTES:
 - ALL PIPING SHALL BE 4" PVC SDR 35 OR EQUIVALENT, UNLESS OTHERWISE NOTED
 - ALL PIPE SLOPES SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 5%. REFER TO THE PROFILE
 - THE SEPTIC TANK SHALL BE A TWO-COMPARTMENT TANK WITH THE CAPACITY AS STATED ON THE SITE PLAN
 - THE SEPTIC TANK INLET SHALL EXTEND 1' BELOW THE FLOW LINE AND THE OUTLET TEE SHALL EXTEND 1/3 THE DEPTH BELOW THE FLOW LINE
 - THE OUTLET TEE SHALL BE FITTED WITH A ZABEL EFFLUENT FILTER OR EQUIVALENT, REFER TO PLAN DETAIL FOR DESIGNED MAKE AND MODEL, UNLESS OTHERWISE NOTED.
 - THE SEPTIC TANK SHALL BE FITTED WITH TWO ACCESS MANHOLE RISERS NOT LESS THAN 20" Ø
 - THE D-BOX SHALL HAVE A MINIMUM OF 3 SQUARE FEET OF BOTTOM AREA AND BE CAPABLE OF CARRYING A MINIMUM 300 PSF LOAD WITH MINIMAL SIDEWALL DEFLECTION.
 - LEACHFIELD STONE, IF USED, SHALL BE 3/4" TO 2" DOUBLE WASHED STONE, FREE OF ALL DEBRIS.
 - SURFACE GRADES WITHIN 10 FEET OF THE LEACHFIELD SHALL NOT BE LOWER THAN ELEVATION 107.50'. AT THE 10 FEET DISTANCE FROM THE LEACHFIELD, THE SLOPE SHALL BE A MINIMUM OF 3:1V TO MATCH INTO EXISTING GRADES.
 - THE LEACHFIELD AND THE AREA WITHIN 10 FEET FOR THE LEACHFIELD SHALL BE STRIPPED OF ALL TREES, BRUSH, STUMPS AND BOULDERS. THE SIDES AND BOTTOM OF THE EXCAVATION SHALL NOT BE COMPACTED OR SMEARED AND THE BOTTOM SHALL BE SCARIFIED PRIOR TO LEACHFIELD PLACEMENT.
 - REFER TO THE SITE PLAN FOR LEACHFIELD STRIP REQUIREMENTS.
 - THE FINISH GRADE OVER THE SEPTIC TANK SHALL BE GRADED TO DIVERT SURFACE WATER RUNOFF AWAY FROM THE TANK.
 - IF A DRIVEWAY OR PAVEMENT IS TO BE LOCATED NEAR THE PROPOSED OWTS, A FENCE OR CURBING SHALL BE INSTALLED AROUND THE SYSTEM IN THE AREA OF THE PAVEMENT TO PREVENT VEHICULAR TRAFFIC FROM DRIVING ONTO THE SYSTEM.
 - CONTRACTOR TO SUPPLY DESIGNER W/ COPIES OF ALL MATERIALS PURCHASED FOR INSTALLATION PRIOR TO ISSUANCE OF CERTIFICATE OF CONSTRUCTION TO RIDEM.
- THIS PLAN IS NOT A PROPERTY SURVEY & IS ONLY INTENDED TO REPRESENT APPROXIMATE PROPERTY BOUNDS. THESE PLANS ARE SOLELY INTENDED FOR THE PURPOSE OF DESIGN, APPROVAL, & INSTALLATION OF THE OWTS SYSTEM.
- GENERAL OWNER NOTES:
 - FOOD/GARBAGE GRINDERS INSIDE DWELLING AND DISPOSAL OF GREASES, OILS, AND OR FATS ARE PROHIBITED.
 - VEHICLE PARKING OR TRAFFIC OVER THE OWTS COMPONENTS IS PROHIBITED.
 - BACKWASH WATER FROM A WATER TREATMENT SYSTEM WAS NOT TAKEN INTO CONSIDERATION WITH THE DESIGN OF THIS OWTS. WATER TREATMENT SYSTEM DISCHARGE TO THIS OWTS IS PROHIBITED.
 - THE SEPTIC TANK SHALL BE PUMPED AT NO LESS THAN 2 YEAR INTERVALS. THE EFFLUENT ZABEL FILTER SHALL BE CLEANED NO LESS THAN ANNUALLY.
- REFERENCE RIDEM WETLANDS APP.# 13-0090 APPROVAL FOR MORE INFO.

LEGEND

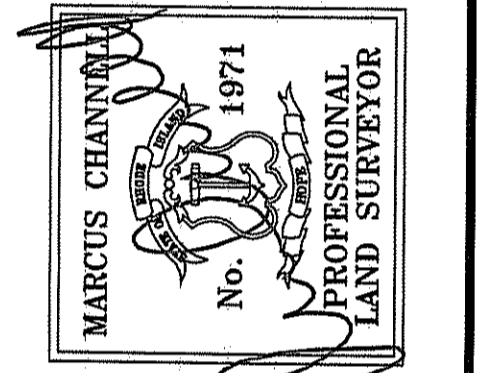
- CONCRETE BOUND FOUND
- IRON ROD SET
- IRON PIPE FOUND (IPF)
- UP. 40' UTILITY POLE
- ⊕ PROP. WATER SHUTOFF
- ⊙ DRILLHOLE SET
- ⊙ SEPTIC TANK LID
- ⊙ WELL
- STONE WALL
- PROPERTY LINE
- - - - - APPROX. PROPERTY LINE
- TREE

Design Notes:
1.) Type II Cement ASTM C150-51
2.) Concrete Strength 5000 PSI.
Min. 28 Days.

NEW ONSITE WASTEWATER TREATMENT SYSTEM RE-DESIGN

A.P. 3, LOT 138
MANSION ROAD
NEW SHOREHAM, RHODE ISLAND

Prepared For:
KELLY CONWAY



ATLAS LAND SURVEYING, LLC
PROPERTY & CONSTRUCTION SURVEYING & MAPPING

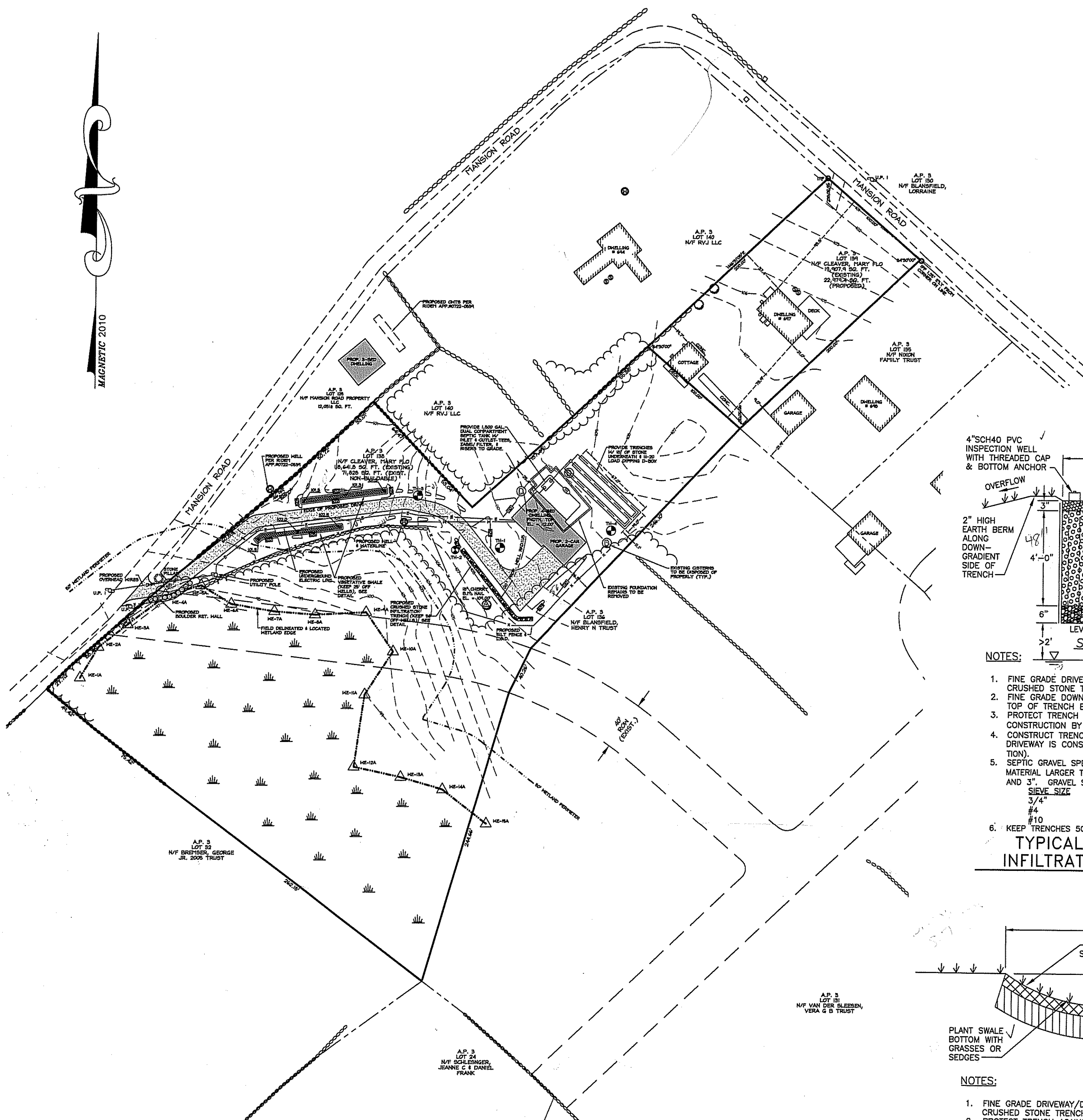
91 Parkway Drive ~ Warwick, RI 02886
401-757-4407
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REVISION: JULY 2015

DATE: 17 MAR. 2011
DRAWN BY: KRC
SCALE: 1" = 20'

SHEET 3 OF 3 SHEETS 3
JOB NO.
DWG. NO.

ATLAS LAND SURVEYING, LLC. COPYRIGHTED MATERIALS 2011



GENERAL NOTES:

- REFERENCE PLAN ENTITLED "MAP SHOWING DEVELOPMENT OF PROPERTY OF MICHAEL AND VERA GROSS BLANSFIELD, BLOCK ISLAND, NEW SHOREHAM, RI. SCALE: 1" = 30', MAY 28 1961."
- REFERENCE PLAN ENTITLED "SHEEP'S MEADOW IN THE TOWN OF NEW SHOREHAM, RI. PROPERTY OF NEW SHOREHAM COTTAGE SALES, INC. REVISED JUNE 1968, A.J. EASTERBROOKS, C.E. SCALE: 1" = 60'."
- REFERENCE A.P. 3
- REFERENCE DEED BOOK/PAGE 246/243, 102/301, 378/38, 101/84, 100/259, 371/17, 23/479, 168/30, 158/309, 147/171, 55/226, 27/221, 237/122, 82/3271, 352/159, 182/3071, 159/247, 326/302, 27/498, 237/122, 255/164, 160/112, 237/119.
- UNDERGROUND UTILITIES ARE NOT LOCATED AS PART OF THIS PROJECT.
- SUBMITTAL OF THIS PLAN TO TOWN IS BEYOND THE SCOPE OF THIS PROJECT AND MUST BE PERFORMED UNDER A SEPARATE AGREEMENT.
- MODIFICATIONS TO THIS PLAN ARE PROHIBITED WITHOUT PERMISSION OF ATLAS LAND SURVEYING, LLC. 8. THIS SURVEY & PLAN DOES NOT SHOW ANY PRESCRIPTIVE EASEMENTS OR SUFFICIENT EVIDENCE BY WHICH ANY DETERMINATION CAN BE MADE BY THIS SURVEYOR ABOUT THE EXISTENCE OF PRESCRIPTIVE EASEMENTS. SUCH EASEMENTS COULD EXIST ON THIS PROPERTY & NOT APPEAR ON THIS PLAN. USERS OF THIS PLAN ARE THEREFORE WARNED NOT TO BE ON THE ALERT FOR THE EXISTENCE OF PRESCRIPTIVE EASEMENTS NOT SHOWN HEREON.
- THIS PLAN IS GOOD FOR THE INTENT AS NOTED ONLY. THIS SURVEY HAS BEEN REPRODUCED BY REFERENCES, DEEDS, & HIGHWAY MAPS.
- PLAN DOES NOT STATE ANY OPINION REGARDING WHETHER THE OCCUPATION & USES NOT IN CONFORMANCE WITH THE RECORD LINE OF TITLE HAVE RIPPENED TO PRESCRIPTIVE EASEMENTS OR ADVERSE TITLE. THIS SURVEY & PLAN CONFORM TO A CLASS II PROPERTY LINE & CLASS III TOPOGRAPHY SURVEY AS ADOPTED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.
- WETLAND DELINEATION PERFORMED BY GREEN HILL ENVIRONMENTAL, LLC IN FEBRUARY 2011 & APRIL 2013. CREATE A HAZARD. LOTS SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM WETLAND & BUFFER AREA TO TAKE PLACE BETWEEN JUNE & OCTOBER ONLY. CONTRACTOR TO MAINTAIN INTEGRITY OF EROSION CONTROL DEVICES FOR THE DURATION OF THE PROJECT.

PLAN VIEW

SCALE: 1"=60'

STORMWATER BMP MAINTENANCE NOTES:

- THE STORMWATER BMPs SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
- PROPERTY OWNER SHALL MAINTAIN BMPs IN ACCORDANCE WITH THE 'STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE FAMILY RESIDENTIAL LOT DEVELOPMENT GUIDELINES'
 - VEHICLES OR OTHER HEAVY EQUIPMENT SHALL NOT BE PARKED ON TOP OF THE STORMWATER BMPs SINCE THIS WILL COMPACT THE SOILS AND REDUCE THE INFILTRATION CAPACITY OF THE SOILS.
 - CRUSHED STONE TRENCHES:**
 - INSPECT THE RAIN GARDENS ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE.
 - ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE SURFACE OF THE INFILTRATION PRACTICE ANNUALLY.
 - SWALES:**
 - VEGETATIVE SWALES SHALL BE INSPECTED ANNUALLY AND SHOULD BE INSPECTED AFTER LARGE STORM EVENTS.
 - ERODED SIDE SLOPES AND CHANNEL BOTTOMS SHALL BE STABILIZED AS NECESSARY.
 - IF THE SURFACE OF THE DRY SWALE BECOMES CLOGGED TO THE POINT THAT STANDING WATER IS OBSERVED ON THE SURFACE 48 HOURS AFTER PRECIPITATION EVENTS, THE BOTTOM SHALL BE ROTO-TILLED OR CULTIVATED TO BREAK UP AND HARD-PACKED SEDIMENT, AND THEN RESEDED.
 - VEGETATION IN DRY SWALES SHALL BE MOWED AS REQUIRED TO MAINTAIN MINIMUM GRASS HEIGHTS IN THE 2" TO 6" INCH RANGE.
 - EVERY FIVE YEARS, THE CHANNEL BOTTOM SHOULD BE SCRAPED TO REMOVE SEDIMENT AND TO RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE, AND SHOULD BE SEEDED TO RESTORE GROUND COVER, WHERE NECESSARY.

GRADING & DRAINAGE NOTES:

- CONTRACTOR TO FINE GRADE LOTS IN ACCORDANCE WITH STATE OF RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE. LOTS SHALL BE GRADED SO THAT ADDITIONAL ACCUMULATION OF SURFACE WATER DOES NOT OCCUR ACROSS ADJOINING PROPERTY. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER POINT OF COLLECTION SO AS NOT TO CREATE A HAZARD. LOTS SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET. IMPERVIOUS SURFACES (DRIVEWAYS) SHALL BE SLOPED AWAY FROM HOUSE AT A SLOPE OF 2% FOR AT LEAST 10 FEET.
- DO NOT ALLOW STREET RUNOFF TO ENTER SUBJECT PROPERTIES OR INTO THE RAIN GARDENS.

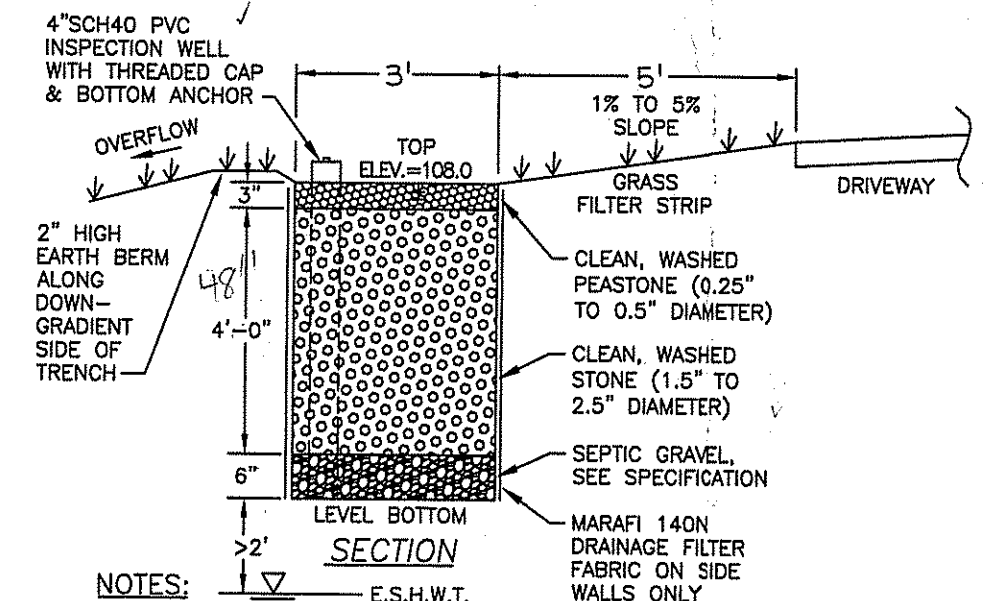
OWNER:
Mary Flo Cleaver
820 Stafford Ave. #B ~ Bristol, CT 06010
PHONE: 860-681-1889

ZONING DISTRICT: RA

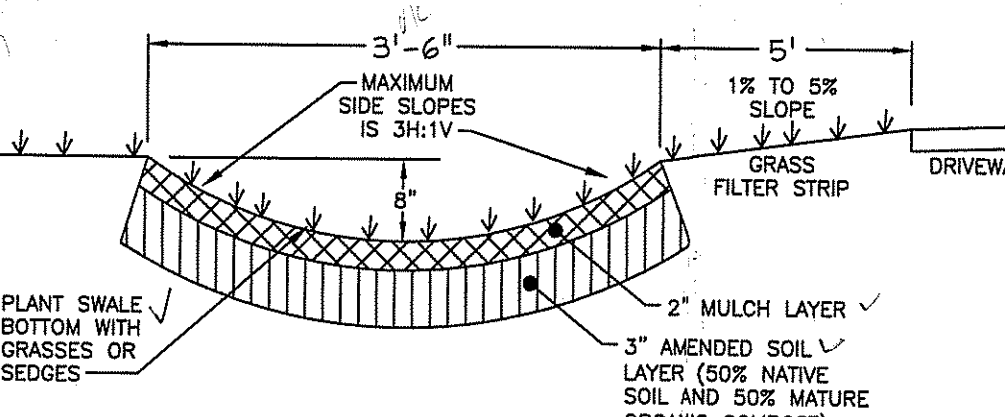
(SUBSTANDARD LOT OF RECORD)
MIN. AREA: 120,000 SQ. FT.
MIN. FRONTAGE: 200'
FRONT: 50'
REAR: 50'
SIDES: 50'

LEGEND

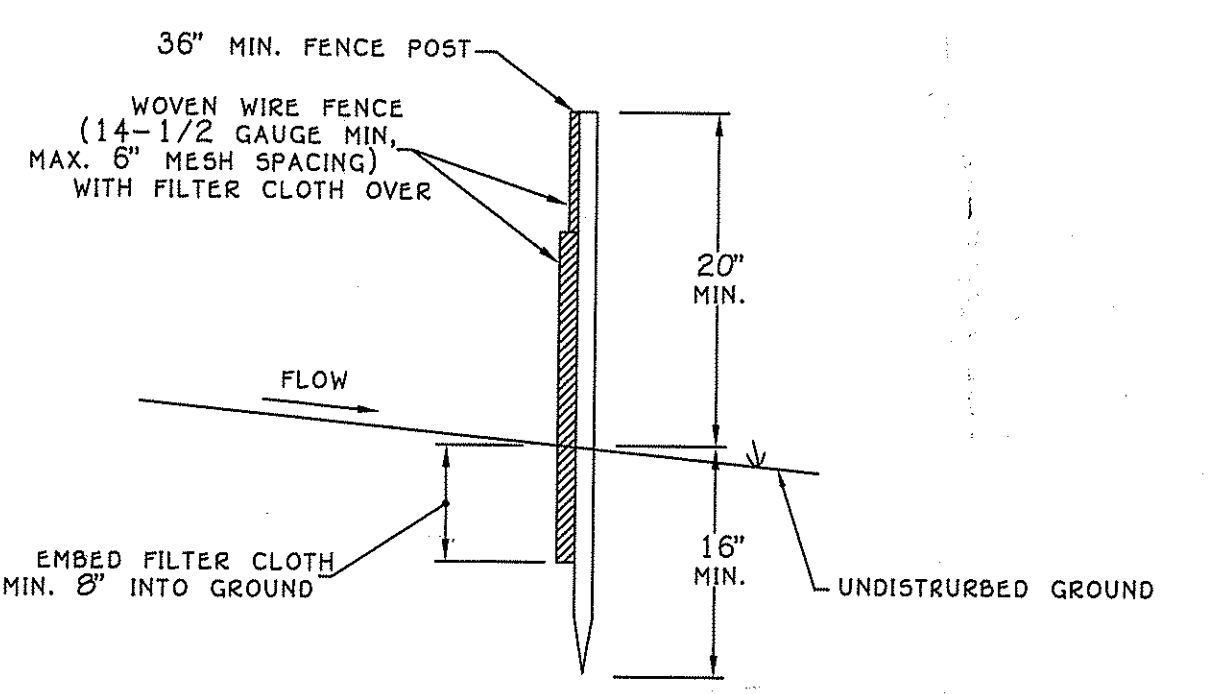
- CONCRETE BOUND FOUND
- IRON ROD SET
- IRON PIPE FOUND (IPF)
- UTILITY POLE
- PROP. WATER SHUTOFF
- DRILLHOLE SET
- SEPTIC TANK LID
- WELL
- STONE WALL
- PROPERTY LINE
- APPROX. PROPERTY LINE
- TREE



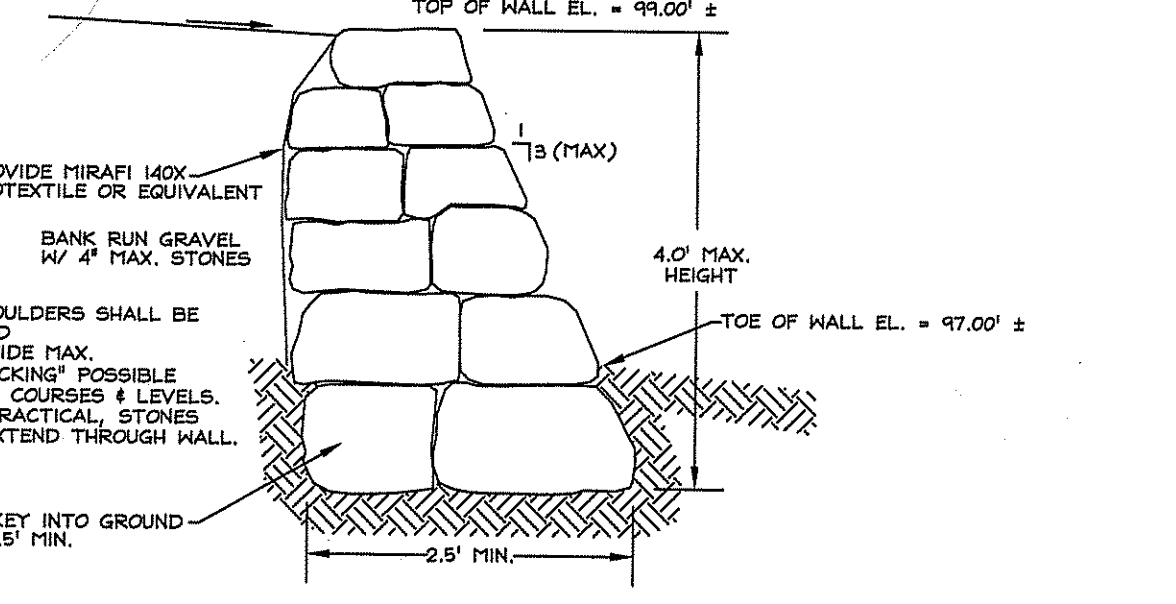
- NOTES:**
- FINE GRADE DRIVEWAY/DWELLING AREA SO RUNOFF DISCHARGES INTO CRUSHED STONE TRENCH TO MAXIMUM EXTENT POSSIBLE.
 - FINE GRADE DOWNGRADIENT SIDE OF TRENCH SO IT IS HIGHER THAN TOP OF TRENCH BY 2 INCHES.
 - PROTECT TRENCH AGAINST SEDIMENT LADEN RUNOFF DURING CONSTRUCTION BY USE OF BERMS AND/OR SILT FENCE.
 - CONSTRUCT TRENCH AT END OF CONSTRUCTION ACTIVITIES (AFTER DRIVEWAY IS CONSTRUCTED AND WHEN DWELLING IS NEAR COMPLETE).
 - SEPTIC GRAVEL SPECIFICATION: GRAVEL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN 3". UP TO 10% MAY BE SIZED BETWEEN 3/4" AND 3". GRAVEL SHALL MEET THE FOLLOWING:
- | SIZE | % PASSING | SIZE | % PASSING |
|------|-----------|------|-----------|
| 3/4" | 80-100% | #4 | 100-50% |
| #4 | 55-100% | #10 | 0-20% |
| #10 | 40-100% | #200 | 0-2% |
- KEEP TRENCHES 50 FEET AWAY FROM DRINKING WATER WELLS.



- NOTES:**
- FINE GRADE DRIVEWAY/DWELLING AREA SO RUNOFF DISCHARGES INTO CRUSHED STONE TRENCH TO MAXIMUM EXTENT POSSIBLE.
 - PROTECT TRENCH AGAINST SEDIMENT LADEN RUNOFF DURING CONSTRUCTION BY USE OF BERMS AND/OR SILT FENCE.
 - CONSTRUCT TRENCH AT END OF CONSTRUCTION ACTIVITIES (AFTER DRIVEWAY IS CONSTRUCTED AND WHEN DWELLING IS NEAR COMPLETE).
 - KEEP SWALES 25 FEET AWAY FROM DRINKING WATER WELLS.
 - MAXIMUM LONGITUDINAL SLOPE OF SWALE SHALL BE 4%.
 - A MAXIMUM PONDING DEPTH OF 1 FOOT SHOULD BE MAINTAINED AT THE LONGITUDINAL MIDPOINT OF THE VEGETATED SWALE AND A MAXIMUM DEPTH OF 18 INCHES AT THE END POINT.



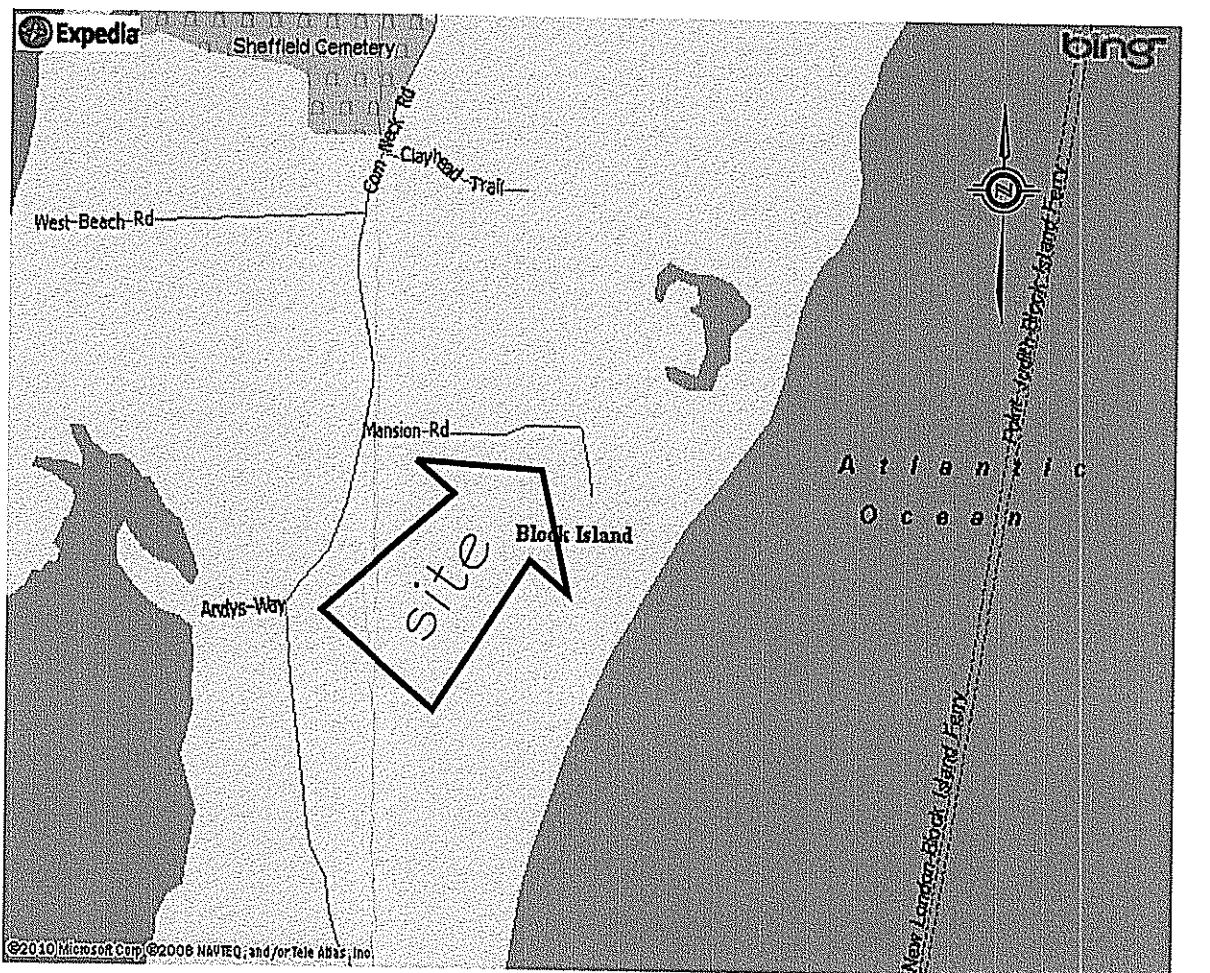
- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



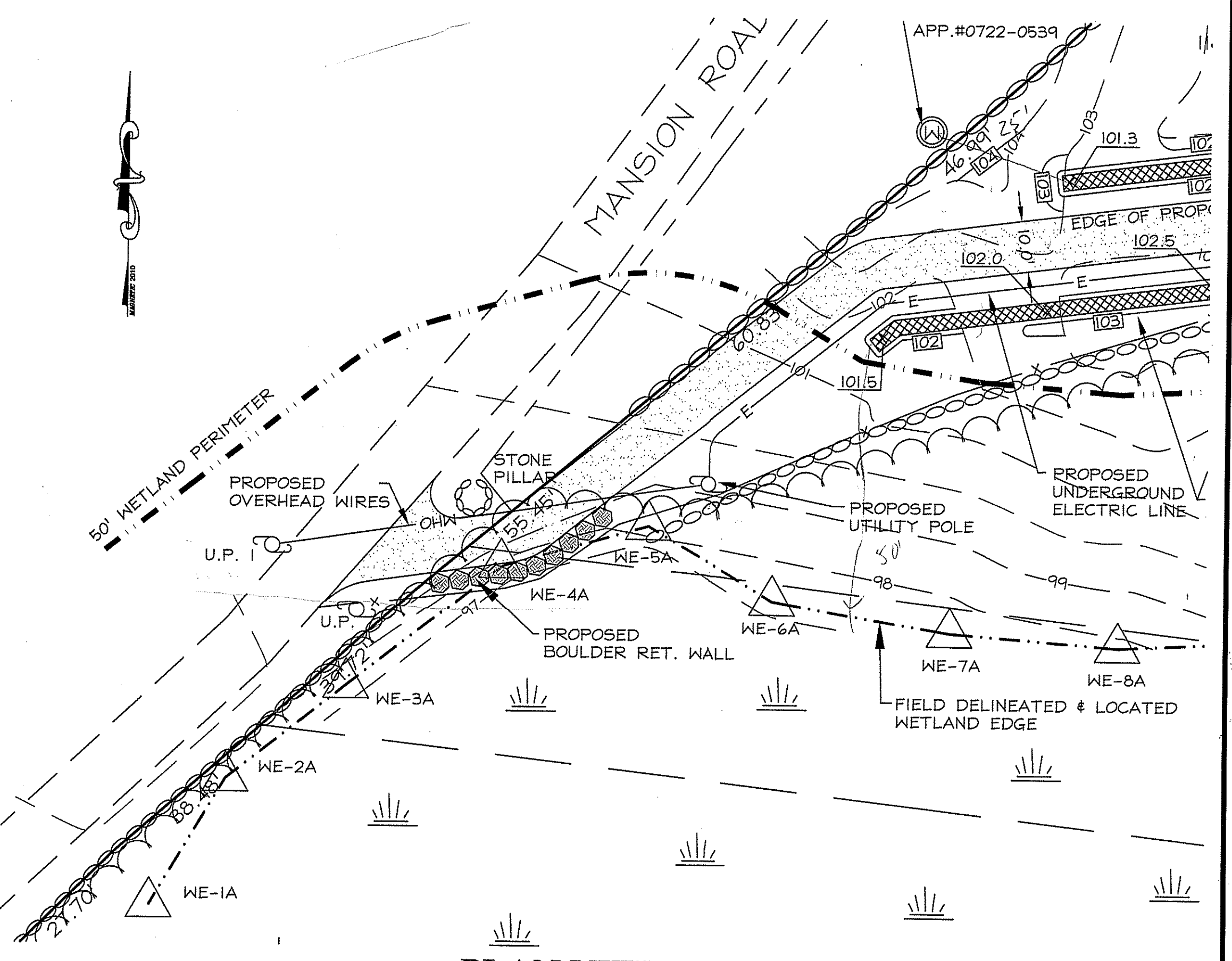
TYPICAL BOULDER WALL DETAIL

WETLAND DISTURBANCE

LAND AREA WITHIN WETLAND BUFFER TO BE DISTURBED = 1,891 SQ. FT.
LAND AREA WITHIN WETLANDS TO BE DISTURBED = 73 SQ. FT.
TOTAL LAND AREA WITHIN WETLANDS & BUFFER TO BE DISTURBED = 1,964 SQ. FT.



LOCUS MAP

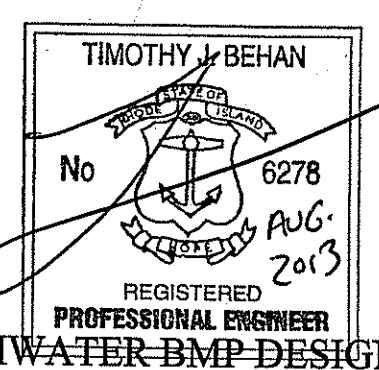


PLAN VIEW

SCALE: 1"=20'

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED SEP 19 2013 FILE # 13-0090
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy L. Freeman



TJB ENGINEERING, LLC

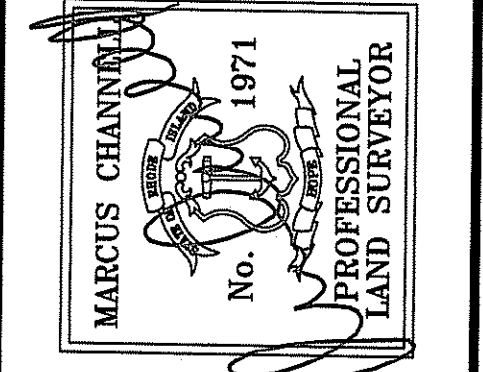
1050 MAIN STREET SUITE 31
EAST GREENWICH, RI 02818
PHONE: 401-996-1677

ONSITE WASTEWATER TREATMENT SYSTEM DESIGN SITE PLAN

AUG 30 2013

A.P. 3, LOT 138
MANSION ROAD
NEW SHOREHAM, RHODE ISLAND

Prepared For:
MARY FLO CLEAVER



ATLAS LAND SURVEYING, LLC

PROPERTY & CONSTRUCTION SURVEYING & MAPPING

91 Parkway Drive ~ Warwick, RI 02886
401-737-4407

WWW.ATLASLANDSURVEYING.COM

REVISION: AUG. 2013

DATE: APRIL 2013
DRAWN BY: KRC
SCALE: AS NOTED

SHEET
1
OF 1 SHEETS 1

JOB NO. CLEAVER
DWG. NO. CLEAVER-WET

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