

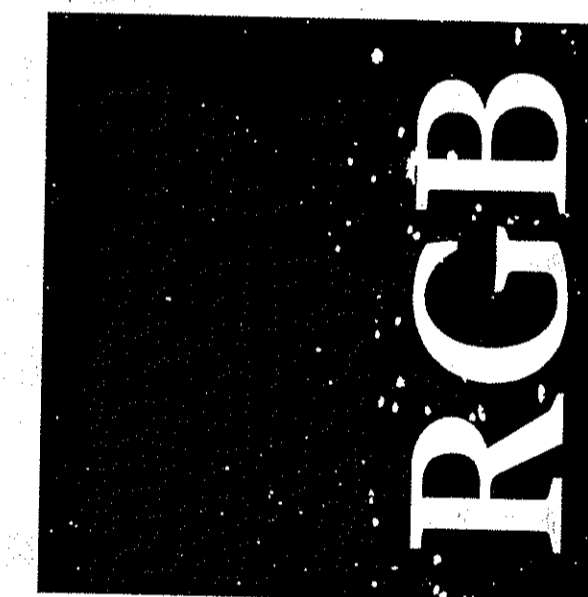
# THE WASHINGTON TRUST COMPANY - BRANCH BANK CONVERSION

THE WASHINGTON TRUST  
*Company*

1383 ATWOOD AVENUE JOHNSTON, RI 02919

50 Holden Street · Providence, Rhode Island 02908  
www.rgb.net

*Architecture · Engineering · Interior Design*



THE ROBINSON GREEN BERETTA CORPORATION

CONSULTANTS

LDD COLLABORATIVE, INC

ODEH ENGINEERS

BUILDING ENGINEERING RESOURCES, INC

OWNERS CONSULTANTS

MANDEVILLE SIGN

ARCHITECTURE, ENGINEERING &  
INTERIOR DESIGN

LANDSCAPE ARCHITECTURE  
STRUCTURAL ENGINEERING  
MECHANICAL, ELECTRICAL  
& FIRE PROTECTION

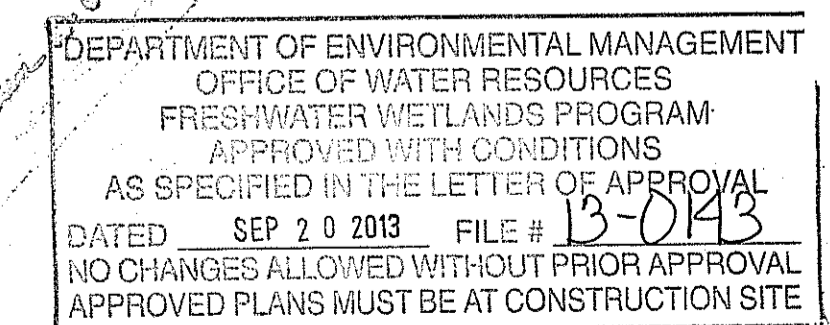
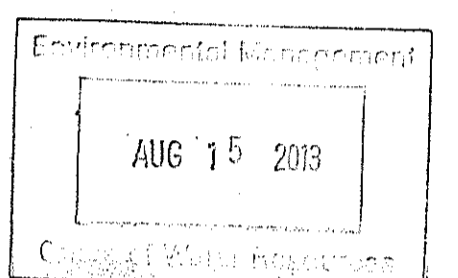
PROJECT SIGNAGE

## LIST OF DRAWINGS

A000 COVER SHEET

### CIVIL

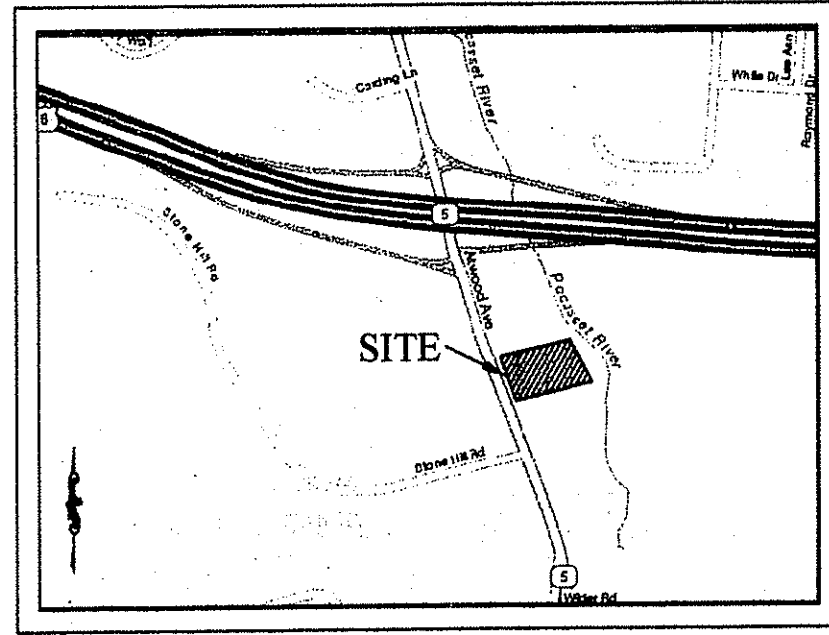
C100 SURVEY PLAN  
C200 SITE PREPARATION PLAN  
C300 LAYOUT PLAN  
C400 SITE, GRADING & DRAINAGE PLAN  
C500 DETAILS  
C501 DETAILS  
C502 DETAILS  
C503 DETAILS CULTEC



STATUS: ISSUED FOR PERMIT

DATE: 08-AUGUST-2013

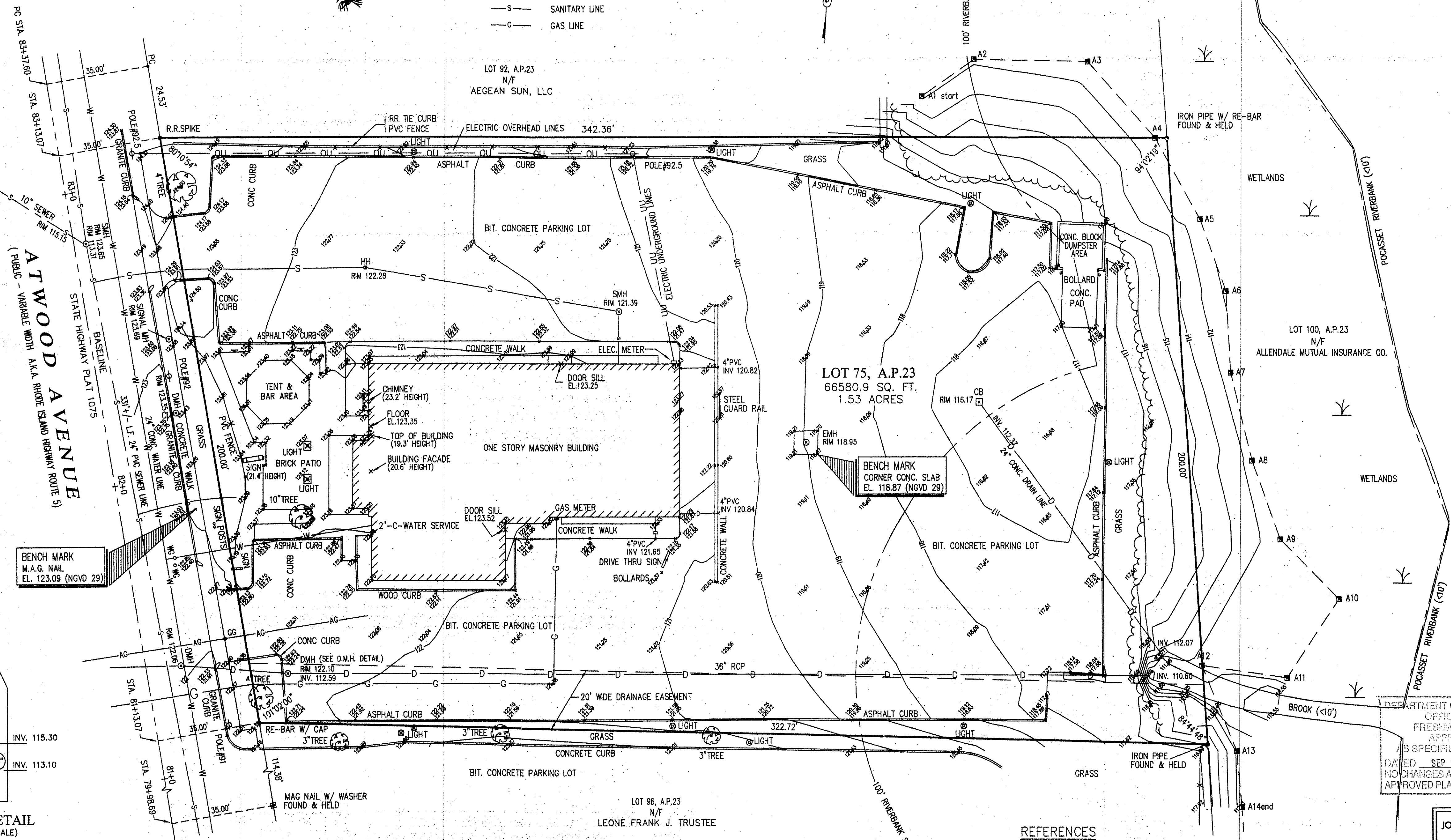
THE WASHINGTON TRUST COMPANY - BRANCH BANK CONVERSION - 6094



LOCUS PLAN  
(NOT TO SCALE)

**LEGEND**

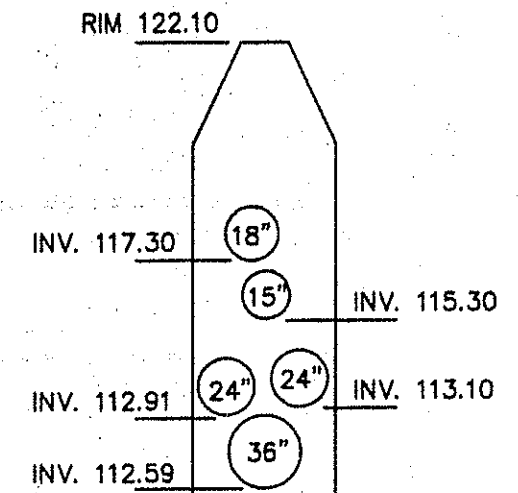
- |     |                      |   |                       |
|-----|----------------------|---|-----------------------|
| HYD | FIRE HYDRANT         | □ | CATCH BASIN           |
| ○   | LIGHT                | ○ | UTILITY POLE          |
| —   | FENCE                | — | SIGN                  |
| ○   | WATER GATE           | ○ | SMH SEWER MANHOLE     |
| ○   | FIRE SHUT OFF        | ○ | DMH DRAIN MANHOLE     |
| ○   | EXISTING CONTOURS    | ○ | EMH ELECT MANHOLE     |
| ○   | SPOT ELEVATION       | ○ | TMH TELEPHONE MANHOLE |
| ○   | POINT OF APPLICATION | — | OVERHEAD UTILITIES    |
| ○   | TREE                 | — | ELECTRIC              |
| ○   | PINE TREE            | — | WATER LINES           |
|     |                      | — | STORM DRAIN           |
|     |                      | — | SANITARY LINE         |
|     |                      | — | GAS LINE              |



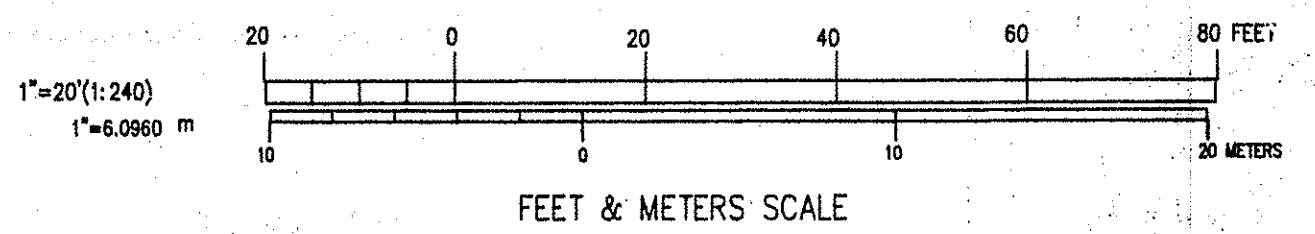
BENCH MARK  
M.A.G. NAIL  
EL. 123.09 (NGVD 29)

LOT 75, A.P. 23  
66580.9 SQ. FT.  
1.53 ACRES

BENCH MARK  
CORNER CONC. SLAB  
EL. 118.87 (NGVD 29)



D.M.H. DETAIL  
(NOT TO SCALE)



FEET & METERS SCALE

NOTE:  
UNDERGROUND UTILITIES SHOWN ARE PLOTTED FROM PLANS FURNISHED TO THIS OFFICE BY THE LOCAL UTILITY AND CITY ENGINEERING DEPARTMENTS. WE ASSUME NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. THESE PLANS ARE AND SHOULD BE ASSUMED AS APPROXIMATE. THE APPROPRIATE PUBLIC UTILITY COMPANIES AND "DIG SAFE" SHOULD BE CONSULTED BEFORE ANY WORK IS DONE.



**REFERENCES**

- DEEDS  
 LOT 75: DEED BOOK 94, PAGE 915  
 LOT 92: DEED BOOK 1825, PAGE 328  
 LOT 96: DEED BOOK 1964, PAGE 236  
 LOT 100: DEED BOOK 171, PAGE 1005

**PLANS**

STATE HIGHWAY PLAT #1075, SHEET 8, PROVIDED TO THIS OFFICE BY THE RHODE ISLAND DEPARTMENT OF PUBLIC WORKS, DIVISION OF ROADS AND BRIDGES.

PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY, 1AC0 BELL, 1379 ATWOOD AVENUE, LOT 96, MAP 23, TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED: JANUARY 5, 2009

**UTILITIES**

- WATER - PROVIDENCE WATER CO.
- GAS - NATIONAL GRID
- SEWER - NARRAGANSETT BAY COMMISSION

This drawing is copyrighted and is subject to copyright protection as an "architectural work" under 17 U.S.C. Sec. 101 et seq. The production includes but is not limited to the overall form as well as the arrangement and composition of spaces, materials, color and elements in the design. Under such protection, unauthorized use of this drawing may result in the cessation of construction or buildings being seized and/or monetary compensation being awarded to The Robinson Green Beretta Corporation (RGB).

Any reproduction, possession, or use of this drawing or any part thereof without the express written permission of RGB, is prohibited. Violators will be prosecuted to the full extent of the law.

© RGB 2013

**Certification**

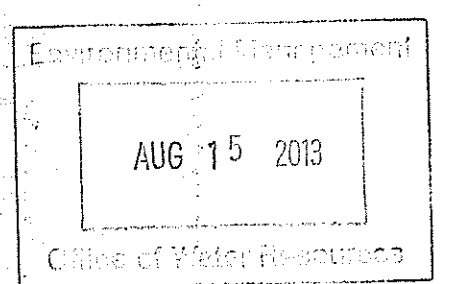
NOTE:  
THE PROPERTY LINE INFORMATION REPRESENTED BY THIS SURVEY AND PLAN CONFORM TO A CLASS "1" STANDARD AS ADOPTED BY THE RHODE ISLAND SOCIETY OF PROFESSIONAL LAND SURVEYORS. ALL OTHER INFORMATION RELATIVE TO THE POSITION OR LOCATION OF PHYSICAL FEATURES CONFORM TO A CLASS III SURVEY.

*John D. Andrews*  
PROFESSIONAL LAND SURVEYOR

ZONING DISTRICT:  
ZONED - B2

Drawn by BSA  
Checked by JDA

Revised on



50 Holden Street  
Providence, Rhode Island 02908  
Phone: (401) 273-1730  
Fax: (401) 273-7166  
E-mail: rgbinfo@rgb.net  
www.rgb.net



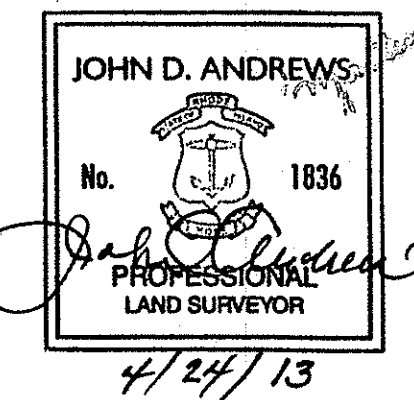
Architecture - Engineering - Interior Design

**WASHINGTON TRUST  
Branch Bank  
Conversion**



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED SEP 20 2013 FILE # 13-0143  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

1383 Atwood Avenue  
Johnston, RI 02919



AP 23, LOT 75

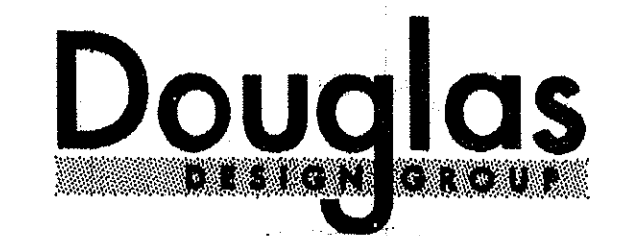
Drawing Status

Issued For Construction

Issued On 25-APRIL-2013

Sheet Contents

SURVEY PLAN



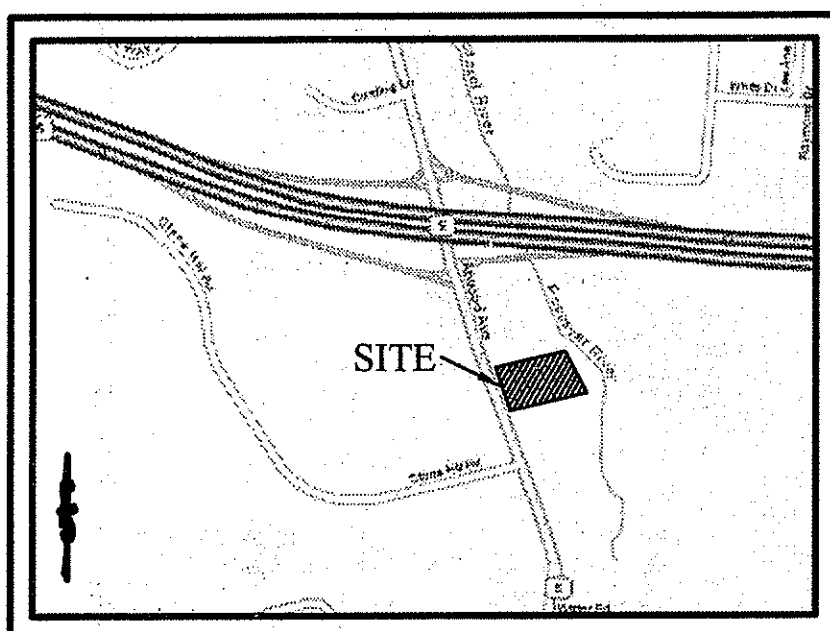
LAND SURVEYING • CONSULTING  
BAY TOWER • LOWER LEVEL • SUITE C  
101 PLAIN STREET  
PROVIDENCE, RHODE ISLAND 02903  
508-821-8728 774-284-0085  
douglasdesigngroup@gmail.com

Project Number. 6094

Drawing No.

C100

Sheet 1 of 3



LOCUS PLAN  
(NOT TO SCALE)

**LEGEND**

○ HYD	FIRE HYDRANT	□ CB	CATCH BASIN
✕	LIGHT	○ POLE #1	UTILITY POLE
—	FENCE	—	STREET SIGN
○ WG	WATER GATE	○ SMH	SEWER MANHOLE
○ L.P.O.	FIRE SHUT OFF	○ DMH	DRAIN MANHOLE
—	EXISTING CONTOURS	○ EMH	ELECT MANHOLE
—	SPOT ELEVATION	○ TMH	TELEPHONE MANHOLE
—	POINT OF APPLICATION	—OU—	OVERHEAD UTILITIES
—	TREE	—E—	ELECTRIC
—	PINE TREE	—W—	WATER LINES
		—D—	STORM DRAIN
		—S—	SANITARY LINE
		—G—	GAS LINE

**REFERENCES**

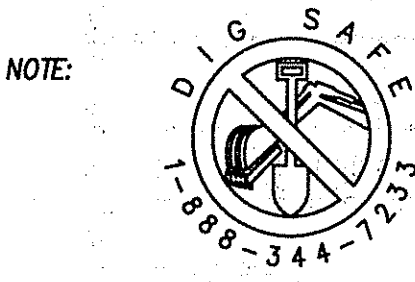
**DEEDS**  
 LOT 75: DEED BOOK 94, PAGE 915  
 LOT 92: DEED BOOK 1825, PAGE 328  
 LOT 96: DEED BOOK 1964, PAGE 236  
 LOT 100: DEED BOOK 171, PAGE 1005

**PLANS**  
 STATE HIGHWAY PLAT #1075, SHEET 8, PROVIDED TO THIS OFFICE BY THE RHODE ISLAND DEPARTMENT OF PUBLIC WORKS, DIVISION OF ROADS AND BRIDGES.

PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY, TACO BELL, 1379 ATWOOD AVENUE, LOT 96, MAP 23, TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED: JANUARY 5, 2009

**UTILITIES**  
 WATER - PROVIDENCE WATER CO.  
 GAS - NATIONAL GRID  
 SEWER - NARRAGANSETT BAY COMMISSION

UNDERGROUND UTILITIES SHOWN ARE PLOTTED FROM PLANS FURNISHED TO THIS OFFICE BY THE LOCAL UTILITY AND CITY ENGINEERING DEPARTMENTS. WE ASSUME NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. THESE PLANS ARE AND SHOULD BE ASSUMED AS APPROXIMATE. THE APPROPRIATE PUBLIC UTILITY COMPANIES AND "DIG SAFE" SHOULD BE CONSULTED BEFORE ANY WORK IS DONE.

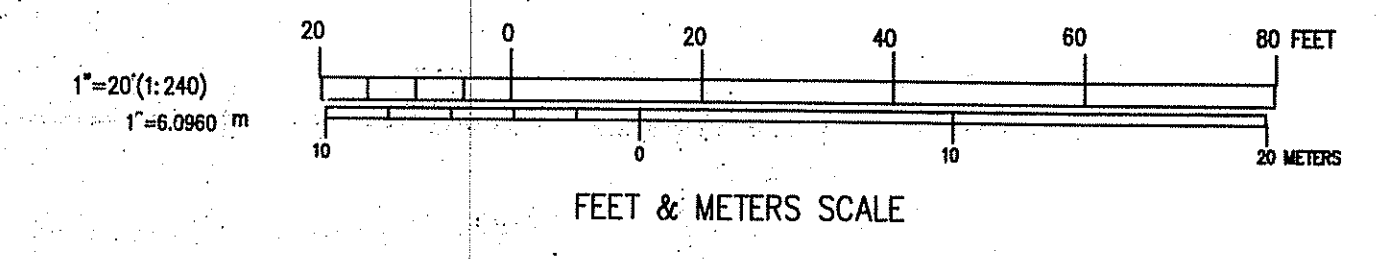


**SOIL EROSION AND SEDIMENT CONTROL NOTES:**

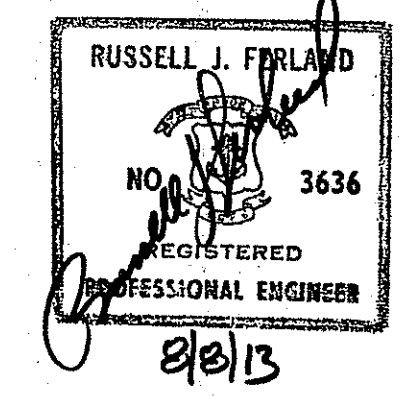
- THE CONTRACTOR IS RESPONSIBLE FOR THE PREVENTION OF SEDIMENT DISCHARGES TO OFF-SITE PROPERTIES.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACT LIMIT LINES SHALL BE ESTABLISHED IN THE FIELD. BALED HAY EROSION CHECKS SHALL THEN BE PLACED, LOCATIONS AS SHOWN ON THE PLANS.
- BALED HAY EROSION CHECKS SHALL BE INSPECTED AT THE END OF EACH WORK WEEK AND AFTER ANY RAINFALL OF 1/4 INCH OR MORE DURING A 24-HOUR PERIOD, UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED ON FINISH SLOPES. MAINTENANCE AND REPAIRS SHALL BE PERFORMED AS REQUIRED TO MAINTAIN PROPER FUNCTIONING. HAY BALES SHALL BE REPLACED WHEN THEY NO LONGER FUNCTION PROPERLY.
- SEDIMENT BUILD-UP ALONG THE BALED HAY EROSION CHECKS SHALL BE REMOVED AND DISPOSED OF WHEN THE SEDIMENT DEPTH EXCEEDS 8 INCHES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN ROADS, CONTROL DUST, AND TAKE ALL NECESSARY MEASURES TO ENSURE THAT THE SITE AND ALL ROADS BE MAINTAINED IN A MUD AND DUST FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE PROJECT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO WATER AND/OR CRUSHED STONE OR COARSE GRAVEL.
- PROVIDE SILT SACK EROSION CHECKS AT ALL CATCH BASINS WITHIN THE CONTRACT LIMIT LINE DURING THE CONSTRUCTION.
- IF DESIGNATED EROSION CONTROLS DO NOT CONTAIN EROSION COMPLETELY, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD.
- ANY STRIPPED OR EXPOSED AREAS THAT ARE NOT IN CONTINUOUS USE SHALL BE MULCHED.
- SWEEP ADJACENT PAVED STREETS DURING CONSTRUCTION, WHENEVER DEBRIS, GRAVEL, ASPHALT, DIRT, MUD, ETC. IS SPILLED AND/OR TRACKED ONTO PAVEMENT.
- CLEAN OUT CATCH BASINS AND DRAIN MANHOLES WITHIN CONTRACT LIMITS AFTER COMPLETION OF CONSTRUCTION.
- REMOVE AND DISPOSE OF ALL EROSION AND SEDIMENT CONTROLS ONLY AFTER PERMANENT VEGETATIVE COVER IS ESTABLISHED AND ACCEPTED BY THE OWNER AND THE ENGINEER.
- ALL AREAS DISTURBED BY CONSTRUCTION AND NOT INDICATED TO RECEIVE ANY OTHER FORM OF SURFACE TREATMENT SHALL BE LOAMED AND SEEDING.

**PROPOSED LEGEND**

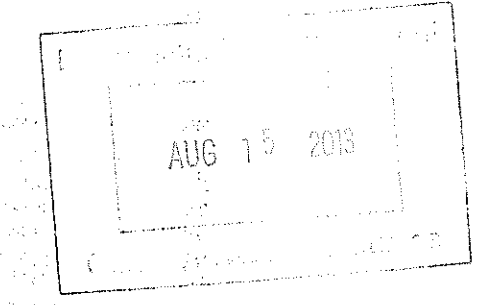
- R#D REMOVE & DISPOSE OF
- R#S REMOVE & SALVAGE
- PROVIDE SILT SACK AT CATCH BASINS - SEE SOIL EROSION & SEDIMENT CONTROL NOTES
- LINE TO BE ABANDONED



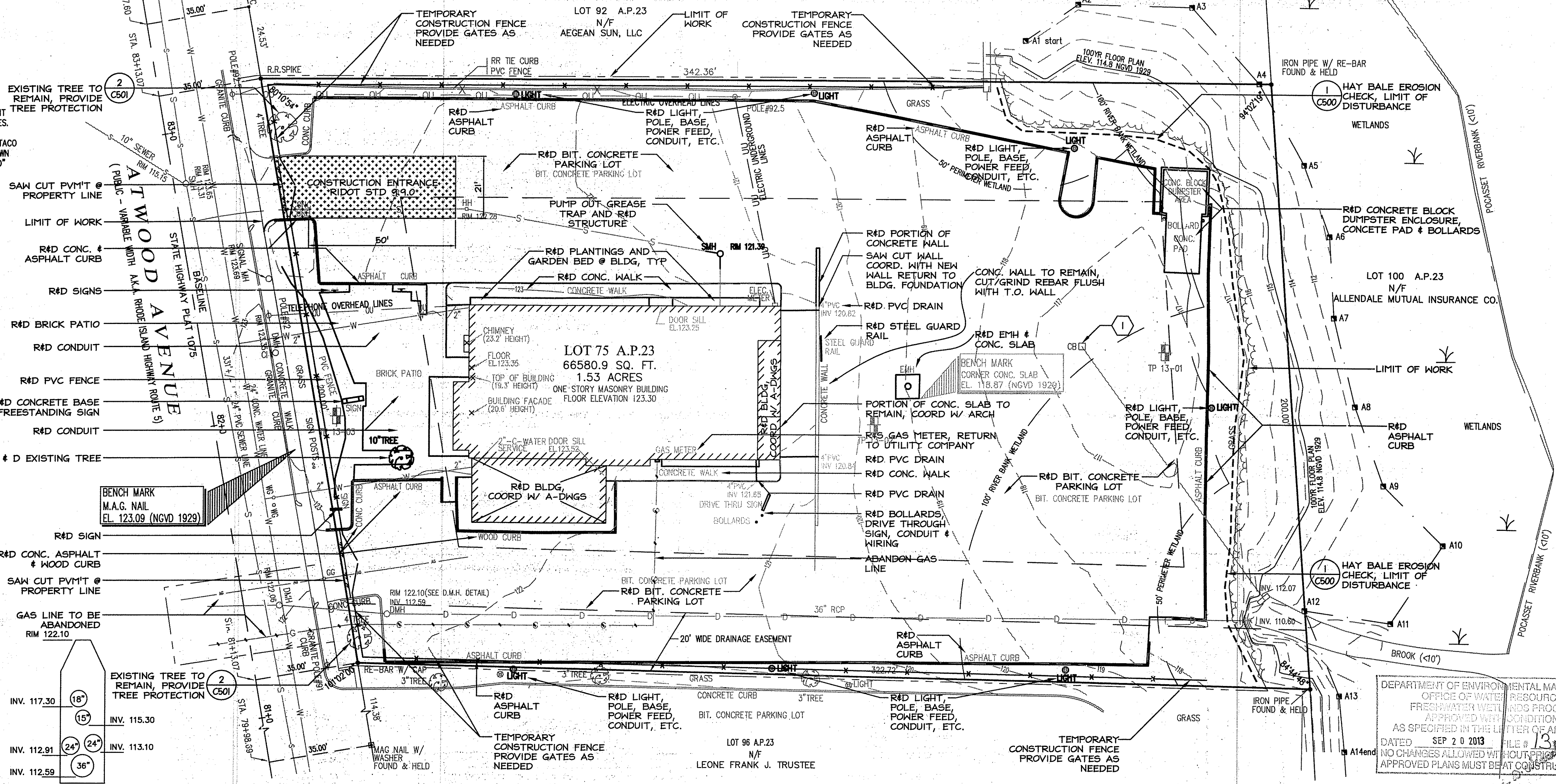
This drawing is copyrighted and is subject to copyright protection as an "architectural work" under 17 U.S.C. Sec. 101 et seq. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces, materials, color and elements in the design. Under such protection, unauthorized use of this drawing may result in the cessation of construction or buildings being seized and/or monetary compensation being awarded to The Robinson Green Beretta Corporation (RGB).  
 Any reproduction, possession, or use of this drawing or any part thereof without the express written permission of RGB, is prohibited. Violators will be prosecuted to the full extent of the law.  
 © RGB 2013  
 Certification

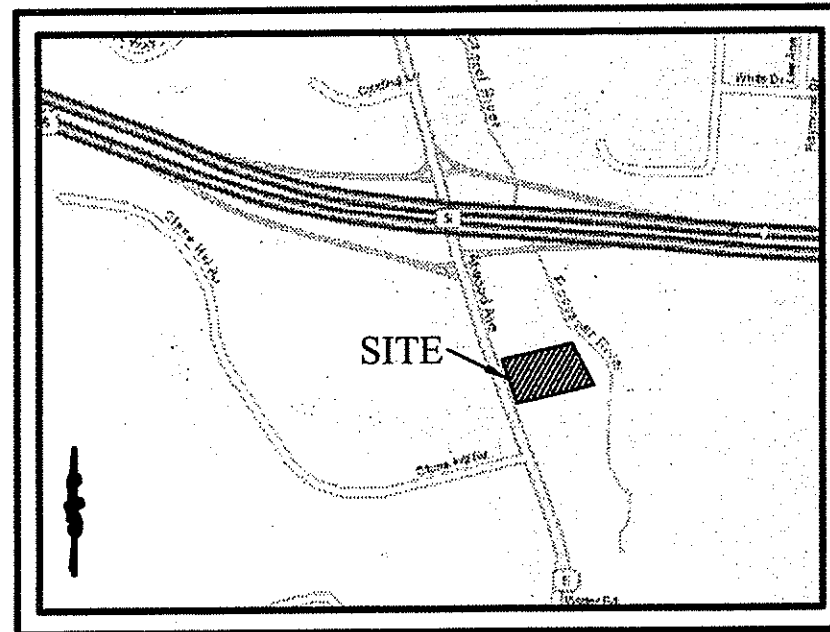


Drawn by KSB  
 Checked by RJF  
 Revised on



50 Holden Street  
 Providence, Rhode Island 02908  
 Phone: (401) 272-1730  
 Fax: (401) 273-7158  
 E-mail: rgbinfo@rgb.net  
 www.rgb.net  
 Architecture · Engineering · Interior Design





LOCUS PLAN  
(NOT TO SCALE)

LEGEND

- |          |                      |           |                    |
|----------|----------------------|-----------|--------------------|
| ○ HYD    | FIRE HYDRANT         | □ CB      | CATCH BASIN        |
| ⊗        | LIGHT                | ○ POLE #1 | UTILITY POLE       |
| ⊗        | FENCE                | ⊗ SIGN    | STREET SIGN        |
| ○ WG     | WATER GATE           | ○ SMH     | SEWER MANHOLE      |
| ○ L.P.C. | FIRE SHUT OFF        | ○ DMH     | DRAIN MANHOLE      |
| -10-     | EXISTING CONTOURS    | ○ EMH     | ELECT MANHOLE      |
| ○        | SPOT ELEVATION       | ○ TMH     | TELEPHONE MANHOLE  |
| ○        | POINT OF APPLICATION | —OU—      | OVERHEAD UTILITIES |
| ○        | TREE                 | —E—       | ELECTRIC           |
| ○        | PINE TREE            | —W—       | WATER LINES        |
|          |                      | —D—       | STORM DRAIN        |
|          |                      | —S—       | SANITARY LINE      |
|          |                      | —G—       | GAS LINE           |

REFERENCES

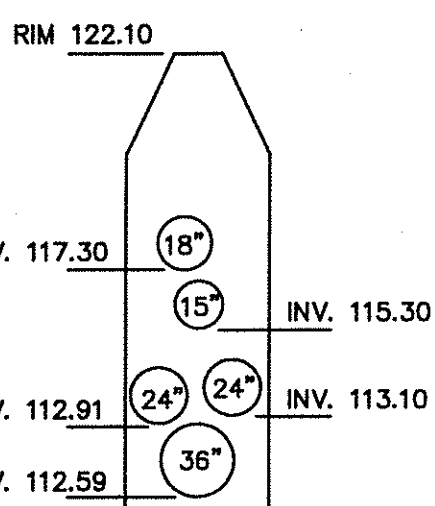
**DEEDS**  
 LOT 75: DEED BOOK 94, PAGE 915  
 LOT 92: DEED BOOK 1825, PAGE 328  
 LOT 96: DEED BOOK 1964, PAGE 236  
 LOT 100: DEED BOOK 171, PAGE 1005

**PLANS**  
 STATE HIGHWAY PLAT #1075, SHEET 8, PROVIDED TO THIS OFFICE BY THE RHODE ISLAND DEPARTMENT OF PUBLIC WORKS, DIVISION OF ROADS AND BRIDGES.

PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY, TACO BELL, 1379 ATWOOD AVENUE, LOT 96, MAP 23, TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED: JANUARY 5, 2009

**UTILITIES**  
 WATER - PROVIDENCE WATER CO.  
 GAS - NATIONAL GRID  
 SEWER - NARRAGANSETT BAY COMMISSION

UNDERGROUND UTILITIES SHOWN ARE PLOTTED FROM PLANS FURNISHED TO THIS OFFICE BY THE LOCAL UTILITY AND CITY ENGINEERING DEPARTMENTS. WE ASSUME NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. THESE PLANS ARE AND SHOULD BE ASSUMED AS APPROXIMATE. THE APPROPRIATE PUBLIC UTILITY COMPANIES AND "DIG SAFE" SHOULD BE CONSULTED BEFORE ANY WORK IS DONE.



D.M.H. DETAIL  
(NOT TO SCALE)

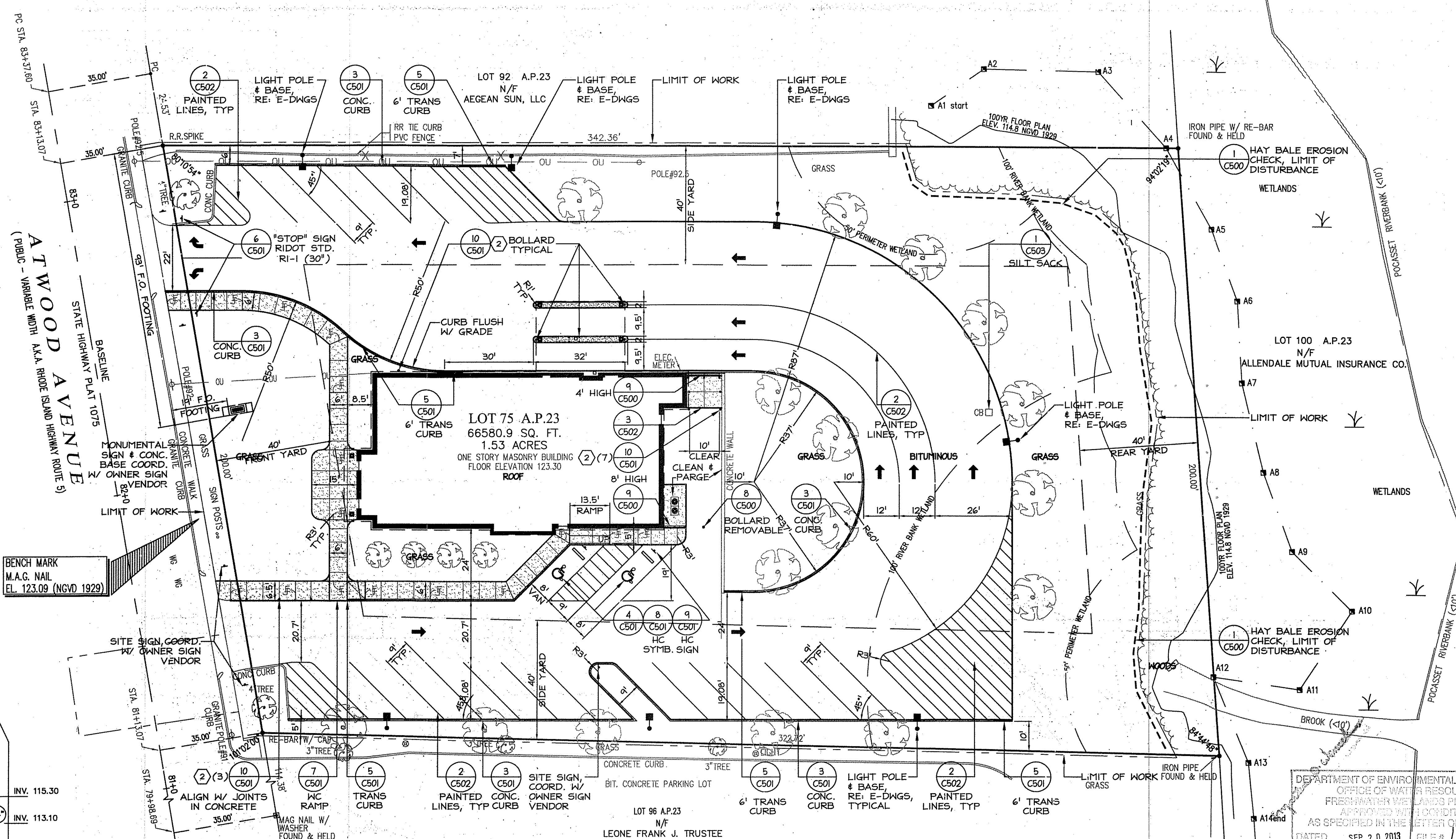
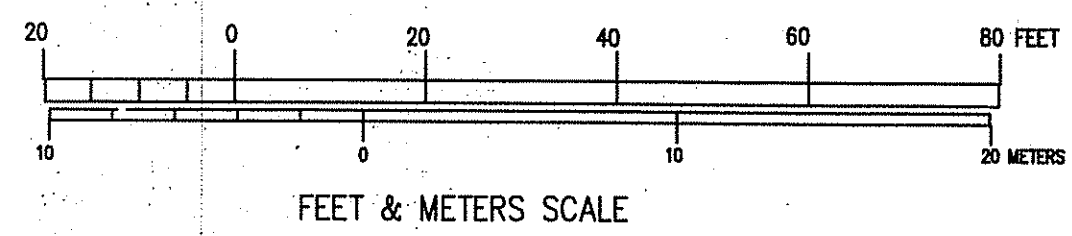
**OWNER:** 1383 ATWOOD LLC  
509 GREAT ROAD  
LINCOLN, RI 02865

**APPLICANT:** THE WASHINGTON TRUST COMPANY  
23 BROAD STREET  
WESTERLY, RI 02891

PROPOSED LEGEND

- |   |                                                                                          |
|---|------------------------------------------------------------------------------------------|
| ① | PAINT EXISTING LIGHT POLES                                                               |
| ② | POLYETHYLENE THERMOPLASTIC REFLECTIVE BOLLARD POST SLEEVE, COLOR TO BE SELECTED BY OWNER |
| — | CONTROL JOINT                                                                            |
| — | EXPANSION JOINT                                                                          |

1"=20'(1:240)  
1"=6.0960 m

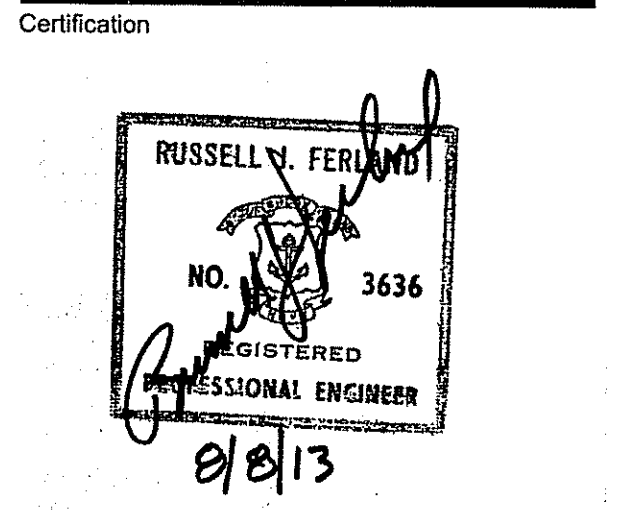


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED SEP 20 2013 FILE # 13-0143  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

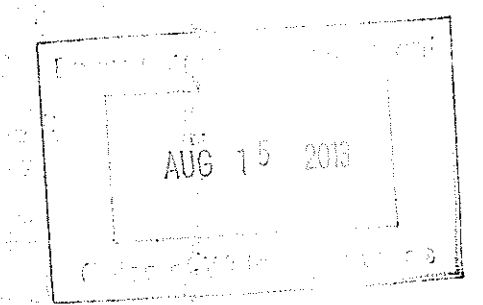
This drawing is copyrighted and is subject to copyright protection as an "architectural work" under 17 U.S.C. Sec. 101 et seq. The protection includes but is not limited to the overall form as well as the arrangement and composition of space, materials, color and elements in the design. Under such protection, unauthorized use of this drawing may result in the cessation of construction or buildings being seized and/or monetary compensation being awarded to The Robinson Green Barre Corporation (RGB).

Any reproduction, possession, or use of this drawing or any part thereof without the express written permission of RGB, is prohibited. Violators will be prosecuted to the full extent of the law.

© RGB 2013



Drawn by: KSB  
 Checked by: R/JF  
 Revised on:



50 Holden Street  
 Providence, Rhode Island 02908  
 Phone: (401) 273-1730  
 Fax: (401) 273-7156  
 E-mail: rgbinfo@rgb.net  
 www.rgb.net  
 Architecture · Engineering · Interior Design

**WASHINGTON TRUST**  
 Branch Bank Conversion



1383 Atwood Avenue  
 Johnston, RI 02919

AP 23, LOT 75

Drawing Status  
**ISSUED FOR PERMIT**

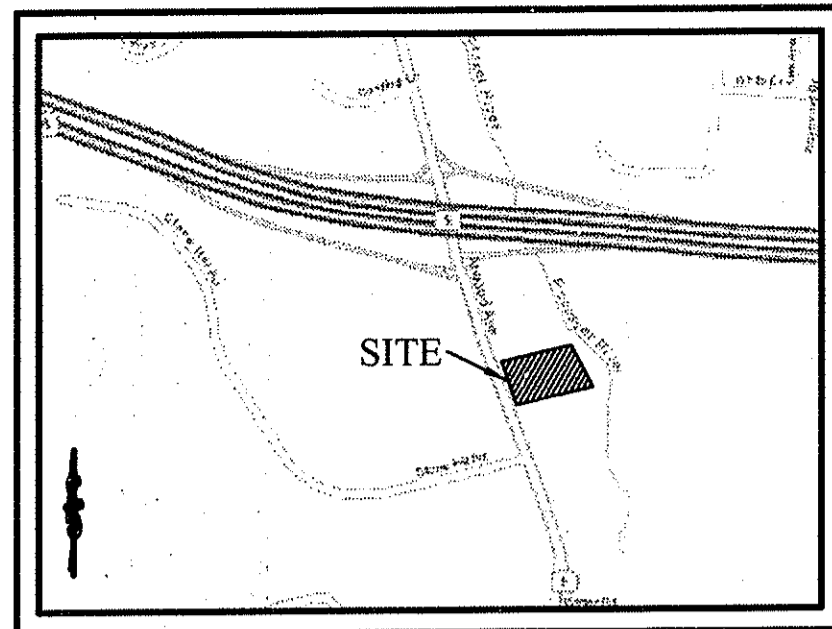
Issued On: 08-AUGUST-2013

Sheet Contents  
**LAYOUT PLAN**

Project Number: 6094

Drawing No. **C300**

Sheet 3 of 8



LOCUS PLAN  
(NOT TO SCALE)

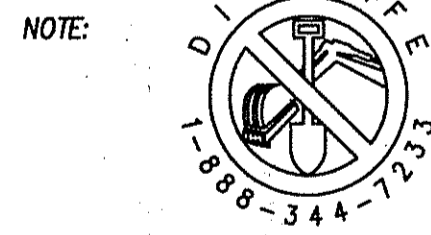
LEGEND

- |         |                      |                |                    |
|---------|----------------------|----------------|--------------------|
| ○ HYD   | FIRE HYDRANT         | □ CB           | CATCH BASIN        |
| ⊗       | LIGHT                | ⊕ UTILITY POLE | UTILITY POLE       |
| ⊗       | FENCE                | ⊕ SIGN         | STREET SIGN        |
| ○ WG    | WATER GATE           | ○ SMH          | SEWER MANHOLE      |
| ○ LP.G. | FIRE SHUT OFF        | ○ DMH          | DRAIN MANHOLE      |
| ○       | SPOT ELEVATION       | ○ EMH          | ELECT MANHOLE      |
| ○       | EXISTING CONTOURS    | ○ TMH          | TELEPHONE MANHOLE  |
| ○       | POINT OF APPLICATION | — OU —         | OVERHEAD UTILITIES |
| ○       | TREE                 | — E —          | ELECTRIC           |
| ○       | PINE TREE            | — W —          | WATER LINES        |
|         |                      | — D —          | STORM DRAIN        |
|         |                      | — S —          | SANITARY LINE      |
|         |                      | — G —          | GAS LINE           |

REFERENCES

- DEEDS**  
 LOT 75: DEED BOOK 94, PAGE 915  
 LOT 92: DEED BOOK 1825, PAGE 328  
 LOT 96: DEED BOOK 1964, PAGE 236  
 LOT 100: DEED BOOK 171, PAGE 1005
- PLANS**  
 STATE HIGHWAY PLAT #1075, SHEET 8, PROVIDED TO THIS OFFICE BY THE RHODE ISLAND DEPARTMENT OF PUBLIC WORKS, DIVISION OF ROADS AND BRIDGES.
- PLAN ENTITLED "ALTA/ACSM LAND TITLE SURVEY, TACO BELL, 1379 ATWOOD AVENUE, LOT 96, MAP 23, TOWN OF JOHNSTON, PROVIDENCE COUNTY, RHODE ISLAND" PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED: JANUARY 5, 2009**
- UTILITIES**  
 WATER - PROVIDENCE WATER CO.  
 GAS - NATIONAL GRID  
 SEWER - NARRAGANSETT BAY COMMISSION

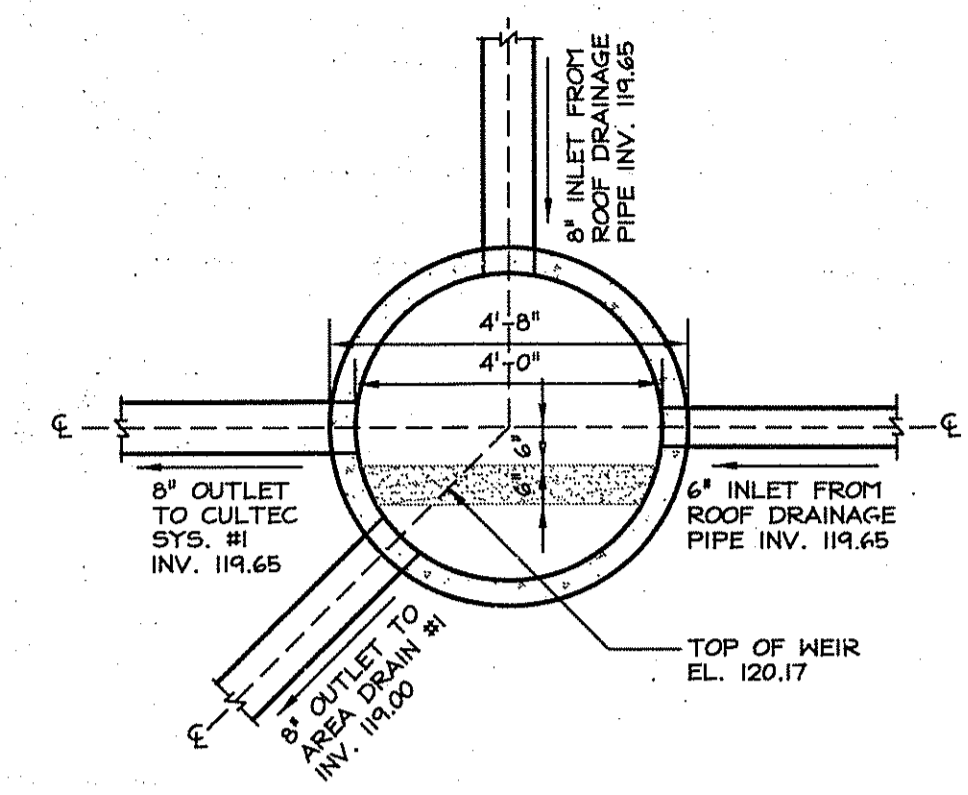
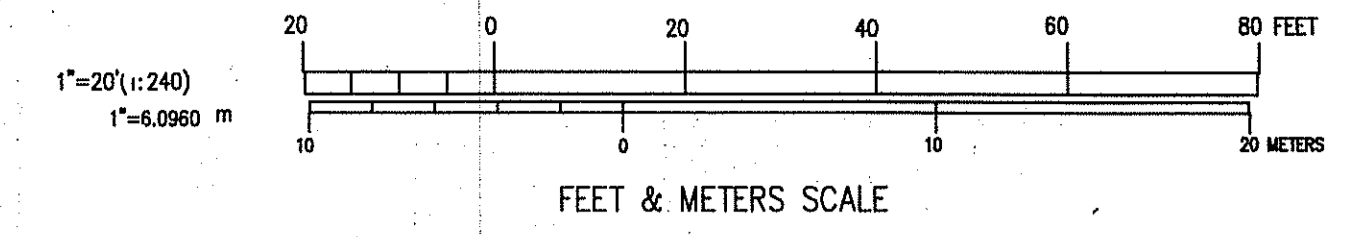
UNDERGROUND UTILITIES SHOWN ARE PLOTTED FROM PLANS FURNISHED TO THIS OFFICE BY THE LOCAL UTILITY AND CITY ENGINEERING DEPARTMENTS. WE ASSUME NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE UTILITY INFORMATION SHOWN. THESE PLANS ARE AND SHOULD BE ASSUMED AS APPROXIMATE. THE APPROPRIATE PUBLIC UTILITY COMPANIES AND "DIG SAFE" SHOULD BE CONSULTED BEFORE ANY WORK IS DONE.



- GENERAL NOTES:**
- BEFORE BEGINNING ANY EXCAVATION OR DEMOLITION, GIVE A MINIMUM OF SEVENTY-TWO (72) HOUR NOTICE EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, TO ALL UTILITY COMPANIES WITHIN THE AREA. ALSO, CALL "DIG SAFE" AT 1-888-344-7233 OR 811 IN MAINE, NEW HAMPSHIRE, VERMONT, MASSACHUSETTS AND RHODE ISLAND, TO NOTIFY MEMBER UTILITIES PRIOR TO NOTIFYING "DIG SAFE". THE AREA OF PROPOSED EXCAVATION MUST BE PRE-MARKED WITH WHITE PAINT. CONTRACTOR SHALL ALSO CONFORM TO CHAPTER 39-1.2 OF THE GENERAL LAWS OF THE STATE OF RHODE ISLAND, ENTITLED "EXCAVATION NEAR UNDERGROUND UTILITY FACILITIES". (CT 1-800-922-4455 OR 1-203-281-5435)
  - LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. CHECK AND VERIFY LOCATION AND DEPTHS OF ALL UTILITIES, BOTH UNDERGROUND AND OVERHEAD BEFORE BEGINNING ANY EXCAVATING. REPAIR AND PAY FOR ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT SHOWN, AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL DIG EXPLORATION HOLES, AS MANY AS NEEDED, TO VERIFY LOCATION OF ROOF DRAIN RUNOUTS, SANITARY SEWER LOCATIONS AND OTHER UTILITIES.
  - ALL AREAS DISTURBED BY CONSTRUCTION AND NOT INDICATED TO RECEIVE ANY OTHER FORM OF SURFACE TREATMENT SHALL BE LOAMED AND SEEDED.
  - THE COST TO PROVIDE TRAFFIC CONTROL SIGNS (STOP, DO NOT ENTER, AUTHORIZED VEHICLES ONLY, HANDICAPPED PARKING, ETC.) ARE INCLUDED IN THE BASE BID. THESE SIGNS ARE NOT INCLUDED AS PART OF THE GRAPHIC ALLOWANCE.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY UTILITY PERMITS.
  - ALL WORK WITHIN THE STATE HIGHWAY R.O.W. SHALL CONFORM TO RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, INCLUDING ALL REVISIONS AND THE RI STANDARD DETAILS.
  - ALL TRAFFIC CONTROL SHALL CONFORM TO THE LATEST MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING ALL REVISIONS.
  - CONTRACTOR TO FIELD VERIFY THE WATER SERVICE LOCATION PRIOR TO THE START OF ANY EXCAVATIONS.

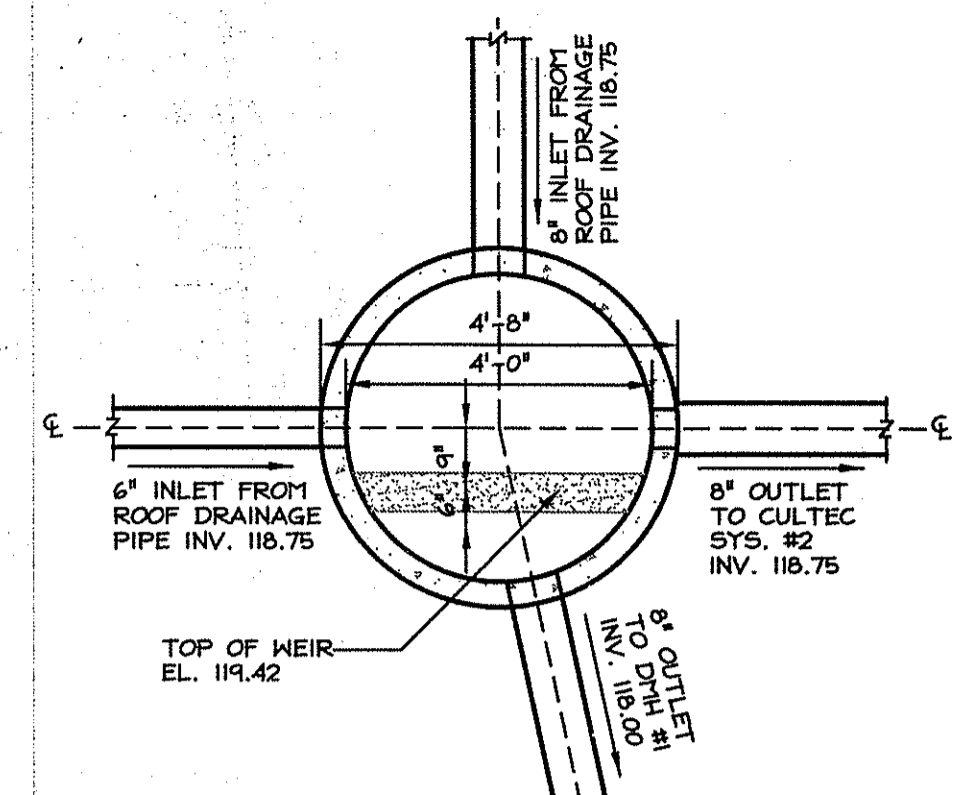
PROPOSED LEGEND

- |        |                                     |
|--------|-------------------------------------|
| —      | EXISTING SPOT GRADE TO REMAIN       |
| —      | PROPOSED SPOT GRADE                 |
| ○      | PROPOSED CONTOUR                    |
| —      | KEY TO SCHEDULE OF SURFACE FINISHES |
| — NS — | NEW SANITARY LINE                   |
| — NW — | NEW WATER LINE                      |
| — ND — | NEW STORM DRAIN LINE                |
| — RD — | NEW ROOF DRAIN LINE                 |
| ○ DS   | NEW DOWNSPOUT                       |
| ○      | TEST PIT LOCATION                   |
| ○      | CLEAN OUT SUMP OF CATCH BASIN       |
| —      | LINE TO BE ABANDONED                |



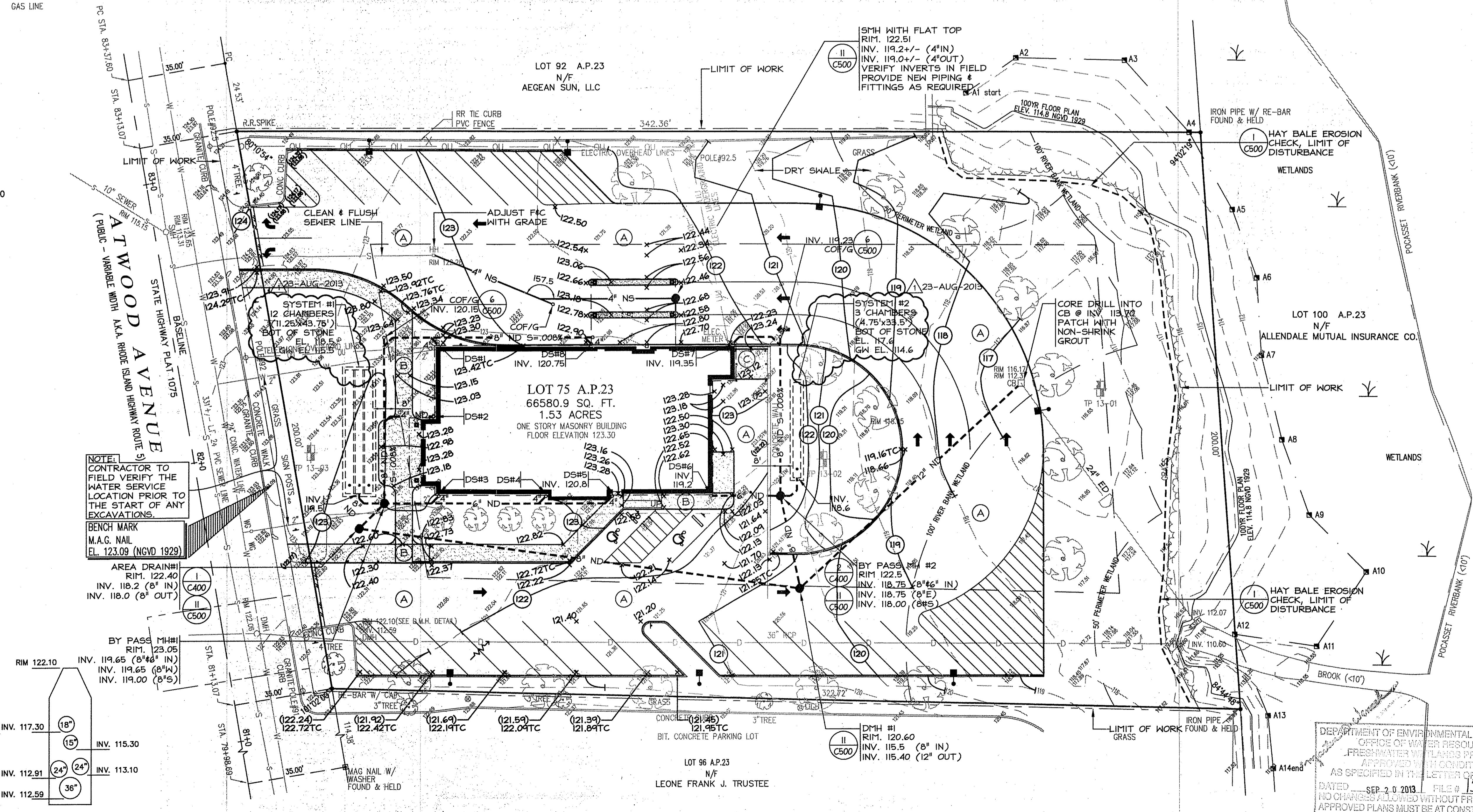
NOTE: THE BYPASS STRUCTURE HAS BEEN DESIGNED TO WORK WITH THE CULTEC SYSTEM. IF THE STRUCTURE DIFFERS FROM WHAT IS SHOWN ENGINEER MUST BE ADVISED SO THAT ALL LENGTHS AND ELEVATIONS CAN BE RECALCULATED IF NECESSARY.

1 BYPASS STRUCTURE DMH #1  
C400 NOT TO SCALE



NOTE: THE BYPASS STRUCTURE HAS BEEN DESIGNED TO WORK WITH THE CULTEC SYSTEM. IF THE STRUCTURE DIFFERS FROM WHAT IS SHOWN ENGINEER MUST BE ADVISED SO THAT ALL LENGTHS AND ELEVATIONS CAN BE RECALCULATED IF NECESSARY.

2 BYPASS STRUCTURE DMH #2  
C400 NOT TO SCALE

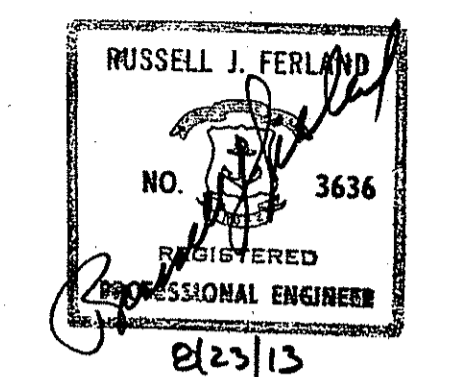


D.M.H. DETAIL  
(NOT TO SCALE)

This drawing is copyrighted and is subject to copyright protection as an "architectural work" under 17 U.S.C. Sec. 101 et seq. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces, materials, color and elements in the design. Under such protection, unauthorized use of this drawing may result in the cessation of construction or buildings being seized and/or monetary compensation being awarded to The Robinson Green Beretta Corporation (RGC).

© RGB 2013

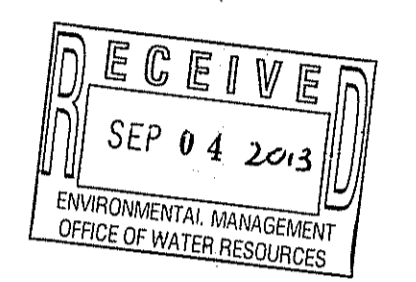
Certification



Drawn by KSB  
Checked by RJF

Revised on

23-AUGUST-2013  
ADDED GROUND WATER & BOTTOM OF INFILTRATION SYSTEM ELEVATIONS



50 Holden Street  
Providence, Rhode Island 02908  
Phone: (401) 272-1730  
Fax: (401) 273-7156  
E-mail: rgbinfo@rgb.net  
www.rgb.net



Architecture · Engineering · Interior Design

WASHINGTON TRUST  
Branch Bank  
Conversion



1383 Atwood Avenue  
Johnston, RI 02919

AP 23, LOT 75

Drawing Status

ISSUED FOR  
CONSTRUCTION

Issued On 23-AUGUST-2013

Site Contents  
SITE, GRADING &  
DRAINAGE PLAN

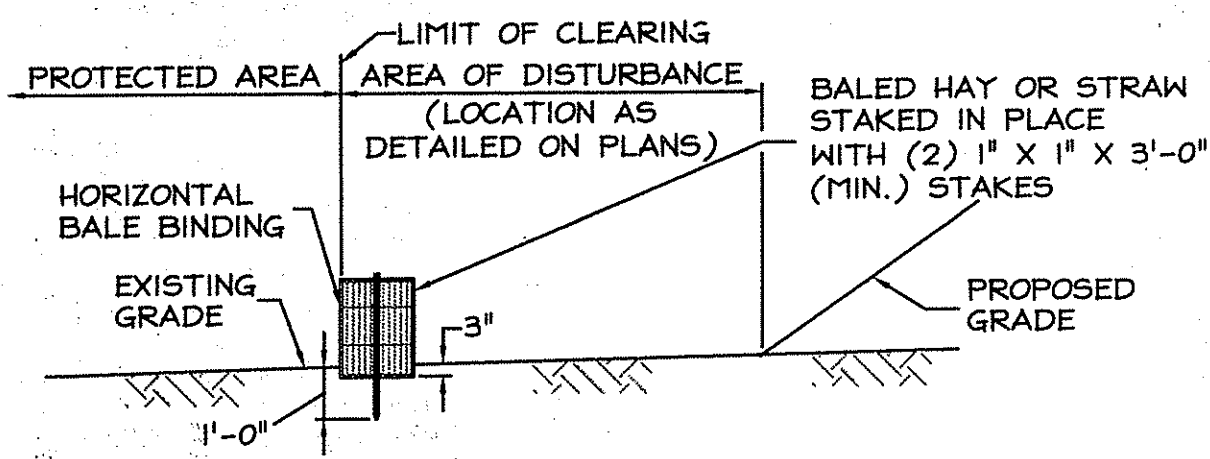
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED SEP 20 2013 FILE # 13-0143  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Project Number: 6094

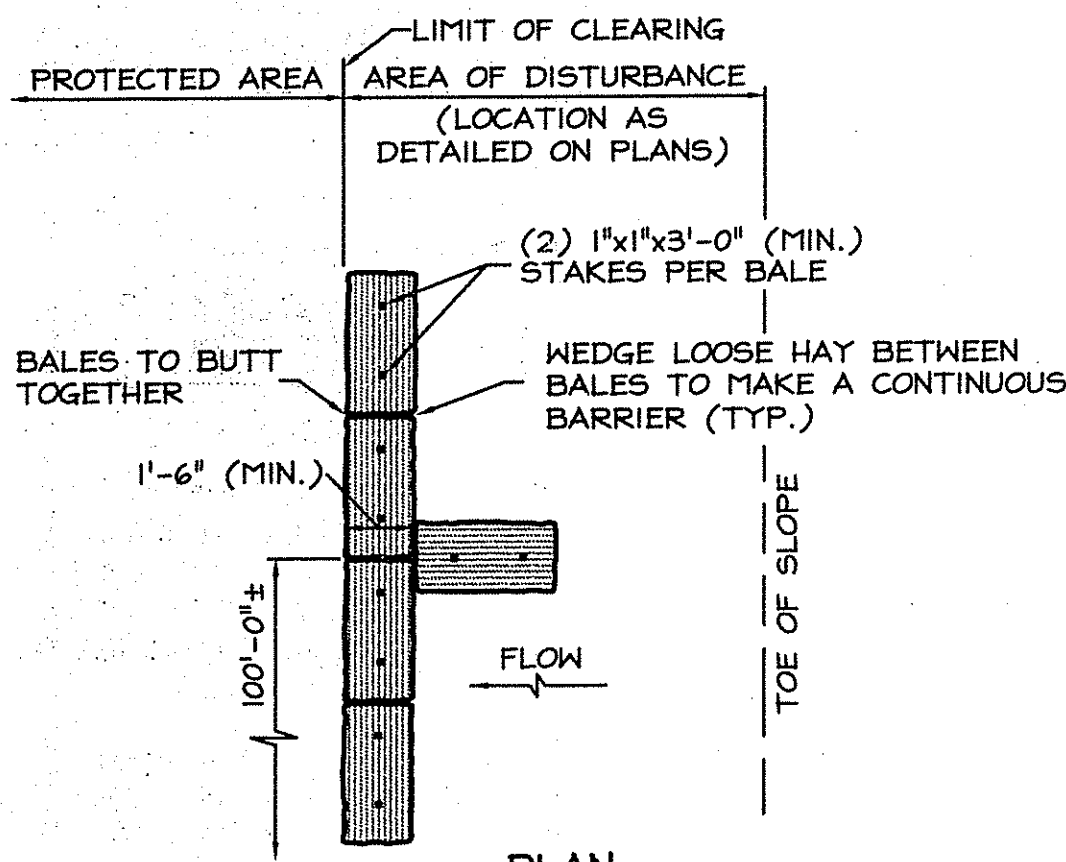
Drawing No.

C400

Sheet



ELEVATION



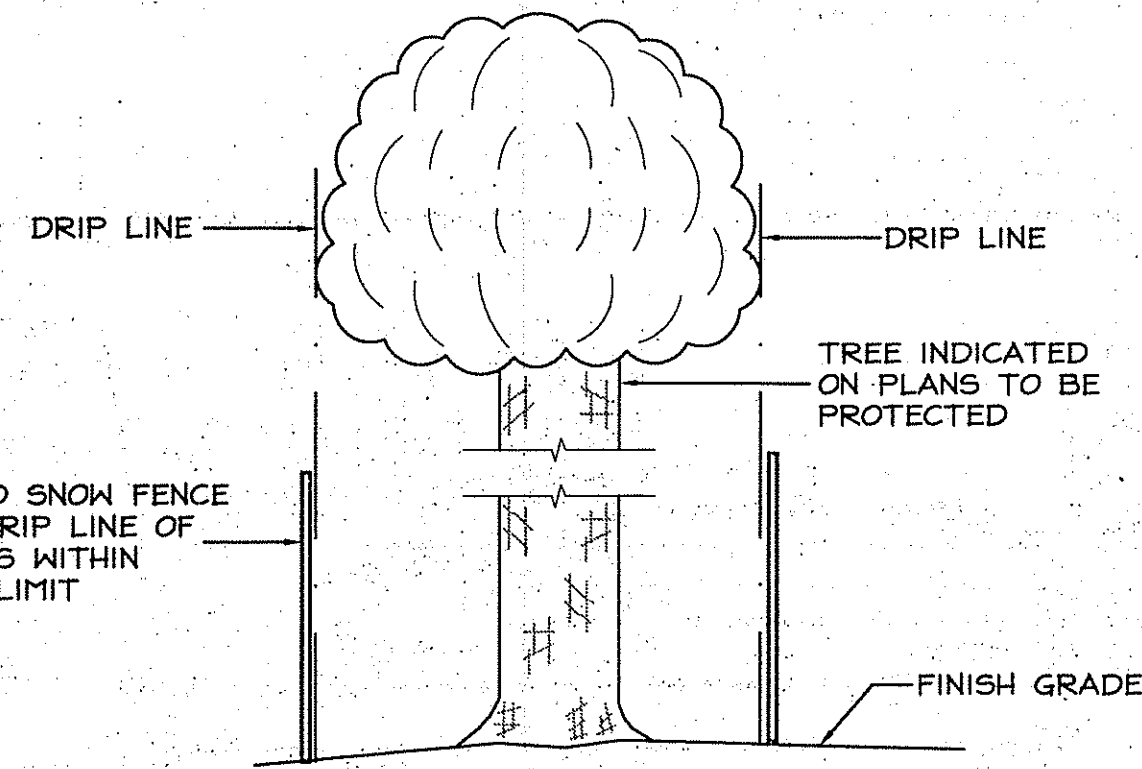
PLAN

NOTE: AT APPROXIMATE 100'-0" INTERVALS A BALE OF HAY IS TO BUTT PERPENDICULARLY.

1 HAY BALE EROSION CHECK

C500 NOT TO SCALE

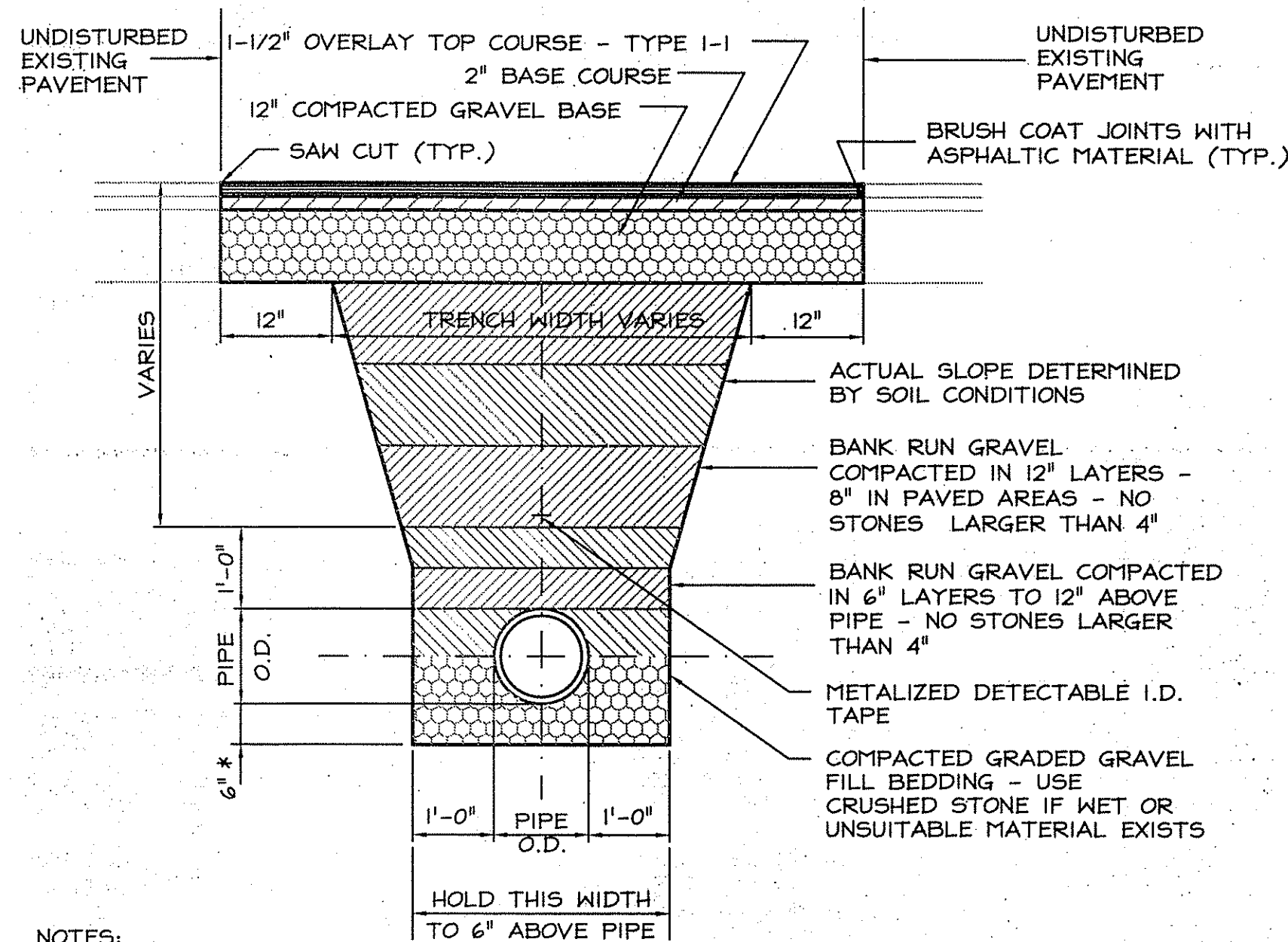
NOTE: ADJUST FENCE LOCATION WHERE NEW WALKS OR DRIVES ARE TO BE INSTALLED.



- NOTES:
- PROTECTION DEVICE SHALL BE PROVIDED ON ALL TREES TO BE SAVED PRIOR TO ANY DEMOLITION OR EXCAVATION OPERATIONS.
  - DO NOT PENETRATE TREE BARK WITH ANY BINDINGS, SECURING OR FRAMING MATERIAL.
  - PROTECTION FENCE SHALL BE MAINTAINED DURING CONSTRUCTION AND REMOVED BY THE CONTRACTOR UPON COMPLETION OF CONTRACT.
  - AVOID TOPSOIL STRIPPING, VEHICLE TRAFFIC, SUPPLY STORAGE, OR STOCKPILING WITHIN THE DRIP LINE OF TREES TO REMAIN.

2 TREE PROTECTION FENCE

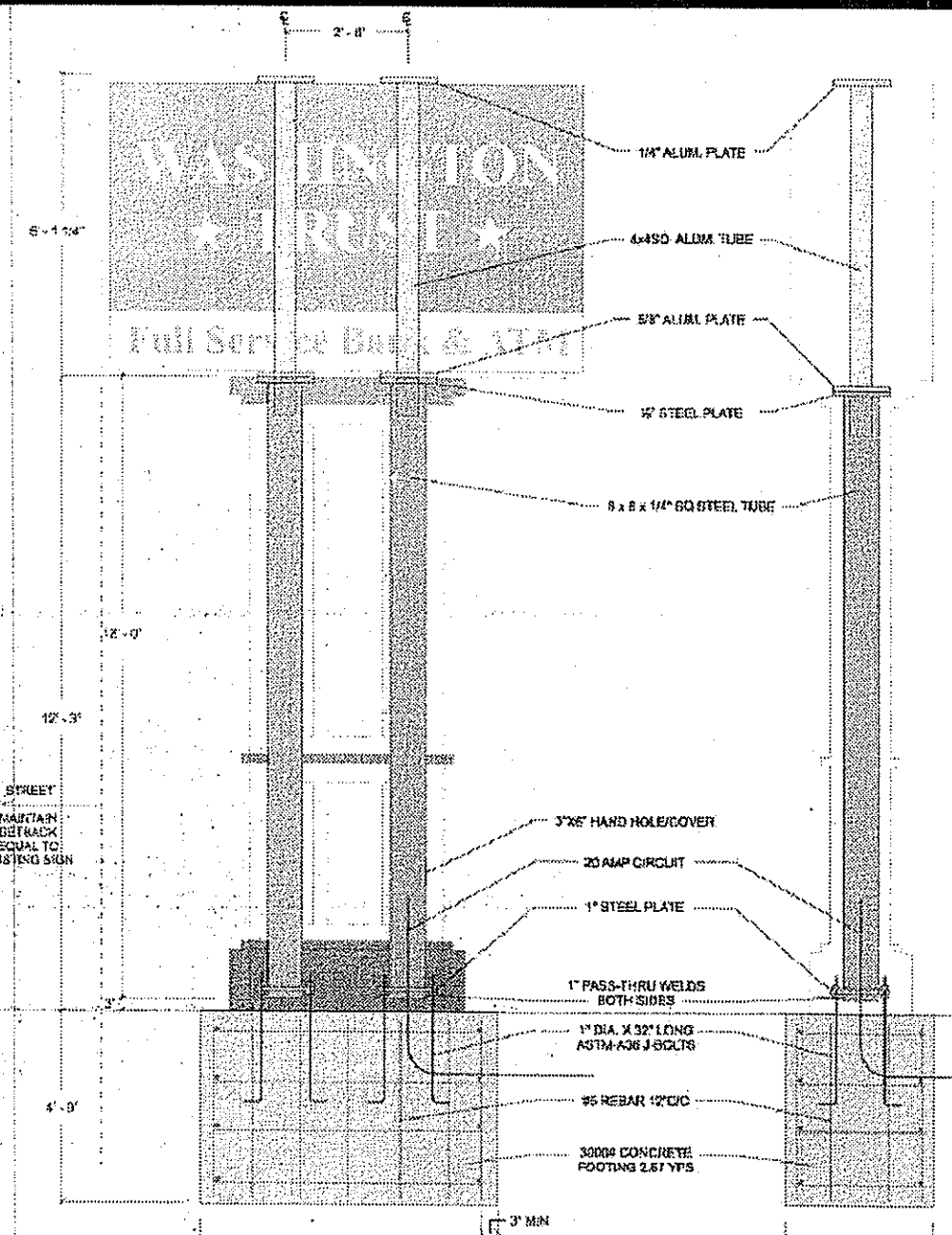
C500 NOT TO SCALE



- NOTES:
- \* THIS DIMENSION SHALL BE 12" IN ROCK, WET OR UNSUITABLE MATERIAL.
  - COMPACTION OF LIFTS SHALL ACHIEVE A MINIMUM OF 95% OF THE MAXIMUM SOIL DENSITY AS PER ASTM D1557 METHOD C.
  - SHORING AND BRACING MAY BE REQUIRED TO ACHIEVE NEAR VERTICAL SIDESLOPES.

3 PIPE TRENCH BACKFILL AND PAVEMENT PATCHING

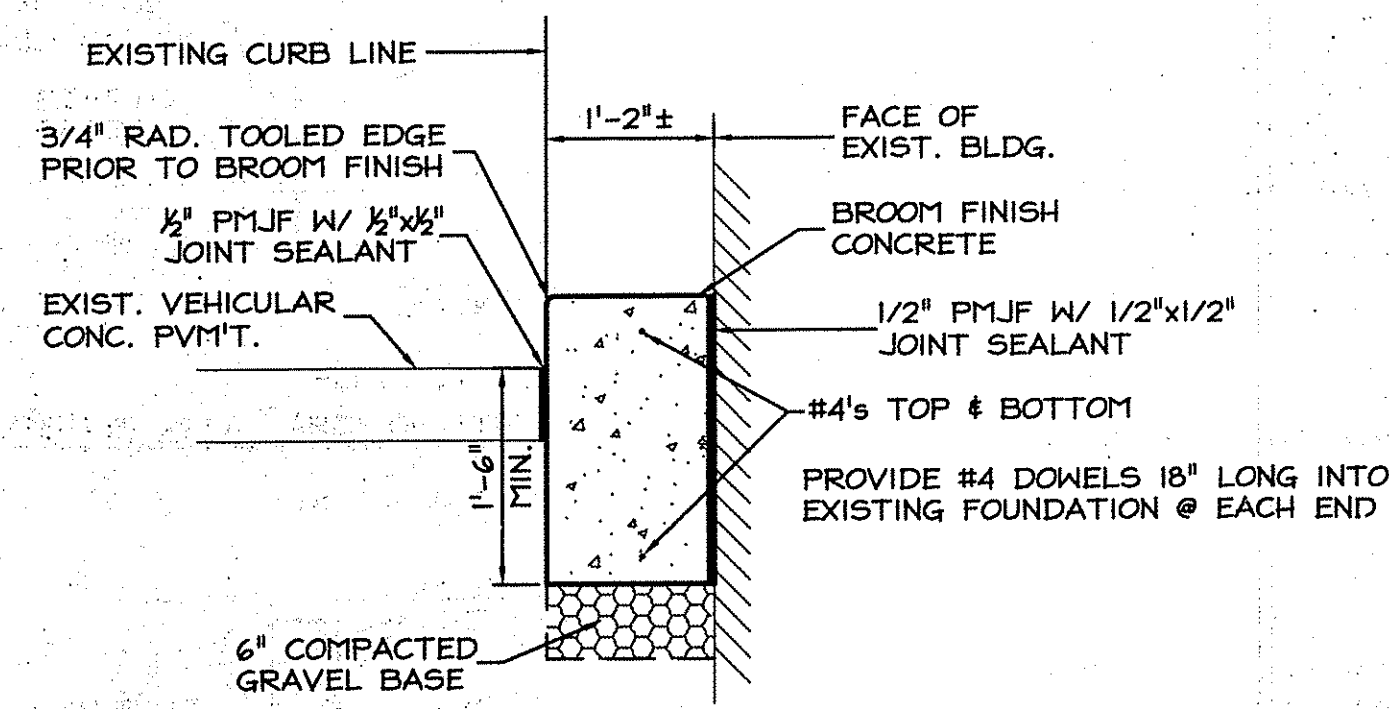
C500 NOT TO SCALE



NOTE: G.C. TO COORDINATE WITH OWNERS SIGN VENDOR

4 CONC. BASE FOR FREESTANDING SIGN

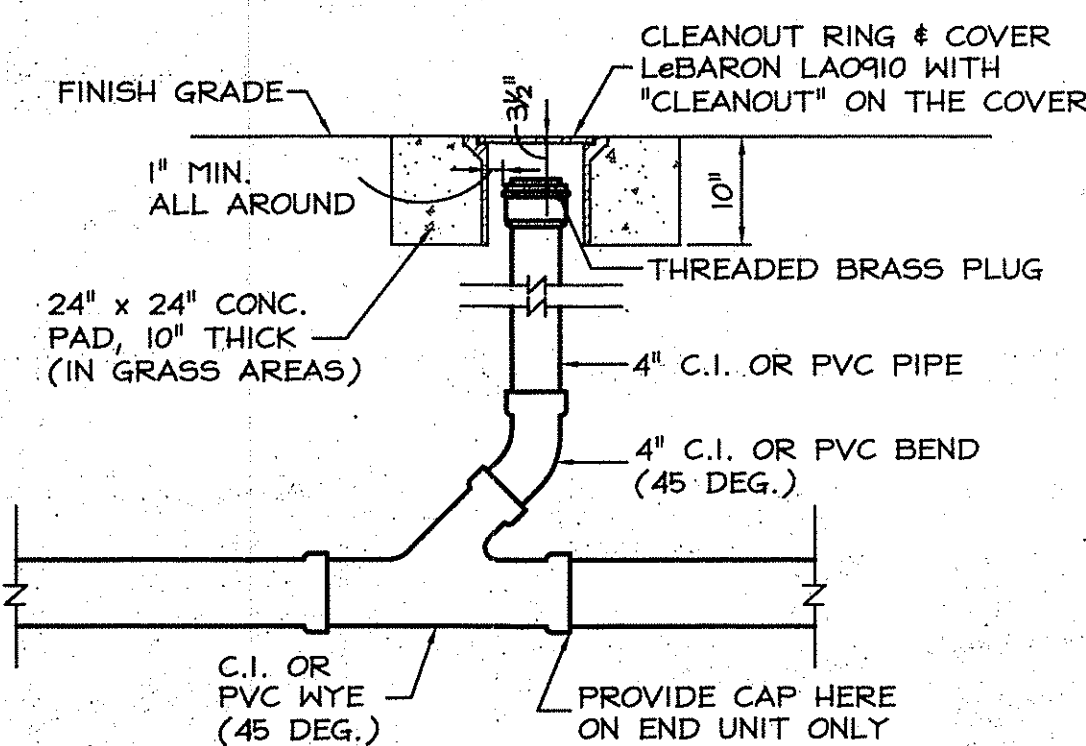
C500 NOT TO SCALE



- NOTES:
- MATCH EXISTING CURB REVEAL.
  - CONCRETE TO BE 4,000 PSI (28 DAY) AIR-ENTRAINED.

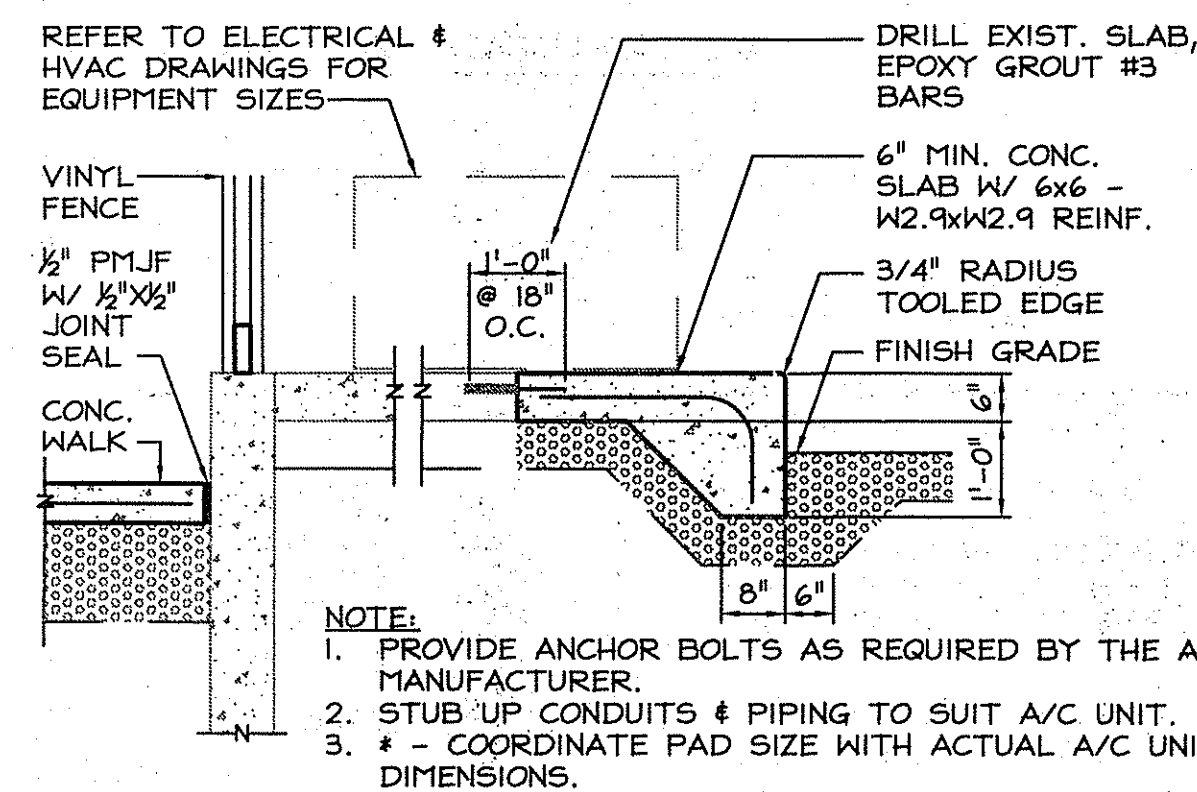
5 CONC. PAD FOR VACUUM AIR TUBE

C500 NOT TO SCALE



6 CLEANOUT

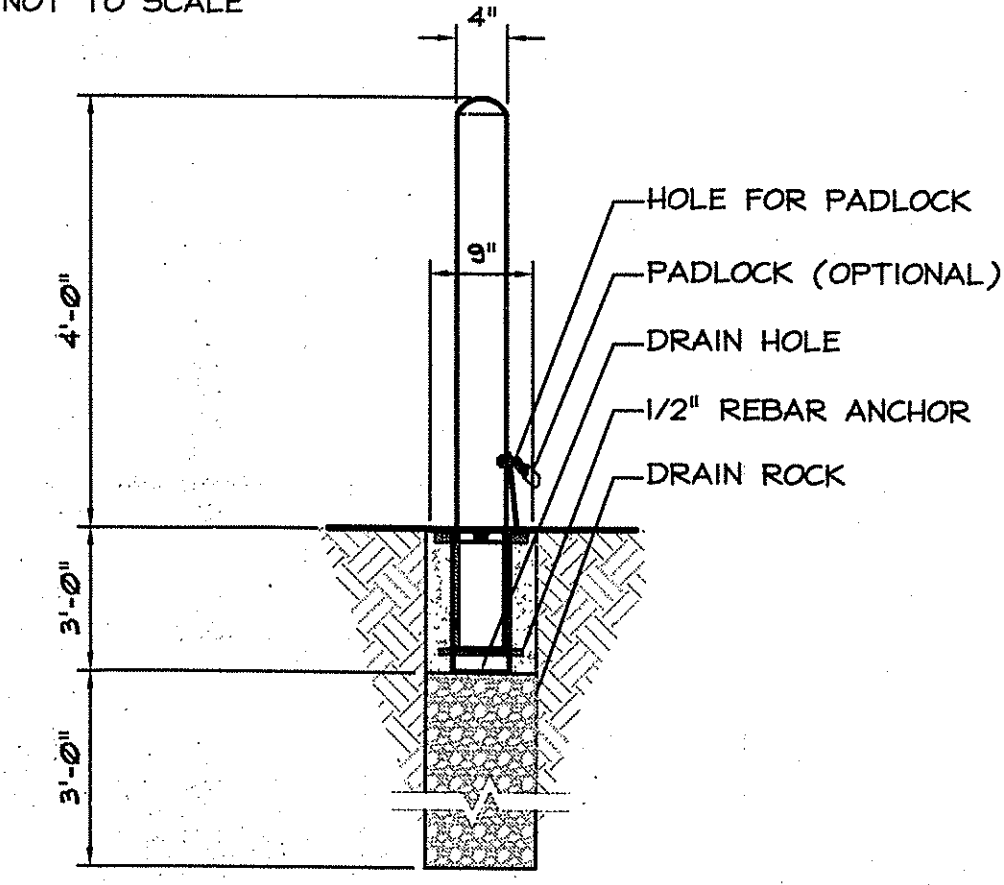
C500 NOT TO SCALE



- NOTE:
- PROVIDE ANCHOR BOLTS AS REQUIRED BY THE A/C MANUFACTURER.
  - STUB UP CONDUITS & PIPING TO SUIT A/C UNIT.
  - \* - COORDINATE PAD SIZE WITH ACTUAL A/C UNIT DIMENSIONS.

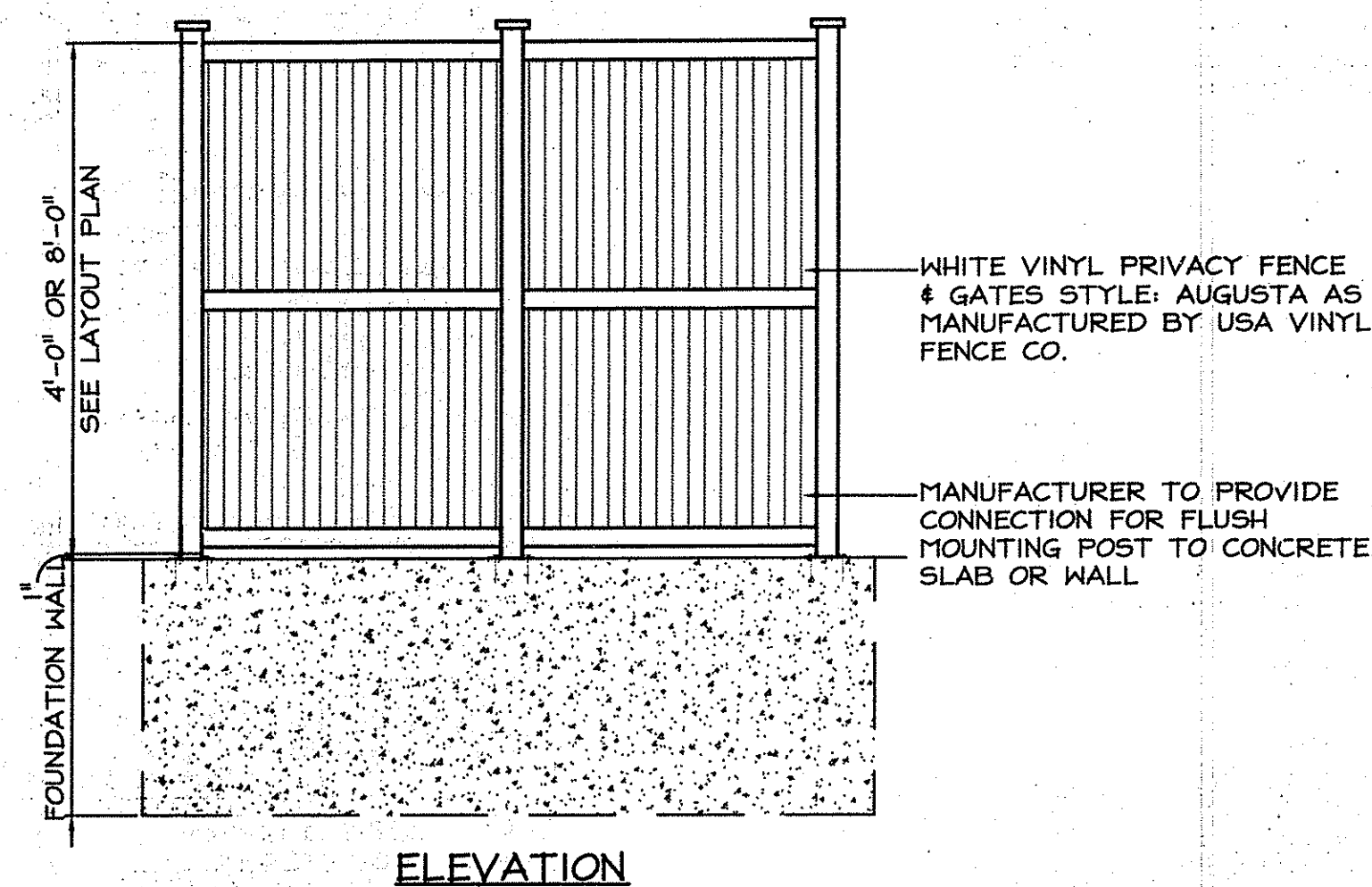
7 TYPICAL EQUIPMENT PAD

C500 NOT TO SCALE



8 REMOVABLE BOLLARD

C500 3/4" x 1'-0"

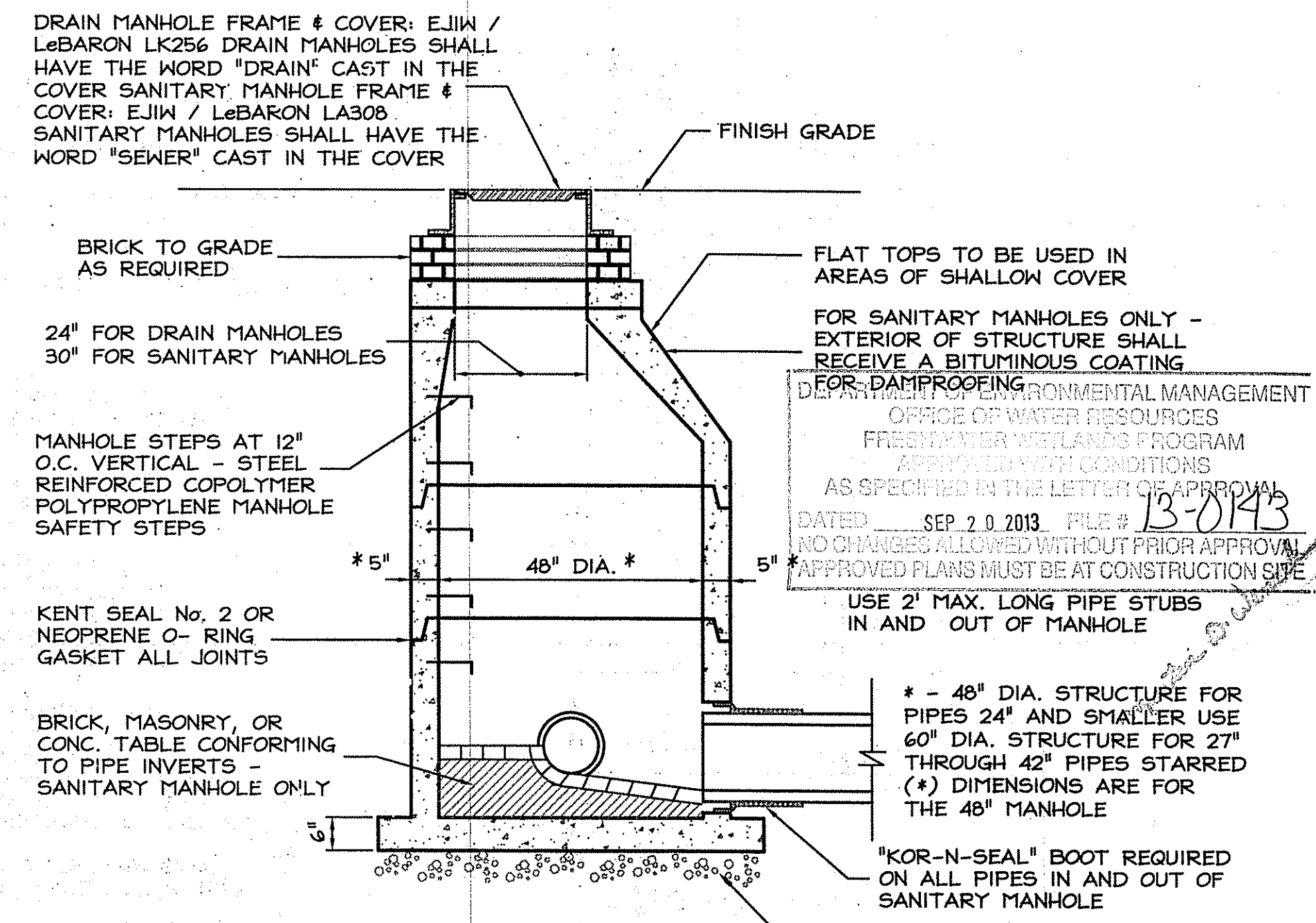
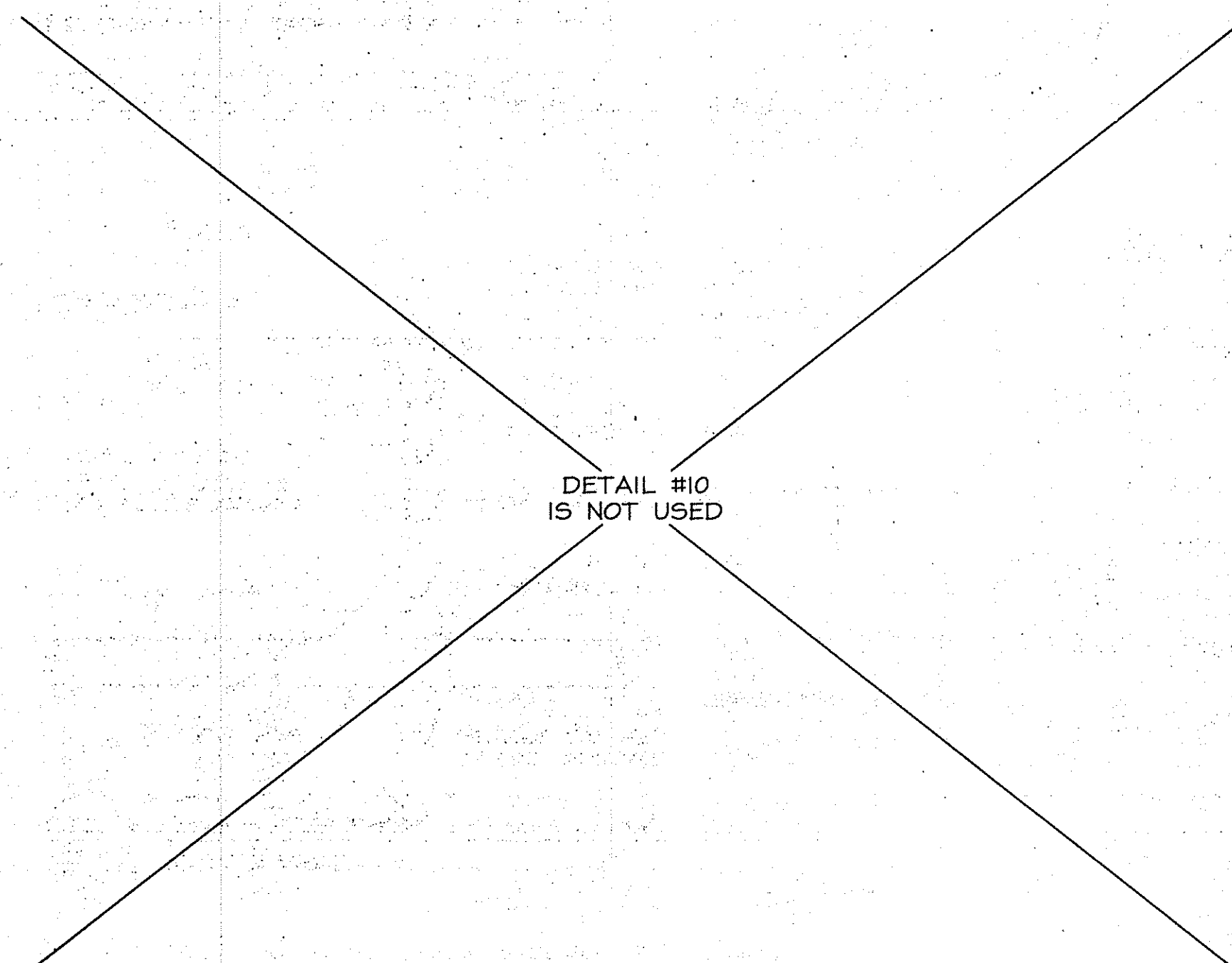


ELEVATION

NOTE: FILL THE "INSIDES" OF THE POSTS HALF WAY UP WITH CONCRETE & INSTALL FENCE AS PER MANUFACTURER'S RECOMMENDATIONS.

9 VINYL FENCE

C500 NOT TO SCALE



- NOTES:
- PRECAST STRUCTURE SHALL BE DESIGNED FOR AASHTO HS-20 LOADING.
  - ALL PVC & HDPE PIPE CONNECTIONS SHALL BE MADE WITH NPC'S KOR-NSEAL (CGA FOR HDPE PIPE) FLEXIBLE PIPE-TO-MANHOLE CONNECTORS.

11 PRECAST MANHOLE

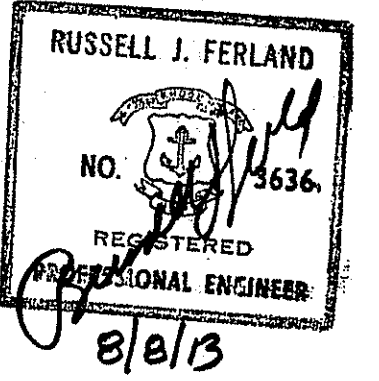
C500 NOT TO SCALE

This drawing is copyrighted and is subject to copyright protection as an architectural work under 17 U.S.C. Sec. 101 et seq. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces, materials, color and elements in the design. Under such protection, unauthorized use of this drawing may result in the cessation of construction or buildings being built and/or monetary compensation being awarded to The Robinson Green Beretta Corporation (RGB).

Any reproduction, possession, or use of this drawing or any part thereof without the express written permission of RGB, is prohibited. Violators will be prosecuted to the full extent of the law.

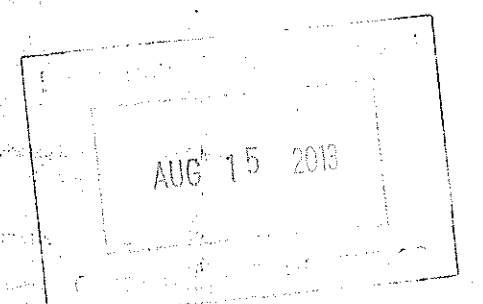
© RGB 2013

Certification



Drawn by KSB  
Checked by RJF

Revised on



50 Holden Street  
Providence, Rhode Island 02908  
Phone: (401) 272-1730  
Fax: (401) 273-7156  
E-mail: rgbinfo@rgb.net  
www.rgb.net



Architecture · Engineering · Interior Design

Project

WASHINGTON TRUST  
Branch Bank  
Conversion



1383 Atwood Avenue  
Johnston, RI 02919

AP 23, LOT 75

ISSUED FOR PERMIT

Issued On 08-AUGUST-2013

Sheet Contents

DETAILS

Project Number 6094

Drawing No.

C500

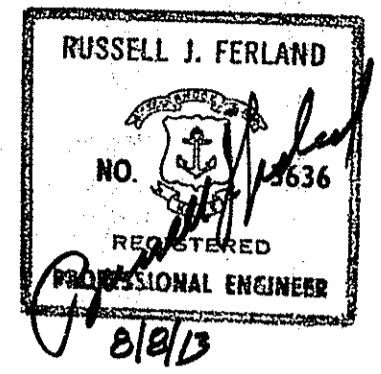
Sheet 5 of 8

This drawing is copyrighted and is subject to copyright protection as an "architectural work" under 17 U.S.C. Sec. 101 et seq. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces, materials, color and elements in the design. Under such protection, unauthorized use of this drawing may result in the cessation of construction or buildings being seized and/or monetary compensation being awarded to the Robinson Green Berens Corporation (RGB).

Any reproduction, possession, or use of this drawing or any part thereof without the express written permission of RGB, is prohibited. Violators will be prosecuted to the full extent of the law.

© RGB 2013

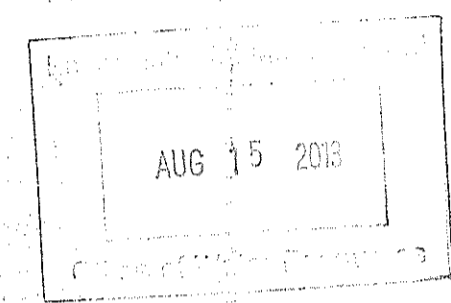
Certification



Drawn by KSB

Checked by RJF

Revised on



50 Holden Street  
Providence, Rhode Island 02908  
Phone: (401) 272-1730  
Fax: (401) 273-7156  
E-mail: rgbinfo@rgb.net  
www.rgb.net  
Architecture • Engineering • Interior Design  
Project

WASHINGTON TRUST  
Branch Bank  
Conversion



1383 Atwood Avenue  
Johnston, RI 02919

AP 23, LOT 75

Drawing Status  
**ISSUED FOR PERMIT**

Issued On 08-AUGUST-2013

Sheet Contents  
**DETAILS** ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED BY THE LETTER OF APPROVAL  
DATED SEP 20 2013 FILE # B-0143  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Drawing No.

**C501**

Sheet 6 of 8

**SCHEDULE OF SURFACE FINISHES**

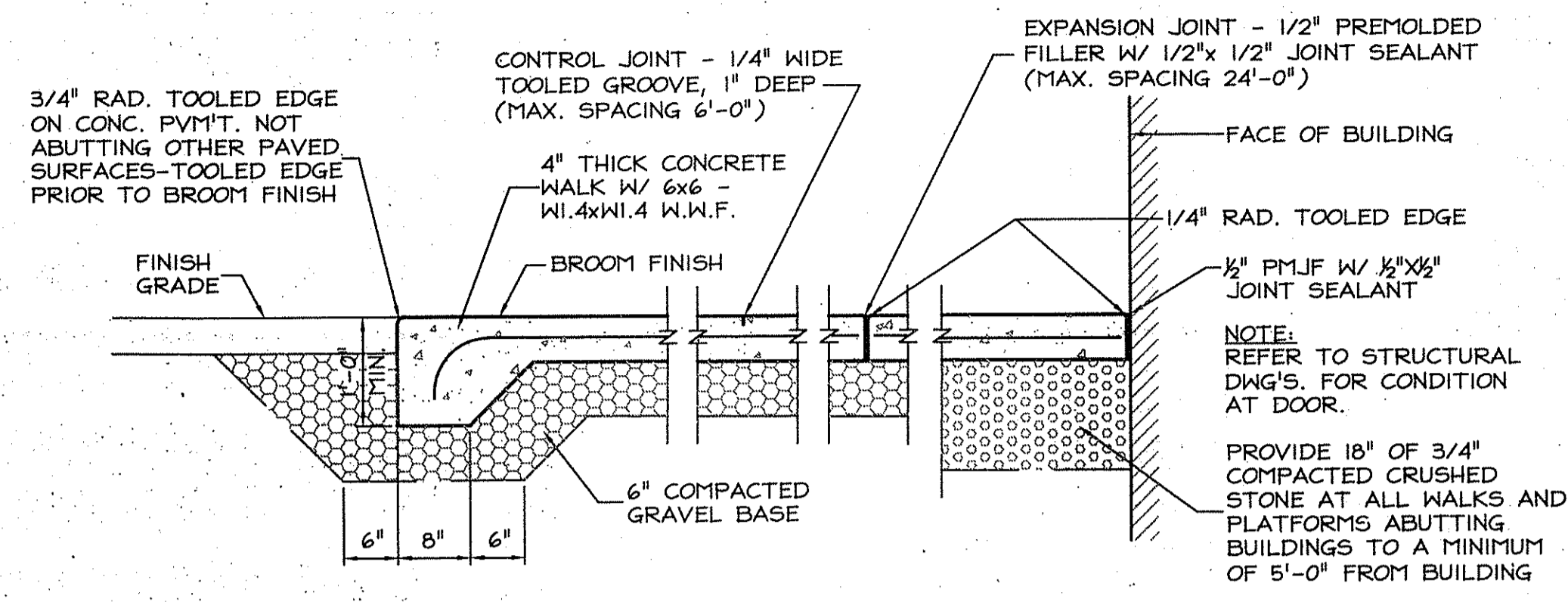
ALL COURSE THICKNESSES AFTER FINAL COMPACTION

(A)	BITUMINOUS CONCRETE		DRIVES & PARKING
(B)	CONCRETE		WALKS
(C)	VEHICULAR CONCRETE		DRIVE-UP AREA

NOTE: REFER TO CONCRETE WALK DETAIL 2/C500 FOR CONTROL & EXPANSION JOINTS AND CURBED EDGES.

**1 SCHEDULE OF SURFACE FINISHES**

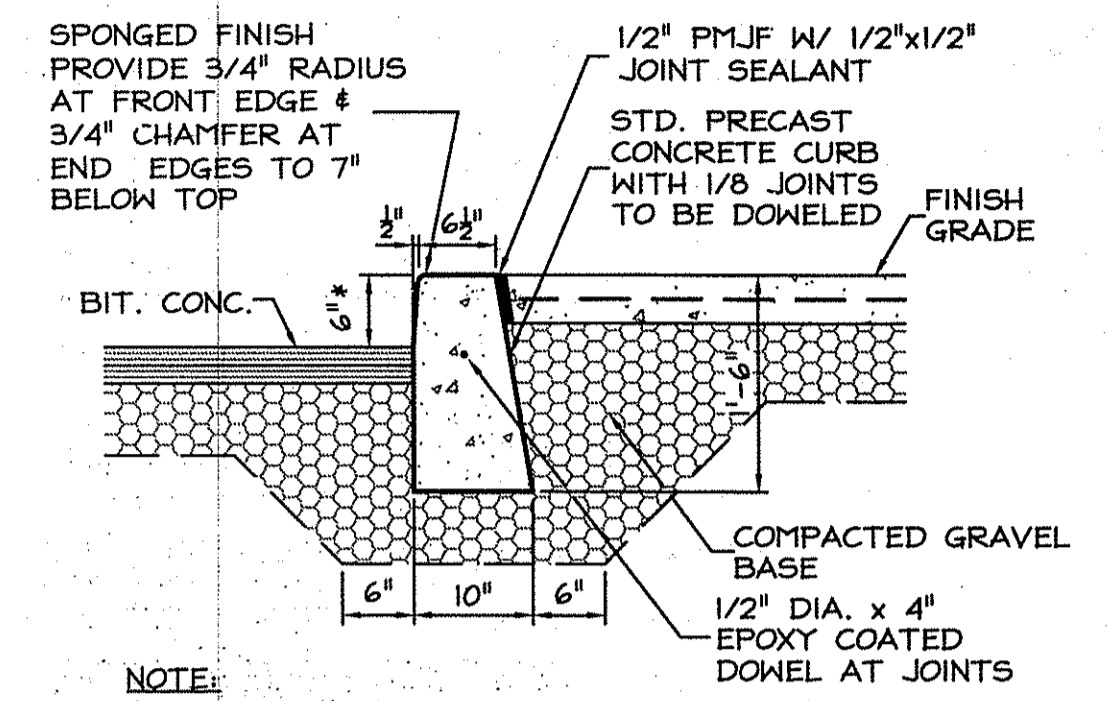
(C501) NOT TO SCALE



NOTES:  
1. CONTROL AND EXPANSION JOINTS SHALL BE CONSTRUCTED AS INDICATED ON LAYOUT PLANS.  
2. CONCRETE TO BE 4,000 PSI (28 DAY) AIR-ENTRAINED.

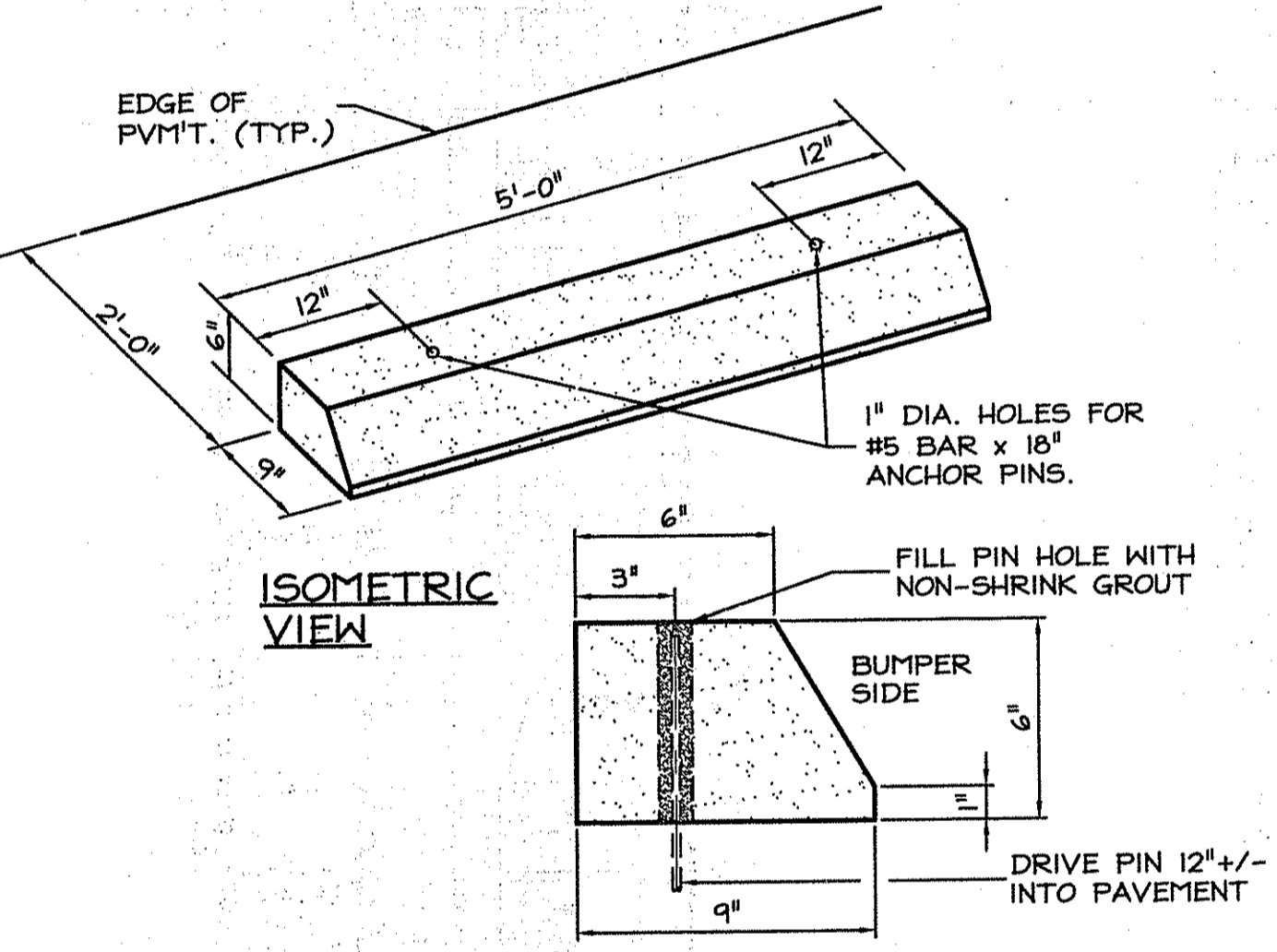
**2 CONCRETE WALKS AND PLATFORMS**

(C501) NOT TO SCALE



**3 R.I.D.O.T. STD. 7.1.0 PRECAST CONC. CURB**

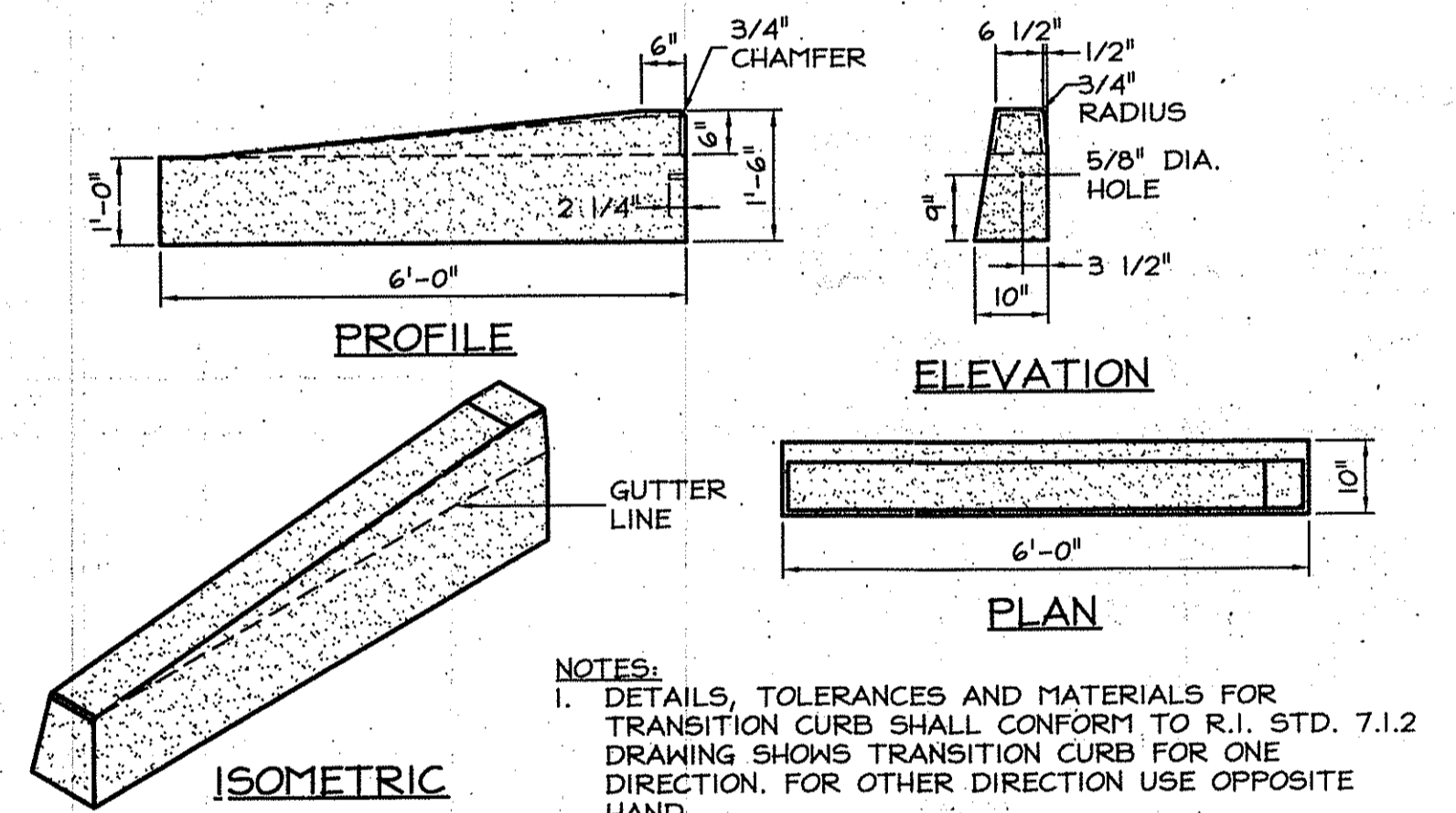
(C501) NOT TO SCALE



NOTES:  
1. REINF. 1-#3, CONC. 5000 P.S.I. A/E.  
2. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.  
3. ALL SURFACES TO TO HAVE A SPONGE FLOAT FINISH.

**4 R.I.D.O.T. STD. 7.2.4 PRECAST CONCRETE BUMPER**

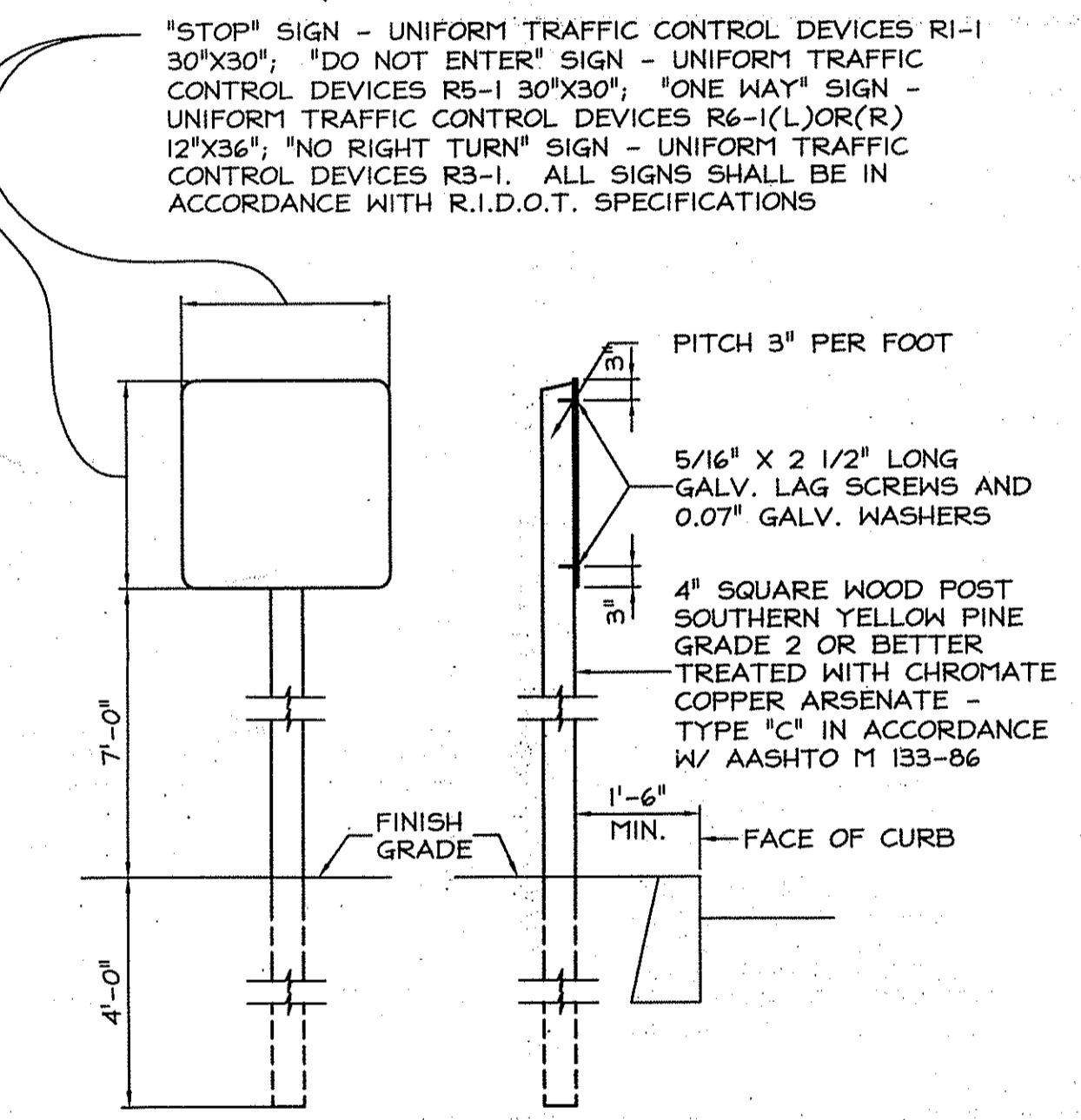
(C501) NOT TO SCALE



NOTES:  
1. DETAILS, TOLERANCES AND MATERIALS FOR TRANSITION CURB SHALL CONFORM TO R.I. STD. 7.1.2 DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION. FOR OTHER DIRECTION USE OPPOSITE HAND.

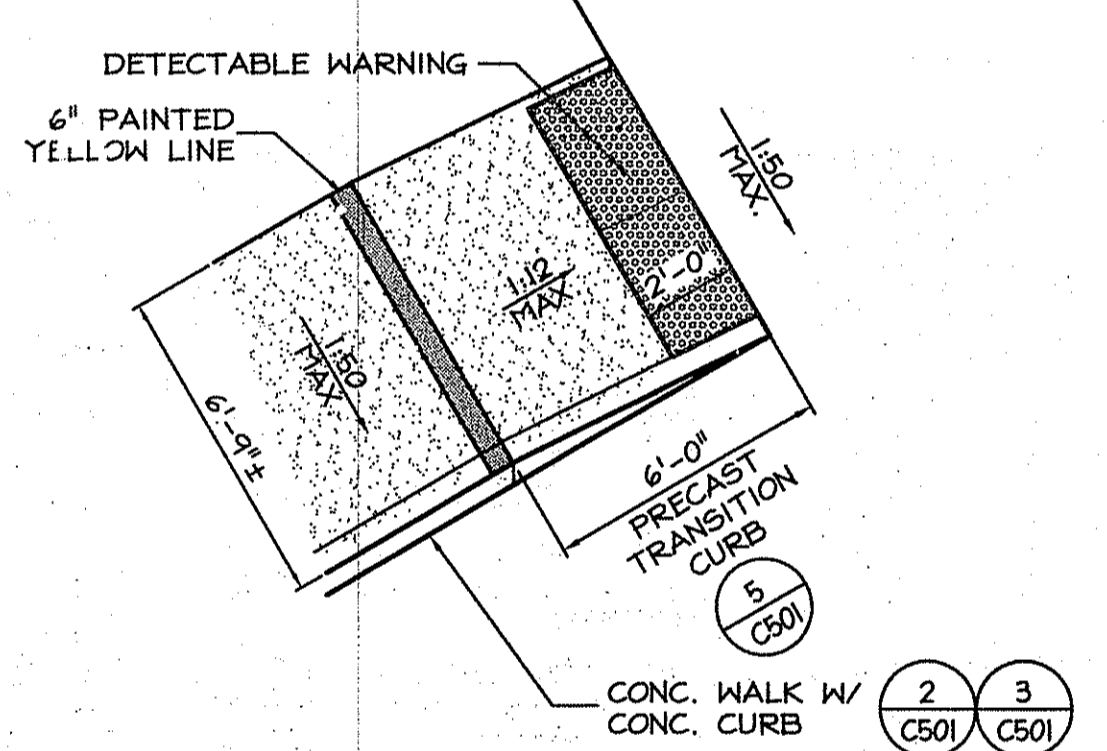
**5 R.I.D.O.T. STD. 7.1.2 PRECAST CONC. TRANSITION CURB**

(C501) NOT TO SCALE



**6 TRAFFIC CONTROL SIGNS**

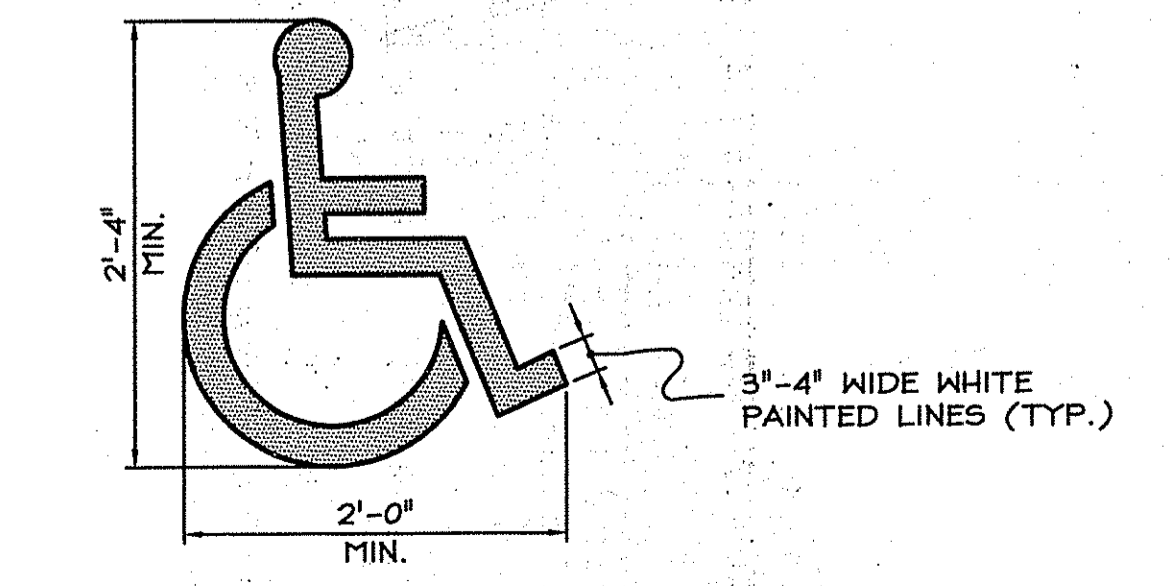
(C501) NOT TO SCALE



NOTE: WHEN ANY OBSTRUCTION IN THE SIDEWALK AREA FALLS WITHIN A CROSSWALK AREA, THE OBSTRUCTION SHALL BE PLACED OUTSIDE THE RAMP.

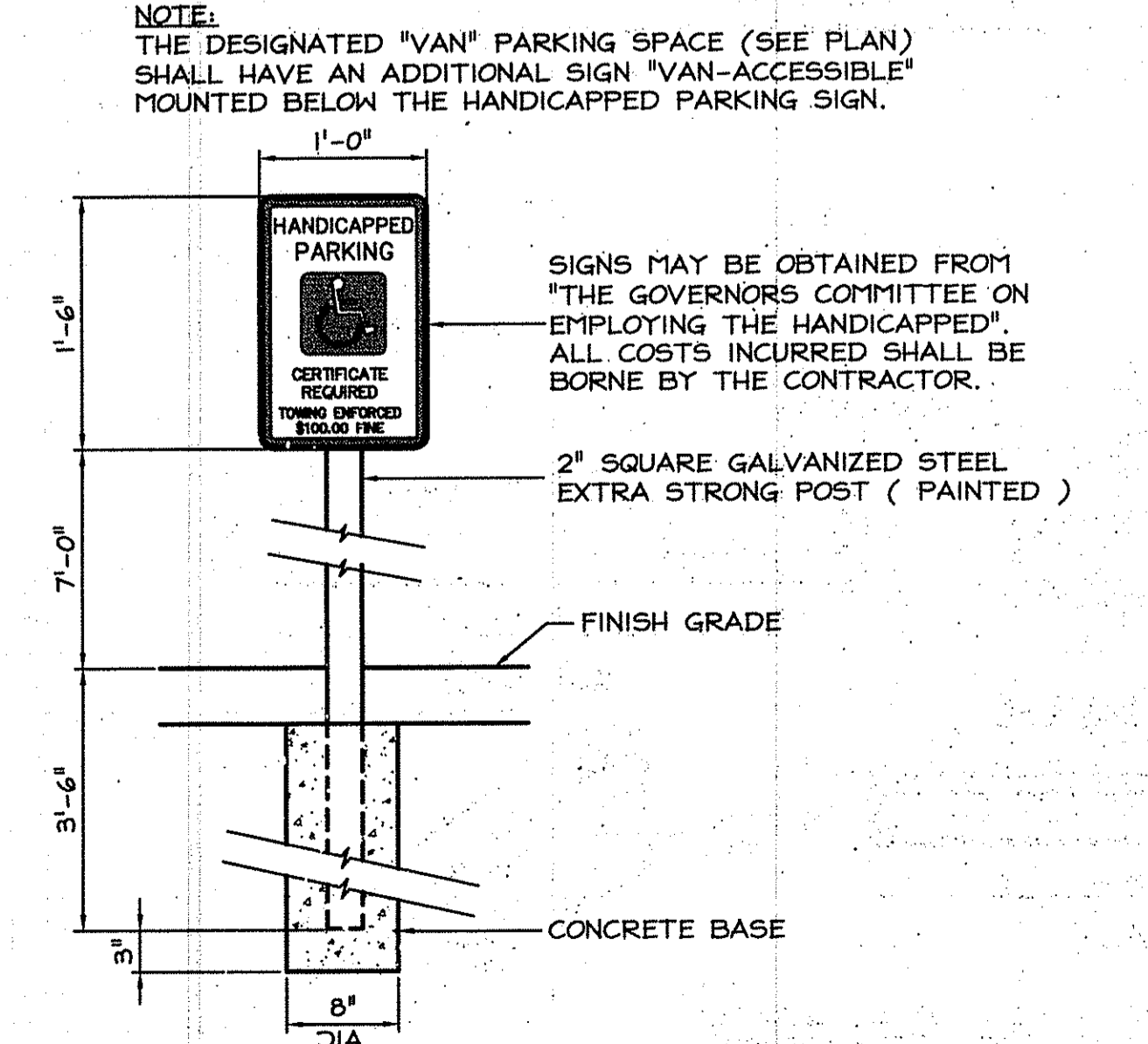
**7 WHEELCHAIR ACCESS RAMP**

(C501) NOT TO SCALE



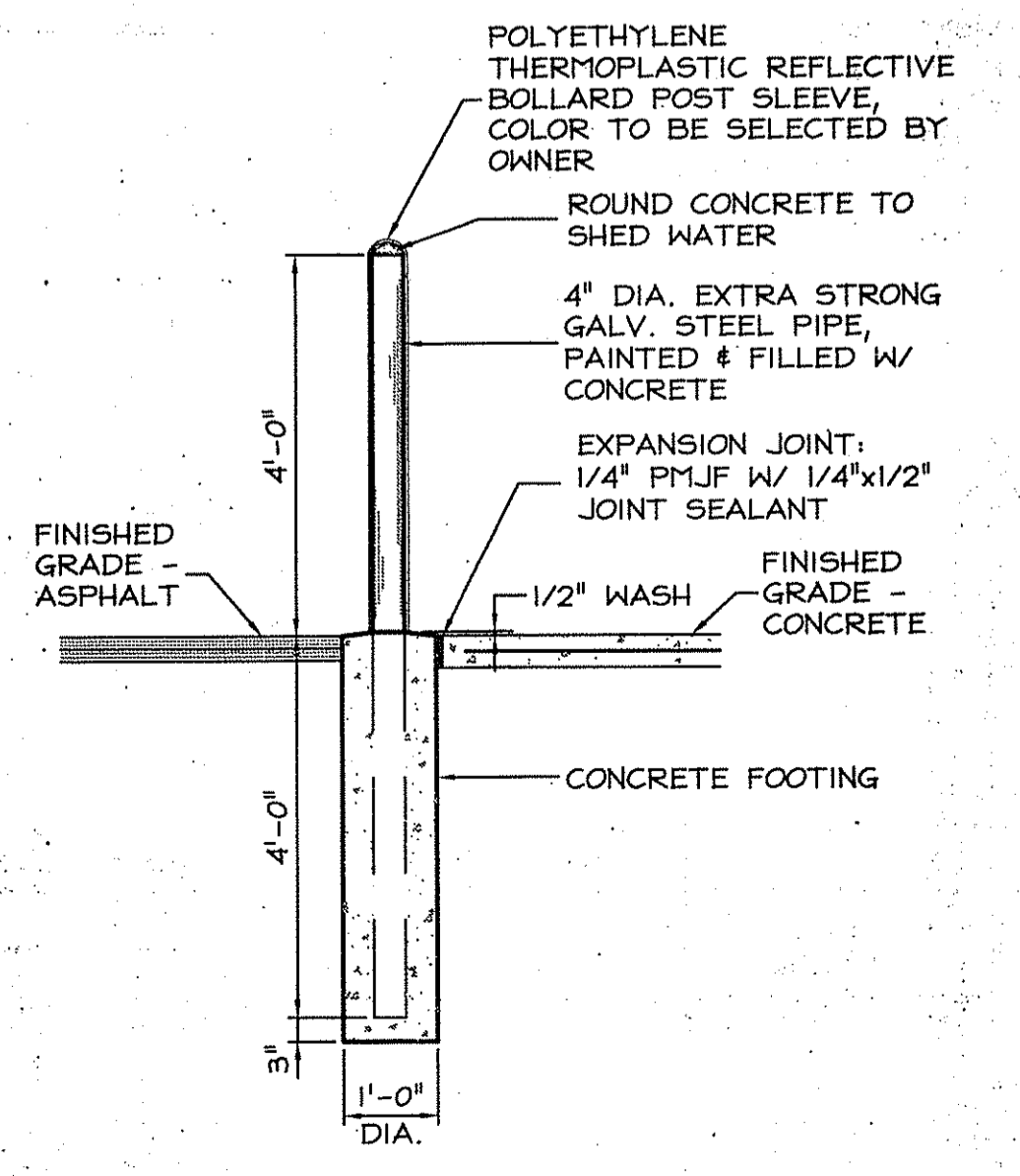
**8 HANDICAPPED SYMBOL**

(C501) NOT TO SCALE



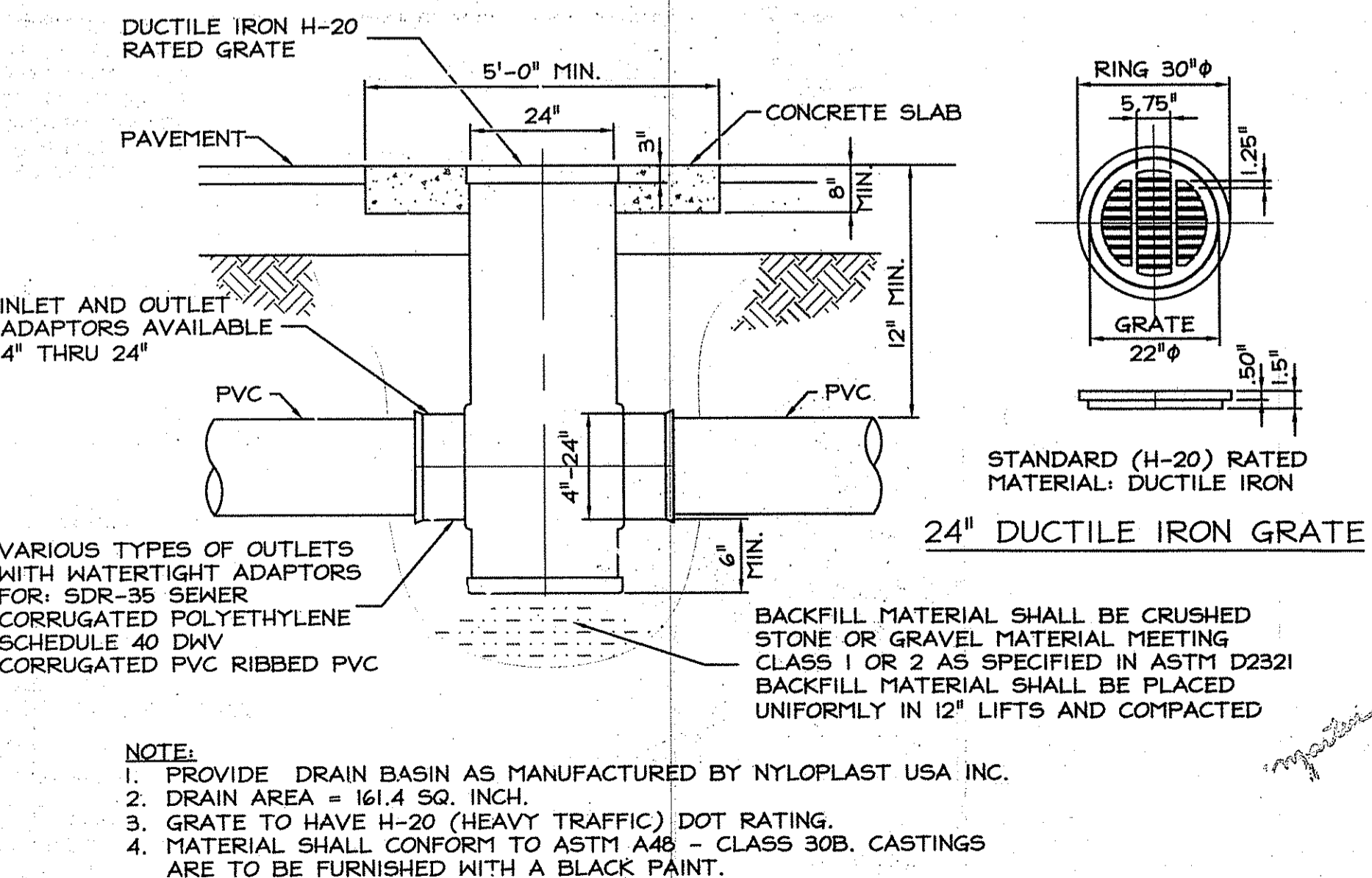
**9 HANDICAPPED PARKING SIGN**

(C501) NOT TO SCALE



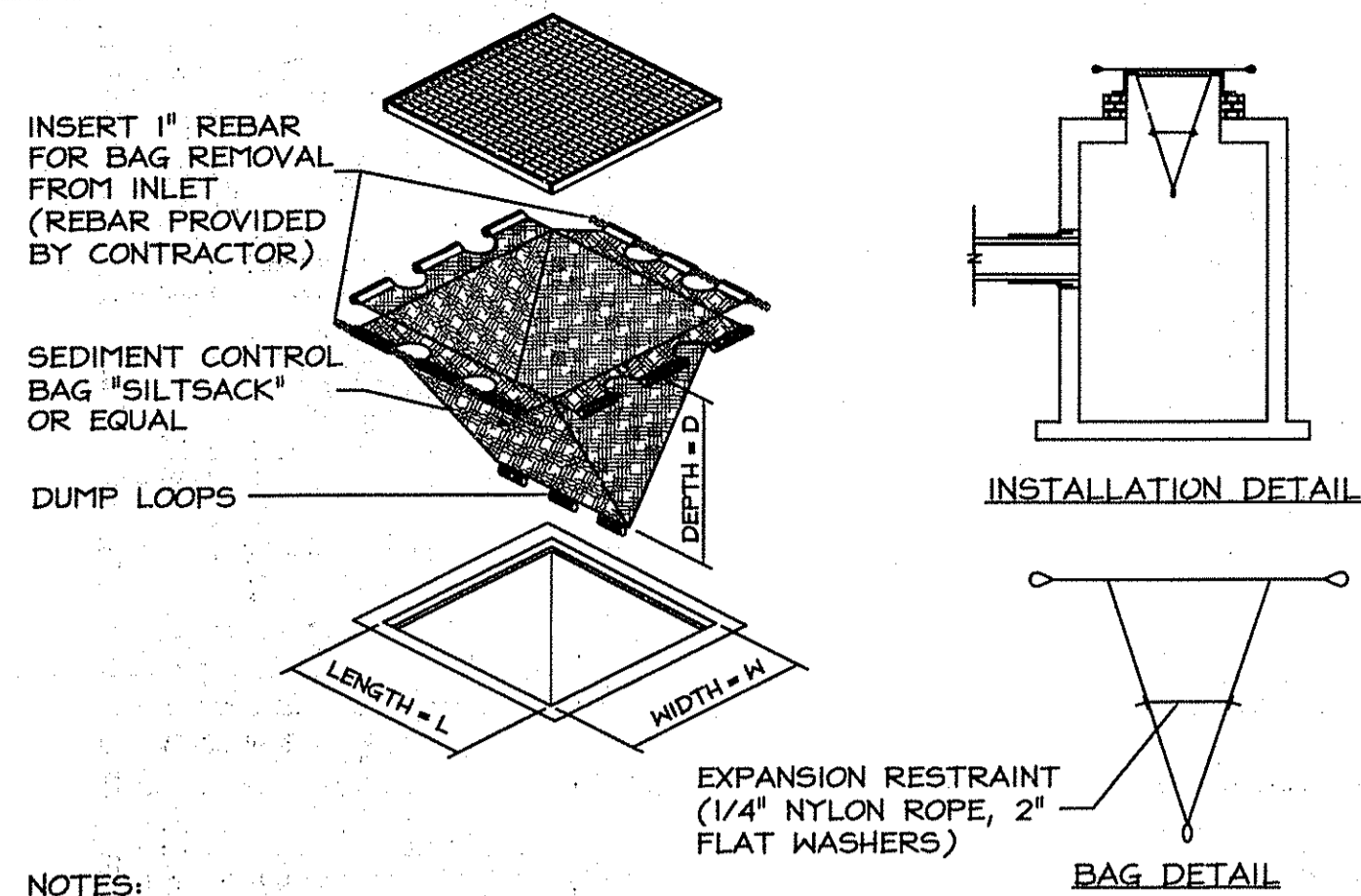
**10 PIPE BOLLARD**

(C500) NOT TO SCALE



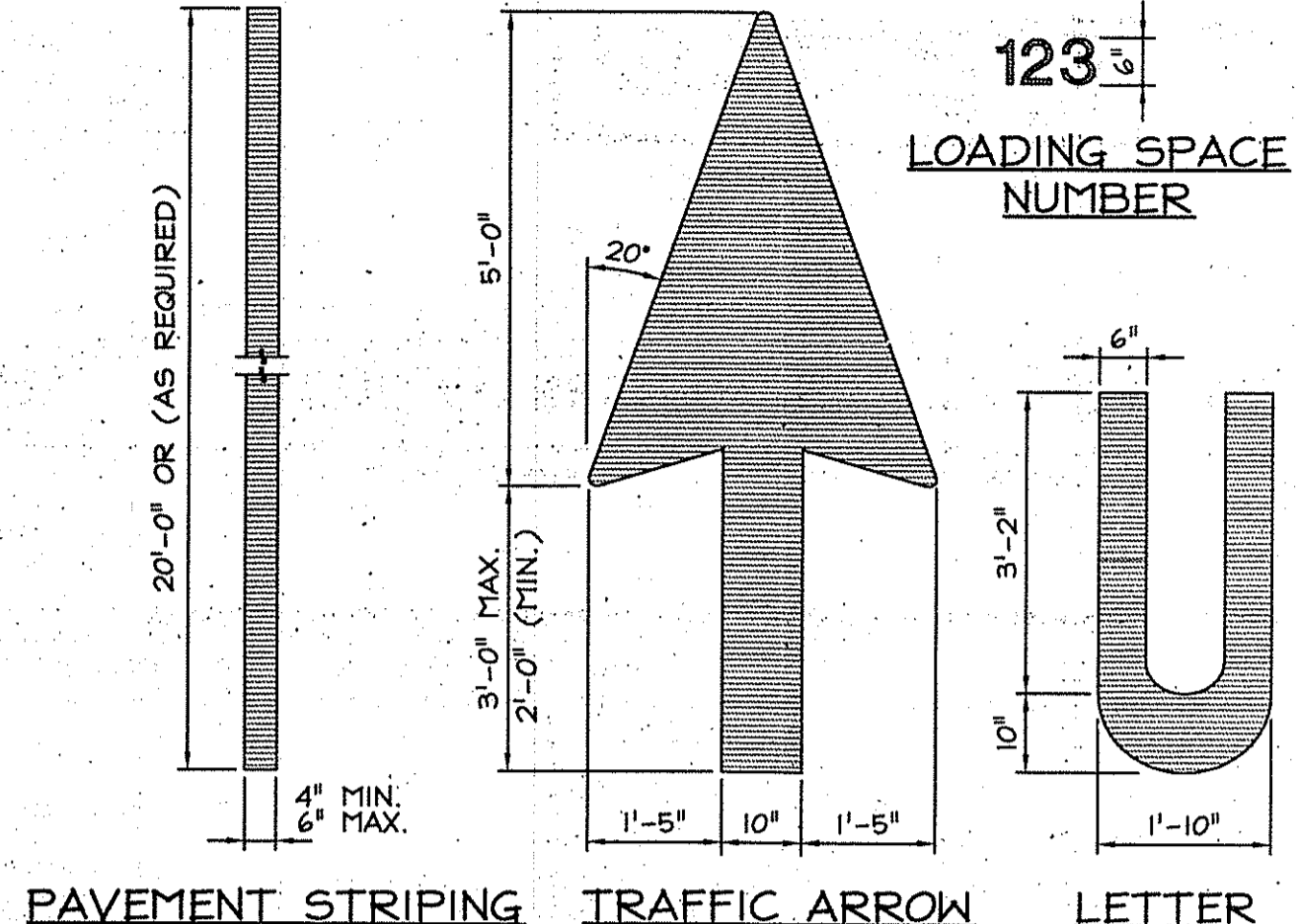
**11 24" INLINE DRAIN BASIN**

(C501) NOT TO SCALE

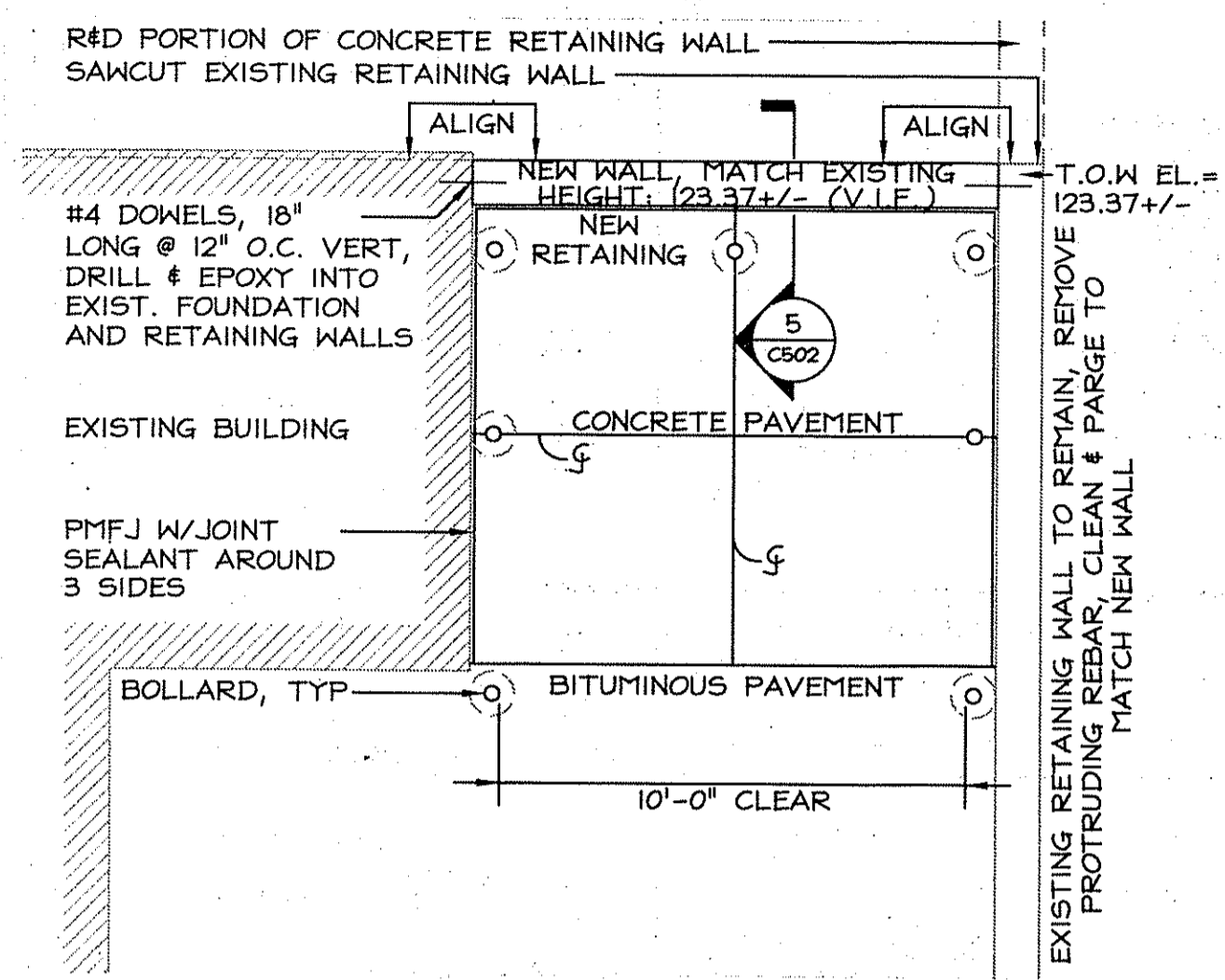


- NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CORRECT SIZE DEVICE FOR EACH INLET.
  2. THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
  3. SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS NOT APPROVED.
  4. RECESSED CURB INLET CATCH BASINS MUST BE BLOCKED WHEN USING FILTER FABRIC INLET SACKS, SIZE OF FILTER INLET SACK TO BE DETERMINED BY MANUFACTURER.
  5. THE FILTER SHALL BE REPLACED OR CLEANED WHEN THE BAG BECOMES HALF FULL.

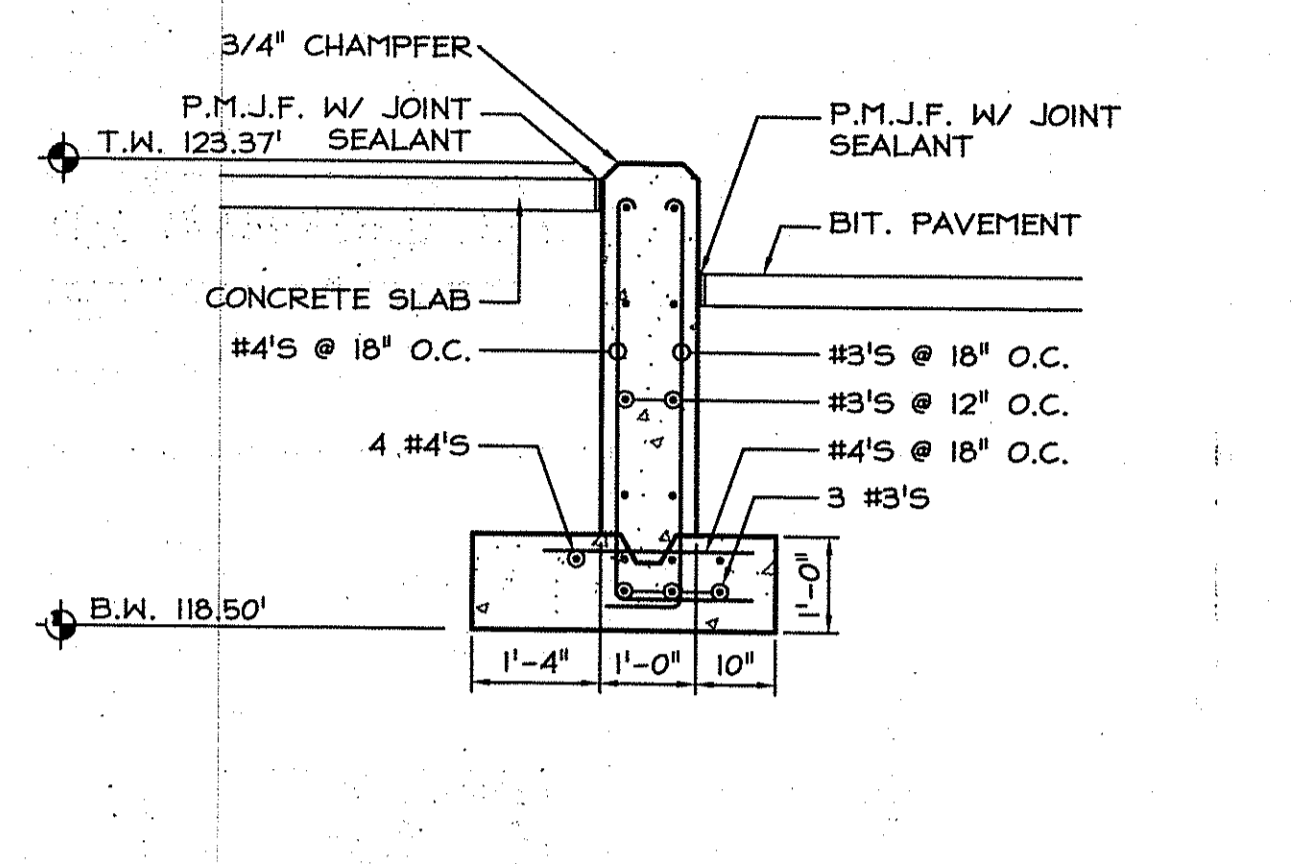
**(TYPE B)**  
**1 SILTSACK INLET PROTECTION**  
 C502 NOT TO SCALE



**2 PAVEMENT MARKINGS**  
 C502 NOT TO SCALE



**3 REAINING WALL PLAN**  
 C502 NOT TO SCALE



**4 RETAINING WALL SECTION**  
 C502 NOT TO SCALE

**EROSION CONTROL NOTE:**

**ESTABLISHMENT OF VEGETATIVE COVER**

1. SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY ONE DAYS.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED OR PROTECTED.
3. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS \*FOR ROAD AND BRIDGE CONSTRUCTION, H.18.01.
4. THE TEMPORARY SEEDING DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	PERCENT BY WEIGHT
ANNUAL RYE GRASS	40
PERENNIAL RYE GRASS	60

TYPE	PERCENT BY WEIGHT
UPLAND BENTGRASS	1
CREeping BENTGRASS	1
BIG BLUESTEM	8
NEW ENGLAND ASTER	8
FOX SEDGE	8
VIRGINIA WILD RYE	28
BONASET	1
GRASS LEAVED GOLDENROD	1
CREeping RED FESCUE	24
SOFT RUSH	0.5
SMITH GRASS	8
LITTLE BLUESTEM	15
GREEN BULLRUSH	1
WOOL GRASS	0.5
BLUE VERVAIN	1

6. THE GENERAL PURPOSE SEED MIX SHALL BE URI NO.2 AND COMPRISED OF THE FOLLOWING:

TYPE	PERCENT BY WEIGHT
CREeping RED FESCUE	40
IMPROVED PERENNIAL RYE GRASS	20
IMPROVED KENTUCKY BLUEGRASS	30
KENTUCKY BLUEGRASS	10

7. EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. SEEDING SCHEDULE SHOULD CONFORM TO RIDOT STANDARD SPECIFICATION, L.02.03.1 SEEDING DATES. PERMANENT SEEDING SHALL BE DONE BETWEEN APRIL 1 TO MAY 31 OR AUGUST 15 TO OCTOBER 15. TEMPORARY SEEDING MAY BE DONE ANYTIME BETWEEN MARCH 15 AND NOVEMBER 15 WITH THE APPROVAL OF THE ENGINEER/ARCHITECT. SEEDING AT TIMES NOT DEFINED ABOVE SHALL ONLY BE ALLOWED WITH WRITTEN PERMISSION OF THE ENGINEER/ARCHITECT. FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24-HOURS AND BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUMS FOR EACH VARIETY.
8. TEMPORARY TREATMENTS SHALL CONSIST OF HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS MAT OR FIBER LINING. TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING, JUTE NETTING OR APPROVED EQUAL. SIDE SLOPES OF BASINS SHALL BE TREATED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKETS SUCH AS SISO OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER/ARCHITECT. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
9. ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. AN ACCEPTABLE STAND OF GRASS OR GROUND COVER SHALL BE DEFINED AS A NON ERODIBLE SURFACE.
10. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE EARTHWORK SPECIFICATIONS REQUIREMENTS
11. STOCKPILES OF TOPSOIL SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED.
12. ALL AREAS PROPOSED TO BE VEGETATED THAT ARE DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING FOLLOWING FINISH GRADING ACCORDING TO DATES LISTED ABOVE AND RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION L.02.03.1. PERMANENTLY SEEDED AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STANDARD IS MAINTAINED. WELL ESTABLISHED VEGETATION SHALL BE MAINTAINED. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEEDED BY THE CONTRACTOR. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMITS OF WORK.
13. MAXIMUM PERMANENT GRADED SLOPE SHALL BE 3:1 UNLESS NOTED OR INDICATED OTHERWISE.
14. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVER ALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.

**NON-STRUCTURAL MEASURES**

1. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE ACCESS ROAD, UTILITY EASEMENTS AND AREAS TO BE GRADED.
2. TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATIONS SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER/ARCHITECT. A SEDIMENT BARRIER SHALL SURROUND ALL TOPSOIL AND OTHER STOCKPILE AREAS.
3. ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH FEDERAL, STATE AND LOCAL REGULATIONS; CONSTRUCTION DEBRIS SHALL BE DISPOSED OF DAILY TO AVOID EXPOSURE TO PRECIPITATION.
4. DUST CONTROL SHALL BE USED THROUGHOUT CONSTRUCTION. DUST CONTROL CAN BE ACCOMPLISHED THROUGH THE USE OF VEGETATIVE COVER, SPRINKLING, AND STONE STABILIZATION OF CONSTRUCTION ROADS.
5. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
6. REFERENCE THE 'RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK' PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

**STRUCTURAL MEASURES**

1. RUNOFF WATER QUALITY IS IMPROVED BY UTILIZING BIORETENTION AREAS AND A DETENTION BASIN. THE ENGINEER/ARCHITECT SHALL SUPERVISE CONSTRUCTION OF THE DETENTION BASIN. THE BMP'S HAVE BEEN DESIGNED AND SHALL BE BUILT TO CONTROL RUNOFF FROM THE 1, 10, AND 100-YEAR STORM EVENTS. A STONE STABILIZATION PAD (RIDOT STANDARD 9.9.0) IS LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT OF WAY.
2. HAY BALES OR SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE START OF THE PROPOSED SITE WORK CONSTRUCTION.
3. IF NECESSARY, TEMPORARY BERMS AND / OR SHALES SHALL BE USED DURING CONSTRUCTION TO DIRECT SURFACE RUNOFF TO TEMPORARY STABILIZATION BASINS TO CAPTURE AND TREAT THE MAXIMUM AMOUNT OF STORMWATER.
4. INLET PROTECTIONS SHALL BE USED AT CATCH BASIN GRATES. CONTRACTOR SHALL MAINTAIN INLET PROTECTION THROUGHOUT CONSTRUCTION. INLET PROTECTION SHOULD BE REMOVED ONCE THE CONTRIBUTING AREAS HAVE BEEN COMPLETELY STABILIZED.
5. SURFACE ROUGHENING SHALL BE USED AS A TEMPORARY MEASURE TO IMPROVE THE SUCCESS OF VEGETATION STABILIZATION. ENCOURAGE WATER INFILTRATION AND DECREASE RUNOFF VELOCITY. THE SOIL SURFACE IS ROUGHENED BY THE CREATION OF HORIZONTAL GROOVES OR SLIGHT DEPRESSIONS (1'-3" DEEP AND 6"-18" APART) PARALLEL TO THE SLOPE CONTOUR. ROUGHENING CAN BE USED WITH SEEDING, PLANTING, AND TEMPORARY MULCHING TO STABILIZE AN AREA.
6. THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
7. REFERENCE THE 'RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK' PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

**MAINTENANCE: SHORT TERM | LONG TERM**

1. THE STONE STABILIZATION PAD AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER/ARCHITECT. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ON THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
  2. ALL HAY BALES/SILT FENCE, TEMPORARY TREATMENTS (HAY, STRAW, ETC.), AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. HAY BALES/SILT FENCE SHALL BE INSPECTED BY THE CONTRACTOR WITHIN 24-HOURS AFTER EACH STORM EVENT OR EVERY 7-DAYS, WHICHEVER COMES FIRST. INSPECTIONS SHALL ALSO OCCUR AT LEAST DAILY, DURING PROLONGED STORM EVENTS. A STORM EVENT SHALL BE DEFINED AS 0.25 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE HAY BALES/SILT FENCE SHALL BE REPAIRED OR REPLACED AS WARRANTED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY BALES/SILT FENCE BECOMES FILLED IN WITH SEDIMENT. THE HAY BALES/SILT FENCE SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. FOLLOWING CONFIRMATION FROM THE OWNER AND OR THE ENGINEER/ARCHITECT, THE HAY BALES/SILT FENCE SHALL BE REMOVED.
  3. THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER. HAY BALES OR SILT FENCE SHALL BE STAKED AROUND THE STOCKPILES.
  4. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR FOLLOWING FINAL GRADING AND CONSTRUCTION. THE CONTRACTOR SHALL CHECK ALL SEEDED AREAS REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
  5. THE CONSTRUCTION SUPERINTENDENT IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE STORMWATER MANAGEMENT SYSTEM UNTIL COMPLETION OF CONSTRUCTION AND UNTIL ACCEPTANCE BY THE ENGINEER/ARCHITECT AND THE OWNER.
- DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR'S SUPERINTENDENT MAINTENANCE / INSPECTION RESPONSIBILITIES SHALL INCLUDE:
- RESEEDING ANY UN-STABILIZED AREAS AT NO ADDITIONAL EXPENSE TO THE OWNER.
  - INSPECT CONSTRUCTION ACCESS STONE BASE AFTER EACH STORM AND REPAIR AS NECESSARY.
  - INSPECTION, MAINTENANCE AND REPAIR TO THE DRAINAGE NETWORK INCLUDING STRUCTURES AND RELATED APPURTENANCES. ACCUMULATED SEDIMENTS IN ALL STRUCTURES SHALL BE REMOVED AND DRAINAGE PIPES FLUSHED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION.
  - CATCH BASIN SUMPS SHALL BE CHECKED WEEKLY AND SEDIMENTS SHALL BE REMOVED IF THEY EXCEED 6" DEPTH.
  - CHECK BMP'S FOR STANDING WATER OR OTHER EVIDENCE OF CLOGGING
  - CHECK FOR SEDIMENT ACCUMULATION, TRASH, AND DEBRIS
  - CHECK FOR BLOCKAGES, STRUCTURAL INTEGRITY, AND ANY EVIDENCE OF EROSION AT INLETS, OUTLETS, AND OVERFLOW SPILLWAYS
  - CHECK FOR RAPID RELEASE OF STORMWATER

**FOLLOWING ACCEPTANCE BY THE ENGINEER/ARCHITECT AND OWNER, THE OWNER WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, AND IMPLEMENTING THE MAINTENANCE PROGRAM FOR THE STORMWATER MANAGEMENT PLAN. A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND THE RESPONSIBLE AUTHORITY TO ENSURE THE MAINTENANCE SCHEDULES OUTLINED IN THIS REPORT ARE FOLLOWED.**

- The responsible party and funding source for the Stormwater Management Program is:
- The Washington Trust Company (WTC)  
23 Board Street  
Westerly, RI 02991
  - The responsible party maintenance/inspection responsibilities shall include:  
The Washington Trust Company (WTC)  
23 Board Street  
Westerly, RI 02991
- INFILTRATION CHAMBER SYSTEMS MAINTENANCE PROCEDURE**
- During the first six months following construction, the infiltration chamber system facilities should be inspected at least twice or more following precipitation events of at least 1.0 inch to ensure that the system is functioning properly. Thereafter, inspections should be conducted on an annual basis and after storm events of greater than or equal to the 1-year, 24-hour Type III precipitation event.
- OPEN CHANNELS**
- The maintenance objective for this practice includes preserving the hydraulic and removal efficiency of the channel and maintaining a dense, healthy vegetative cover. The following activities are recommended on an annual basis or as needed:
- A. Mowing and litter and debris removal;
  - B. Stabilization of eroded side slopes and bottom;
  - C. Nutrient and pesticide use management;
  - D. De-thatching swale bottom and removal of thatching; and
  - E. Discing or aeration of swale bottom.

Every five years, scraping of the channel bottom and removal of sediment to restore original cross section and infiltration rate, and seeding to restore ground cover is recommended.

Dry swales should be inspected on an annual basis and after storms of greater than or equal to the 1-year, 24-hour Type III precipitation event. Both the structural and vegetative components should be inspected and repaired. When sediment accumulates to a depth of approximately 3 inches, it should be removed, and the swale should be reconfigured to its original dimensions. The vegetation in the dry swale should be mowed as required to maintain heights in the 4-6 inch range, with mandatory mowing once heights exceed 10 inches. If the surface of the dry swale becomes clogged to the point that standing water is observed on the surface 48 hours after precipitation events, the bottom should be re-to-filled or cultivated to break up any hardpacked sediment, and then reseeded. Trash and debris should be removed and properly disposed of.

**INFILTRATION CHAMBER SYSTEMS MAINTENANCE PROCEDURE**

DURING THE FIRST 6-MONTHS FOLLOWING CONSTRUCTION, THE CHAMBER FACILITY SHOULD BE INSPECTED AT LEAST TWICE OR MORE FOLLOWING PRECIPITATION EVENTS OF AT LEAST 1-INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, INSPECTIONS SHOULD BE CONDUCTED ON AN ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT.

**DRAINAGE STRUCTURES (CATCH BASINS, AREA DRAINS, DRAINAGE MANHOLES, OUTLET STRUCTURES) MAINTENANCE**

- SEMI-ANNUALLY INSPECT DRAINAGE STRUCTURES FOR DAMAGE.

- ANNUALLY USE A VACUUM TRUCK TO CLEAN OUT ANY SEDIMENT OR DEBRIS PRESENT IN ANY OF THE DRAINAGE STRUCTURES OR WHENEVER SEDIMENTS REACH ONE HALF OF THE SUMP DEPTH, WHICHEVER COMES FIRST.

**STREET AND PARKING LOT SWEEPING**

- SWEEP ALL ROADWAYS/PARKING LOTS FOUR TIMES PER YEAR. ONE OF THESE SWEEPINGS MUST OCCUR FOLLOWING WINTER SANDING OPERATIONS HAVE CONCLUDED.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FF THE WASHINGTON TRUST COMPANY  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED SEP 2 0 2013 FILE # 13-0143  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

This drawing is copyrighted and is subject to copyright protection as an "architectural work" under 17 U.S.C. Sec. 101 et seq. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces, materials, color and elements in the design. Under such protection, unauthorized use of this drawing may result in the cessation of construction or buildings being seized and/or monetary compensation being awarded to The Robinson Green Beretta Corporation (RGB).

Any reproduction, possession, or use of this drawing or any part thereof without the express written permission of RGB, is prohibited. Violators will be prosecuted to the full extent of the law.

© RGB 2013

Certification

RUSSELL J. PERLA  
 NO. 3636  
 REGISTERED PROFESSIONAL ENGINEER  
 8/8/13

Drawn by KSB  
 Checked by RJF  
 Revised on

AUG 15 2013

50 Halston Street  
 Providence, Rhode Island 02908  
 Phone: (401) 272-1700  
 Fax: (401) 272-7156  
 E-mail: rgbinfo@rgb.net  
 www.rgb.net  
 Architecture · Engineering · Interior Design

WASHINGTON TRUST  
 Branch Bank  
 Conversion

THE WASHINGTON TRUST  
 Company

1383 Atwood Avenue  
 Johnston, RI 02919

AP 23, LOT 75

Drawing Status  
**ISSUED FOR PERMIT**

Issued On 08-AUGUST-2013

Sheet Contents  
**DETAILS**

Project Number 6094

Drawing No.

**C502**

Sheet 7 of 8

