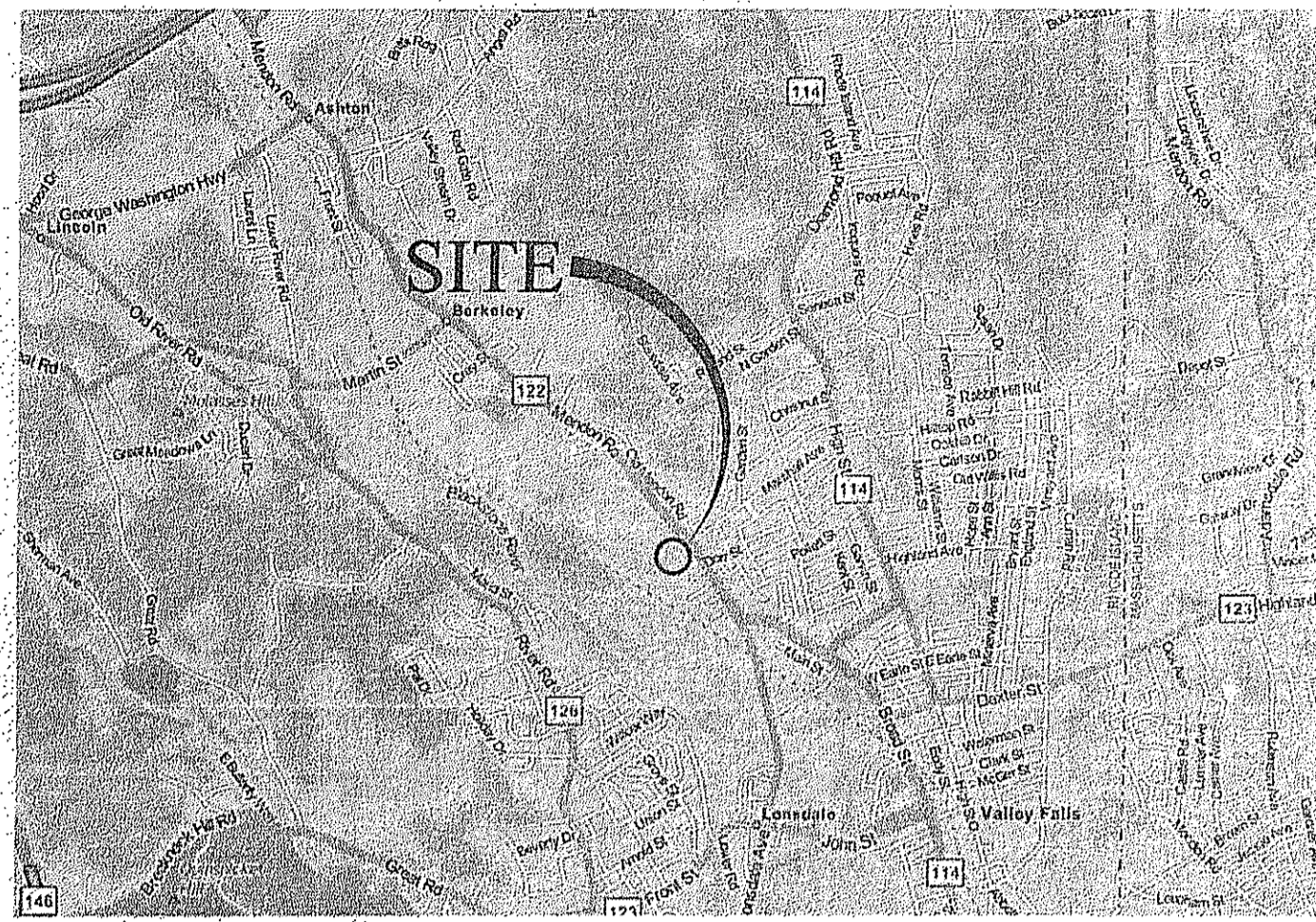
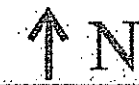
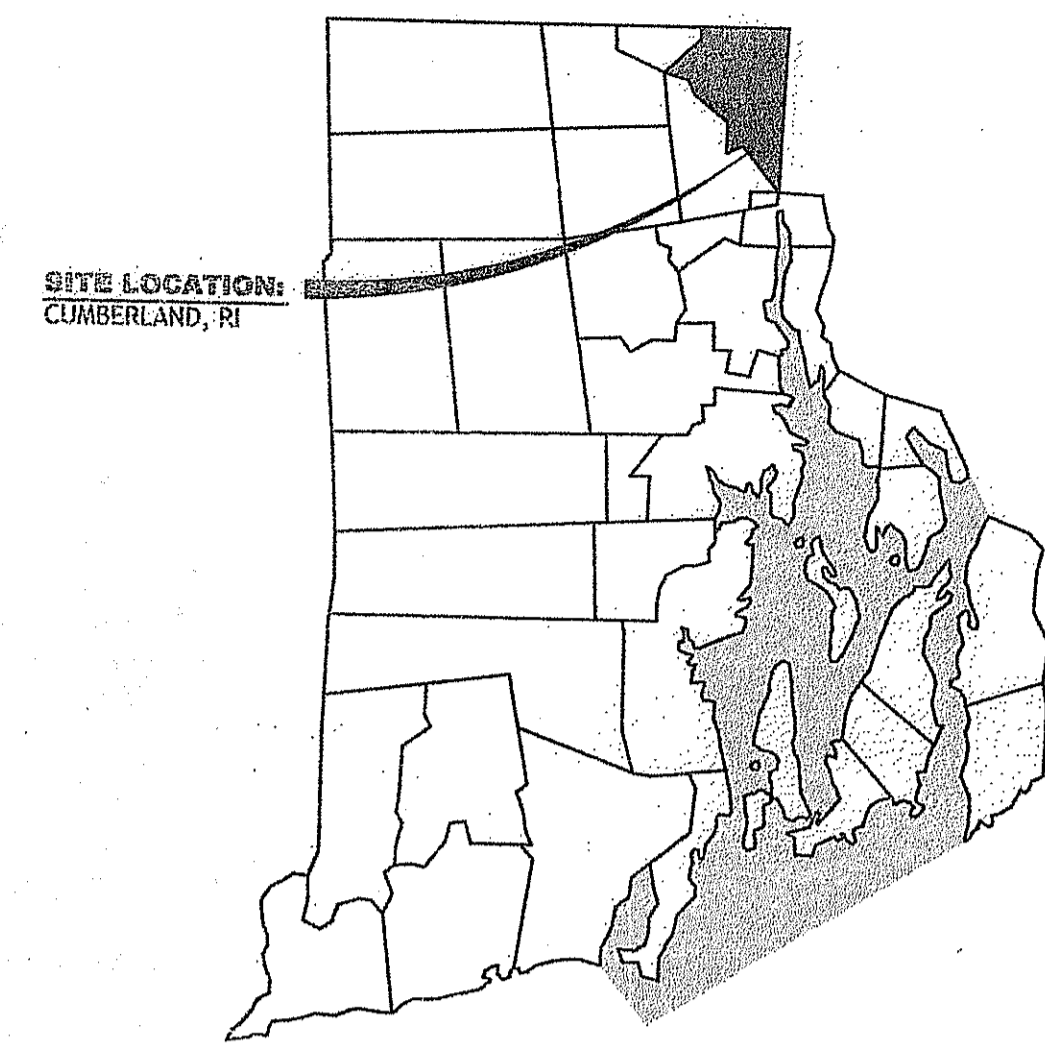


LOCUS MAP (NOT TO SCALE)



STATE WIDE MAP



PRELIMINARY SITE PLANS FOR PROPOSED AUTO BODY REPAIR BUSINESS SITE

AP 13, LOTS 110 AND 111

420 MENDON ROAD (RI ROUTE 122)
CUMBERLAND, RHODE ISLAND

ZONING DISTRICT - C-2 (GENERAL COMMERCIAL DISTRICT)

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CUMBERLAND TOWN COUNCIL APPROVAL: MARCH 6, 2013

TOWN OF CUMBERLAND PLANNING BOARD

MASTER PLAN APPROVAL RECEIVED: FEBRUARY 27, 2013

PRELIMINARY PLAN APPROVAL RECEIVED: JULY 31, 2013

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 23 2013 FILE # 13-0135
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

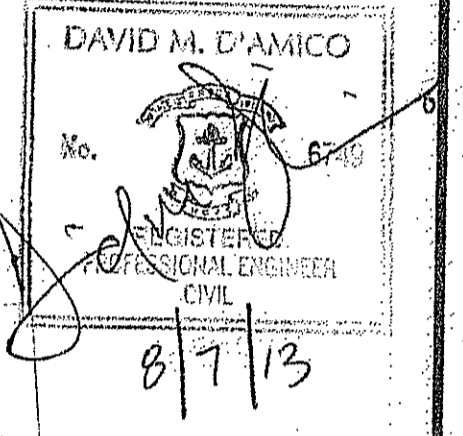
Matthew S. Wenzel

PROJECT TEAM

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AUG 6 2013

PROPOSED AUTO BODY REPAIR
BUSINESS SITE DEVELOPMENT
420 MENDON ROAD
CUMBERLAND, RHODE ISLAND
AP 13, LOTS 110 AND 111

NO.	DATE	DESCRIPTION
1	8-6-13	PLAN SET UPDATE

DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DMD
DATE: JULY 2013
PROJECT NO: 12-0004-01

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 8

GENERAL NOTES:

- 1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

SITE NOTES:

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- 2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- 3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- 4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
- 5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- 6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
- 7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- 8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR ENGINEER.
- 9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
- 10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- 11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
- 12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
- 13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- 14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
- 15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- 16. REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
- 17. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

- 1. PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
- 2. THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
- 3. OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- 4. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THERE OPERATIONS.
- 5. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR TOWN.
- 6. EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

DRAINAGE SYSTEM NOTES:

- 1. ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES
- 2. THE DESIGN ENGINEER MUST SUBMIT AN AS BUILT PLAN AND A CERTIFICATION TO THE TOWN ENGINEER THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE DESIGN PLANS FOR ALL ELEMENTS OF THE STORM OR DRAINAGE SYSTEM PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

PROPOSED PAVEMENT STRUCTURE:

- ON-SITE (PAVEMENT TYPE A)
- 1.5" BITUMINOUS CONCRETE SURFACE COURSE CLASS I-1
- 1.5" BITUMINOUS CONCRETE BINDER COURSE
- 12" GRAVEL BORROW SUBBASE

ASPHALT EMULSION TACK COAT TO BE PLACED PRIOR TO SURFACE COURSE PAVING IF BINDER COURSE IS OPENED TO VEHICULAR USE, OR IF BINDER COURSE IS GREATER THAN 30 DAYS OLD.

PROPOSED PAVEMENT STRUCTURE:

- TOWN/STATE (PAVEMENT TYPE B)
- 2" BITUMINOUS CONCRETE SURFACE COURSE CLASS TYPE I-1
- 2" BITUMINOUS CONCRETE BINDER COURSE
- 12" GRAVEL BORROW SUBBASE COURSE

ASPHALT EMULSION TACK COAT TO BE PLACED ON ALL BITUMINOUS COURSES PRIOR TO PAVING.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN. AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- 2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- 3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR TOWN RIGHT-OF-WAY.
- 4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 1988 EDITION INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
- 5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE AND SUBSURFACE DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE PLAN AND SCHEDULE:

- 1. CATCH BASINS, MANHOLES AND DRAIN LINES: AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONAL TO ENSURE PROPER OPERATION. ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - * DAMAGE TO GRATE/ COVERS
 - * EVIDENCE OF STANDING WATER
 - * DEBRIS REMOVAL
 - * STRUCTURAL ALIGNMENT/ INTEGRITY
 - * OIL/WATER SEPARATORS
- 2. IF SEDIMENT OR ORGANIC DEBRIS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES OF THE UNDERGROUND INFILTRATION CHAMBERS OR TRENCHES TO BELOW THE DESIGN RATE THE SYSTEM MUST BE REMOVED AND RE-CONSTRUCTED. THE SYSTEMS BOTTOM SHOULD BE RESTORED ACCORDING TO ORIGINAL DESIGN SPECIFICATIONS.
- 3. SEDIMENT REMOVAL: ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.
- 4. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY SOIL AND GROUNDWATER CONTAMINATION RESULTING FROM THE USE OF THE STORMWATER RUNOFF SUBSURFACE DRAINAGE SYSTEM.
- 5. THE EXISTENCE OF THE SUBSURFACE DRAINAGE SYSTEM SHOULD BE RECORDED ON THE PROPERTY DEED AT THE LOCAL MUNICIPAL OFFICE. ALL OPERATIONAL AND MAINTENANCE REQUIREMENTS, INCLUDING LEGAL RESPONSIBILITIES, WHERE APPLICABLE, SHOULD ALSO BE RECORDED ON THE TITLE.
- 6. UNDERGROUND INFILTRATION CHAMBERS AND TRENCHES SHALL BE INSPECTED ANNUALLY AND AFTER STORMS EQUAL TO OR GREATER THAN THE 1-YEAR, 24 HOUR TYPE III STORM EVENT (APPROXIMATELY 2.7").
- 7. THE SUBSURFACE DRAINAGE SYSTEM SHOULD BE INSPECTED OFTEN DURING THE FIRST MONTHS OF OPERATION AND CLEANED AT LEAST YEARLY THEREAFTER WITH ALL OIL AND DEBRIS REMOVED AND DISPOSED OF PROPERLY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. CLEANING OF THE STORMTECH SYSTEM WILL BE CONDUCTED BY VACUUM TRUCK DESIGN SPECIFICALLY TO REMOVE STORMWATER RUNOFF SEDIMENT. IN THE CASE OF AN OIL OR BULK POLLUTANT RELEASE, THE SYSTEM SHOULD BE CLEANED IMMEDIATELY FOLLOWING THE SPILL AND THE RIDEM DIVISION OF SITE REMEDIATION SHOULD BE NOTIFIED. FOR THE PURPOSE OF OIL REMOVAL A LICENSED CONTRACTOR MAY BE NECESSARY FOR THE REMOVAL, TRANSPORT, AND DISPOSAL OF WASTE OIL PRODUCTS TO A PROPERLY LICENSED FACILITY.

WATER NOTES:

- 1. ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE TOWN OF CUMBERLAND WATER DEPARTMENT REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- 2. INSTALLATION OF ALL WATER CONVEYANCES, MAINS, PIPES OR LINES SHALL BE IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION'S INSTALLATION MANUAL AND ANSI/AWWA C600 AND ALL OTHER REQUIREMENTS OF THE KENT COUNTY WATER AUTHORITY.
- 3. WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER PIPE.
- 4. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS; SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- 5. WATER LINE TRENCH TO BE AWWA TYPE 5 A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1" BELOW FINISHED GRADE.
- 6. THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ENGINEER AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
- 7. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, GRAVEL, STONE, DRAINAGE PIPE AND RELATED STRUCTURES, WATER, SEWER, AND DRAIN LINE INSTALLATION, PAVEMENT SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1997 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
- 8. SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 23 2013 FILE # 13-035
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Matthew D. Wenzel

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- 1. THE HAYBALE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
- 2. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- 3. ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- 4. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
- 5. ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- 6. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- 7. THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
- 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- 9. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.

BMP MAINTENANCE SCHEDULE

- 1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. CONSTRUCTION EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE INFILTRATION TRENCH AND/OR SUBSURFACE CHAMBER AREAS TO MINIMIZE COMPACTION OF THE SOIL.
- 3. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER DRAINAGE SYSTEMS AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), CATCH BASIN SUMPS, AND MANHOLES.
- 4. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY, STABILITY AND EVIDENCE OF SOIL EROSION, SHALL INCLUDE MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/4 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BIMONTHLY IF NO RAINFALL EVENT OCCURS.
- 5. UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, (SEEDING, PLANTING, ETC.) WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES MUST BE REMOVED.
- 6. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED.
- 7. REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
- 8. ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM ANY WETLAND AREAS, SWALE, AND PIPE OUTLETS.

RIDOT

- 1. ALL WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

REQUIRED INFILTRATION SETBACKS

- 1. THE PROPOSED INFILTRATION SYSTEMS MEETS THE 3' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND THE SEASONAL HIGH WATER TABLE.
- 2. THE PROPOSED INFILTRATION SYSTEM MEETS THE 4' MINIMUM SEPARATION DISTANCE FROM THE SEASONAL HIGH WATER TABLE FOR SOILS WITH AN INFILTRATION RATE GREATER THAN 8.3 INCHES PER HOUR.
- 3. THE PROPOSED INFILTRATION SYSTEM MEETS THE 5' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND BEDROCK.
- 4. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 25 FEET OF ANY SEPTIC SYSTEM COMPONENT.
- 5. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 400 FEET OF A PUBLIC WELL.
- 6. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 100 FEET OF A PRIVATE WELL.
- 7. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 200 FEET OF ANY SURFACE DRINKING WATER SUPPLIES AND THEIR RESPECTIVE TRIBUTARIES.
- 8. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 150 FEET OF ANY COASTAL FEATURE.
- 9. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 50 FEET OF ANY SURFACE WETLAND OR COASTAL WETLAND.
- 10. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 10 FEET OF ANY BUILDING FOUNDATION AND THE PROPOSED FOUNDATION FLOOR ELEVATION IS ABOVE THE INVERT OF THE PROPOSED INFILTRATION SYSTEM.

NOTE:
IF ANY SETBACK IS LESS THAN THE REQUIRED SETBACK AS DETERMINED BY THE GOVERNING AGENCY, THE GOVERNING AGENCY SHALL SUPERSEDE ABOVE BULLETED SETBACK(S). REFER TO THE LOCAL BUILDING OFFICIAL FOR DETAILED SETBACK CRITERIA.

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REGISTERED
PROFESSIONAL ENGINEER
CIVIL
AUG 8 2013

PROPOSED AUTO BODY REPAIR
BUSINESS SITE DEVELOPMENT
420 MENDON ROAD
CUMBERLAND, RHODE ISLAND
AP 13, LOTS 110 AND 111

REVISIONS:
NO. DATE DESCRIPTION
1 8-6-13 PLAN SET UPDATE

DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: JULY 2013
PROJECT NO.: 12-0004-01

PRELIMINARY, NOT FOR CONSTRUCTION

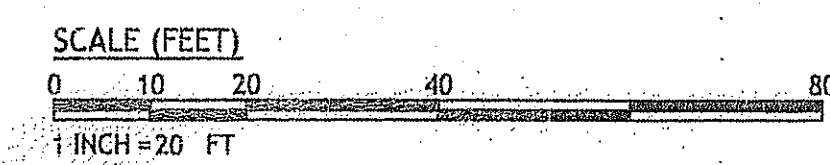
GENERAL NOTES
SHEET 2 OF 8

RD/Damico Engineering Technology, Inc/12/0004/101 420 Mendon Road Property/400 Technical/402 Plans/420 Mendon Road Preliminary Design Plan Set 7-8-13.dwg Aug. 08, 2013 6:08pm

M:\D\Amico Engineering Technology, Inc\12-0004 Lombard\01 420 Mendon Road Property\400 Technical\402 Plans\420 Mendon Road Preliminary Design\EXIST COND 3 OF 7 7-8-13.dwg Jul. 03. 2013 12:22pm

ZONING CRITERIA	REQUIRED	EXIST. LOT 110	EXIST. LOT 111
ZONING DISTRICT	C-2*	C-2	C-2
MINIMUM LOT AREA	5,000 SF	20,000 SF	40,642 SF
MINIMUM LOT FRONTAGE & WIDTH	25'	200'	200'
MINIMUM FRONT YARD SETBACK	10'	48'	NA
MINIMUM SIDE YARD SETBACK	10'	63'	NA
MINIMUM REAR YARD SETBACK	10'	22'	NA
MAXIMUM BUILDING HEIGHT	45'	<45'	<45'
MINIMUM DIST. TO RESIDENTIAL	NA	NA	NA
MAXIMUM LOT COVERAGE	50%	7%	3%

*AREAS WITH WATER AND SEWER FACILITIES.



LEGEND

- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- WETLAND EDGE
- 100 --- EXISTING CONTOUR
- 100 --- PROPOSED CONTOUR
- EXISTING STONE WALL
- --- IRON ROD
- ⊙ --- DRILL HOLE
- --- CONCRETE BOUND
- EXISTING CURB
- CHAIN LINK FENCE
- DRAIN LINE
- ⊕ --- DRAINAGE MANHOLE
- CATCH BASIN
- UTILITY POLE
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC
- GAS LINE
- WATER LINE
- WATER SHUT OFF VALVE
- GAS VALVE
- SEWER
- SMH --- SMH
- N/F --- NOW OR FORMERLY
- 126°32'22" (AS) --- LOT DIM. "AS SURVEYED" IN THE FIELD
- 126°49'00" (D) --- LOT DIM. "AS PROVIDED" BY DEED
- LIMIT OF DISTURBANCE
- SOIL EVALUATION
- BUILDING DOOR LOCATION
- CUT AND MATCH LINE (SAW CUT)
- HANDICAPPED PARKING
- STOP SIGN
- ELECTRIC SIGN
- PAINTED TRAFFIC ARROW
- LIGHT POLE
- CLEAN OUT

NOTE:
 BASE SURVEY INFORMATION FROM CLASS I PROPERTY LINE SURVEY PLAN BY CANAVAN & ASSOCIATES, INC.. INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE VISITS.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 29 2013 FILE # 13-038
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin G. Canavan

DETEC
 DAMICO ENGINEERING TECHNOLOGY, INC.
 Civil - Transportation - Land Use
 1824 Mineral Spring Ave., North Providence, RI 02904
 (401) 822-1470 (401) 863-1180 fax www.damicoeng.com

DAVID M. D'AMICO
 No. 6735
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 7/8/13 see note

**PROPOSED AUTO BODY REPAIR
 BUSINESS SITE DEVELOPMENT
 420 MENDON ROAD
 CUMBERLAND, RHODE ISLAND
 AP 13, LOTS 110 AND 111**

REVISIONS:

NO.	DATE	DESCRIPTION

DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 DATE: JULY, 2013
 PROJECT NO: 12-0004-01

PRELIMINARY, NOT FOR CONSTRUCTION

EXISTING CONDITIONS

SHEET 3 OF 8

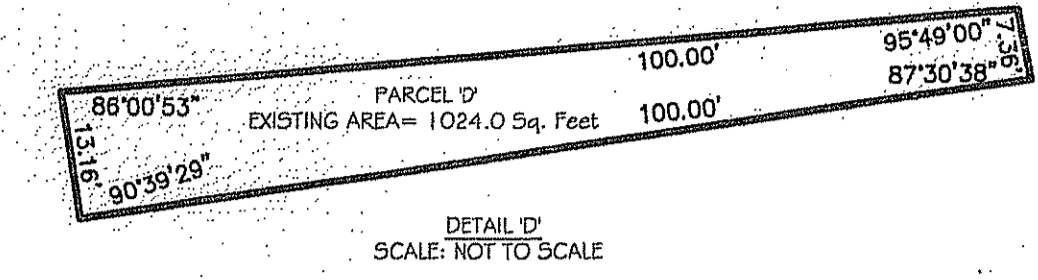
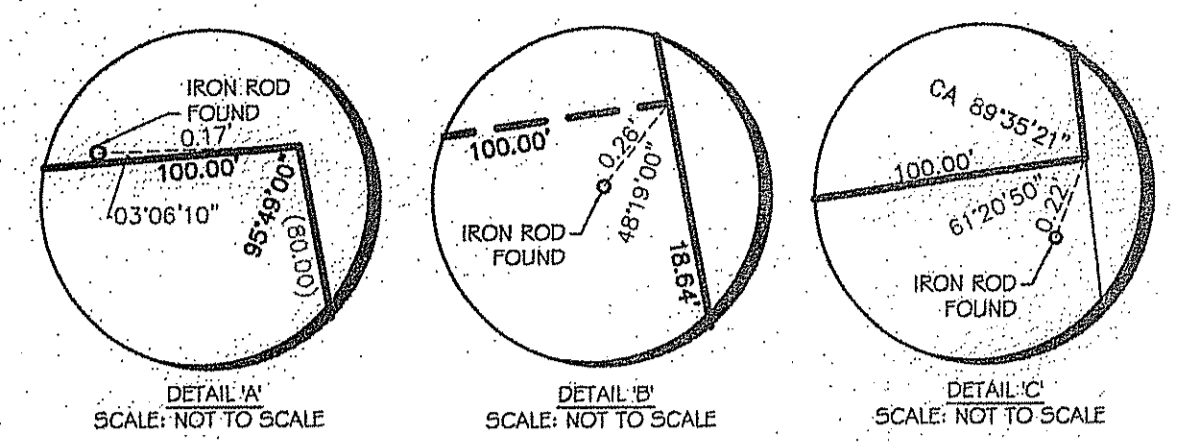
THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

HORIZONTAL: CLASS I
 TOPOGRAPHIC: CLASS III

BY: *Martin G. Canavan* 6-3-13
 REGISTERED PROFESSIONAL LAND SURVEYOR DATE:

CANAVAN & Associates, Inc.
 Land Surveying
 CONSTRUCTION - LAND - COMMERCIAL - RESIDENTIAL
 450 George Washington Highway
 Smithfield, RI 02917
 P=(401)232-1990 F=(401)232-1994

MARTIN G. CANAVAN
 No. 1895
 REGISTERED PROFESSIONAL LAND SURVEYOR
 10-2-13



OWNERS/APPLICANTS

AP 13 LOT 111
420 MENDON ROAD LLC
1400 DIAMOND HILL ROAD
CUMBERLAND, RI 02864

AP 13 LOT 112
ESTATE OF SADIE V. DZIALO
426 MENDON ROAD
CUMBERLAND, RI 02864

VICINITY MAP
NOT TO SCALE



GENERAL NOTES

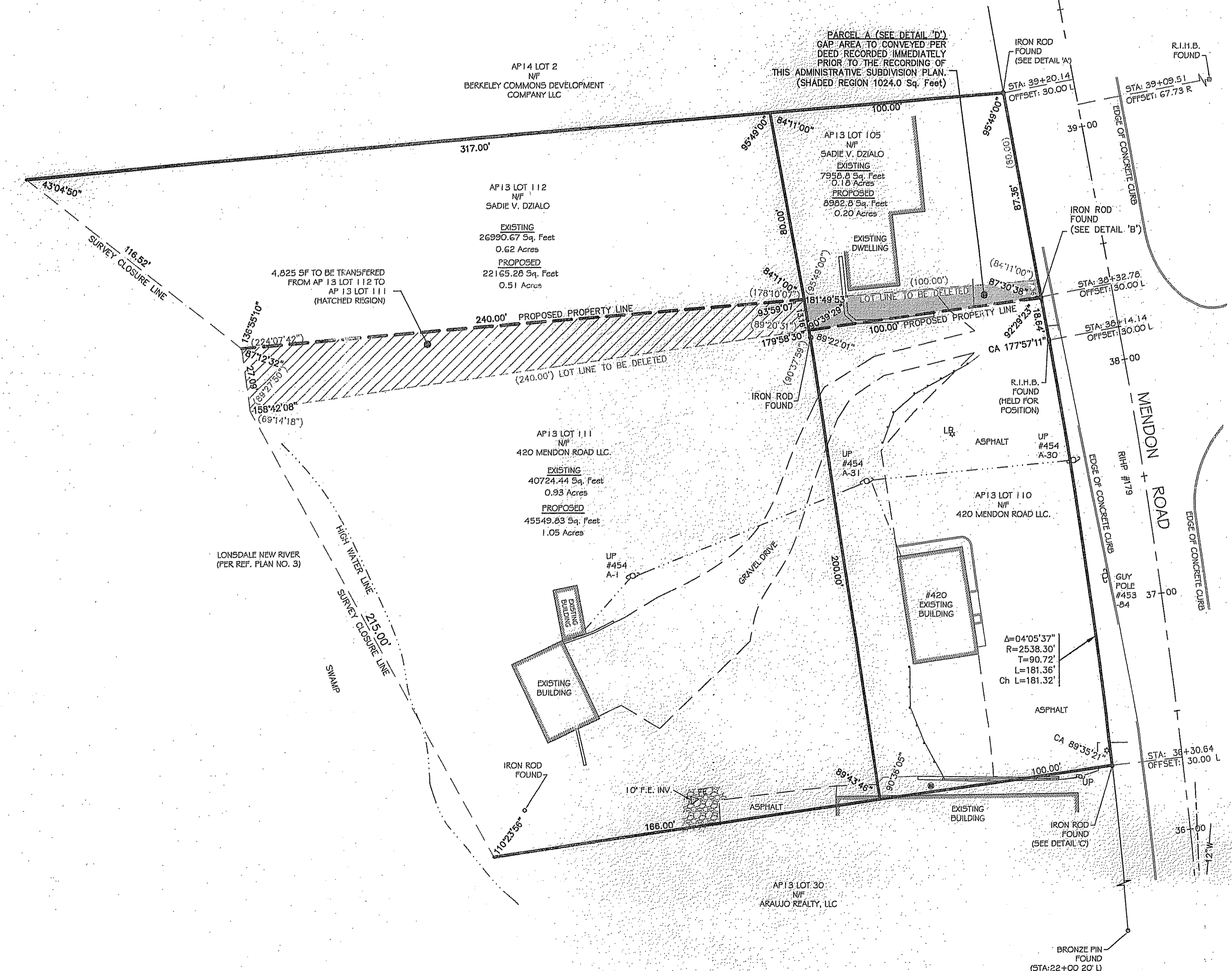
- HORIZONTAL DATA ON THIS PLAN WAS OBTAINED BY FIELD SURVEY.
- THE PURPOSE OF THIS PLAN IS TO TRANSFER 4825 SF (1.1 AC.) FROM AP 13 LOT 112 TO AP 13 LOT 111 AND CONVEY 1,024 SF (0.02 AC.) TO AP 13 LOT 105.

REFERENCES

- RHP # 179
- PLAN OF LAND IN CUMBERLAND, RI BELONGING TO THOMAS A. JENKS BY WALTER E. FRENCH, ENGR. SCALE: 1"=80 FEET AUGUST, 1928.
- WHIPPLE PLAT LONSDALE, CUMBERLAND R.I. BELONGING TO BODWELL LAND CO. BY J.A. LATHAM & SON APRIL, 1916.
- ADMINISTRATIVE SUBDIVISION BERKELEY COMMONS CONDOMINIUMS MENDON ROAD, TOWN OF CUMBERLAND, R.I. BY JOHN P. CAITO LAND PLANNERS/CIVIL ENGINEERS.

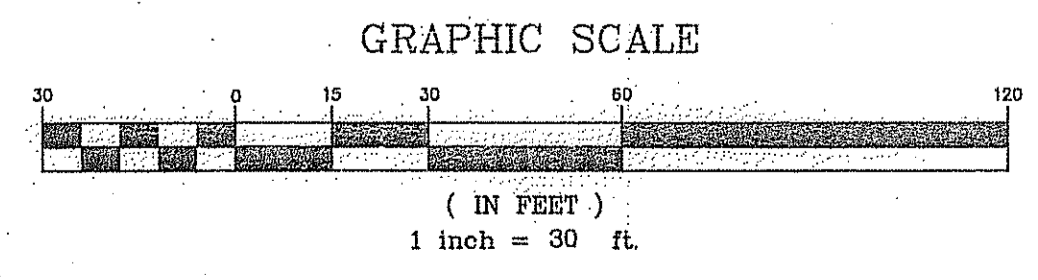
LEGEND

(240.00') LOT DIMENSION TO BE DELETED



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED OCT 23 2013 FILE # 13-0135
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wenzel



DRAWN BY: F.T.
CHECKED BY: M.C.

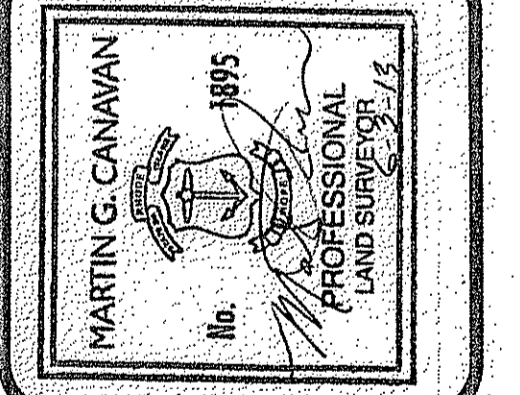
NO.	DATE	REVISION
1.		
2.		
3.		
4.		
5.		

ADMINISTRATIVE SUBDIVISION

PREPARED FOR:
420 MENDON ROAD, LLC # ESTATE OF SADIE V. DZIALO

ASSESSOR'S PLAT 13 LOTS 105, 110, 111 & 112
MENDON ROAD,
CUMBERLAND, RHODE ISLAND

SCALE: 1"=80'
DATE: JUNE 3, 2013



NORTH ARROW
(ASSUMED)

ZONING

ZONING DIST: C1
WITH SEWER AND WATER
MINIMUM REQ.
LOT AREA: 5000 SF
LOT FRONTAGE: 25'
FRONT YARD: 15'
SIDE YARD: 10'
REAR YARD: 10'
MAX. BLDG. HGT.: 45'

SEE ZONING REGS.
FOR ADD. INFO.

THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

HORIZONTAL: CLASS 1

BY: *Max Canavan* 6-3-13
REGISTERED PROFESSIONAL LAND SURVEYOR DATE:

THIS PLAN TO BE INDEXED BY THE FOLLOWING:
MENDON ROAD

CANAVAN & Associates, Inc.
Land Surveying

CONSTRUCTION - LAND - CAD/CADD - RESIDENTIAL
450 George Washington Highway
Smithfield, R.I. 02917
P-(401)232-1990 F-(401)232-1994

SHEET
4 of 8

G:\CANAVAN & ASSOCIATES\2013\13-029 MENDON RD_ ADMIN SUB_CUMB CAD FILE\13-029 MENDON ROAD CUMB ADMIN SUBDIVISION.DWG

N:\D\Amico Engineering Technology, Inc\12-0004\01_420 Mendon Road Property\400 Technical\402 Plans\420 Mendon Road Preliminary Design Plan Set 7-8-13.dwg Aug 15, 2013 6:08pm

- LEGEND**
- EXISTING PROPERTY LINE
 - ABUTTING PROPERTY LINE
 - BUILDING SETBACK LINE
 - WETLAND EDGE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING STONE WALL
 - IRON ROD
 - DRILL HOLE
 - CONCRETE BOUND
 - EXISTING CURB
 - CHAIN LINK FENCE
 - DRAIN LINE
 - DRAINAGE MANHOLE
 - CATCH BASIN
 - UTILITY POLE
 - OVERHEAD WIRES
 - UNDERGROUND ELECTRIC
 - GAS LINE
 - WATER LINE
 - WATER SHUT OFF VALVE
 - GAS VALVE
 - SEWER
 - SHH
 - SHH
 - N/F --- NOW OR FORMERLY
 - 120'x32'22"(AS) --- LOT DIM. "AS SURVEYED" IN THE FIELD
 - 126'x40'0"(D) --- LOT DIM. "AS PROVIDED" BY DEED
 - LIMIT OF DISTURBANCE
 - SOIL EVALUATION
 - BUILDING DOOR LOCATION
 - CUT AND MATCH LINE (SAW CUT)
 - HANDICAPPED PARKING
 - STOP SIGN
 - ELECTRIC SIGN
 - PAINTED TRAFFIC ARROW
 - LIGHT POLE
 - CLEAN CUT

Petec
 D'AMICO ENGINEERING TECHNOLOGY, INC.
 Civil, Transportation - Land Use
 1824 Mineral Spring Ave., North Providence, RI 02904
 (401) 622-1470 (401) 953-1190 www.damicoeng.com

DAVID M. DAMICO
 No. 0746
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 8/1/13

**PROPOSED AUTO BODY REPAIR
 BUSINESS SITE DEVELOPMENT**
 420 MENDON ROAD
 CUMBERLAND, RHODE ISLAND
 AP 13, LOTS 110 AND 111

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 23 2013 FILE # 13-0185
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Master D. Wenzel

REVISIONS:

NO.	DATE	DESCRIPTION
1	8-6-13	PLAN SET UPDATE

DESIGNED BY: DMD
 DRAWN BY: DMD
 CHECKED BY: DMD
 DATE: JULY, 2013
 PROJECT NO: 12-0004-01

PRELIMINARY, NOT FOR CONSTRUCTION

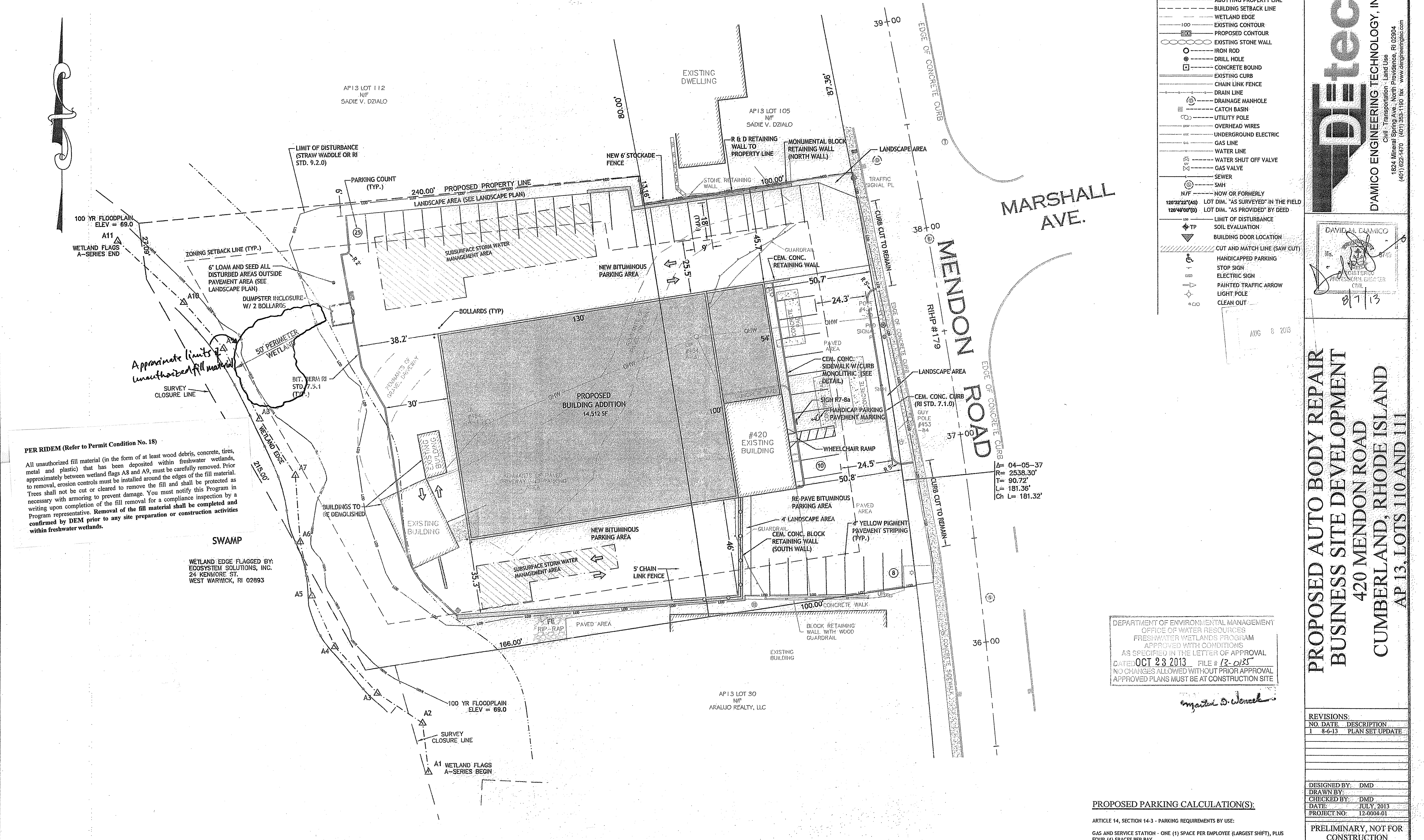
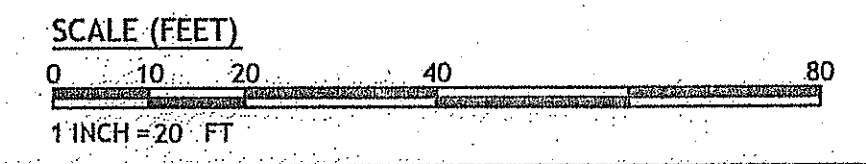
SITE PLAN

SHEET 5 OF 8

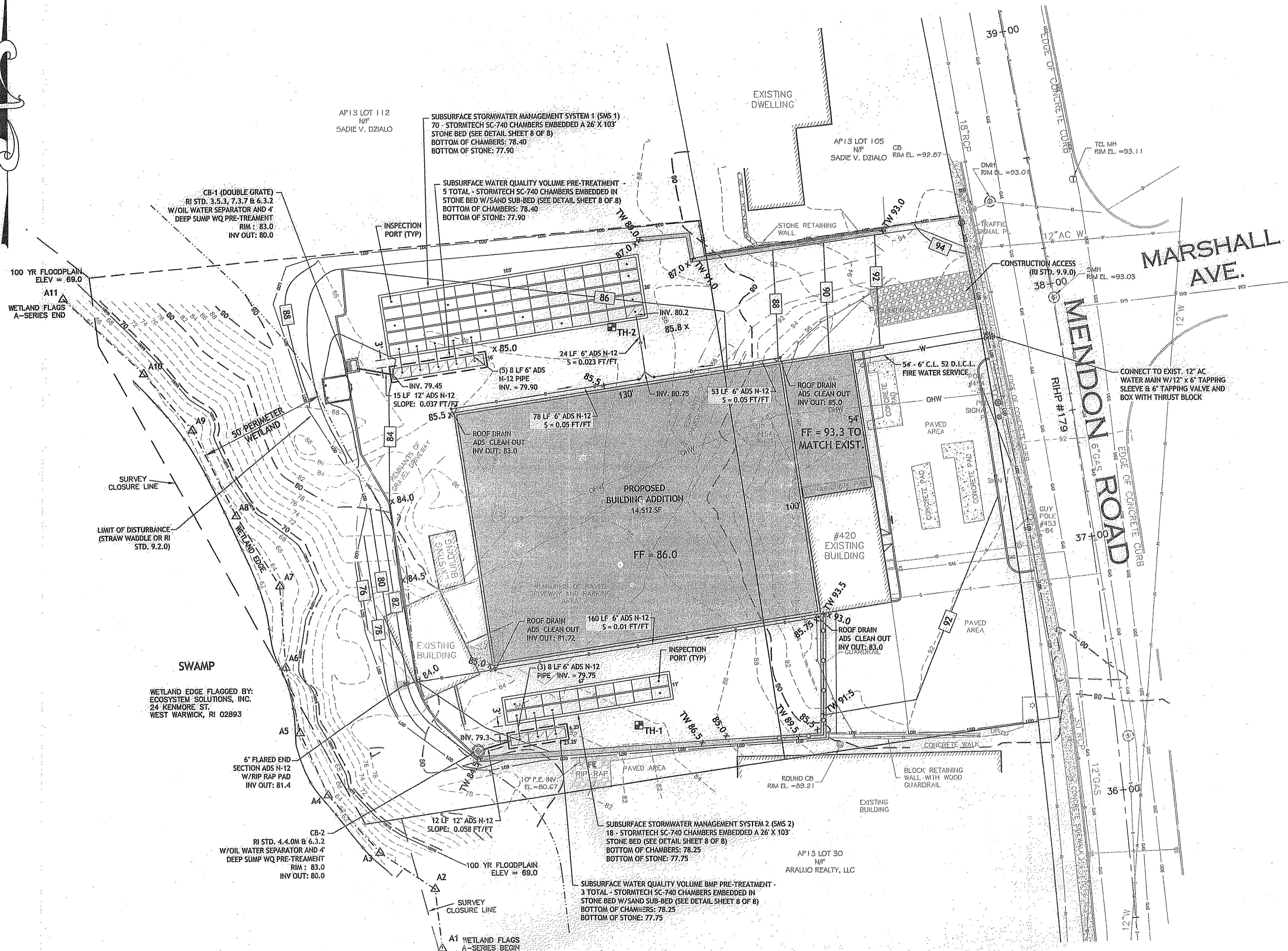
PER RIDEM (Refer to Permit Condition No. 18)

All unauthorized fill material (in the form of at least wood debris, concrete, tires, metal and plastic) that has been deposited within freshwater wetlands, metal and plastic) that has been deposited within freshwater wetlands, approximately between wetland flags A8 and A9, must be carefully removed. Prior to removal, erosion controls must be installed around the edges of the fill material. Trees shall not be cut or cleared to remove the fill and shall be protected as necessary with armoring to prevent damage. You must notify this Program in writing upon completion of the fill removal for a compliance inspection by a Program representative. Removal of the fill material shall be completed and confirmed by DEM prior to any site preparation or construction activities within freshwater wetlands.

ZONING CRITERIA	REQUIRED	EXIST. LOT 110	EXIST. LOT 111	PROPOSED
ZONING DISTRICT	C-2*	C-2	C-2	*C-2
MINIMUM LOT AREA	10,000 SF	20,000 SF	40,642 SF	60,642 SF
MINIMUM LOT FRONTAGE & WIDTH	25'	200'	200'	200'
MINIMUM FRONT YARD SETBACK	25'	50.7'	NA	50.7'
MINIMUM SIDE YARD SETBACK	20'	63'	NA	45.7'
MINIMUM REAR YARD SETBACK	20'	22'	NA	66.18'
MAXIMUM BUILDING HEIGHT	45'	< 45'	< 45'	< 45'
MINIMUM DIST. TO RESIDENTIAL	NA	NA	NA	NA
MAXIMUM LOT COVERAGE	30%	7%	3%	25%



NAD/Amico Engineering Technology, Inc. 12-0004 Lombard/01 420 Mendon Road Property/400 Technical/402 Plans/420 Mendon Road Preliminary Design Plan set 7-9-13.dwg Aug. 05, 2013 6:08pm



LEGEND

- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- WETLAND EDGE
- EXISTING CONTOUR
- 100' PROPOSED CONTOUR
- EXISTING STONE WALL
- IRON ROD
- DRILL HOLE
- CONCRETE BOUND
- EXISTING CURB
- CHAIN LINK FENCE
- DRAIN LINE
- DRAINAGE MANHOLE
- CATCH BASIN
- UTILITY POLE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- GAS LINE
- WATER LINE
- WATER SHUT OFF VALVE
- GAS VALVE
- SEWER
- SMH
- N/F NOW OR FORMERLY
- 125°32'22"(A5) LOT DIM. "AS SURVEYED" IN THE FIELD
- 126°49'00"(D) LOT DIM. "AS PROVIDED" BY DEED
- LIMIT OF DISTURBANCE
- SOIL EVALUATION
- BUILDING DOOR LOCATION
- CUT AND MATCH LINE (SAW CUT)
- HANICAPPED PARKING
- STOP SIGN
- ELECTRIC SIGN
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- LIGHT POLE
- CLEAN OUT

Petec
 DAMICO ENGINEERING TECHNOLOGY, INC.
 Civil - Transportation - Land Use
 1824 Mineral Spring Ave., North Providence, RI 02904
 (401) 922-4470 (401) 953-1190 Fax www.damicoengineering.com

DAVID M. DAMICO
 No. 07113
 AUG 8 2013

**PROPOSED AUTO BODY REPAIR
 BUSINESS SITE DEVELOPMENT**
 420 MENDON ROAD
 CUMBERLAND, RHODE ISLAND
 AP 13, LOTS 110 AND 111

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATE: OCT 23 2013 FILE # B-015
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Master D. Wenzel

REVISIONS:

NO.	DATE	DESCRIPTION
1	8-6-13	PLAN SET UPDATE

DESIGNED BY: DMD
 DRAWN BY: DMD
 CHECKED BY: DMD
 DATE: JULY 2013
 PROJECT NO: 12-0004-01

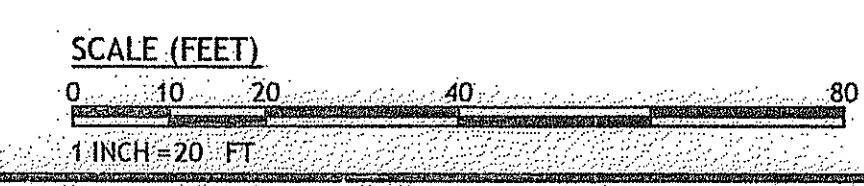
PRELIMINARY, NOT FOR CONSTRUCTION

GRADING DRAINAGE AND UTILITY PLAN

SHEET 6 OF 8

TEST HOLE DATA TABLE

TH	ELEV	SHGWT
1	83.20	71.20
2	86.90	74.90



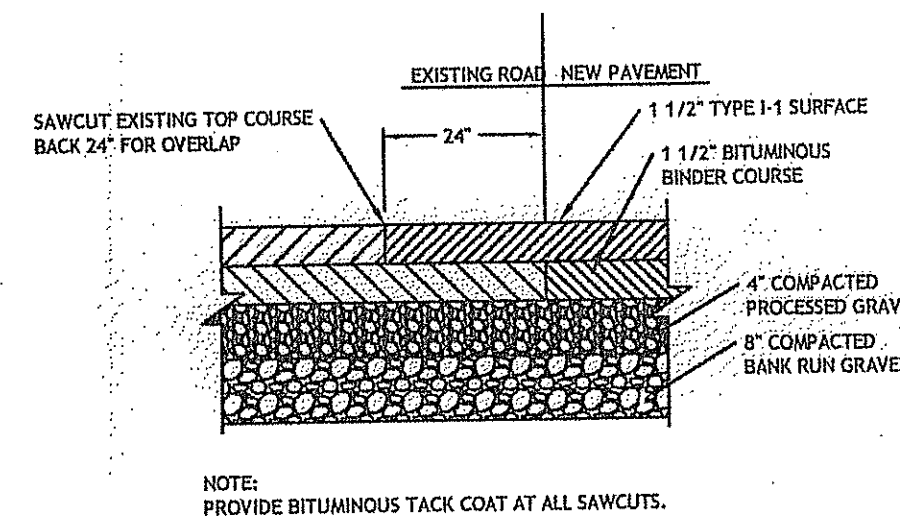
NOTES:

- ELECTRIC AND COMMUNICATIONS SERVICE TO BE DESIGNED BY NATIONAL GRID.

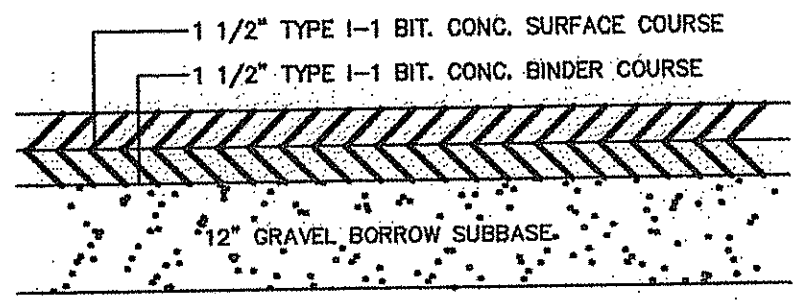
SOIL EVALUATIONS CONDUCTED BY:
 ECOSYSTEM SOLUTIONS, INC.
 24 KENMORE ST.
 WEST WARWICK, RI 02893

LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DIGSAFE** AT 1-888-DIG-SAFE 1-888-344-7233

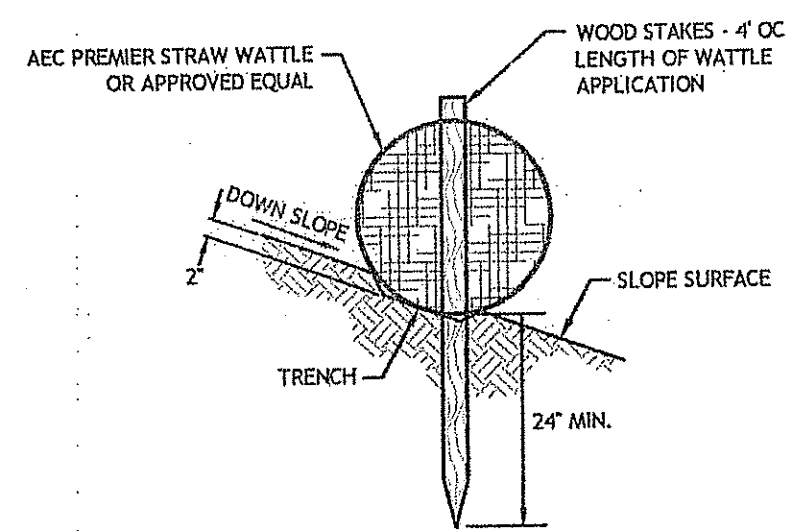




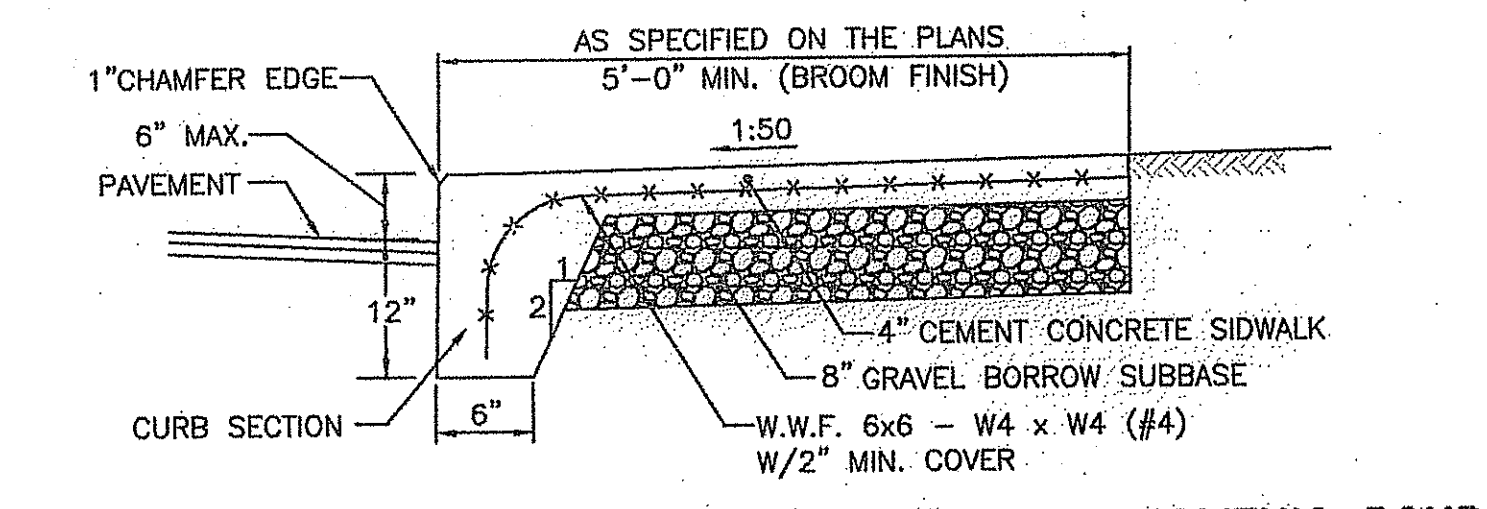
PAVEMENT CUT & MATCH
NOT TO SCALE



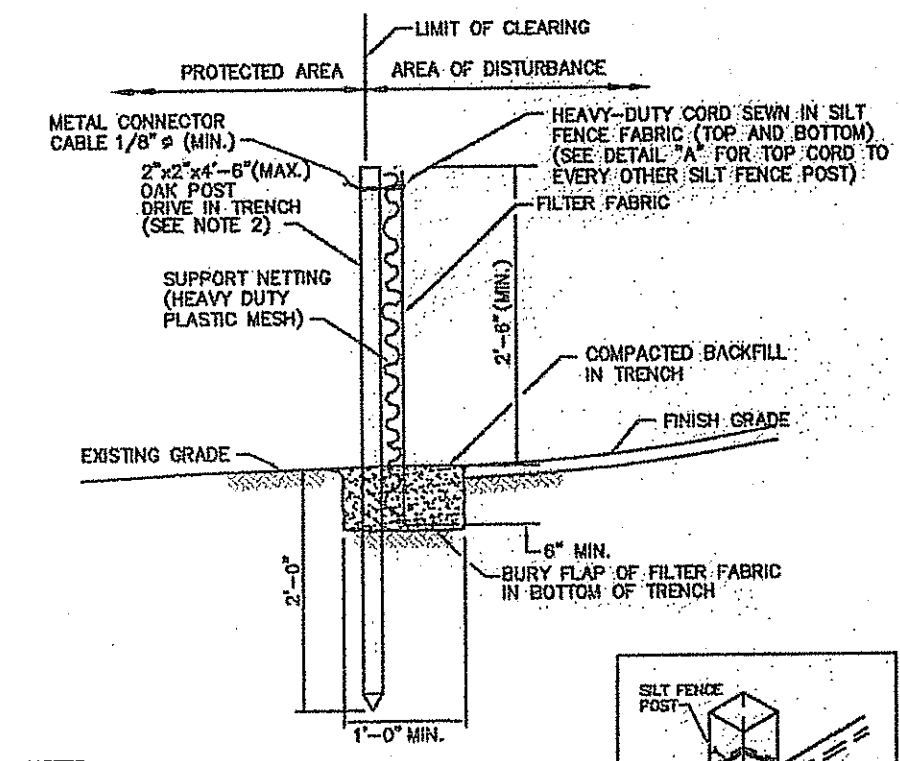
PAVEMENT CROSS SECTION
NOT TO SCALE



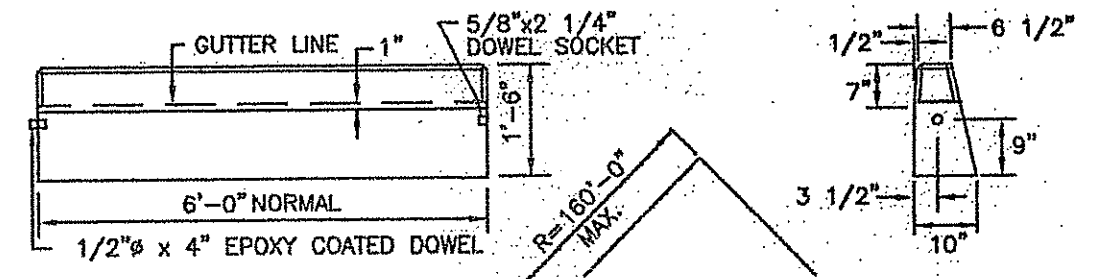
**STRAW WATTLE STAKE
DETAIL ON SOIL**
N.T.S.



CEMENT CONCRETE SIDEWALK AND CURB - MONOLITHIC POUR
NTS



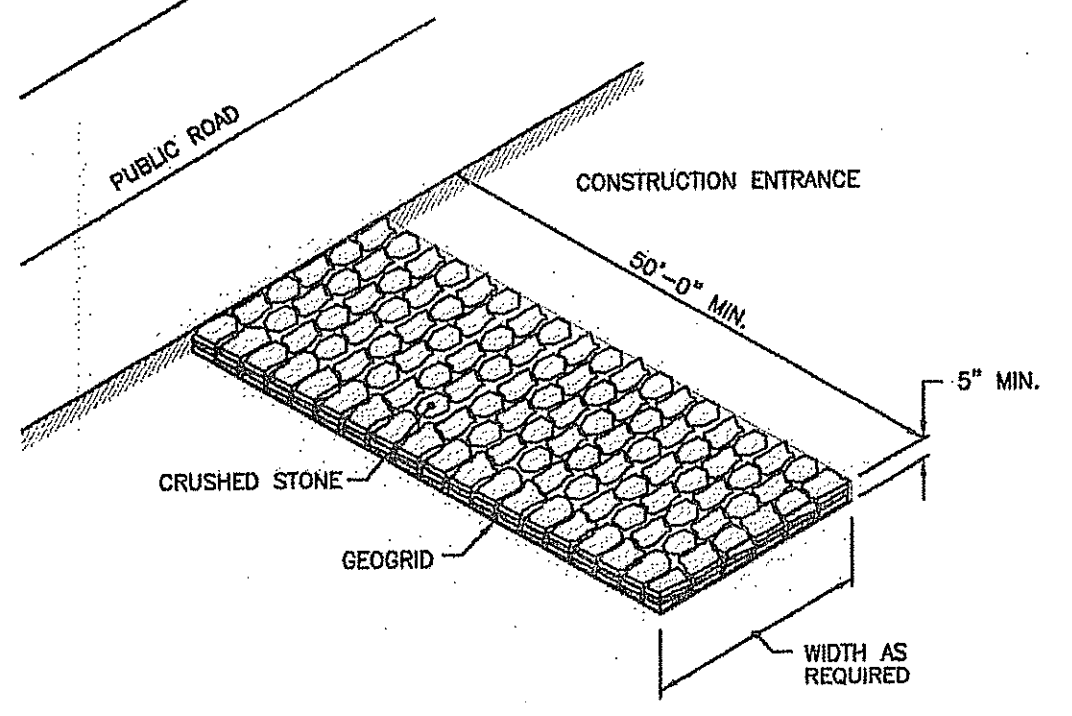
SILT FENCE DETAIL
R.I. STANDARD 9.2.0



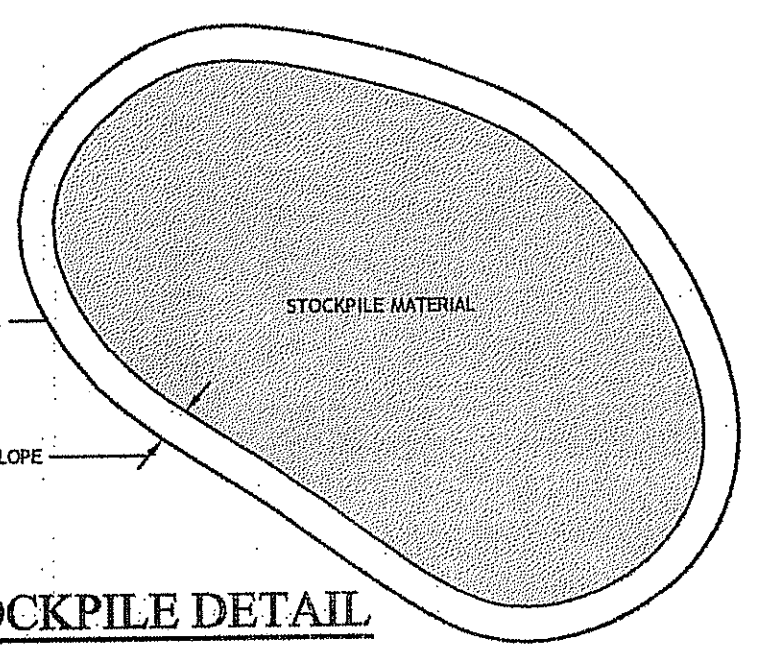
CIRCULAR CURB

- NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADIUS OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

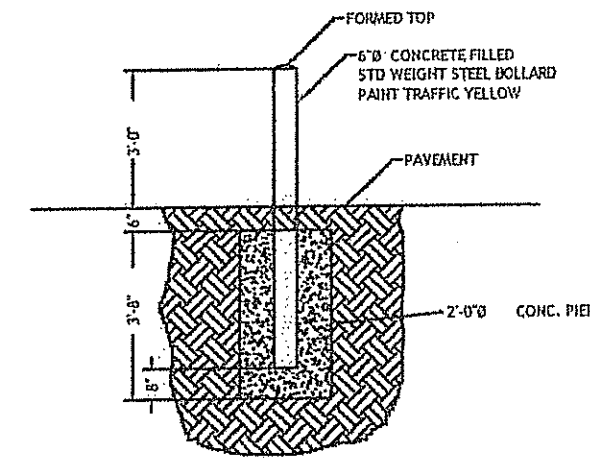
PRECAST CONCRETE CURB
STANDARD 7.1.0



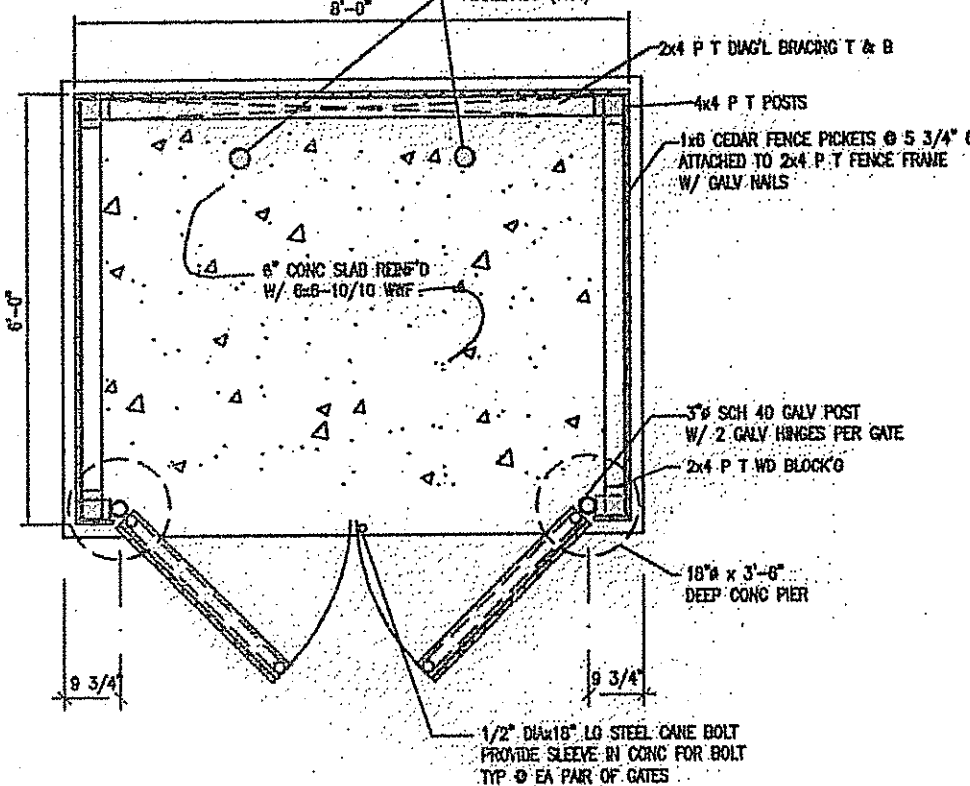
CONSTRUCTION ACCESS
R.I. STANDARD 9.9.0
N.T.S.



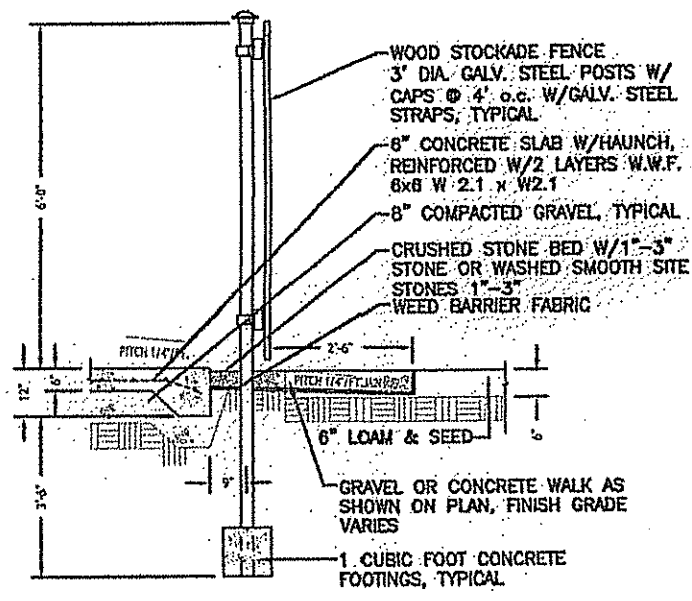
STOCKPILE DETAIL



TYPICAL BOLLARD DETAIL
NOT TO SCALE



DUMPSTER ENCLOSURE PLAN
NOT TO SCALE

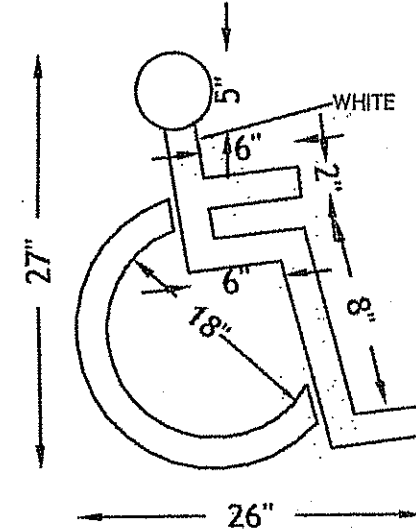


DUMPSTER PAD/FENCE DETAIL
SCALE: 1/2" = 1'-0"



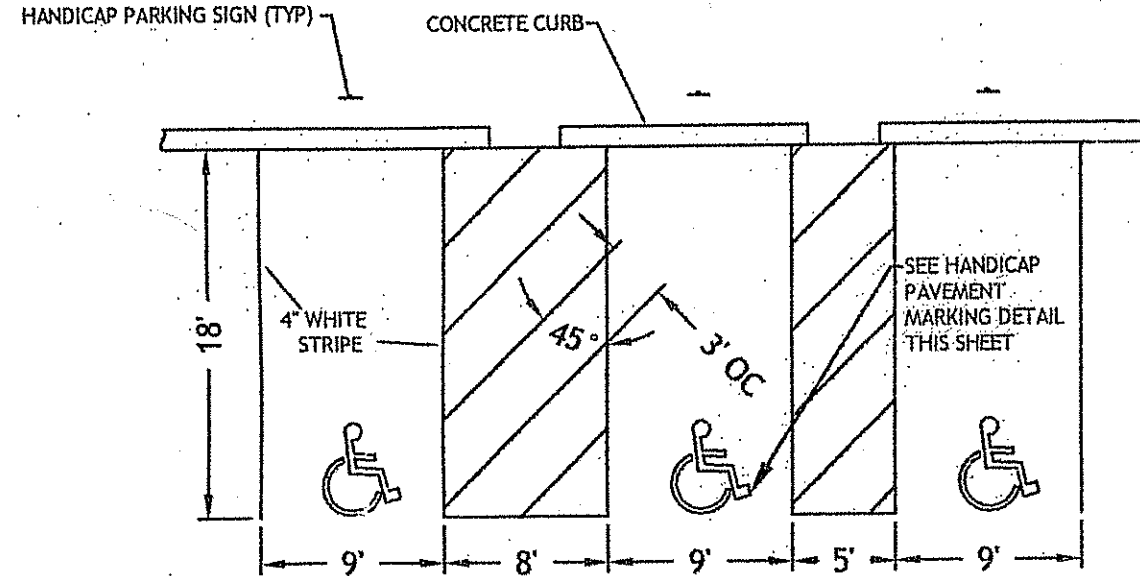
NOTE: SIGNS ARE TO CONFORM WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

HANDICAPPED PARKING SIGNS
NOT TO SCALE



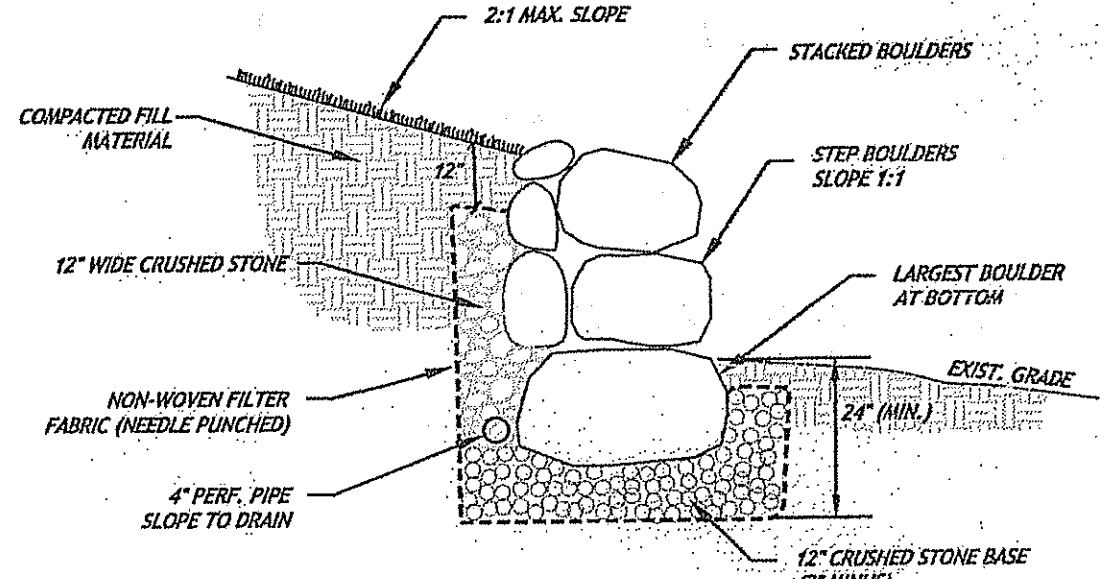
NOTE: 1. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND STATE BUILDING CODE.

HANDICAP PAVEMENT MARKING
NOT TO SCALE

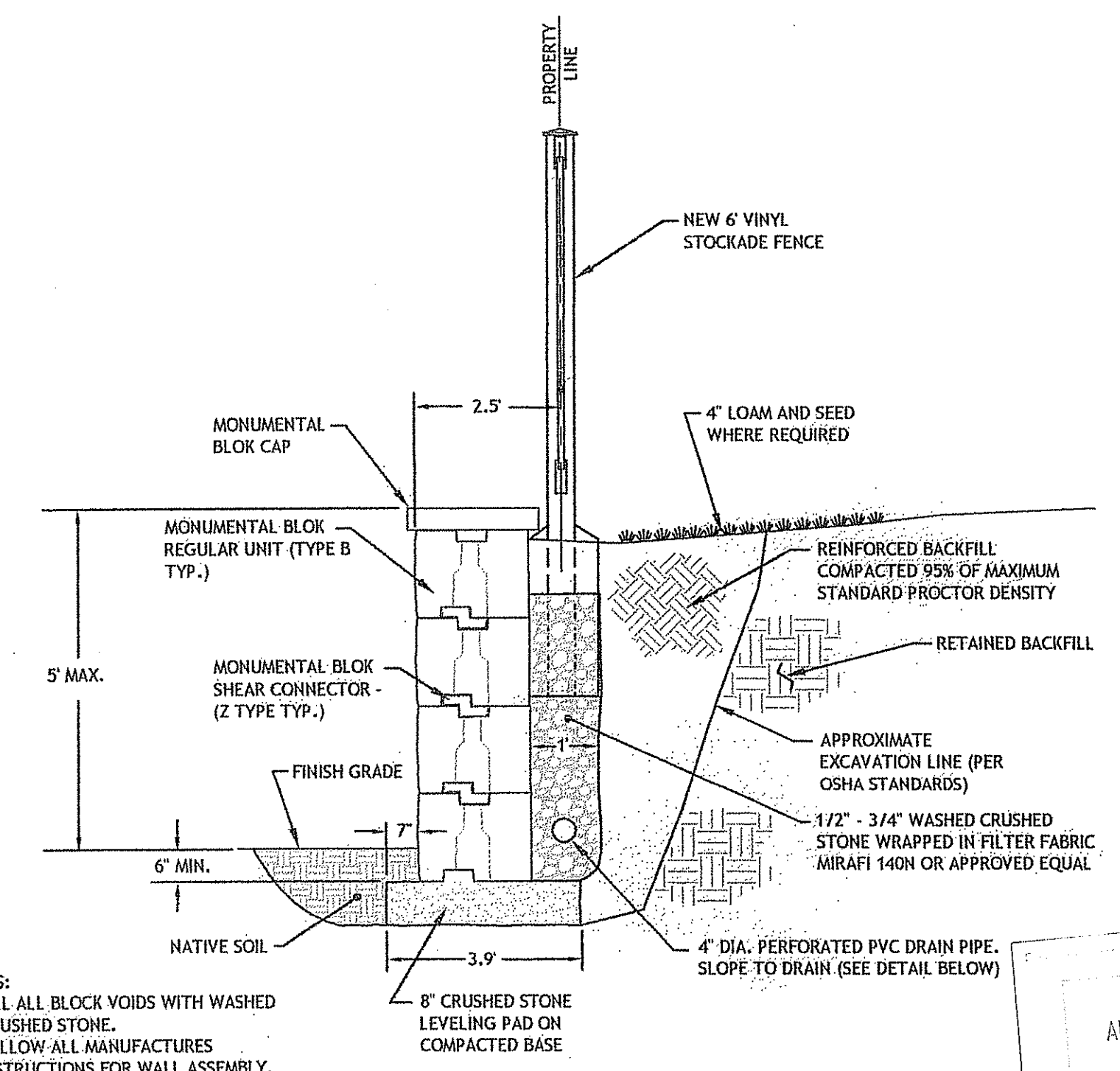


HANDICAP PARKING STALLS
NOT TO SCALE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED OCT 23 2013 - FILE # 13-0135
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
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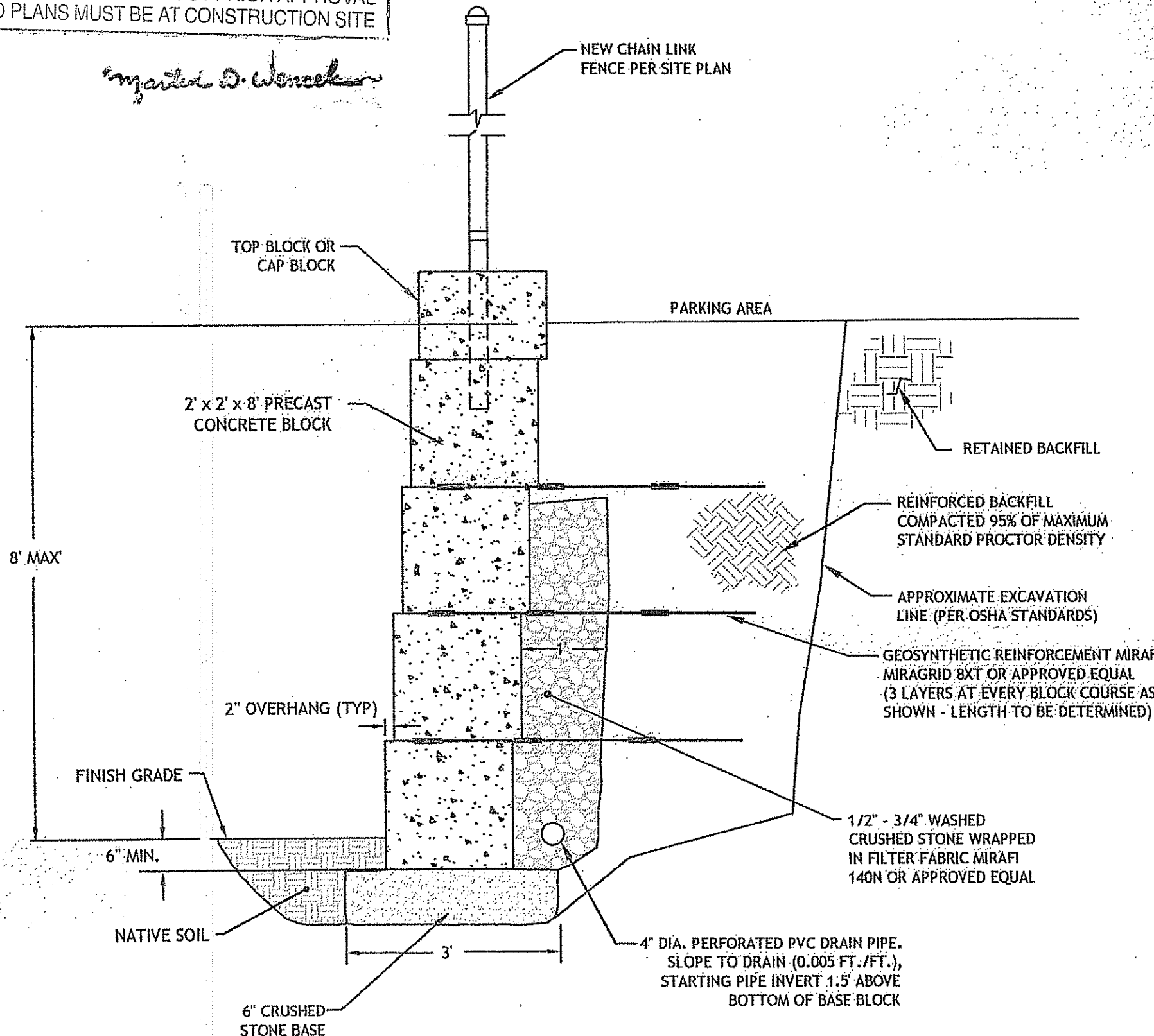


BOULDER RETAINING WALL (IF REQUIRED)
N.T.S.



- NOTES:
 1. FILL ALL BLOCK VOIDS WITH WASHED CRUSHED STONE.
 2. FOLLOW ALL MANUFACTURERS INSTRUCTIONS FOR WALL ASSEMBLY.

TYPICAL SECTION - RETAINING WALL (NORTH WALL)
PRECAST MONUMENTAL BLOCK UNIT (OR APPROVED EQUAL)
SCALE: NONE



TYPICAL SECTION - RETAINING WALL (SOUTH WALL)
PRECAST CEMENT CONCRETE BLOCK UNIT
NONE SCALE:

Petec
 D'AMICO ENGINEERING TECHNOLOGY, INC.
 Civil - Transportation - Land Use
 1824 Mineral Spring Ave., North Providence, RI 02904
 (401) 922-4770 (401) 922-1950 fax www.damicoeng.com

DAVID D'AMICO
 REGISTERED PROFESSIONAL ENGINEER
 8/7/13

**PROPOSED AUTO BODY REPAIR
 BUSINESS SITE DEVELOPMENT**
 420 MENDON ROAD
 CUMBERLAND, RHODE ISLAND
 AP 13, LOTS 110 AND 111

REVISIONS:		
NO.	DATE	DESCRIPTION
1	8-6-13	PLAN SET UPDATE

DESIGNED BY: DMD
 DRAWN BY:
 CHECKED BY: DMD
 DATE: JULY, 2013
 PROJECT NO: 12-0004-01

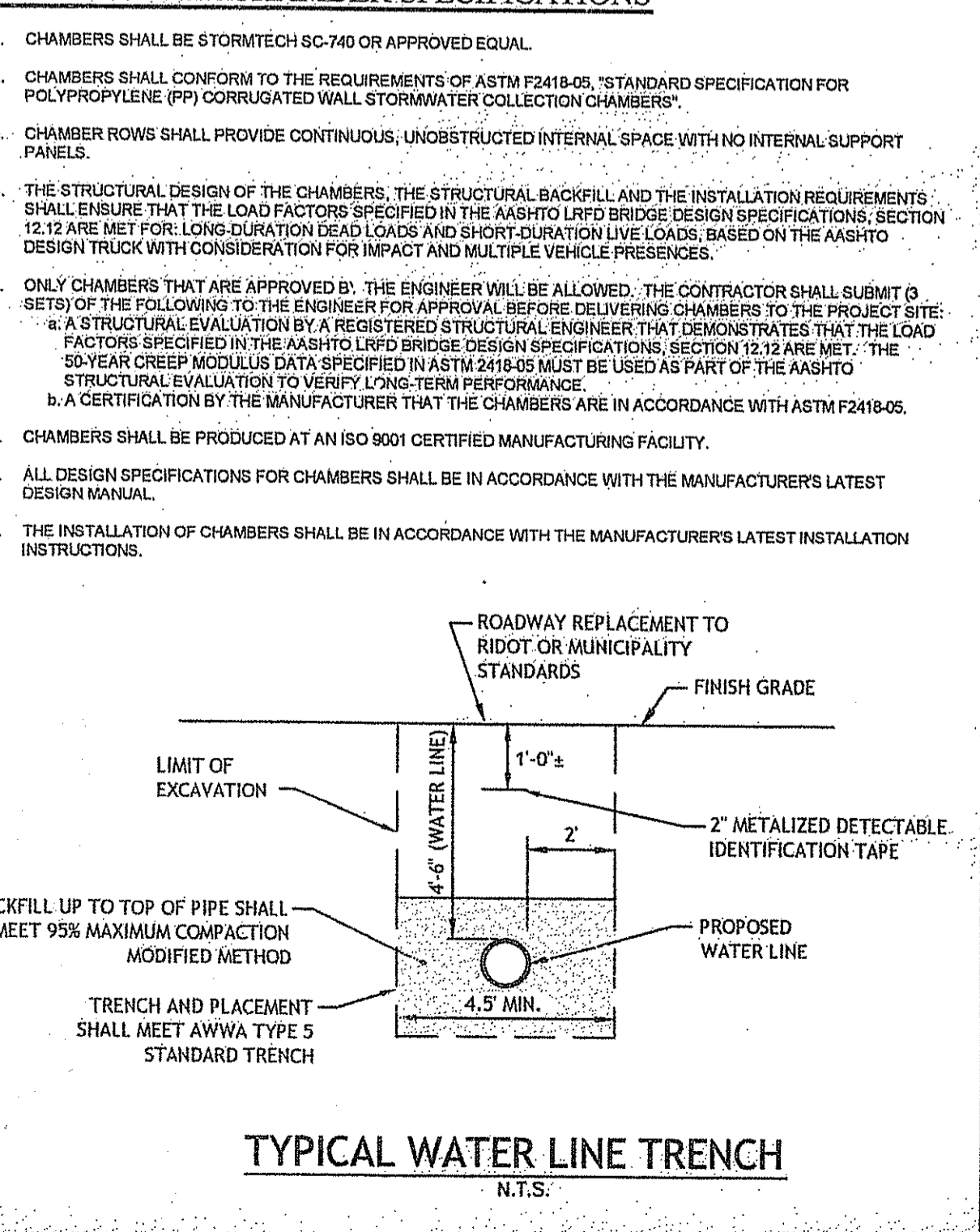
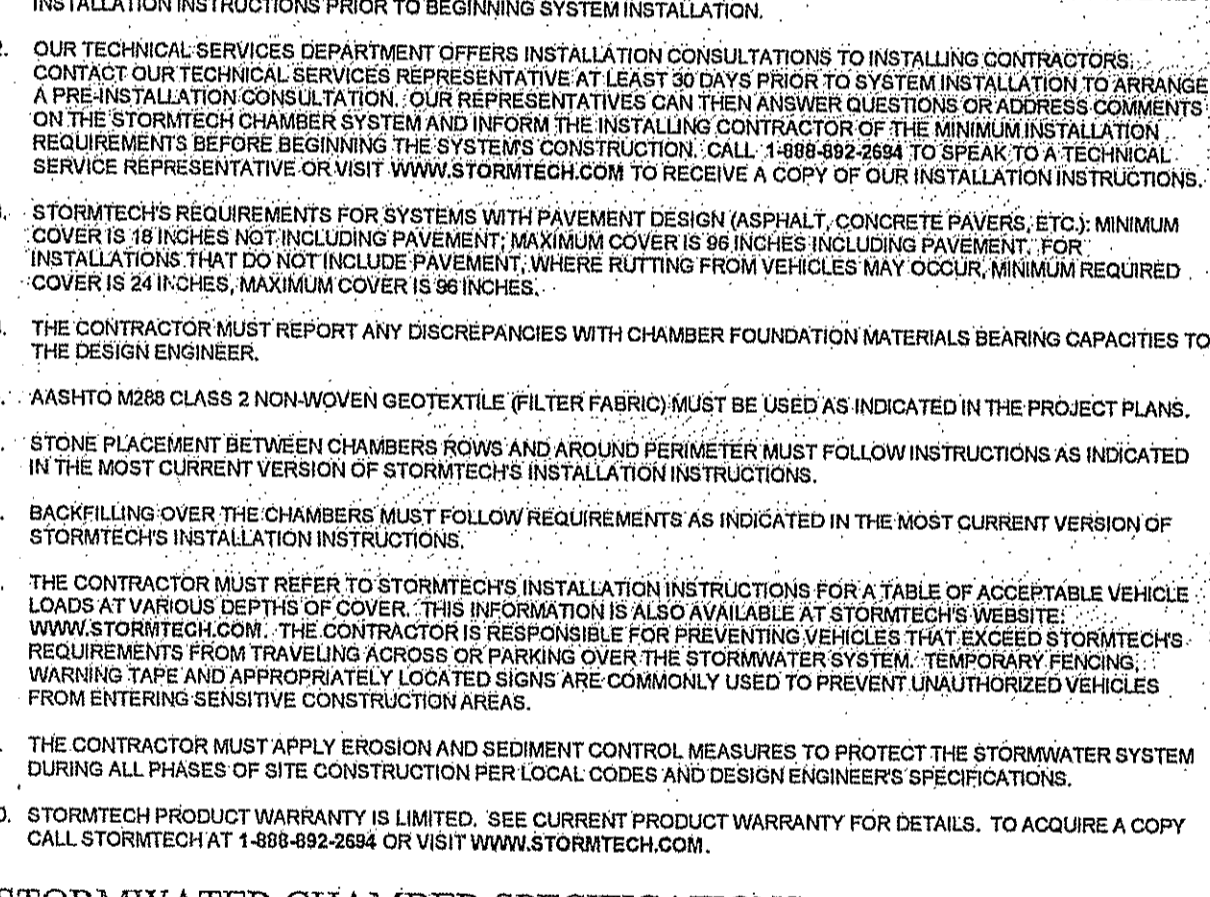
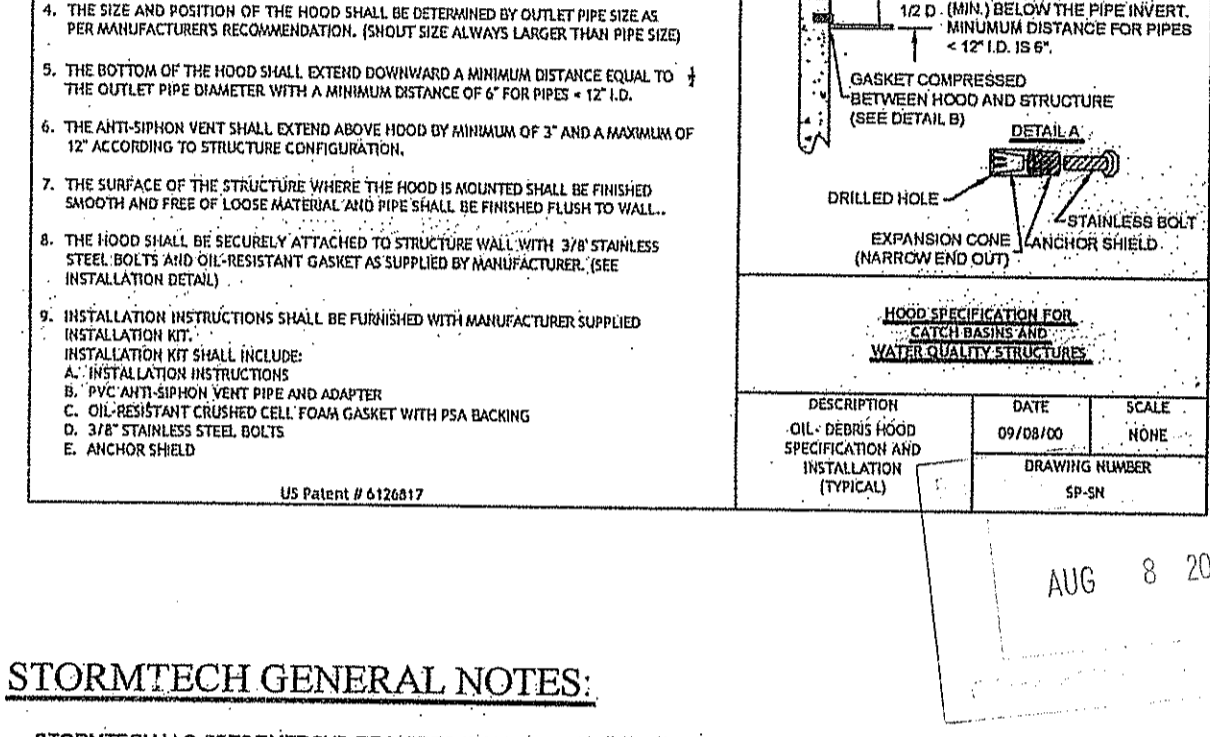
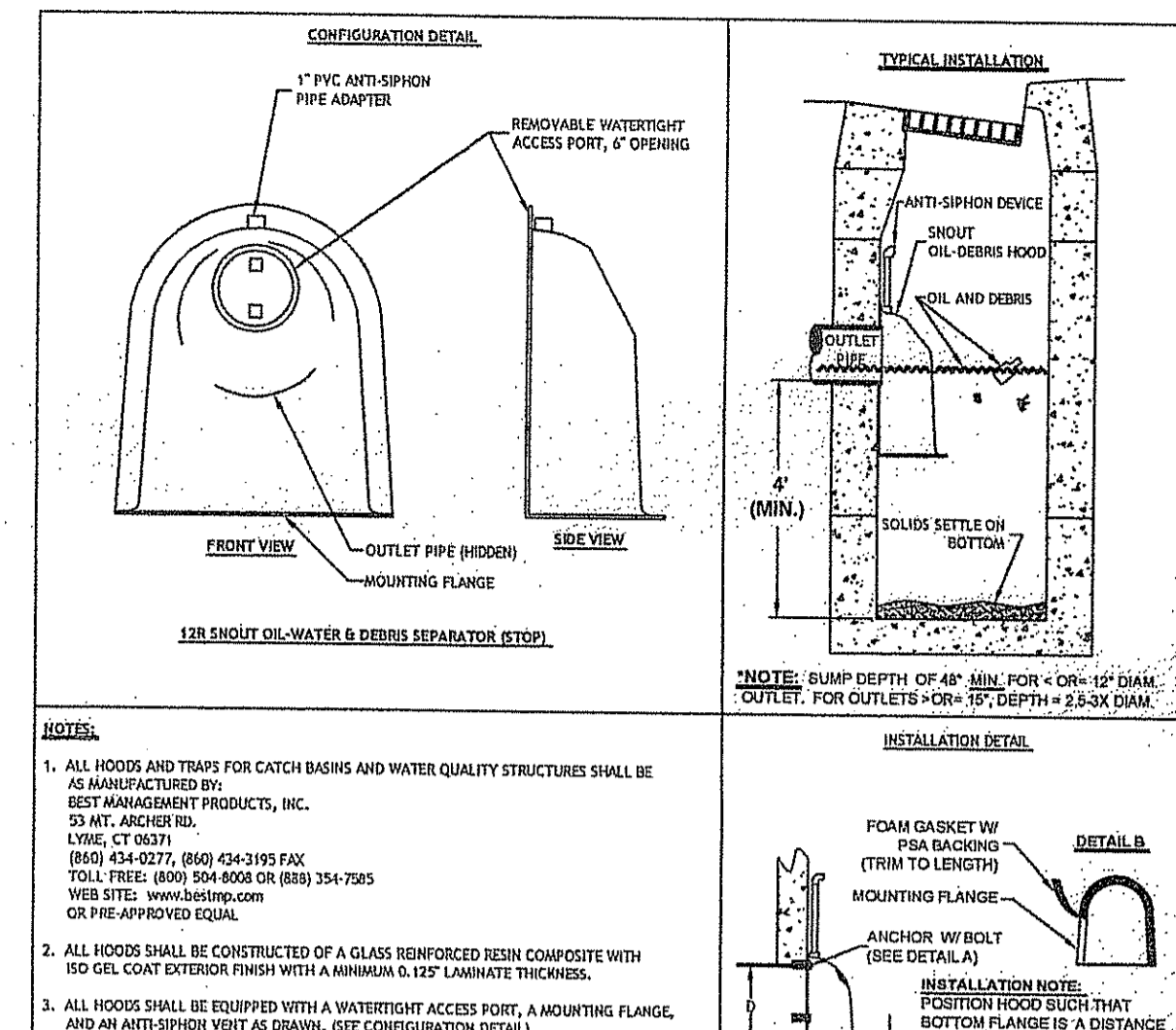
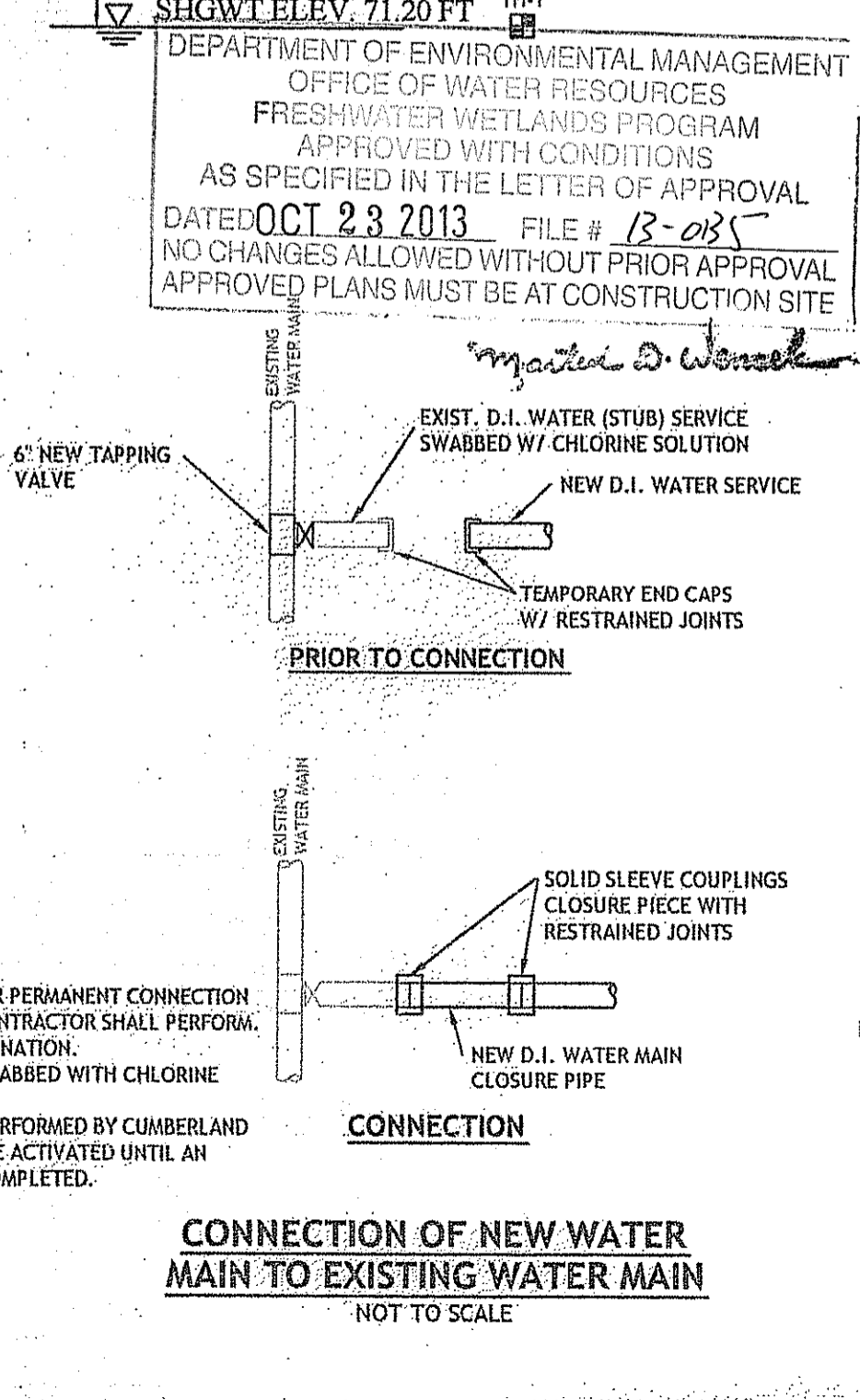
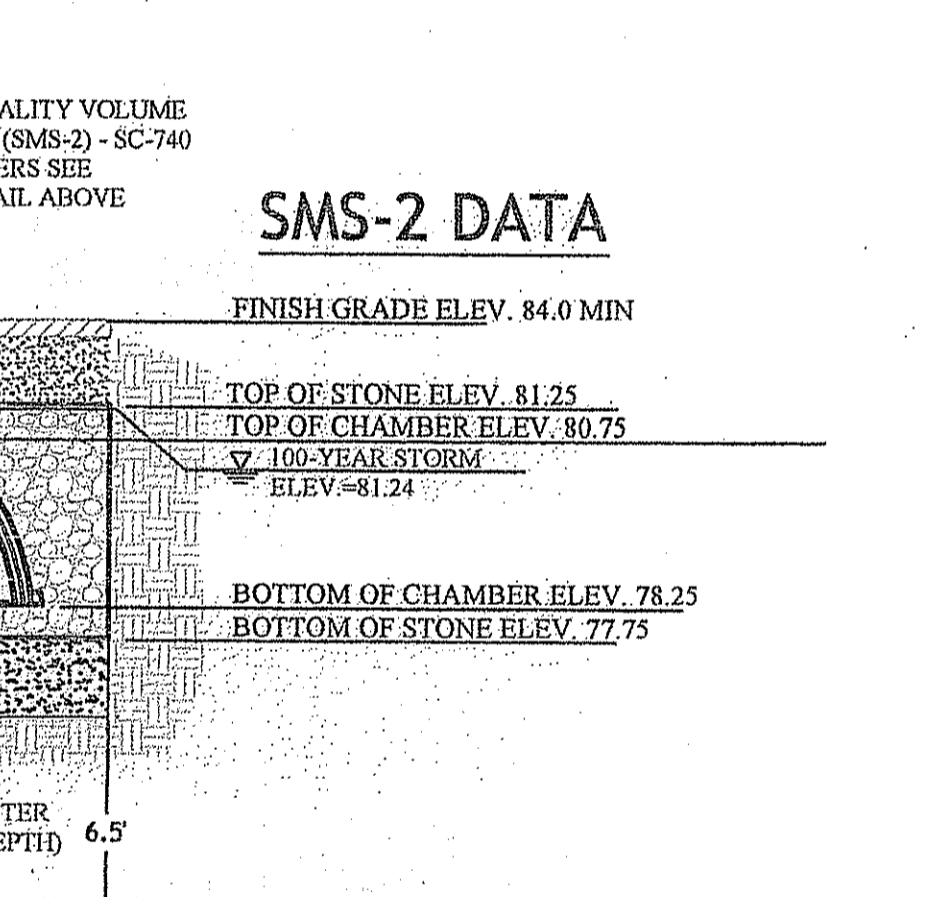
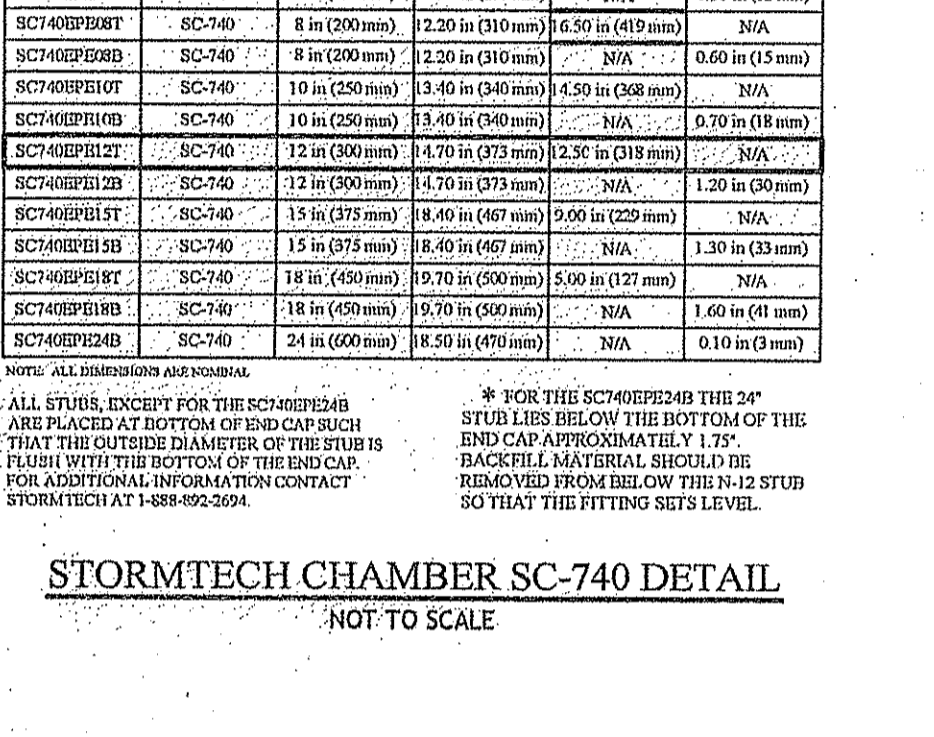
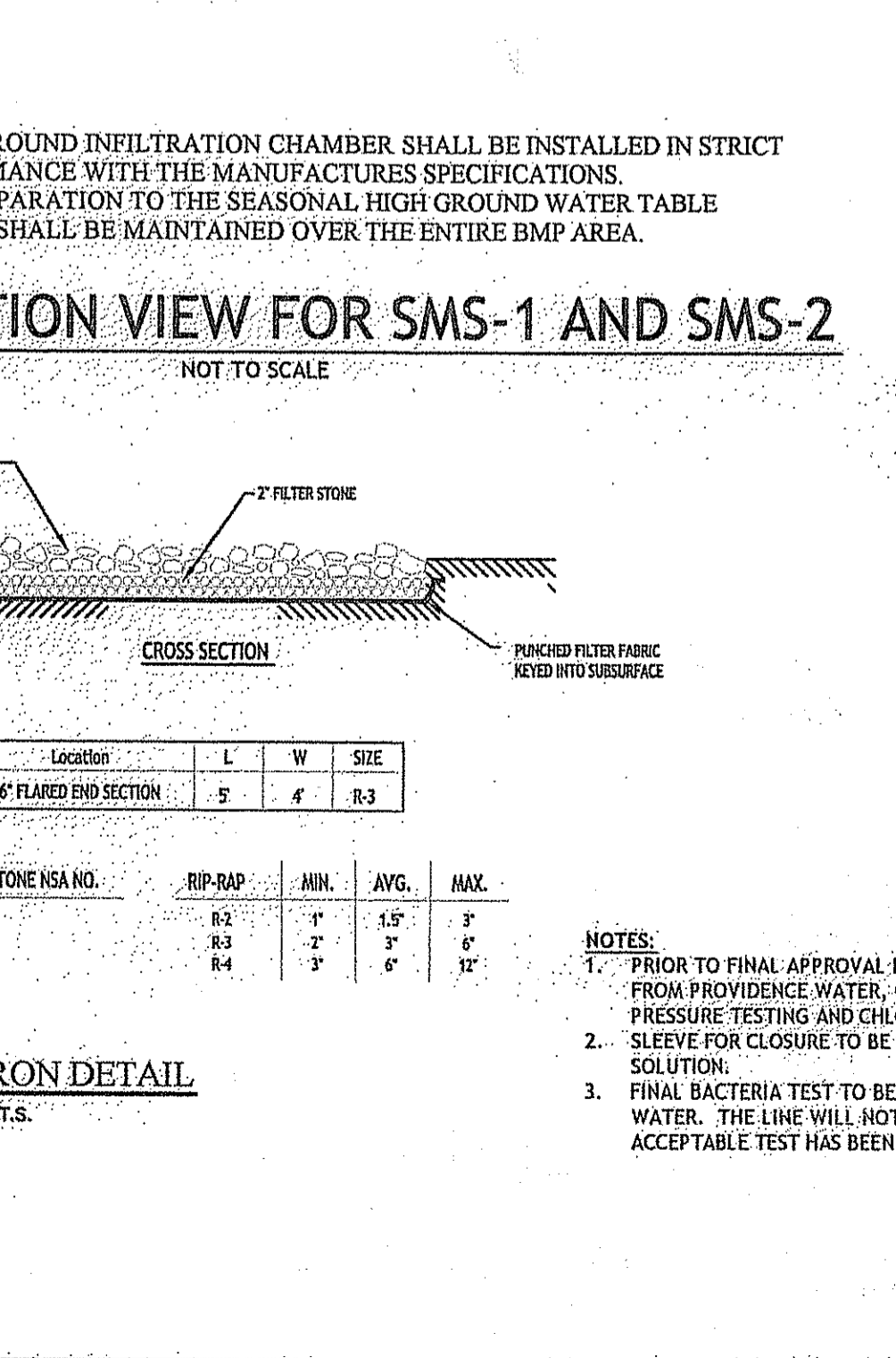
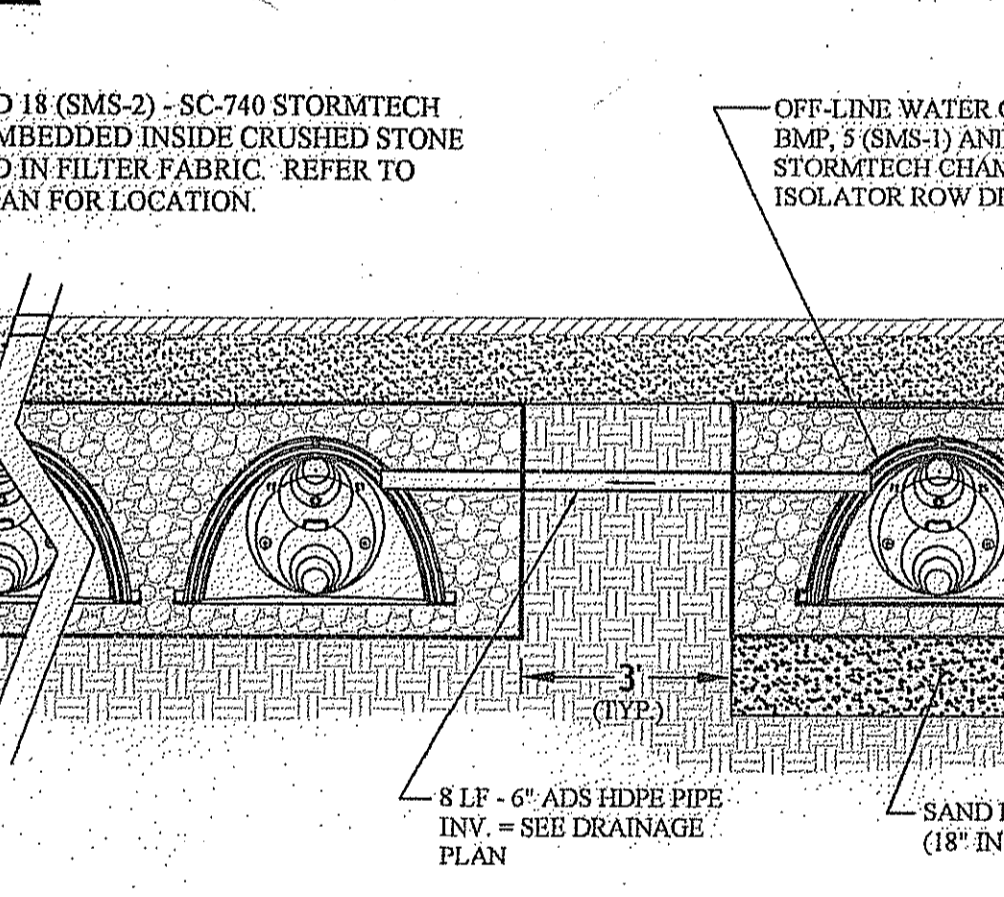
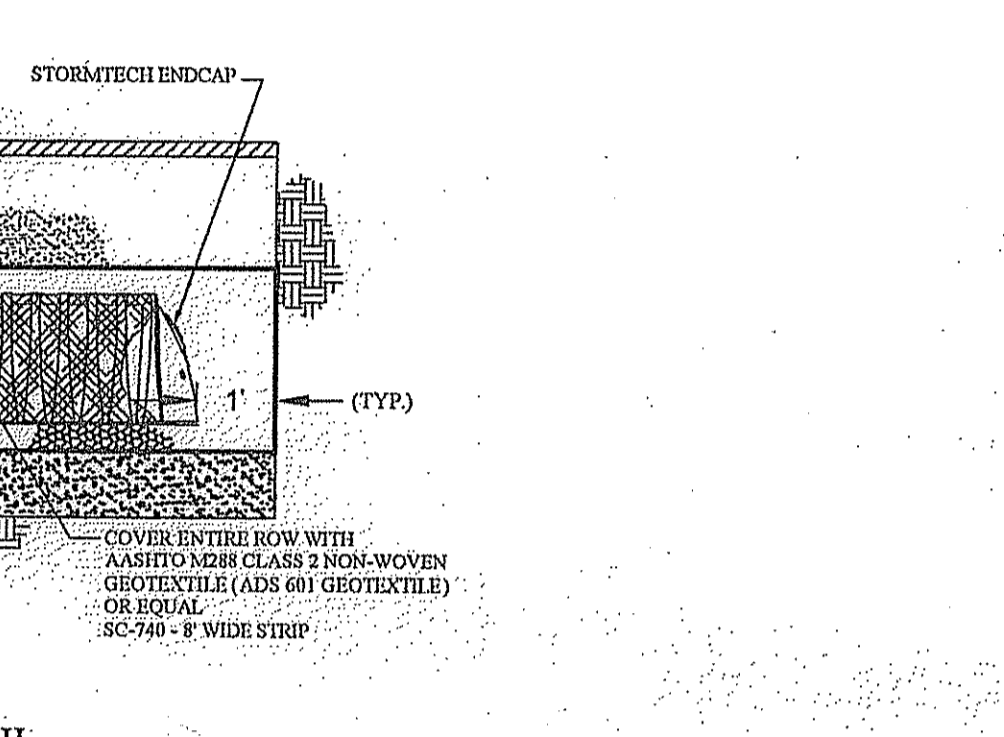
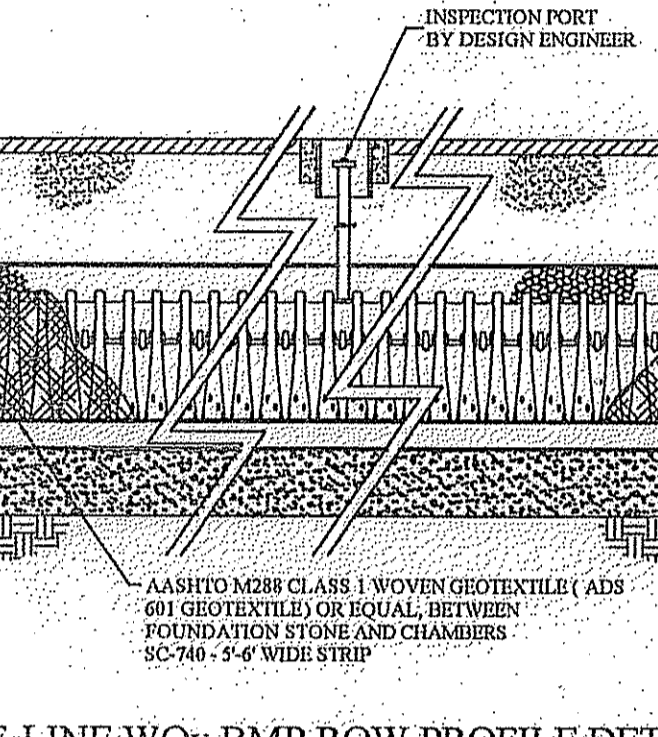
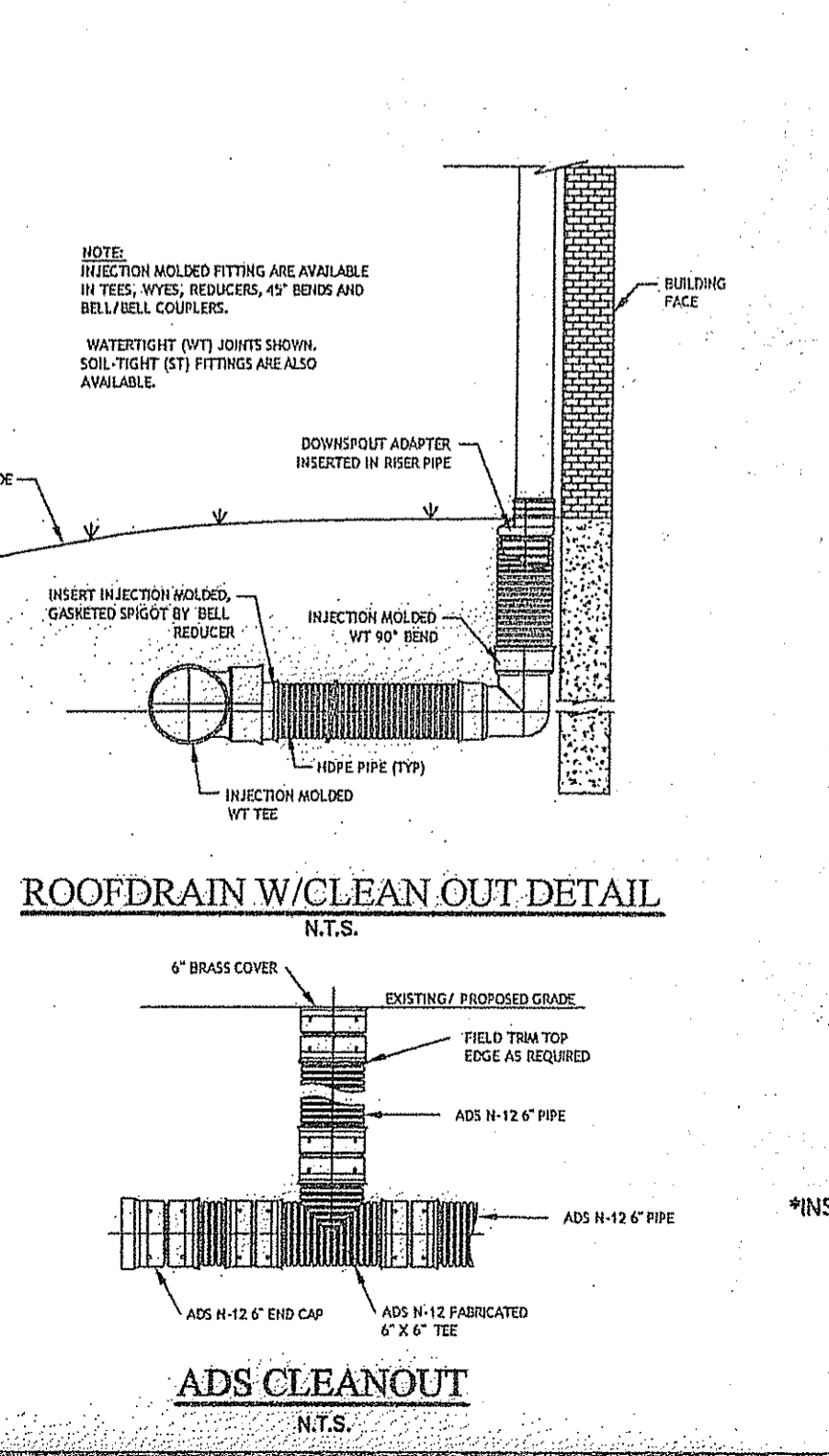
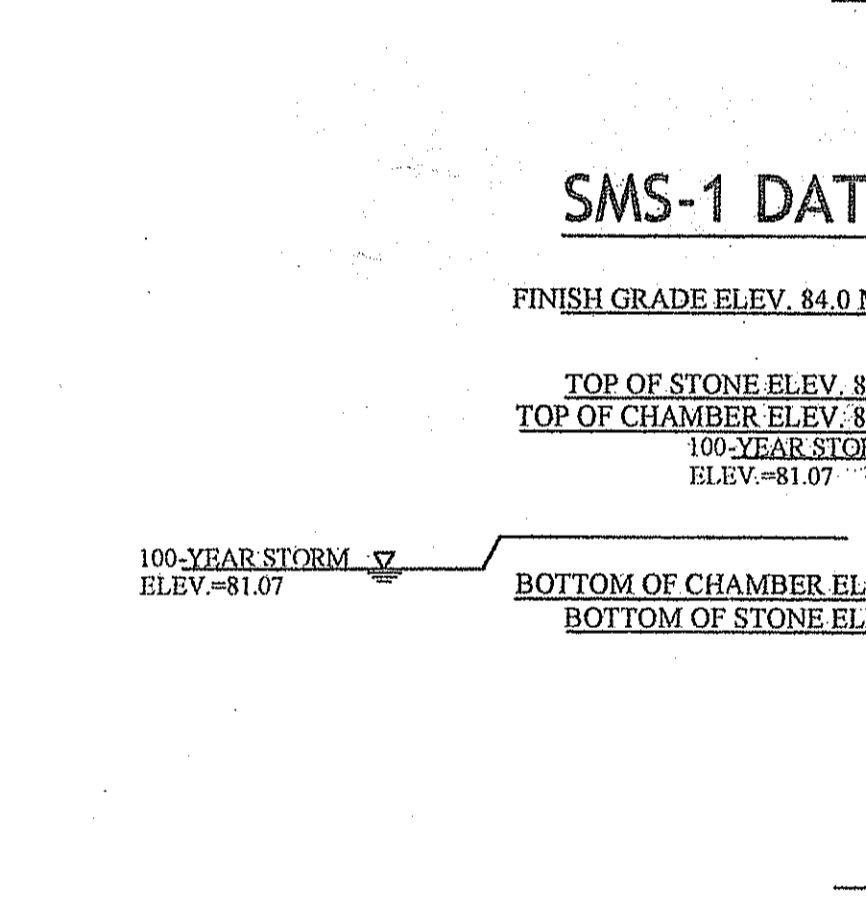
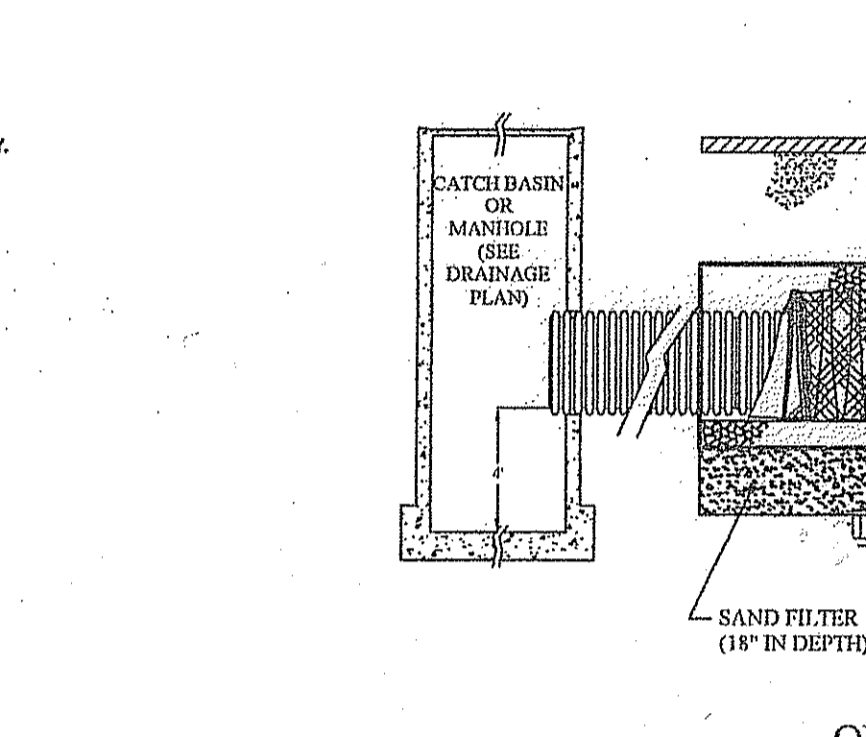
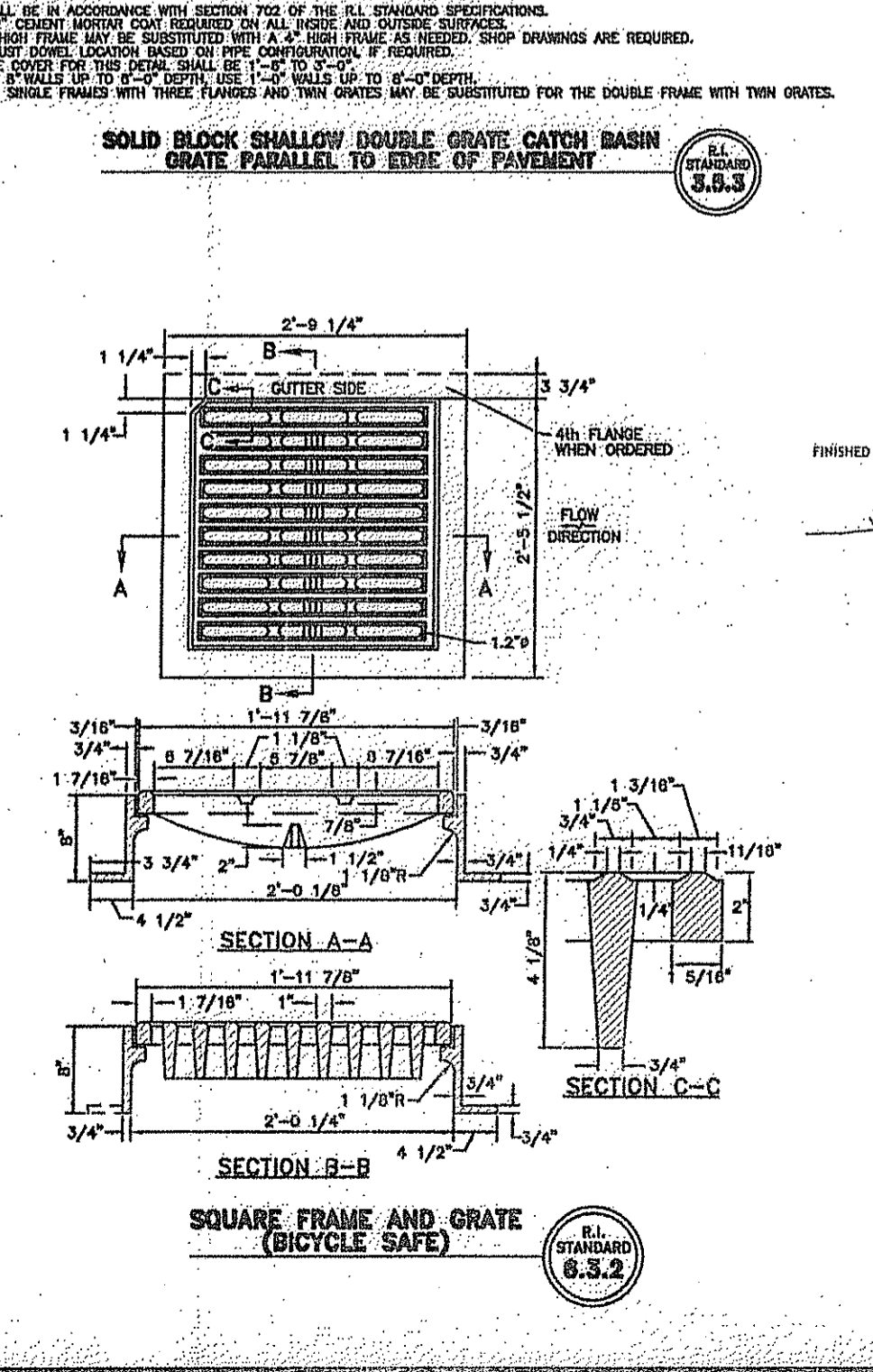
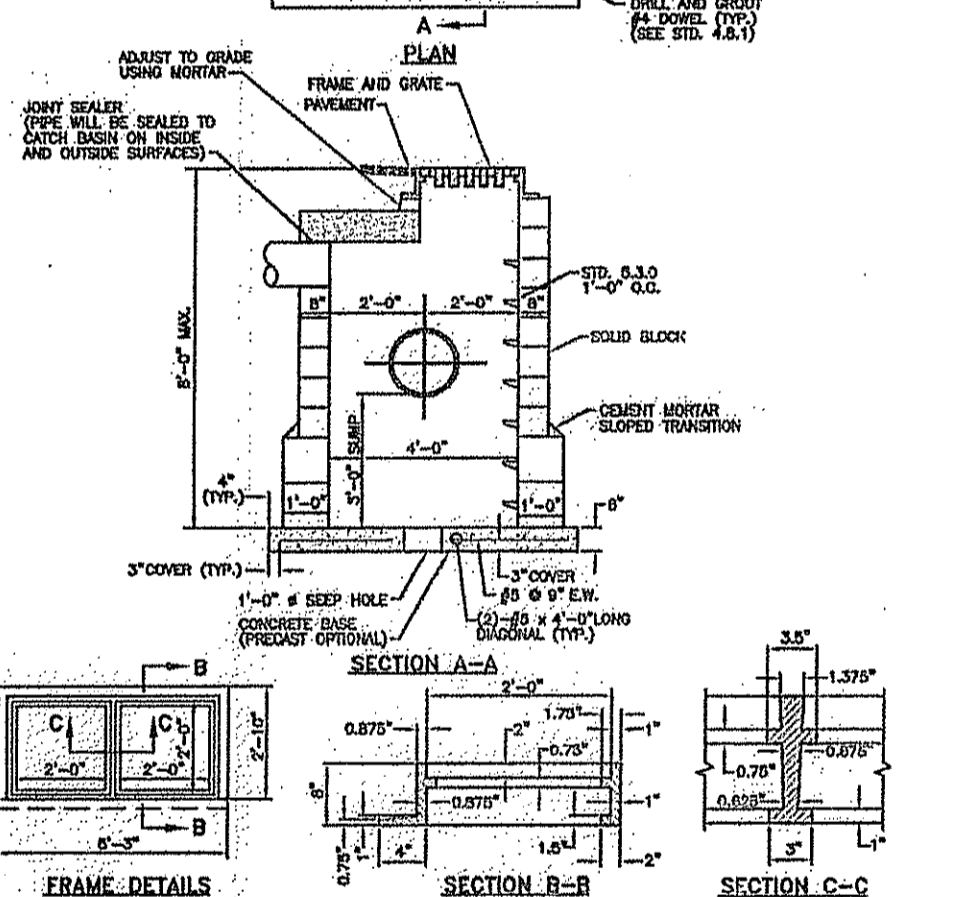
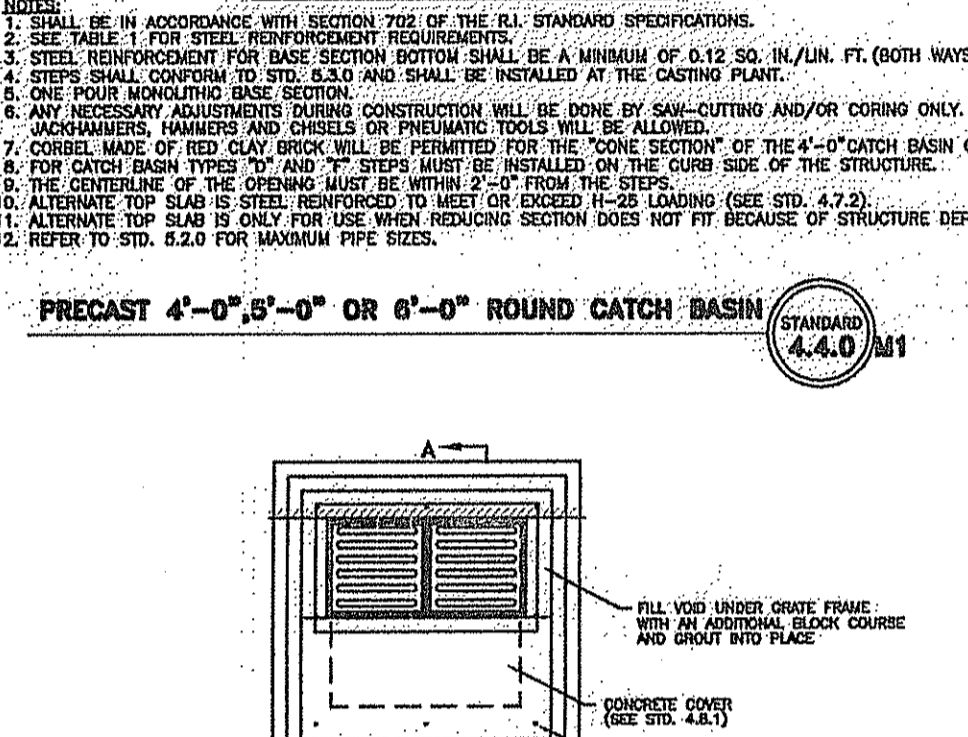
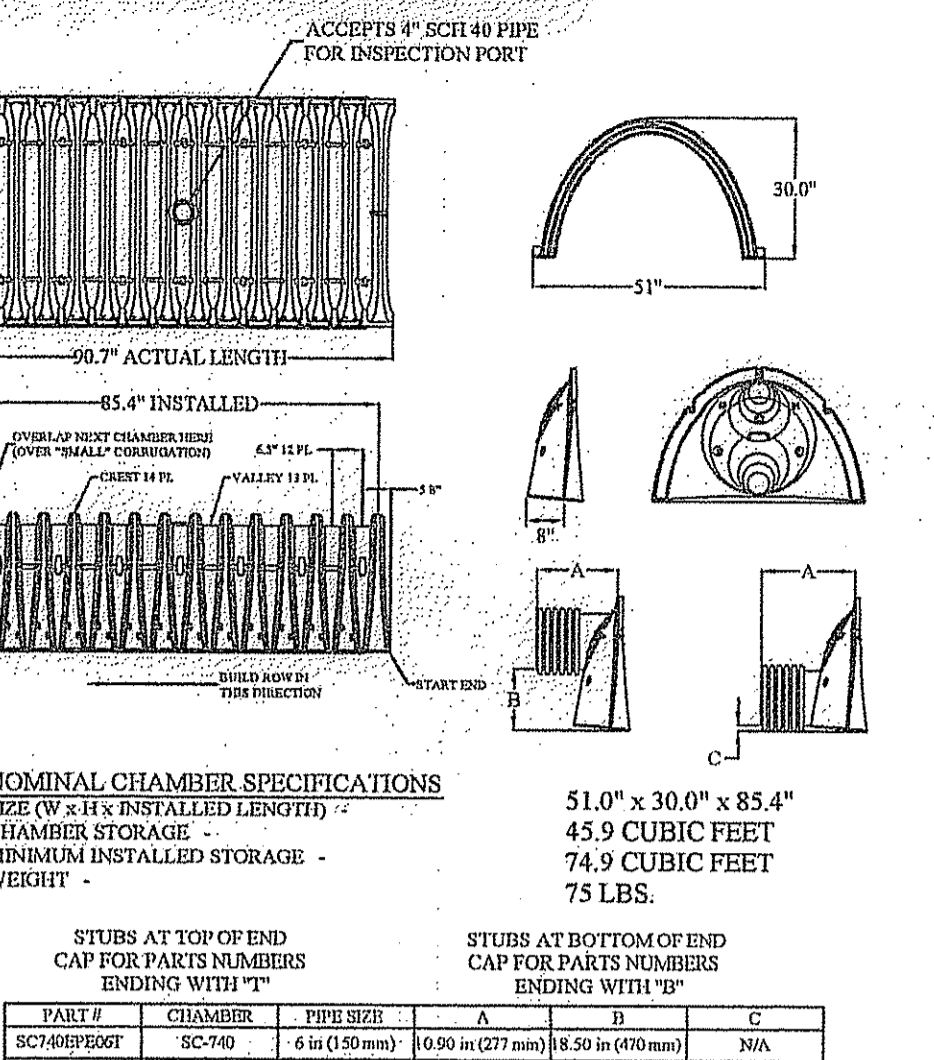
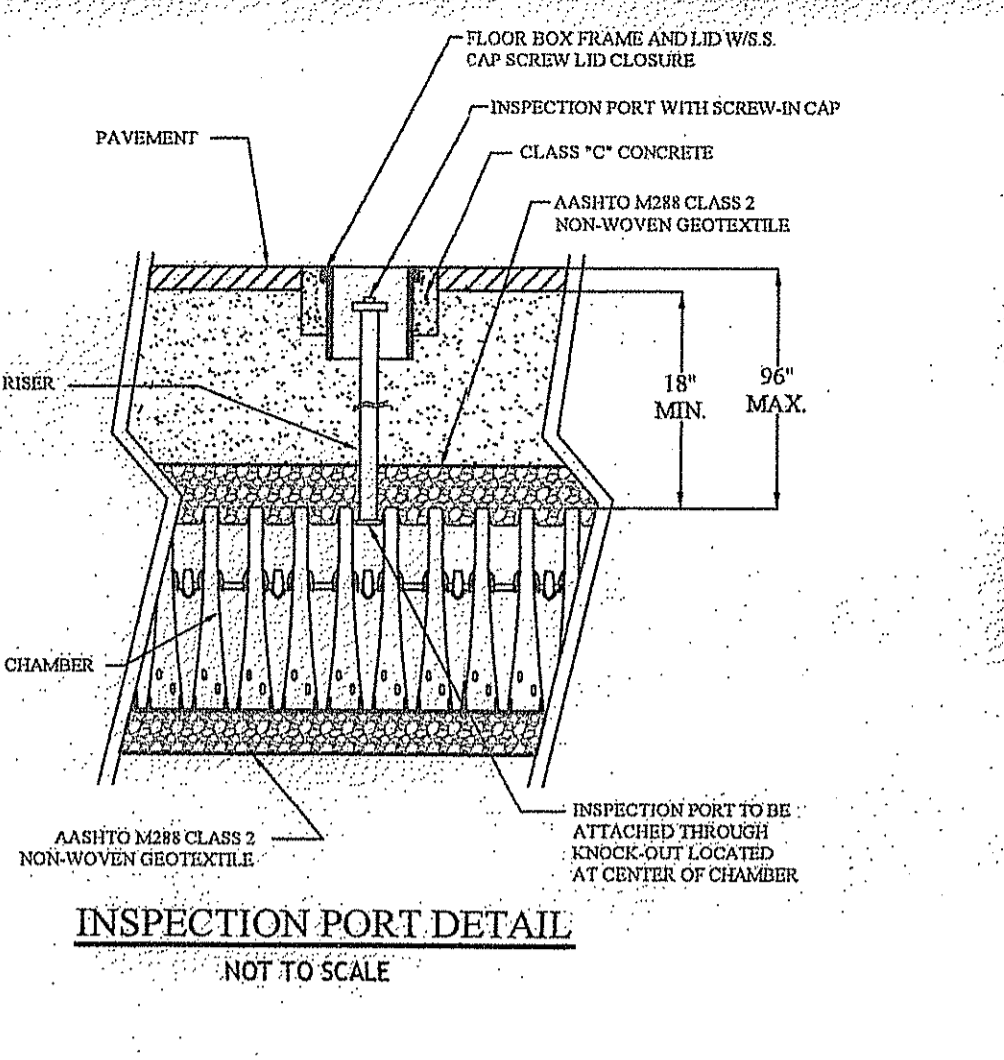
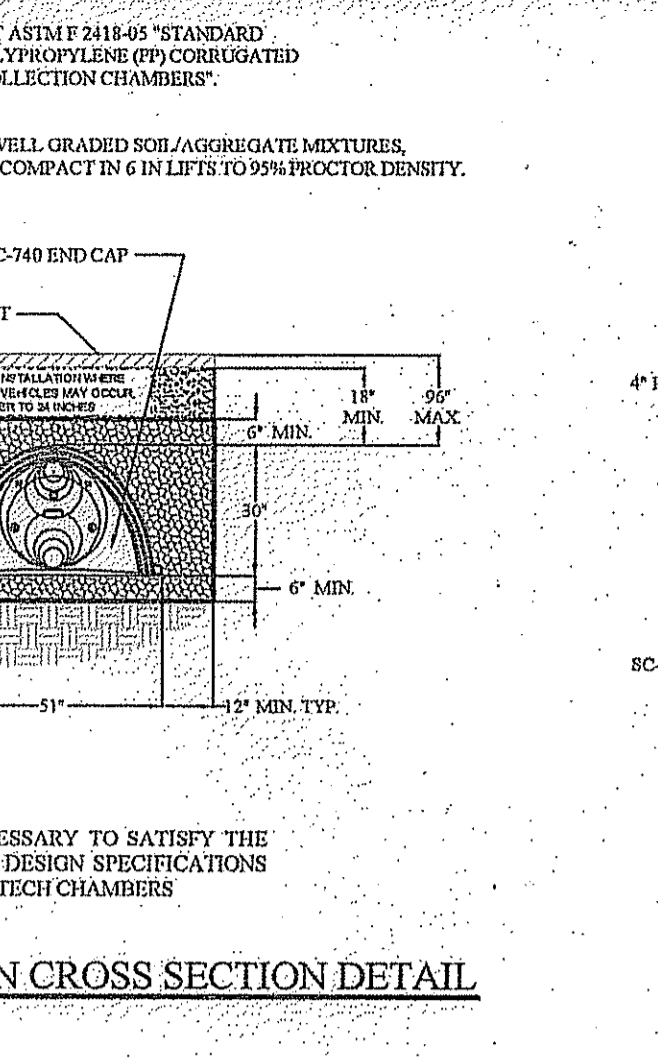
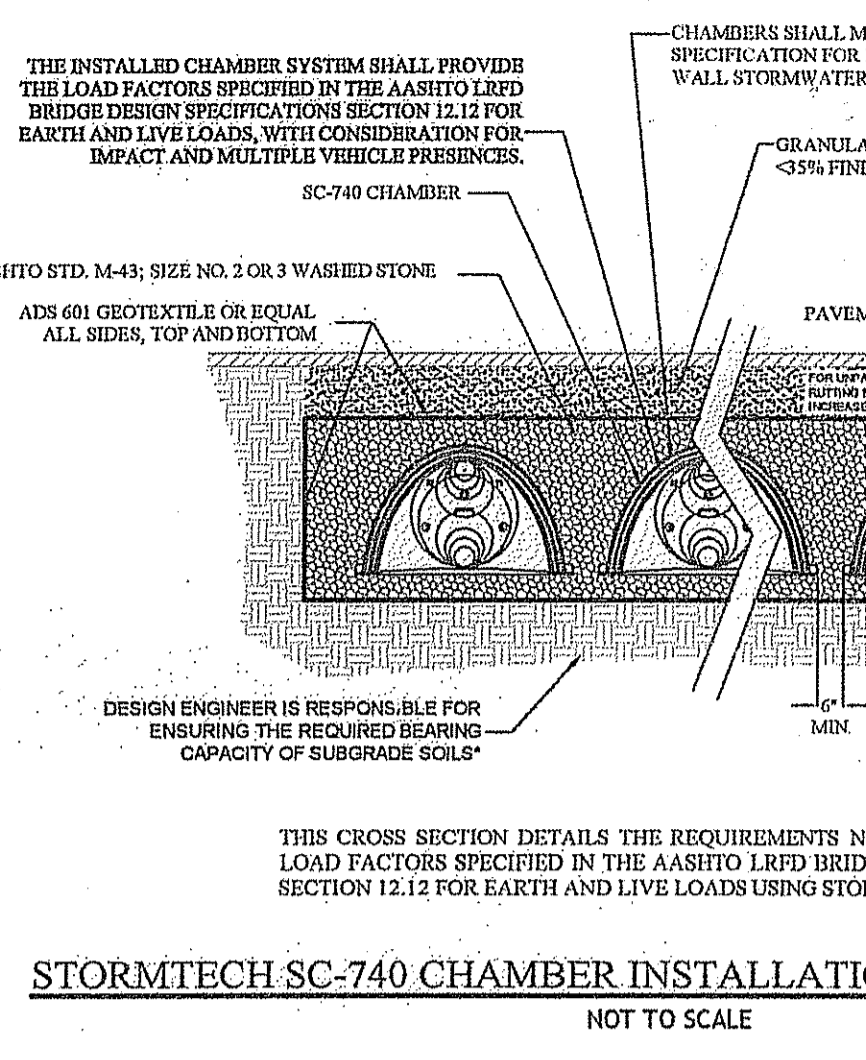
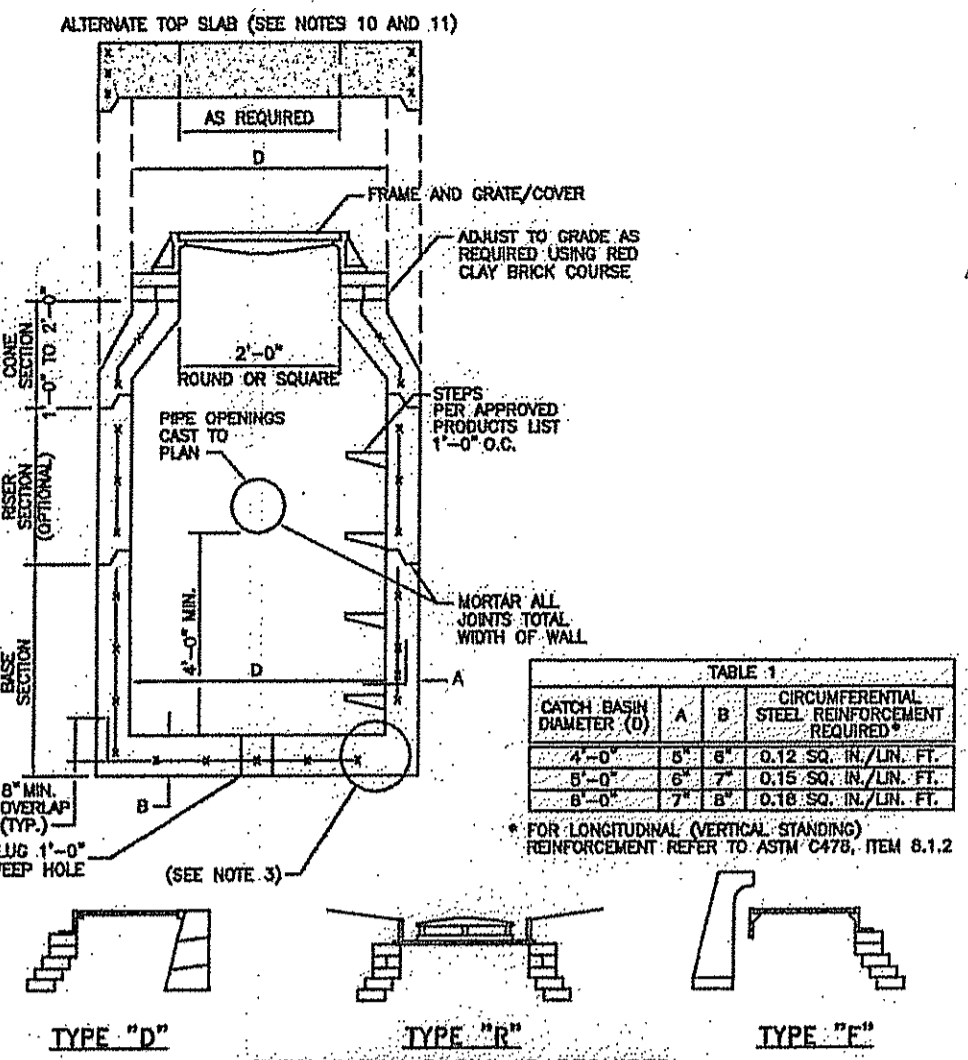
PRELIMINARY, NOT FOR CONSTRUCTION

DETAIL SHEET NO. 1

SHEET 7 OF 8

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Petec
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil / Transportation / Land Use
1824 Mineral Spring Ave. North Providence, RI 02804
(401) 822-1470 (401) 363-1190 fax www.damicoengineering.com

DAVID M. D'AMICO
REGISTERED PROFESSIONAL ENGINEER
6/7/13

PROPOSED AUTO BODY REPAIR BUSINESS SITE DEVELOPMENT
420 MENDON ROAD
CUMBERLAND, RHODE ISLAND
AP 13, LOTS 110 AND 111

REVISIONS:

NO.	DATE	DESCRIPTION
1	8-6-13	PLAN SET UPDATE

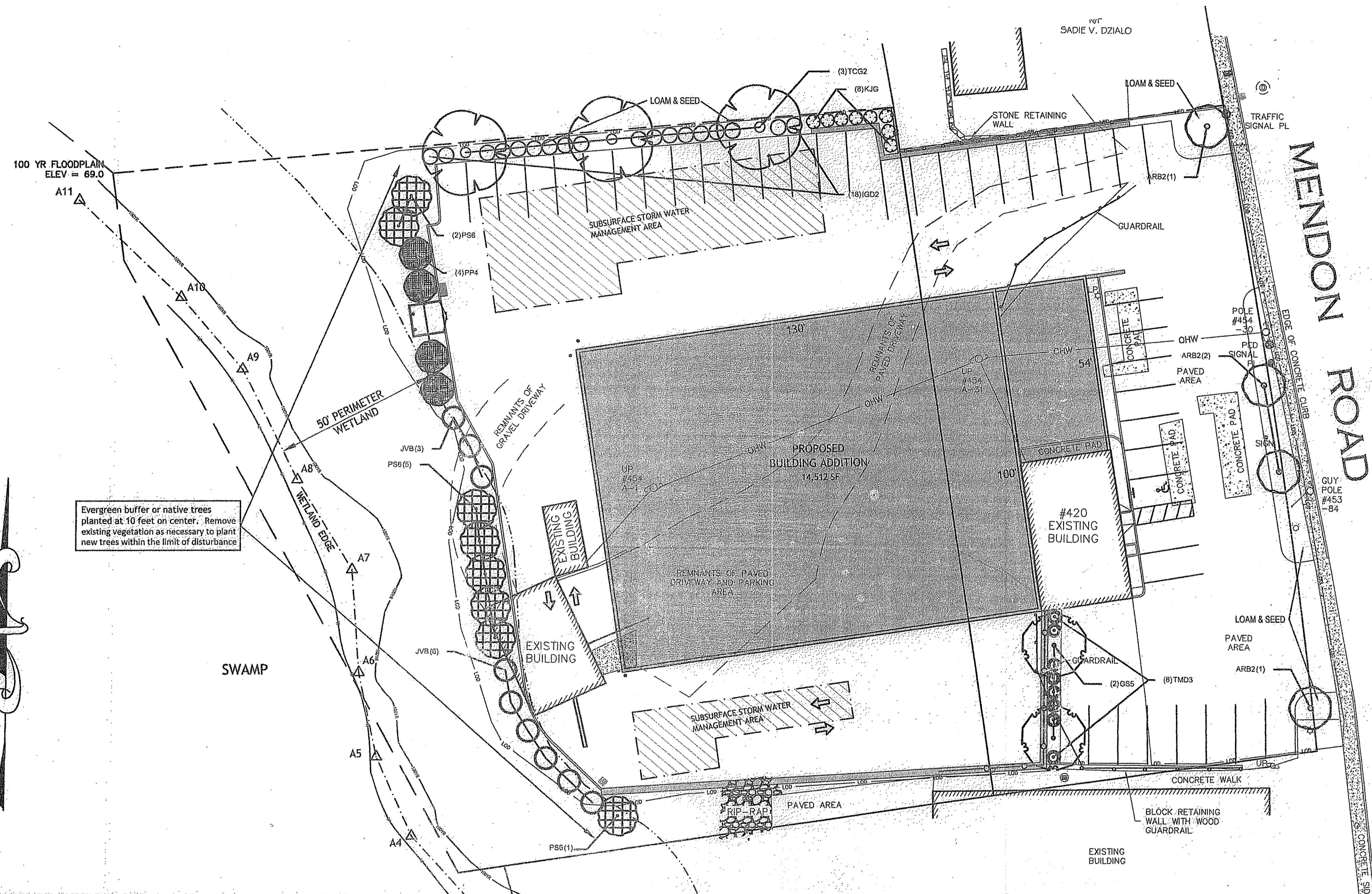
DESIGNED BY: DMD
DRAWN BY: DMD
CHECKED BY: DMD
DATE: JULY 2013
PROJECT NO: 12-0004-01

PRELIMINARY, NOT FOR CONSTRUCTION

DETAIL PLAN NO. 2

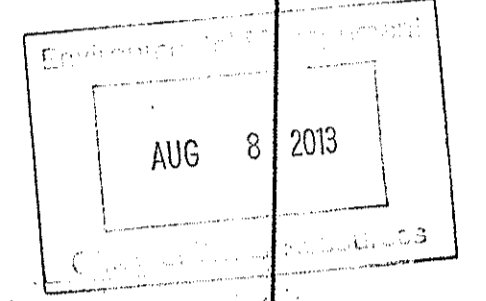
SHEET 8 OF 8

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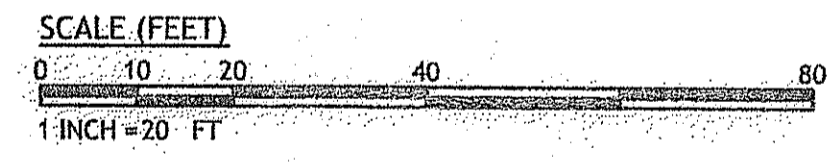
PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	ARB2	4	Bowhall Maple / Acer rubrum 'Bowhall Red'	B & B	3"	Cal
	GS5	2	Shademaster Locust / Gleditsia triacanthos inermis 'Shademaster' TM	B & B	3"	Cal
	TCG2	3	Greenspire Littleleaf Linden / Tilia cordata 'Greenspire'	B & B	3"	Cal
EVERGREEN TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	JVB	9	Eastern Red Cedar / Juniperus virginiana	B & B	4"	5' HT.
	PP4	4	Colorado Spruce / Picea pungens	B&B;	4"-5"	HT.
	PS6	8	White Pine / Pinus strobus	B & B	4"	5' HT.
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	IGD2	18	Inkberry Holly / Ilex glabra 'Densa'	3 gal		
	KJG	8	Golden Japanese Kerria / Kerria japonica 'Golden Gulnea'	2 gal		
	TMD3	8	Dense Yew / Taxus x media 'Densiformis'	3 gal		



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATE: OCT 23 2013 FILE # 12-0231
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin W. W...



TOWN OF CUMBERLAND Land Development & Subdivision Regulations

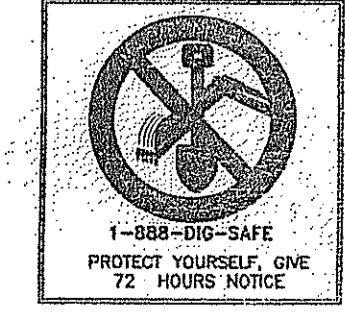
Section 7. Public Improvement Design Standards

STREET TREES	Description	Required	Provided
Tree location		Trees located along all streets	Yes
Tree spacing along streets		50 feet on center	50 feet on center (minus curb openings)
Street tree size at installation		3 to 3 1/2 inch caliper	3 to 3 1/2 inch caliper

Section 8. Land Development & Development Plan Review Design Standards

PARKING	Description	Required	Provided
Shade trees		1 tree per 10 spaces (43 spaces = 5 trees req'd)	5 trees
Terminal islands		5 feet x 18 feet at the end of each row of spaces	Yes except along front of building where no terminal islands are provided
Parking lot location		5 feet from buildings separated by walks, planting strip or bollards and located to the rear or sides of building	0 - 4 feet located in front and sides of building
Parking buffer		Buffered from surrounding areas as much as possible	Parking in northeast corner buffered by 6' privacy fence; no buffer along southern parking spaces

LANDSCAPING	Description	Required	Provided
Yard area landscaping		10 feet wide (all yard areas) with shrubs every 20 feet and trees every 50 feet	0 to 113 feet wide; Yard area north side-trees and shrubs over a portion of yard area; yard area west side-n/a wetland buffer requirements; yard area south side-no N/A
Incompatible land use buffer		20 feet wide with evergreen trees 10 feet on center (when fence is used provide shrubs every 20 feet and trees every 50 feet)	N/A
Shade tree size at installation		3 inch caliper	3 inch caliper
Tree and shrub location		10 feet from utility poles 10 feet from underground utilities 10 feet from hydrants 10 feet from driveway and road openings and sidewalks	10 feet 10 feet 6 feet N/A 10 feet from driveway openings and 4 feet from sidewalks



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DIGSAFE** AT 1-888-DIG-SAFE 1-888-344-7233



LANDSCAPE ARCHITECT:
DIANE C. SOULE & ASSOCIATES, ASLA
 LANDSCAPE ARCHITECTURE • GRAPHICS • DESIGN
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 www.dianesouleandassociates.com

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 DAMICO ENGINEERING TECHNOLOGY, INC.
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 1824 Mineral Spring Ave., North Providence, RI 02804
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**PROPOSED AUTO BODY REPAIR
 BUSINESS SITE DEVELOPMENT
 420 MENDON ROAD
 CUMBERLAND, RHODE ISLAND
 AP 13, LOTS 110 AND 111**

REVISIONS:
 NO. DATE DESCRIPTION

DESIGNED BY: DMD
 DRAWN BY:
 CHECKED BY: DMD
 DATE: JULY, 2013
 PROJECT NO: 12-0004-01

PRELIMINARY, NOT FOR CONSTRUCTION

LANDSCAPE PLAN

SHEET 1 OF 1