

NORTHLAND FARM AND GARDEN CENTER

Pine Swamp Road
A.P. 50 Lot 13 Parcel A
CUMBERLAND, RHODE ISLAND

SEP 12 2013

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED DEC 12 2013 FILE # 13-0160
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Martin D. Wenzel

PREPARED FOR:

Mr. Reuben Hancock
266 TOWER HILL ROAD
CUMBERLAND, RI 02864

APPLICANT:

Mr. Reuben Hancock
266 Tower Hill Road
Cumberland, RI 02864

OWNER:

Stephen & Deanna Vadenais
65 Pine Swamp Road
Cumberland, RI 02864

CIVIL ENGINEER:



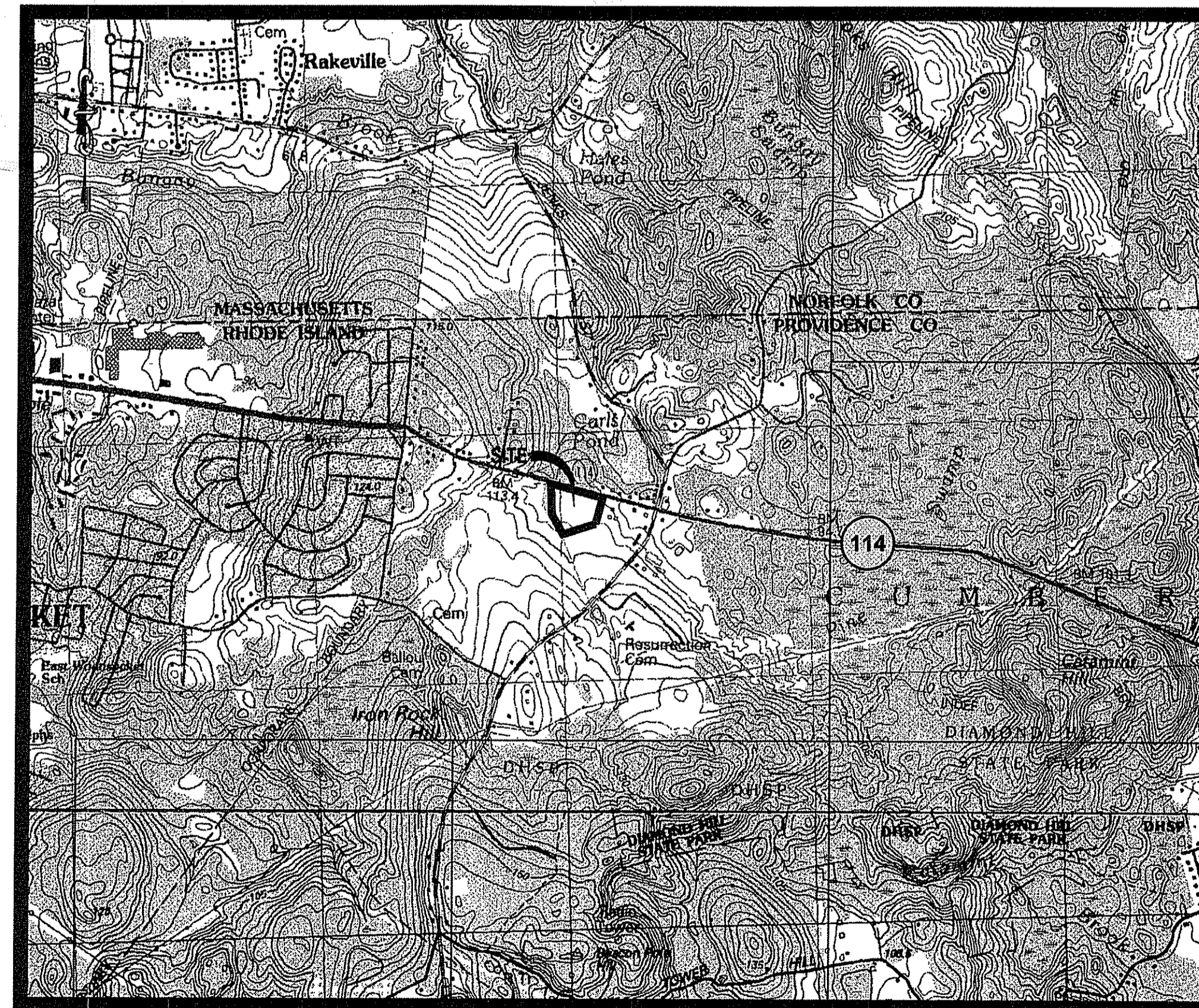
PARE CORPORATION
ENGINEERS - SCIENTISTS - PLANNERS
8 BLACKSTONE VALLEY PLACE
LINCOLN, RI 02865
401-334-4100

LAND SURVEYOR:

**NATIONAL
SURVEYORS-DEVELOPERS INC.**
42 HAMLET AVE., WOONSOCKET, RI
(401) 769-7779

ARCHITECT:

Annino Incorporated
125 North Washington Street
North Attleboro, MA
508-643-4551

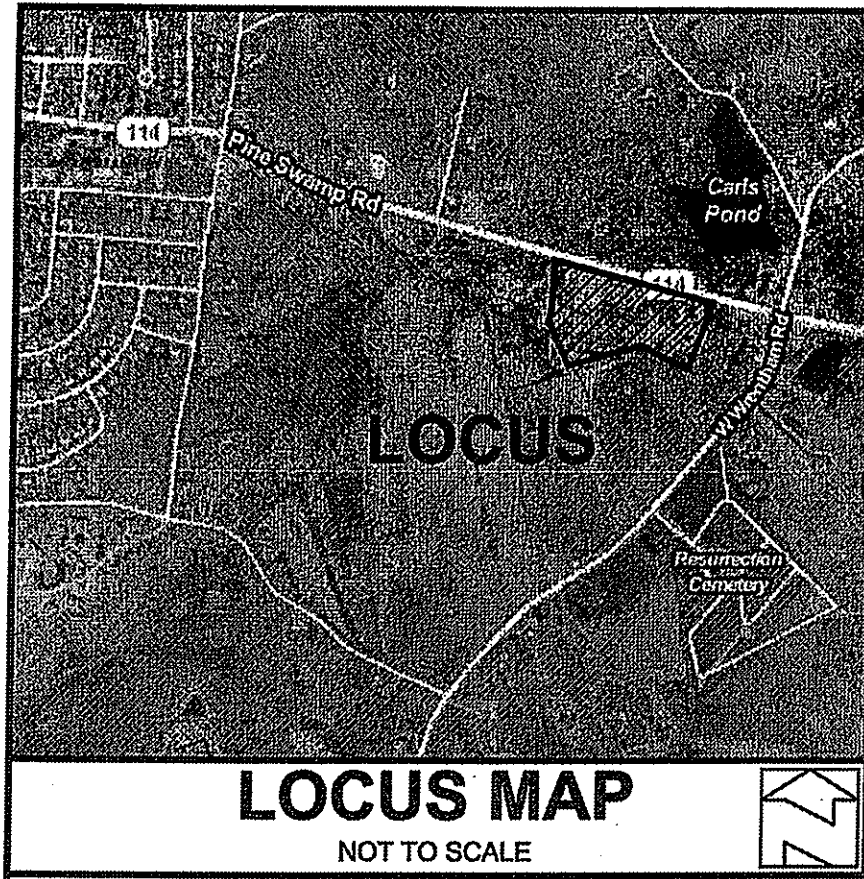


SCALE: N.T.S.

INDEX OF DRAWINGS

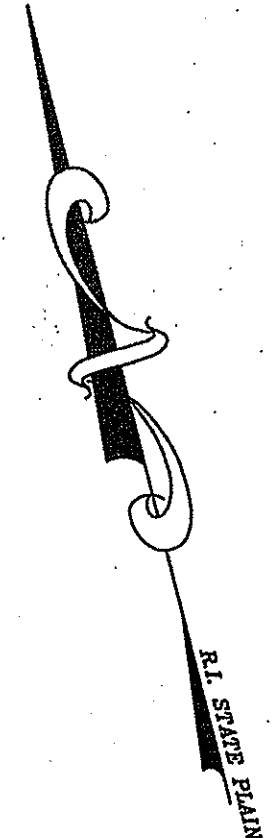
SHEET No.	DRAWING No.	DESCRIPTION
-	-	COVER SHEET
1	-	PRELIMINARY MINOR SUBDIVISION PLAN
2	C1.1	NOTES & LEGEND
3	C1.2	VICINITY & RADIUS MAP
4	C2.1	DEMOLITION, EROSION & SEDIMENT CONTROL PLAN
5	C3.1	GENERAL PLAN
6	C4.1	GRADING PLAN
7	C5.1	DRAINAGE AND UTILITY PLAN
8 - 12	C6.1 - 6.5	DETAILS 1 - 5
13	L1.0	LANDSCAPE PLAN
14	L1.1	LANDSCAPE NOTES & DETAILS

RIDEM PRELIMINARY DETERMINATION SUBMISSION
SEPTEMBER 9, 2013



ZONING CRITERIA

ZONING DISTRICT	A-2 (NO WATER OR SEWER)
MINIMUM LOT AREA	80,000 SQ. FT.
MINIMUM LOT FRONTAGE	180'
MINIMUM FRONT YARD SETBACK	75'
MINIMUM SIDE YARD SETBACK	20'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM BUILDING COVERAGE	15%
MAXIMUM BUILDING HEIGHT	35'

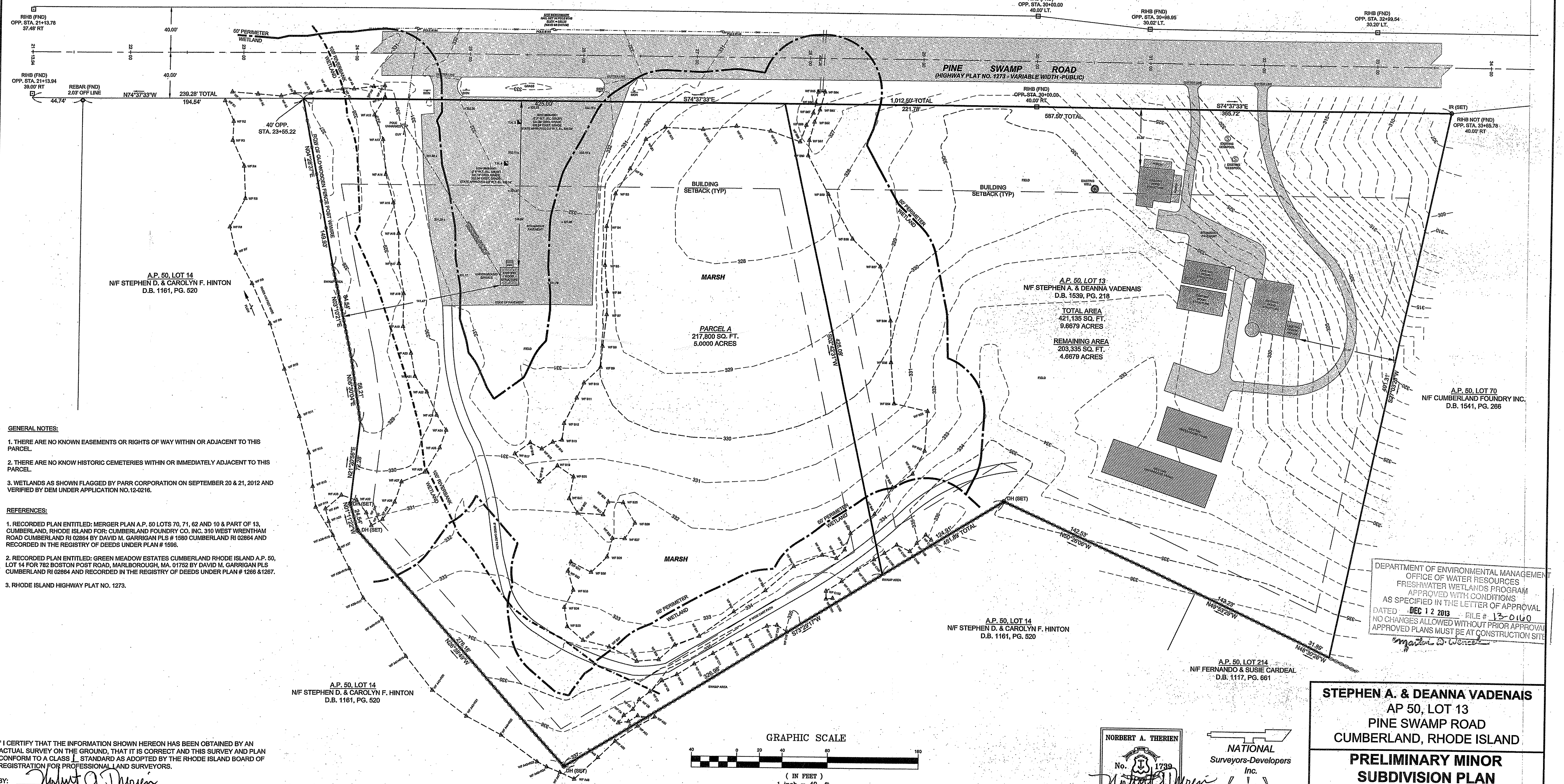


LEGEND

(Symbol)	BOUNDARY
(Symbol)	BOUNDARY PROPOSED
(Symbol)	ABUTTER
(Symbol)	MAJOR CONTOUR
(Symbol)	MINOR CONTOUR
(Symbol)	STONEWALL
(Symbol)	TREELINE
(Symbol)	WETLANDS EDGE
(Symbol)	50' PERIMETER WETLAND
(Symbol)	100' RIVERBANK WETLAND
(Symbol)	BUILDING ENVELOPE
(Symbol)	DRAINAGE LINE
(Symbol)	IRON PIN
(Symbol)	BOUND
(Symbol)	DRILL HOLE
(Symbol)	WELL
(Symbol)	UTILITY POLE

NO.	DATE	DESCRIPTION	BY
3.	4-3-13	REVISE PER NORB	J.M.L.
2.	3-7-13	ADD' TOPO	J.M.L.
1.	2-27-13	ADD' 50' WETLAND BUFFER	J.M.L.

SEP 12 2013



GENERAL NOTES:

- THERE ARE NO KNOWN EASEMENTS OR RIGHTS OF WAY WITHIN OR ADJACENT TO THIS PARCEL.
- THERE ARE NO KNOWN HISTORIC CEMETERIES WITHIN OR IMMEDIATELY ADJACENT TO THIS PARCEL.
- WETLANDS AS SHOWN FLAGGED BY PARR CORPORATION ON SEPTEMBER 20 & 21, 2012 AND VERIFIED BY DEM UNDER APPLICATION NO. 12-0216.

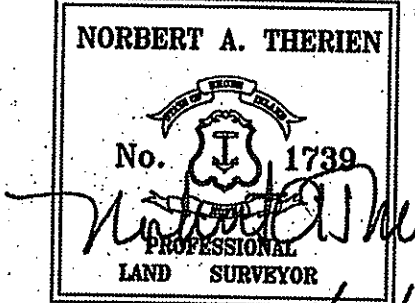
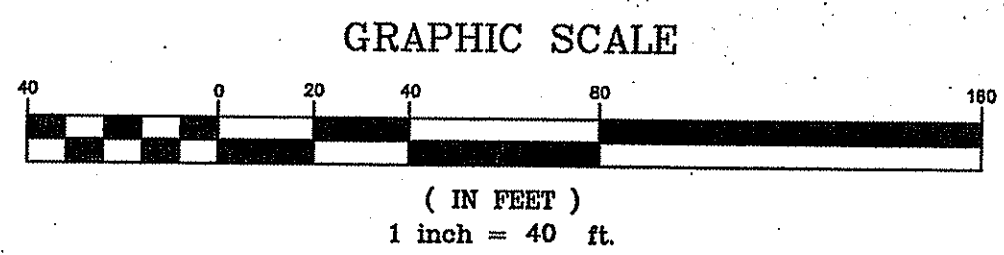
REFERENCES:

- RECORDED PLAN ENTITLED: MERGER PLAN A.P. 50 LOTS 70, 71, 62 AND 10 & PART OF 13, CUMBERLAND, RHODE ISLAND FOR: CUMBERLAND FOUNDRY CO. INC. 310 WEST WRENTHAM ROAD CUMBERLAND RI 02864 BY DAVID M. GARRIGAN PLS # 1580 CUMBERLAND RI 02864 AND RECORDED IN THE REGISTRY OF DEEDS UNDER PLAN # 1596.
- RECORDED PLAN ENTITLED: GREEN MEADOW ESTATES CUMBERLAND RHODE ISLAND A.P. 50, LOT 14 FOR 782 BOSTON POST ROAD, MARLBOROUGH, MA. 01752 BY DAVID M. GARRIGAN PLS CUMBERLAND RI 02864 AND RECORDED IN THE REGISTRY OF DEEDS UNDER PLAN # 1266 & 1267.
- RHODE ISLAND HIGHWAY PLAT NO. 1273.

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"I CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN OBTAINED BY AN ACTUAL SURVEY ON THE GROUND, THAT IT IS CORRECT AND THIS SURVEY AND PLAN CONFORM TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS."

BY: *Norbert A. Therien*
NORBERT A. THERIEN P.L.S.

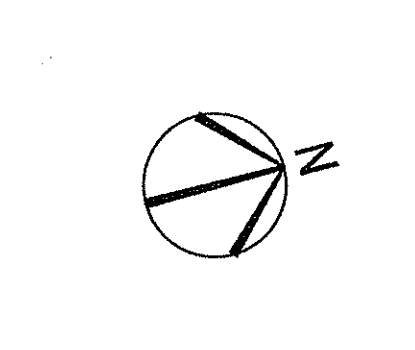


NATIONAL
Surveyors-Developers
Inc.
42 Hamlet Ave., Woonsocket, R.I.
(401) 769-7779

STEPHEN A. & DEANNA VADENAIS
AP 50, LOT 13
PINE SWAMP ROAD
CUMBERLAND, RHODE ISLAND

**PRELIMINARY MINOR
SUBDIVISION PLAN**

DRAWN BY: W.C.R. CHECKED BY: N.A.T. FIELD BY: W.C.R.&J.N.
FEBRUARY, 2013 JOB No. 2012-96 SHEET 1 OF 15



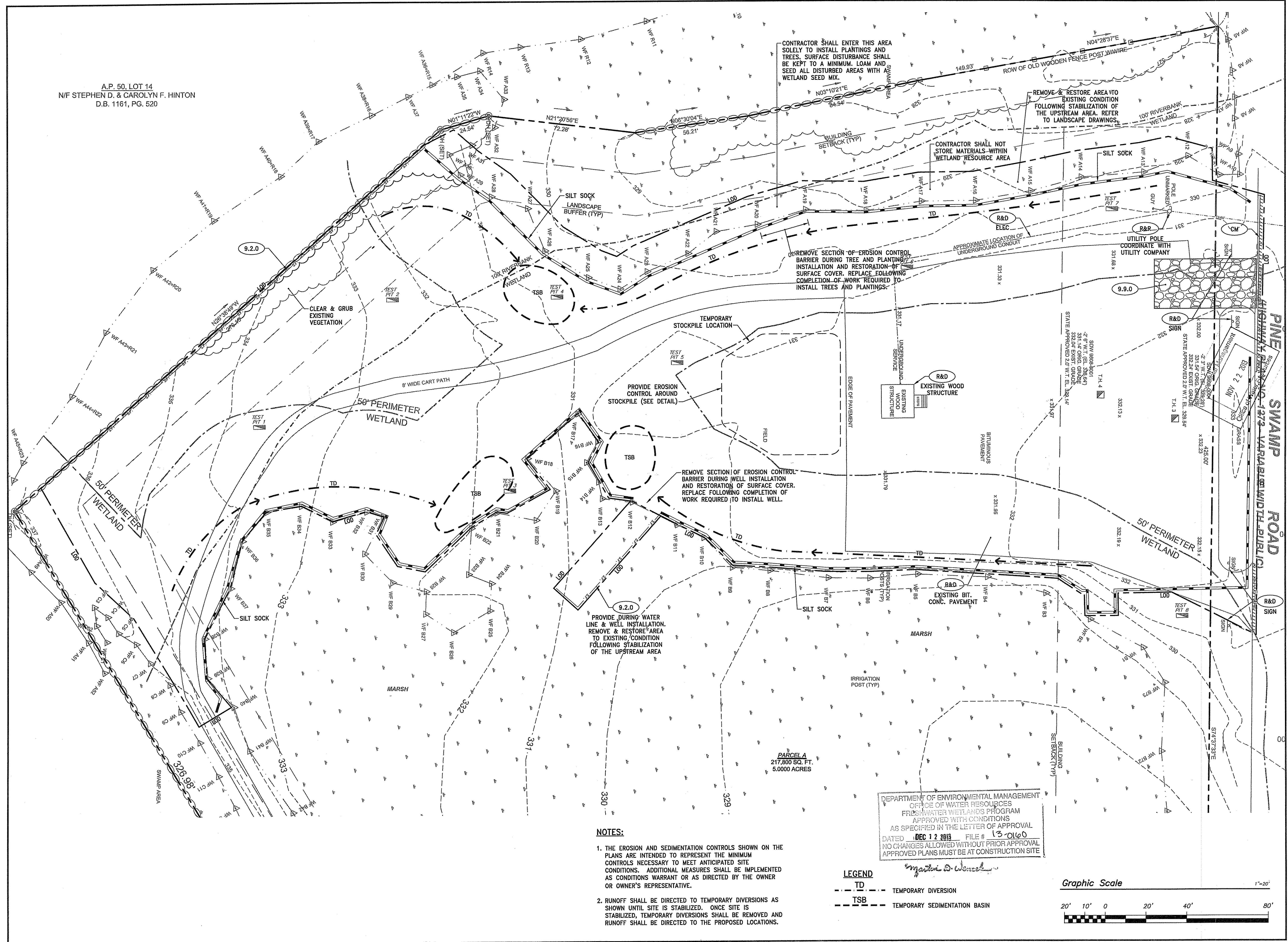
Northland Farm and Garden Center
 Pine Swamp Road
 AP 50 Lot 13 (Portion)
 Cumberland, Rhode Island

JOHN P. SHEVLIN
 No. 6358
 REGISTERED PROFESSIONAL ENGINEER

REVISIONS:

NO.	DATE	DESCRIPTION
1	11-22-13	RIDEM COMMENTS

PROJECT NO.: 12190.00
 DATE: SEPTEMBER 20, 2013
 SCALE: 1"=20'
 DESIGNED BY: JWM
 CHECKED BY: DLP
 DRAWN BY: AKLJDB
 APPROVED BY: JPS
 DRAWING TITLE:
 DEMOLITION, EROSION & SEDIMENT CONTROL PLAN
 DRAWING NO.: C2.1
 SHEET NO. 4 OF 15



CONTRACTOR SHALL ENTER THIS AREA SOLELY TO INSTALL PLANTINGS AND TREES. SURFACE DISTURBANCE SHALL BE KEPT TO A MINIMUM. LOAM AND SEED ALL DISTURBED AREAS WITH WETLAND SEED MIX.

REMOVE & RESTORE AREA TO EXISTING CONDITION FOLLOWING STABILIZATION OF THE UPSTREAM AREA. REFER TO LANDSCAPE DRAWINGS.

CONTRACTOR SHALL NOT STORE MATERIALS WITHIN WETLAND RESOURCE AREA

REMOVE SECTION OF EROSION CONTROL BARRIER DURING TREE AND PLANTING INSTALLATION AND RESTORATION OF SURFACE COVER. REPLACE FOLLOWING COMPLETION OF WORK REQUIRED TO INSTALL TREES AND PLANTINGS.

REMOVE SECTION OF EROSION CONTROL BARRIER DURING WELL INSTALLATION AND RESTORATION OF SURFACE COVER. REPLACE FOLLOWING COMPLETION OF WORK REQUIRED TO INSTALL WELL.

PROVIDE DURING WATER LINE & WELL INSTALLATION. REMOVE & RESTORE AREA TO EXISTING CONDITION FOLLOWING STABILIZATION OF THE UPSTREAM AREA

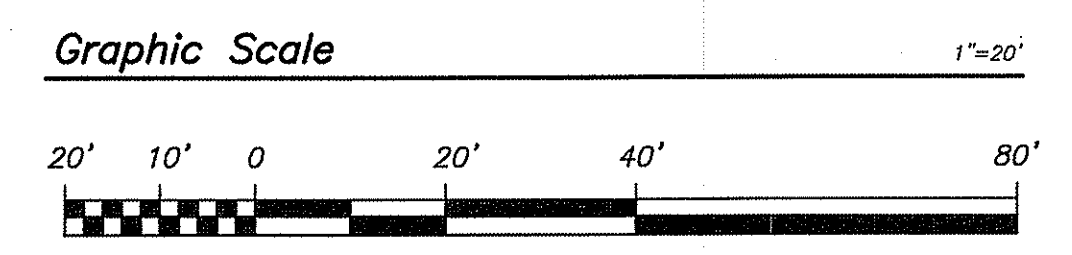
- NOTES:**
1. THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE PLANS ARE INTENDED TO REPRESENT THE MINIMUM CONTROLS NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 2. RUNOFF SHALL BE DIRECTED TO TEMPORARY DIVERSIONS AS SHOWN UNTIL SITE IS STABILIZED. ONCE SITE IS STABILIZED, TEMPORARY DIVERSIONS SHALL BE REMOVED AND RUNOFF SHALL BE DIRECTED TO THE PROPOSED LOCATIONS.

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Walter D. Wencel

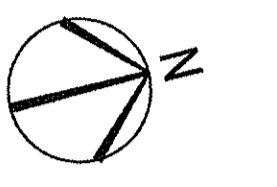
LEGEND

TD	TEMPORARY DIVERSION
TSB	TEMPORARY SEDIMENTATION BASIN



APPLICANT:
 Reuben Hancock
 266 Tower Hill Road
 Cumberland, RI 02864

OWNER:
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 PROFESSIONAL ENGINEER

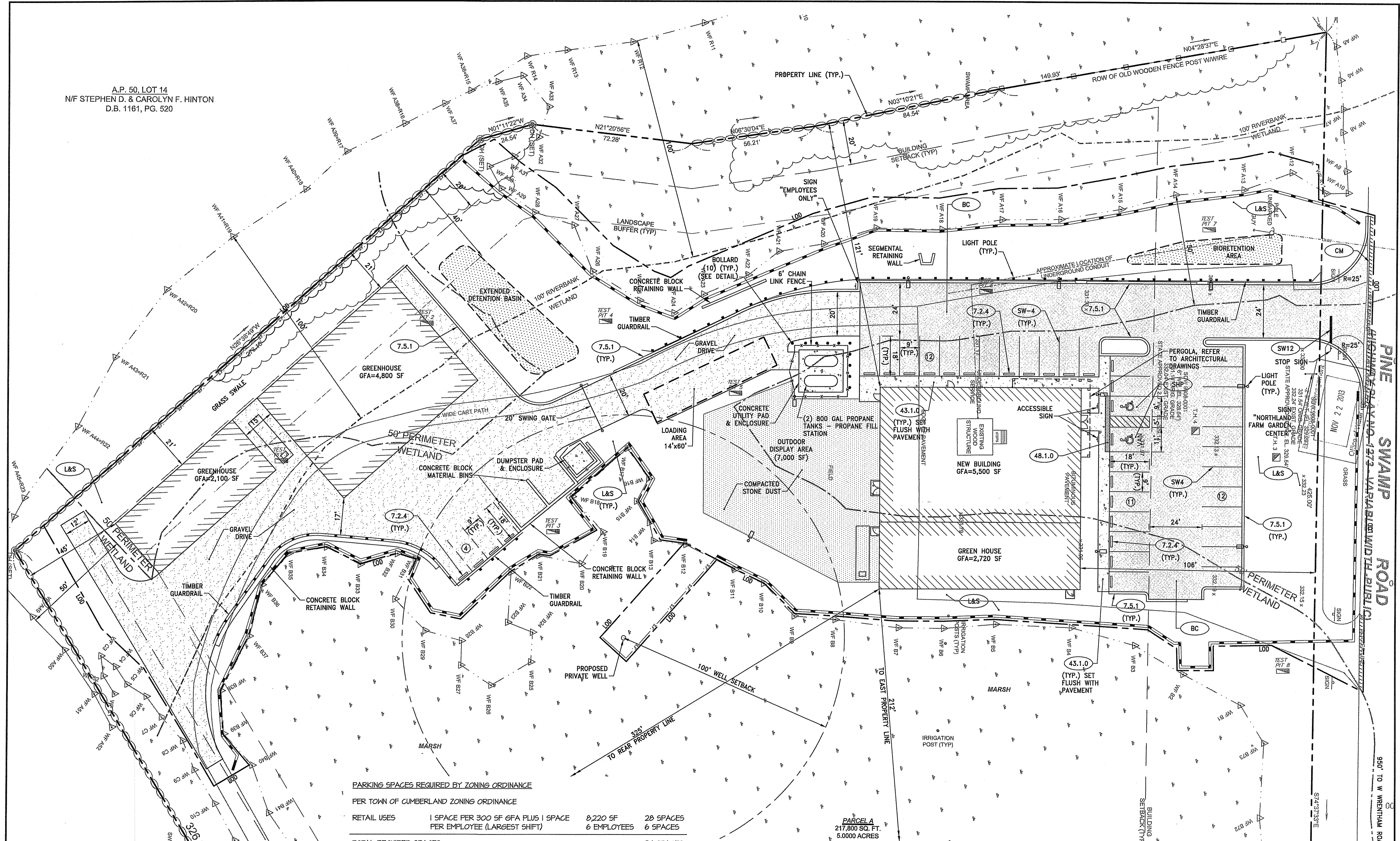
REVISIONS:

1	11-22-13	RIDEM COMMENTS

PROJECT NO.: 12190.00
 DATE: SEPTEMBER 20, 2013
 SCALE: 1"=20'
 DESIGNED BY: JWM
 CHECKED BY: DLP
 DRAWN BY: AKL/JDB
 APPROVED BY: JPS
 DRAWING TITLE:

GENERAL PLAN

DRAWING NO.:
C3.1
 SHEET NO. 5 OF 15



PARKING SPACES REQUIRED BY ZONING ORDINANCE
 PER TOWN OF CUMBERLAND ZONING ORDINANCE

RETAIL USES	1 SPACE PER 300 SF GFA PLUS 1 SPACE PER EMPLOYEE (LARGEST SHIFT)	2,220 SF 6 EMPLOYEES	28 SPACES 6 SPACES
TOTAL REQUIRED SPACES			34 SPACES

PARKING SUMMARY

	REQUIRED	PROVIDED
SITE STANDARD PARKING SPACES (9'x18')	34	31
SITE ACCESSIBLE PARKING SPACES (9'x18')	-	2
TOTAL PARKING SPACES	34	34

- TOWN COUNCIL RELIEF PROVIDED**
- THE ZONING BE AMENDED FROM A2 TO C1.
 - SEC. 6-13 OUTDOOR DISPLAY OF MERCHANDISE; "OUTDOOR DISPLAY" BE AMENDED FROM 10% GFA TO 1,000 SF
 - SEC. 14-3 OFF-STREET PARKING; "PARKING REQUIREMENTS" REDUCED FROM 1 SPACE PER 300 SF TO 1 SPACE PER 300 SF OF GFA OPEN TO THE PUBLIC
 - SEC. 6-9 SUPPLEMENTAL REGULATIONS; PROVIDE 20 FT LANDSCAPE BUFFER

ZONING TABLE

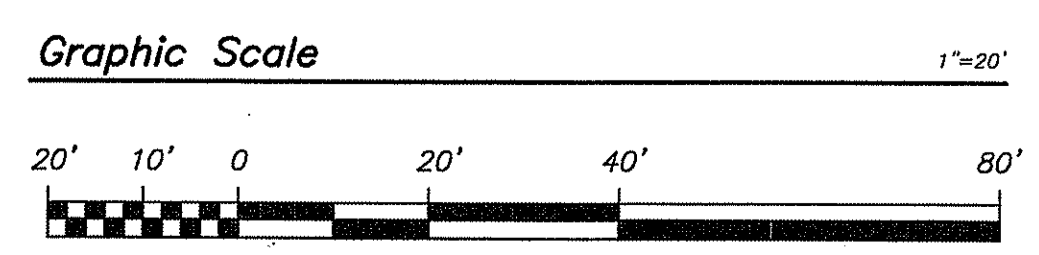
EXISTING ZONING DISTRICT: AGRICULTURAL A-2 (NO PUBLIC WATER OR SEWER)
 PROPOSED ZONING DISTRICT: COMMERCIAL C-1

USE: RETAIL TRADE, 15,000 SF TOTAL GFA OR LESS

	REQUIRED (C-1)	PROVIDED
MINIMUM LOT SIZE	80,000 SF	217,800 SF
MINIMUM FRONTAGE	100 LF	384 LF
MINIMUM LOT WIDTH	100 LF	384 LF ±
FRONT SETBACK	40 LF	106 LF
SIDE SETBACK	20 LF	21 LF
REAR SETBACK	20 LF	45 LF
MAXIMUM BUILDING HEIGHT	45'	19'-11"
MAXIMUM LOT COVERAGE	40%	15%
COMMERCIAL ZONE BUFFER REQUIREMENTS	40 FT	20 FT

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Stephen D. Wenzel



A.P. 50, LOT 14
 N/F STEPHEN D. & CAROLYN F. HINTON
 D.B. 1161, PG. 520

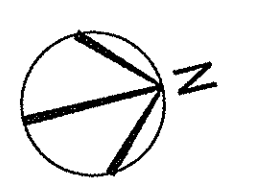
- NOTES**
- PER AVAILABLE RIDEM MAPPING, THE PROJECT SITE IS LOCATED OUTSIDE OF A NATURAL HERITAGE AREA.
 - THE SITE IS LOCATED IN A "ZONE X" ACCORDING TO FIRM COMMUNITY PANEL NO. 445400 00890, EFFECTIVE DATE MARCH 2, 2009.
 - CONTRACTOR SHALL PROVIDE 4" LOAM AND SEED ON ALL DISTURBED AREAS.

A.P. 50, LOT 14
 N/F STEPHEN D. & CAROLYN F. HINTON
 D.B. 1161, PG. 520



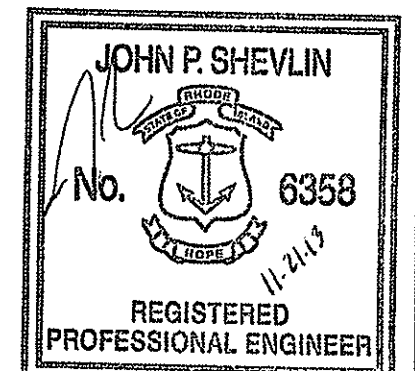
APPLICANT:
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 286 Tower Hill Road
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OWNER:
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 65 Pine Swamp Road
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Northland Farm and Garden Center

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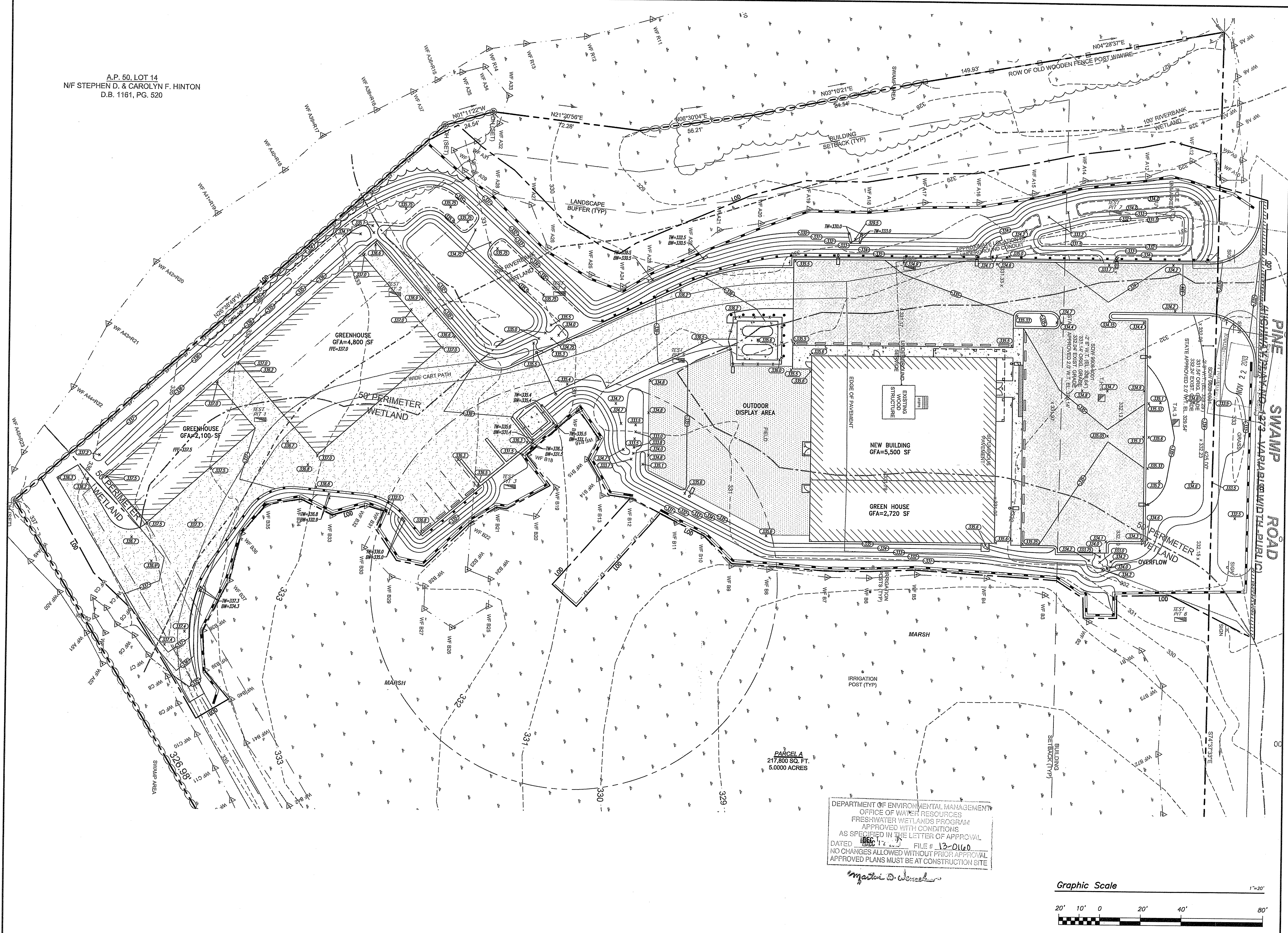
REVISIONS:

NO.	DATE	DESCRIPTION
1	11-22-13	RIDEM COMMENTS

PROJECT NO.: 12190.00
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 SCALE: 1"=20'
 DESIGNED BY: JWM
 CHECKED BY: DLP
 DRAWN BY: AKL/JDB
 APPROVED BY: JPS
 DRAWING TITLE:

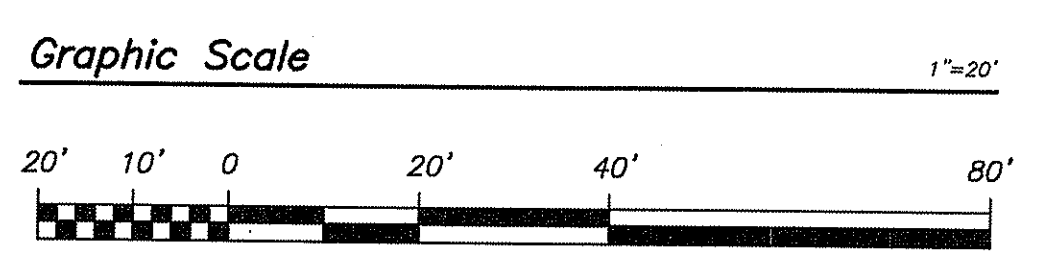
GRADING PLAN

DRAWING NO.: C4.1
 SHEET NO. 6 OF 15



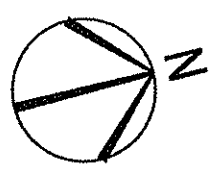
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
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Matthew D. Wenzel



APPLICANT:
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 266 Tower Hill Road
 Cumberland, RI 02864

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NOV 22 2013
 Office of Water Resources

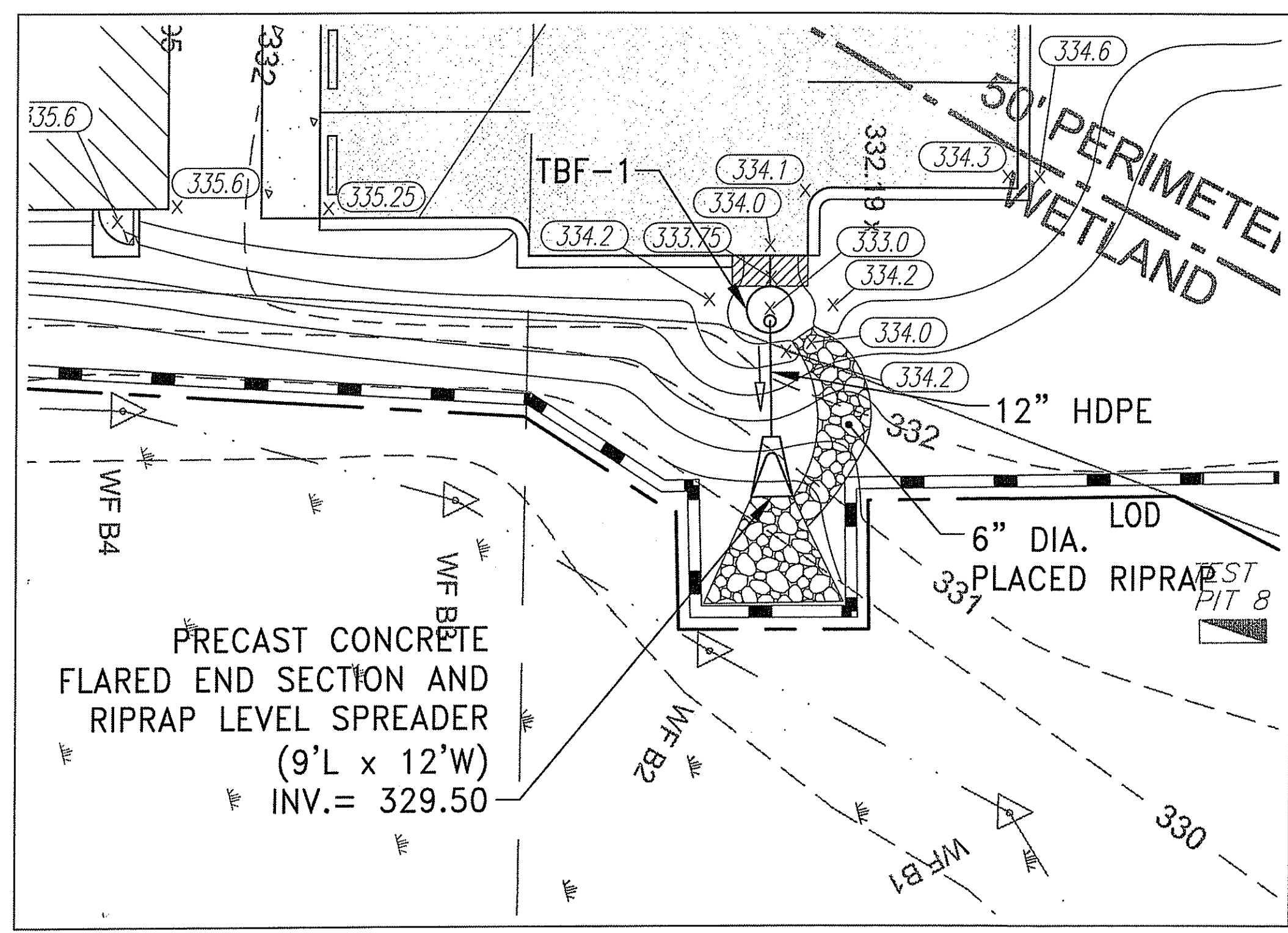
JOHN P. SHEVLIN
 No. 6358
 REGISTERED PROFESSIONAL ENGINEER

REVISIONS:
 1 11-22-13 RIDEM COMMENTS

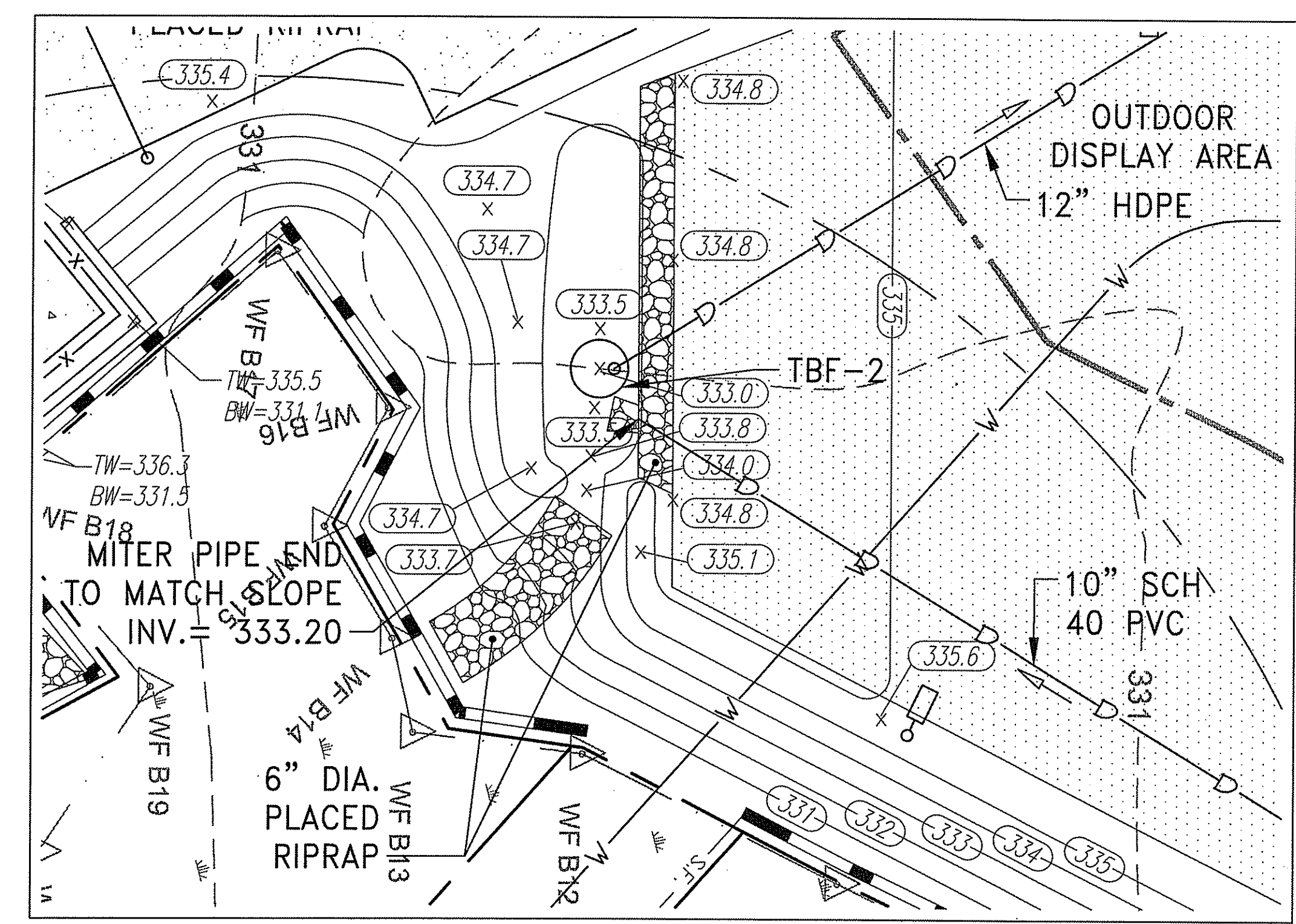
PROJECT NO.: 12190.00
 DATE: SEPTEMBER 20, 2013
 SCALE: AS NOTED
 DESIGNED BY: JWM
 CHECKED BY: DLP
 DRAWN BY: AKL/JDB
 APPROVED BY: JPS
 DRAWING TITLE:

DRAINAGE & UTILITY PLAN

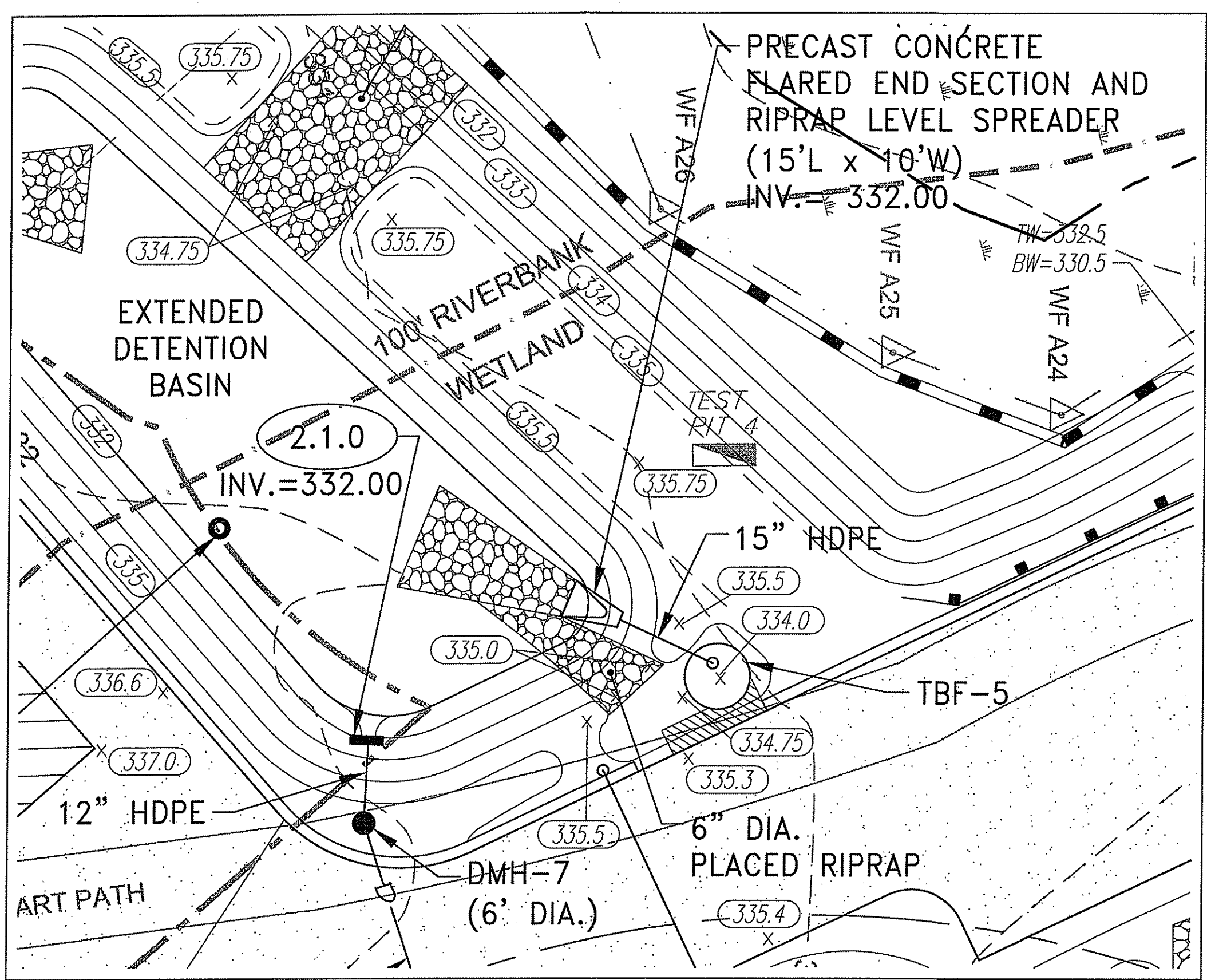
DRAWING NO.: C5.2
 SHEET NO. 8 OF 15



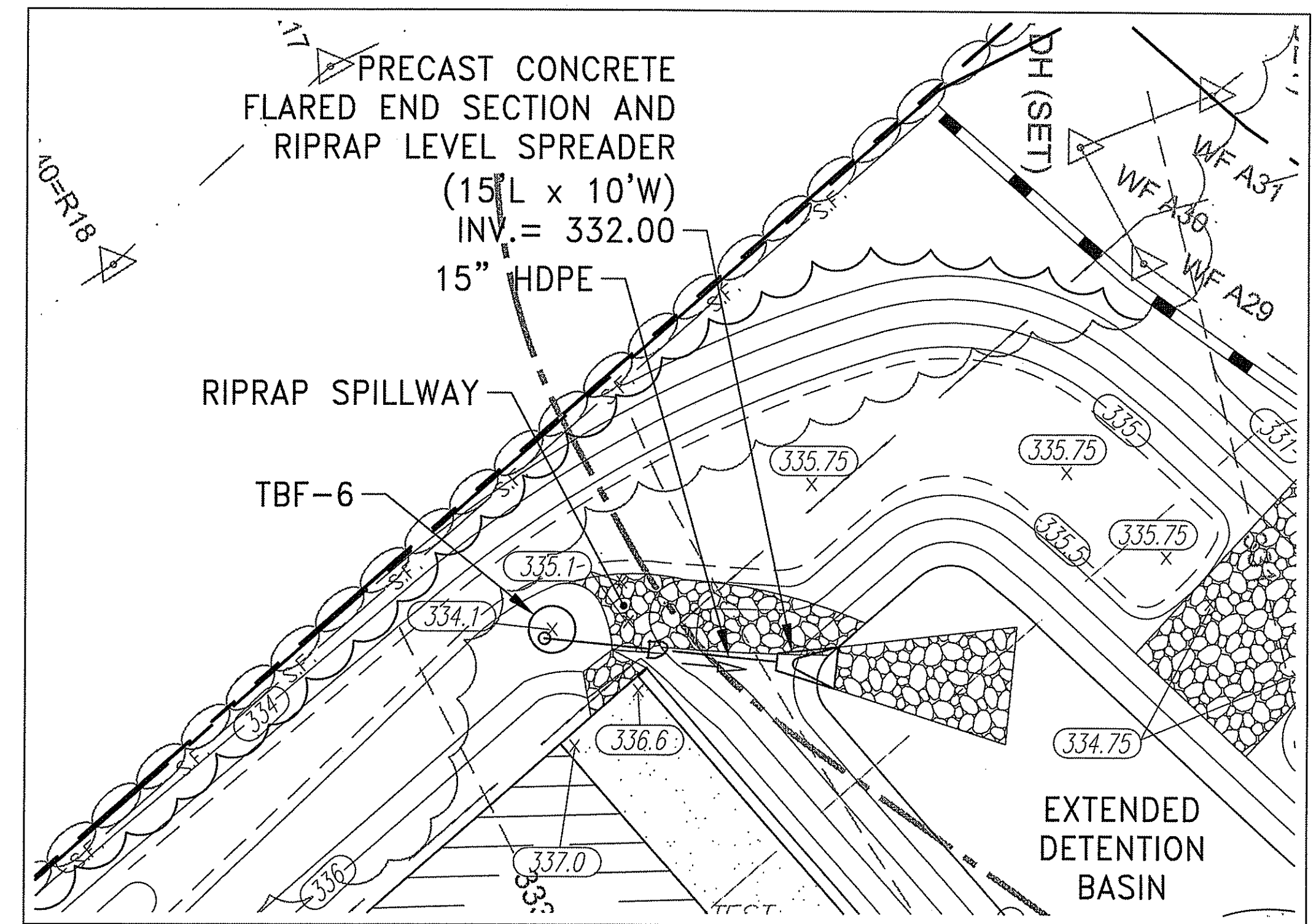
TBF-1
 SCALE: 1"=10'



TBF-2
 SCALE: 1"=10'



TBF-5
 SCALE: 1"=10'



TBF-6
 SCALE: 1"=10'

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 DATED 10/13/13 FILE # 13-01160
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 APPROVED PLANS MUST BE ACCOMPANIED BY SITE
 ENGINEER'S SIGNATURE

Jonathan D. Wenzel

APPLICANT:
 Reuben Hancock
 266 Tower Hill Road
 Cumberland, RI 02864

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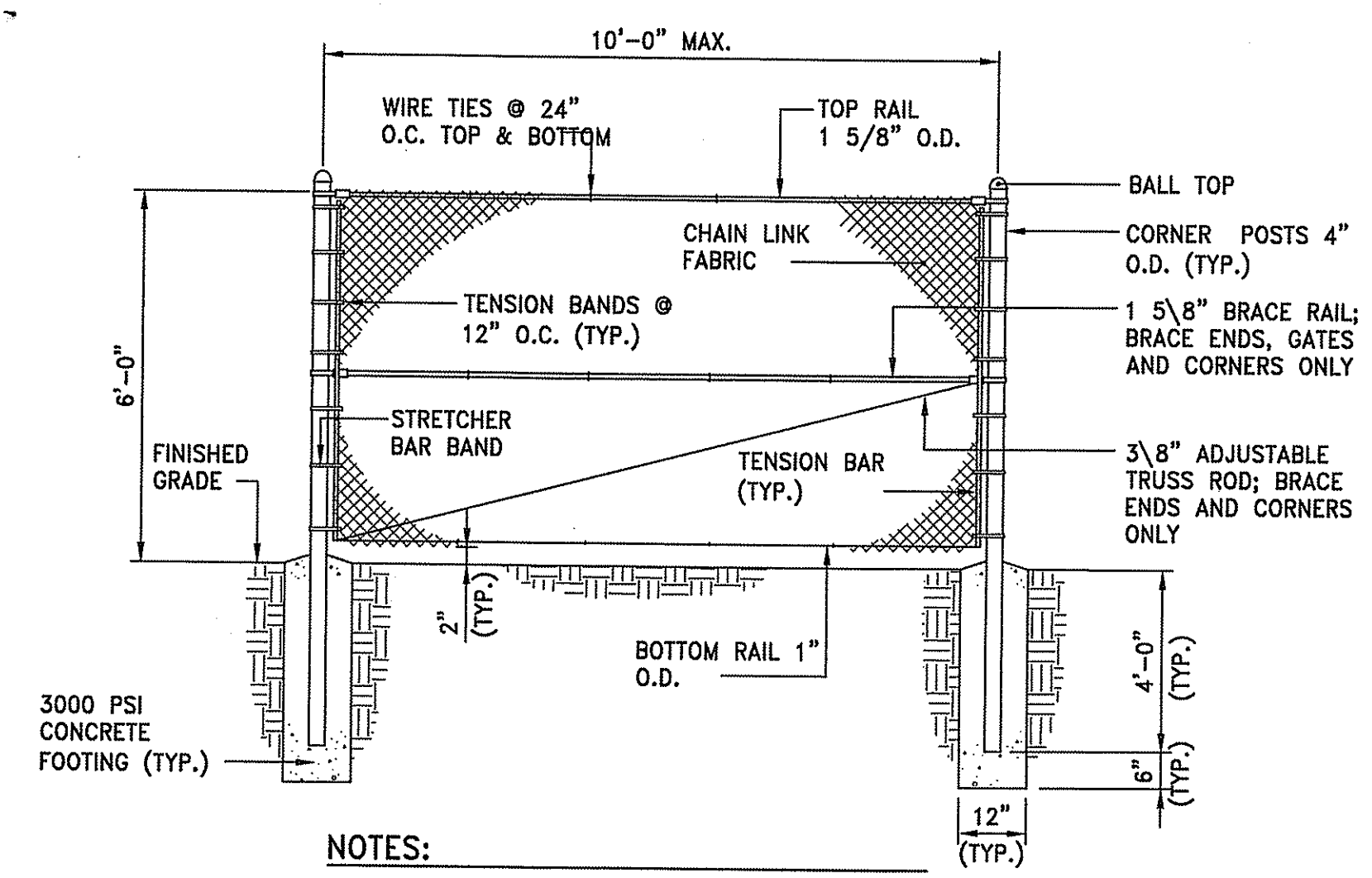
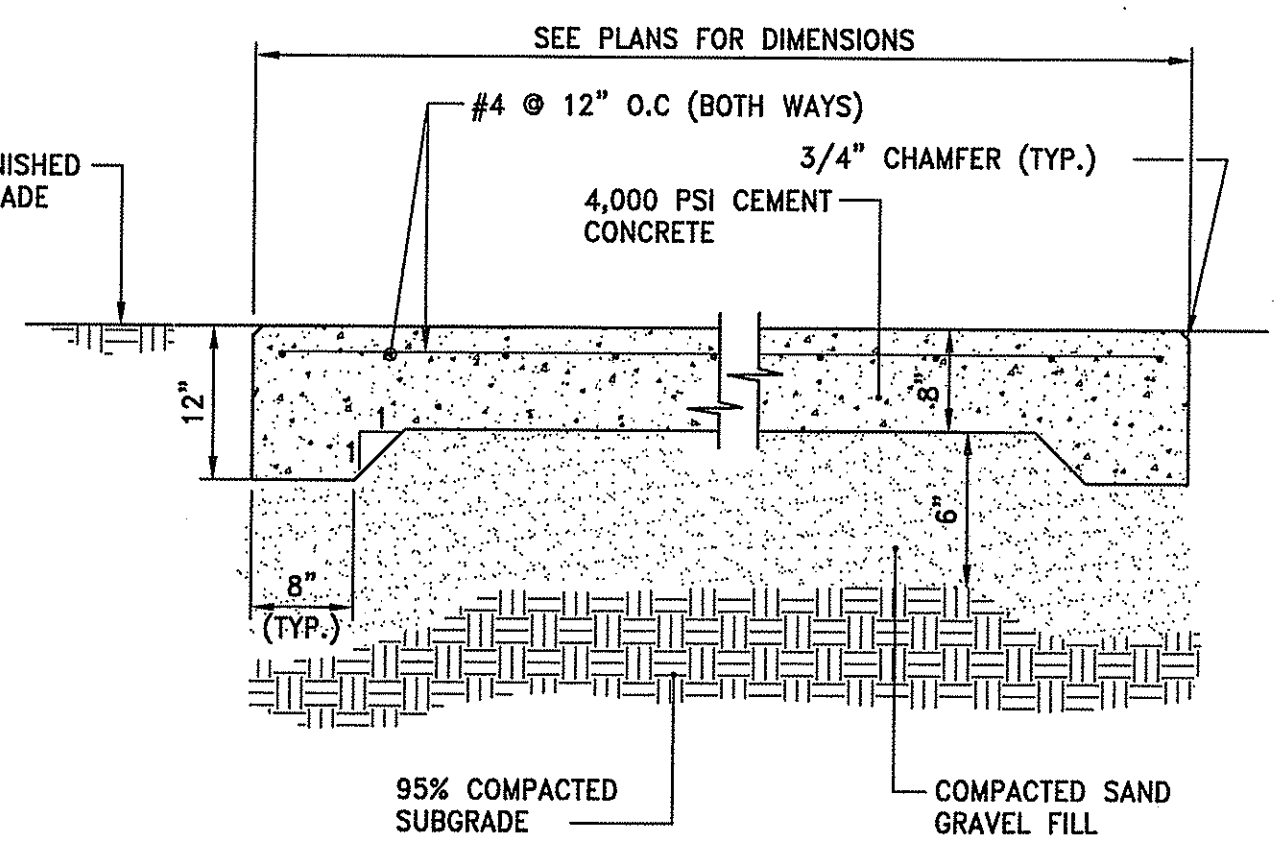
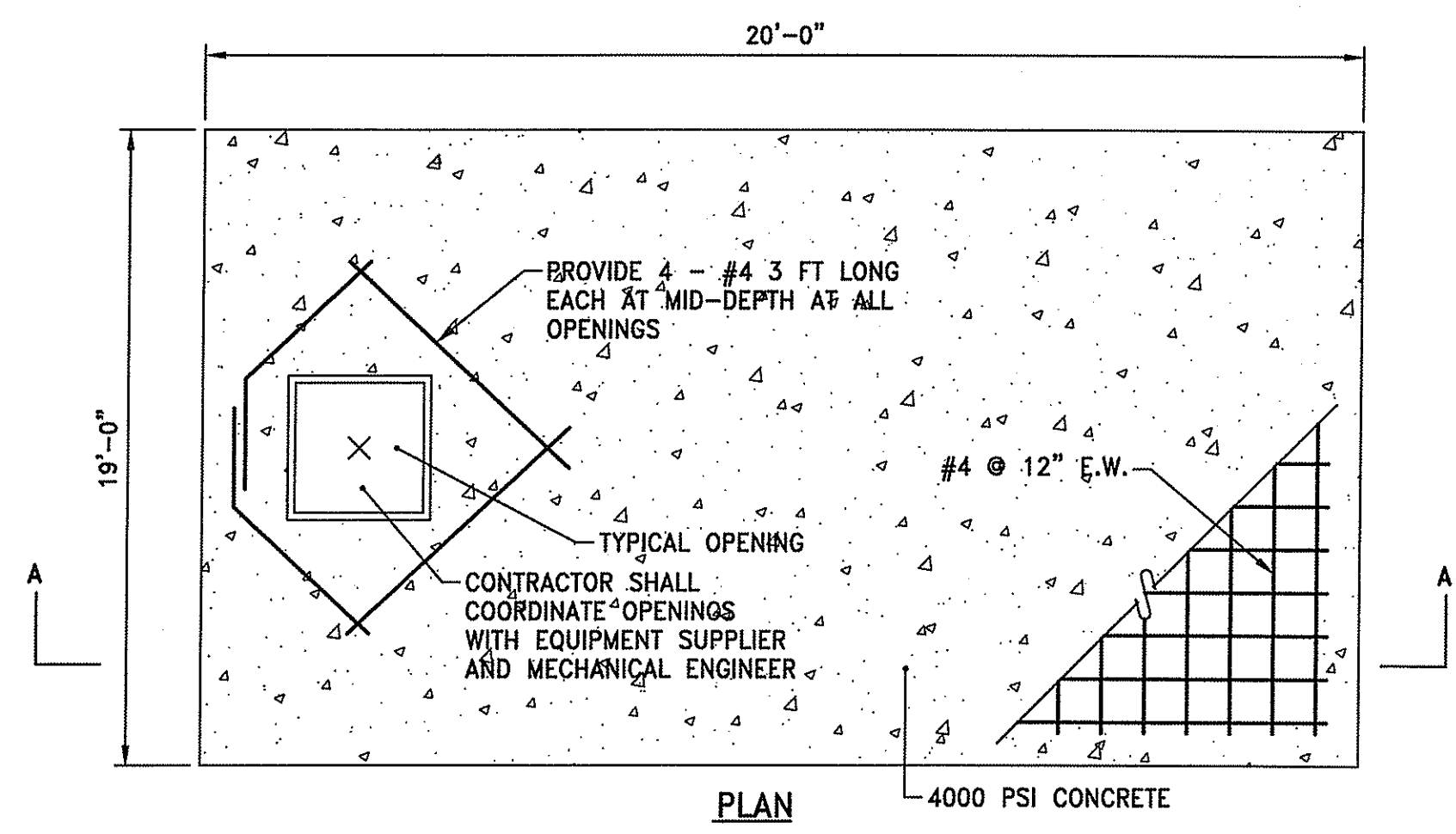
JOHN P. SHEVLIN
 No. 6358
 REGISTERED PROFESSIONAL ENGINEER

REVISIONS:

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1	11-22-13	RIDEM COMMENTS

PROJECT NO.: 12190.00
 DATE: SEPTEMBER 20, 2013
 SCALE: NOT TO SCALE
 DESIGNED BY: JWM
 CHECKED BY: DLP
 DRAWN BY: AKL/JDB
 APPROVED BY: JPS
 DRAWING TITLE: DETAILS 2

DRAWING NO.: **C6.2**
 SHEET NO. 10 OF 15



NOTES:
 1. ALL FENCING SHALL HAVE STANDARD PDS PRIVACY SLATS, COLOR TO BE DETERMINED BY OWNER.
 2. PROVIDE GATES AS NOTED OR PER EQUIPMENT MANUFACTURERS SPECIFICATIONS.

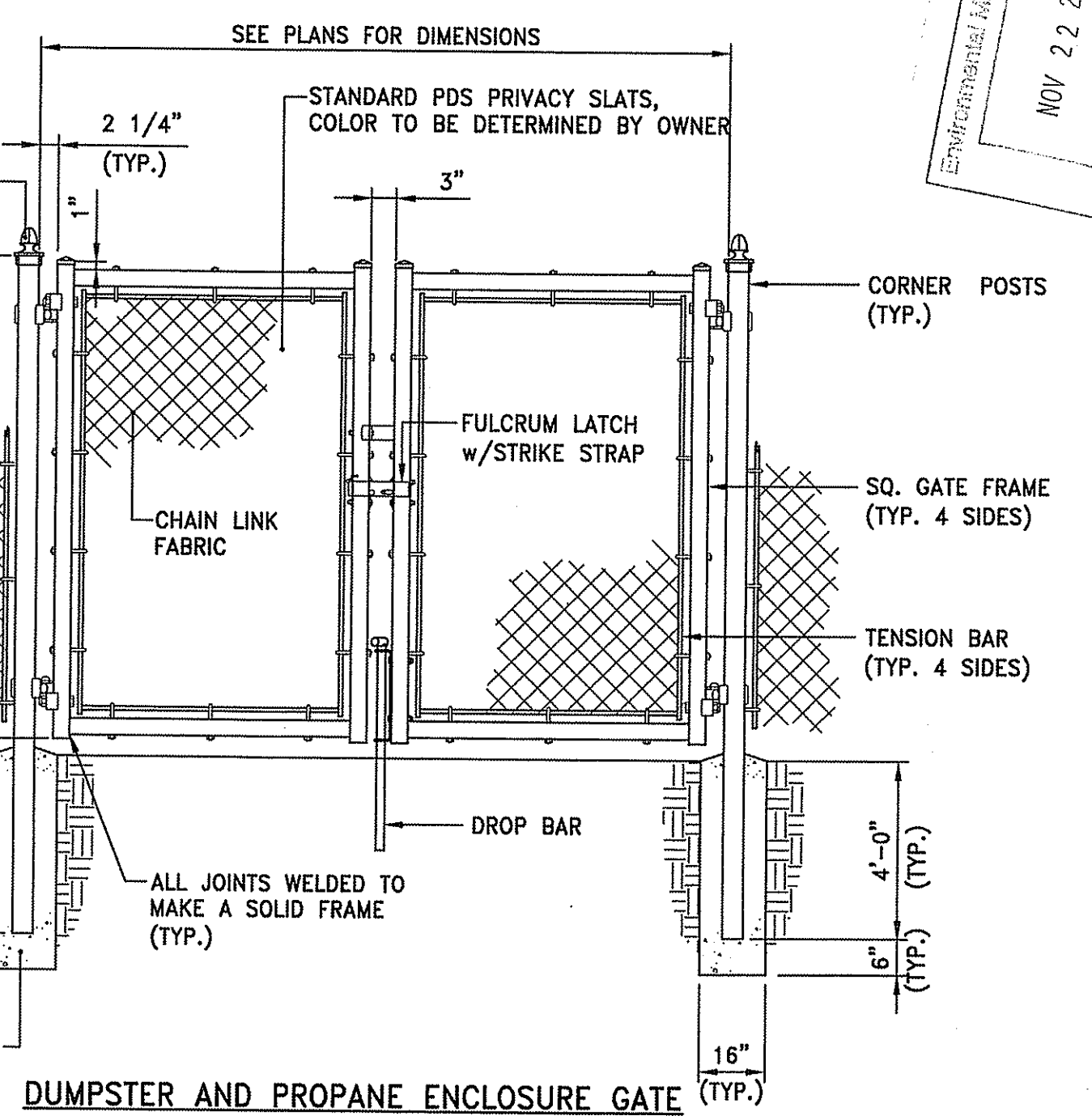
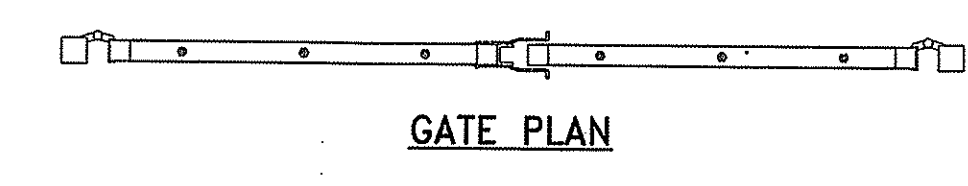
CHAIN LINK FENCE

NOTES:
 1. FOR DUMPSTER PAD AND BOLLARD LOCATIONS SEE PLANS.
 2. REINFORCING TO BE #4 GRADE 60 BARS AND SHALL CONFORM TO ASTM STANDARD A-615 OF THE LATEST DATA. REINFORCING RODS TO BE LOCATED IN THE CENTER OF THE SLAB, WITH A MINIMUM OF 2" CLEARANCE FROM FACE OF CONCRETE.

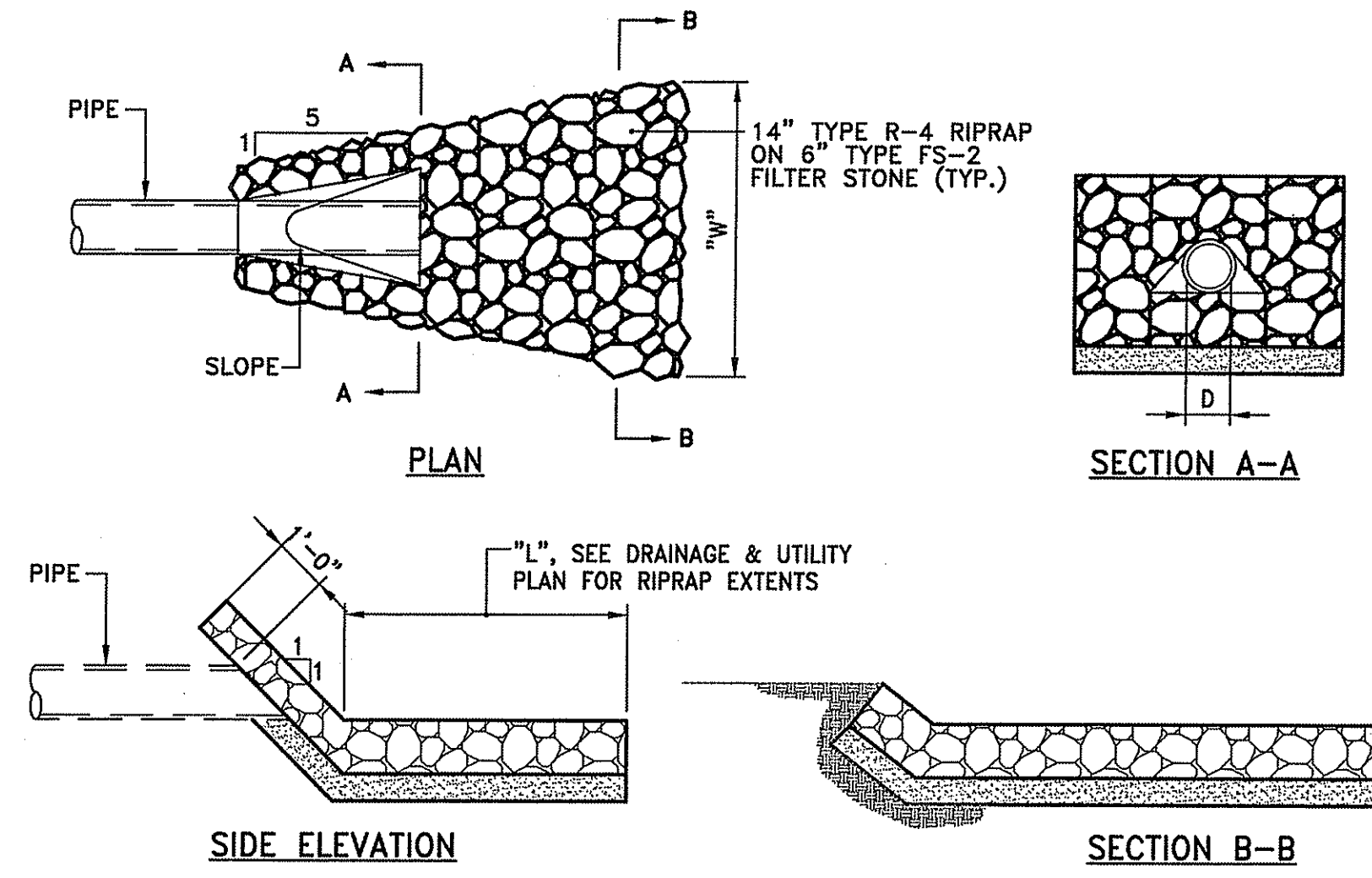
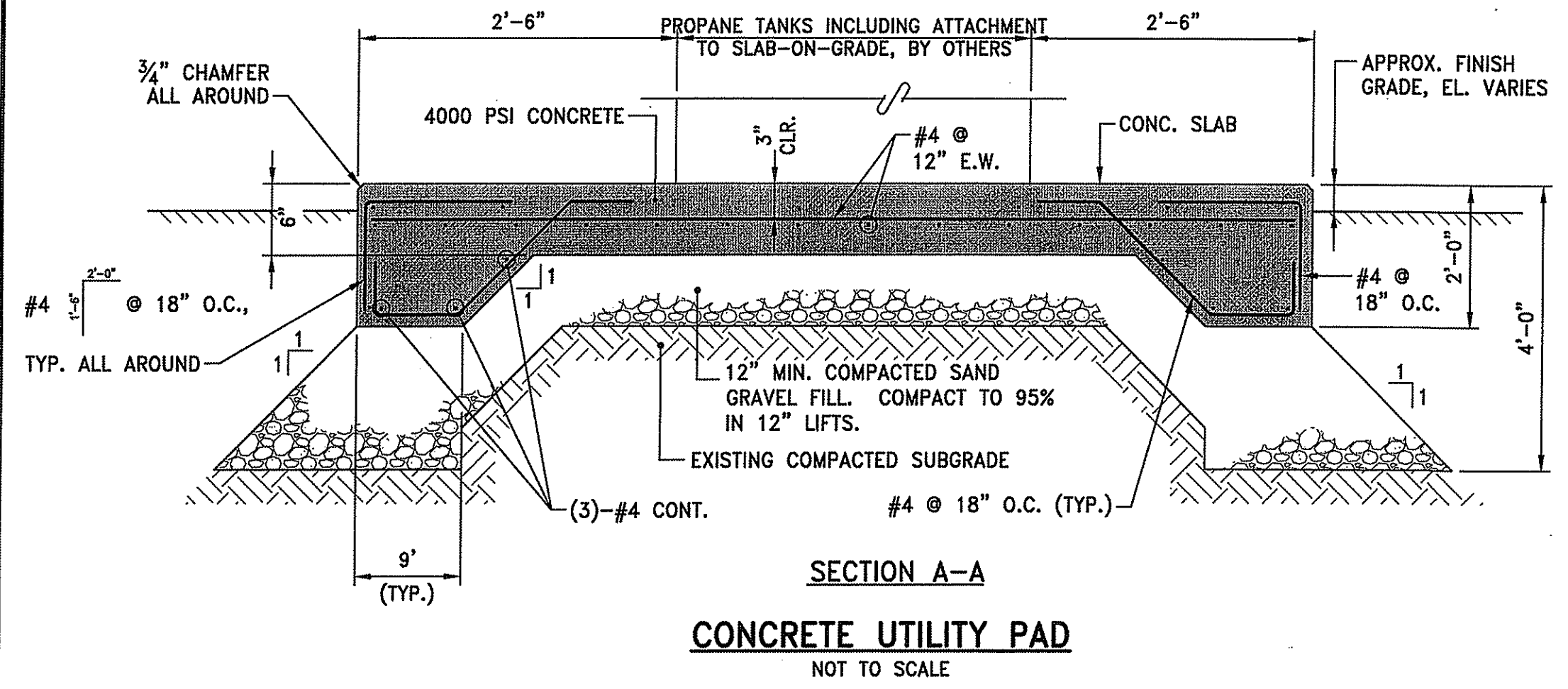
CEMENT CONCRETE DUMPSTER PAD
 NOT TO SCALE

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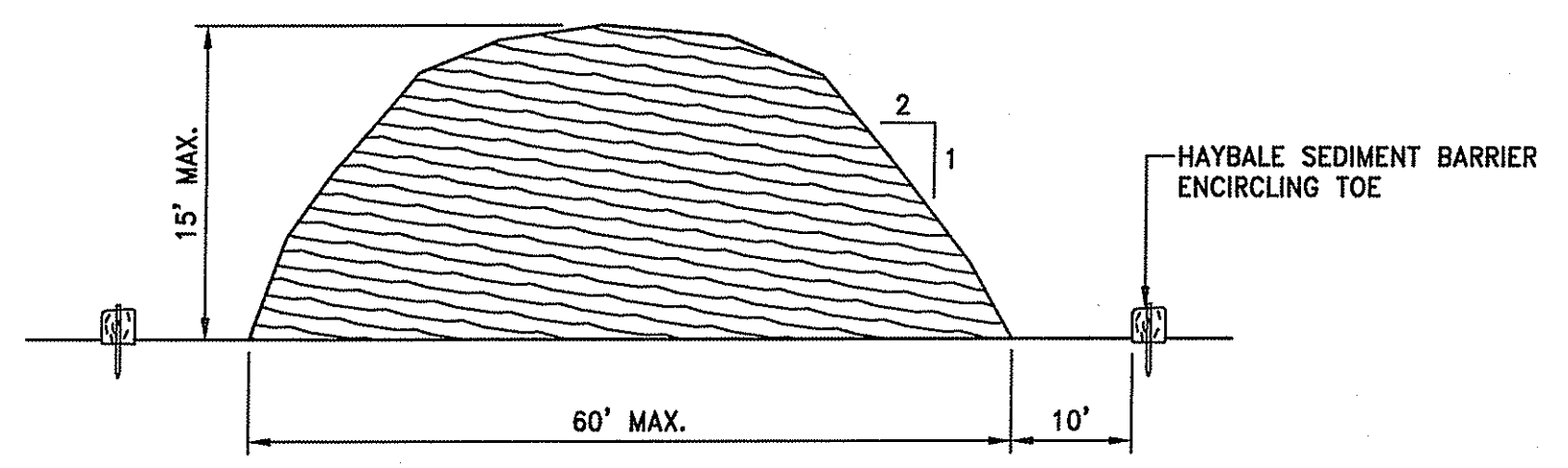
Master D. Wenzel



DUMPSTER AND PROPANE ENCLOSURE DETAILS
 NOT TO SCALE

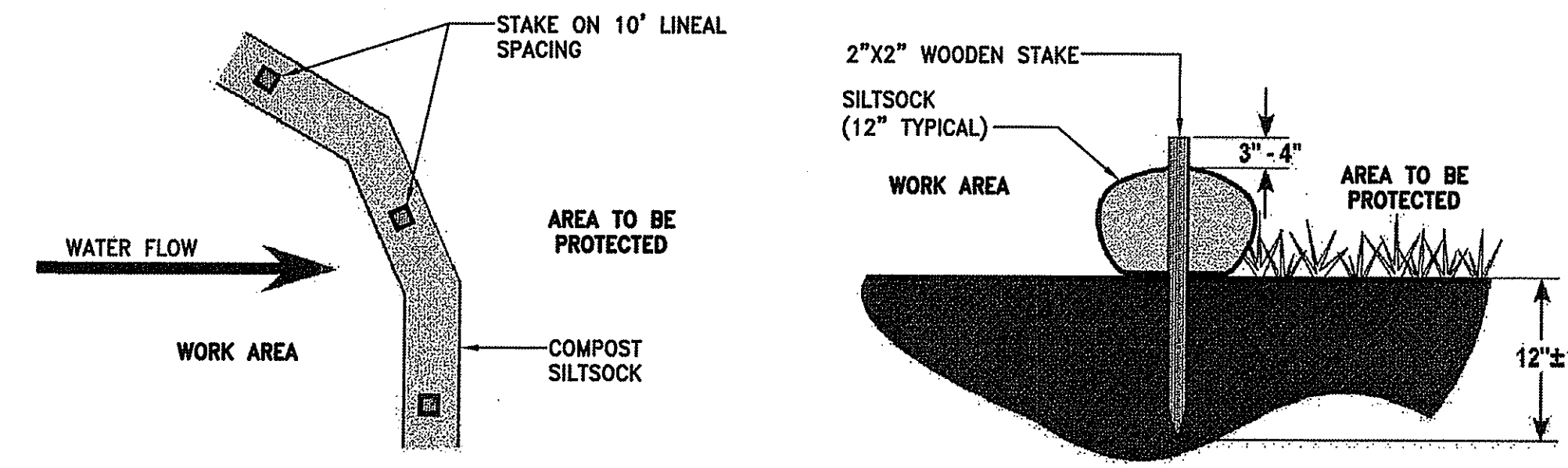


RIPRAP AT BASIN OUTLET FLARED END SECTION
 NOT TO SCALE



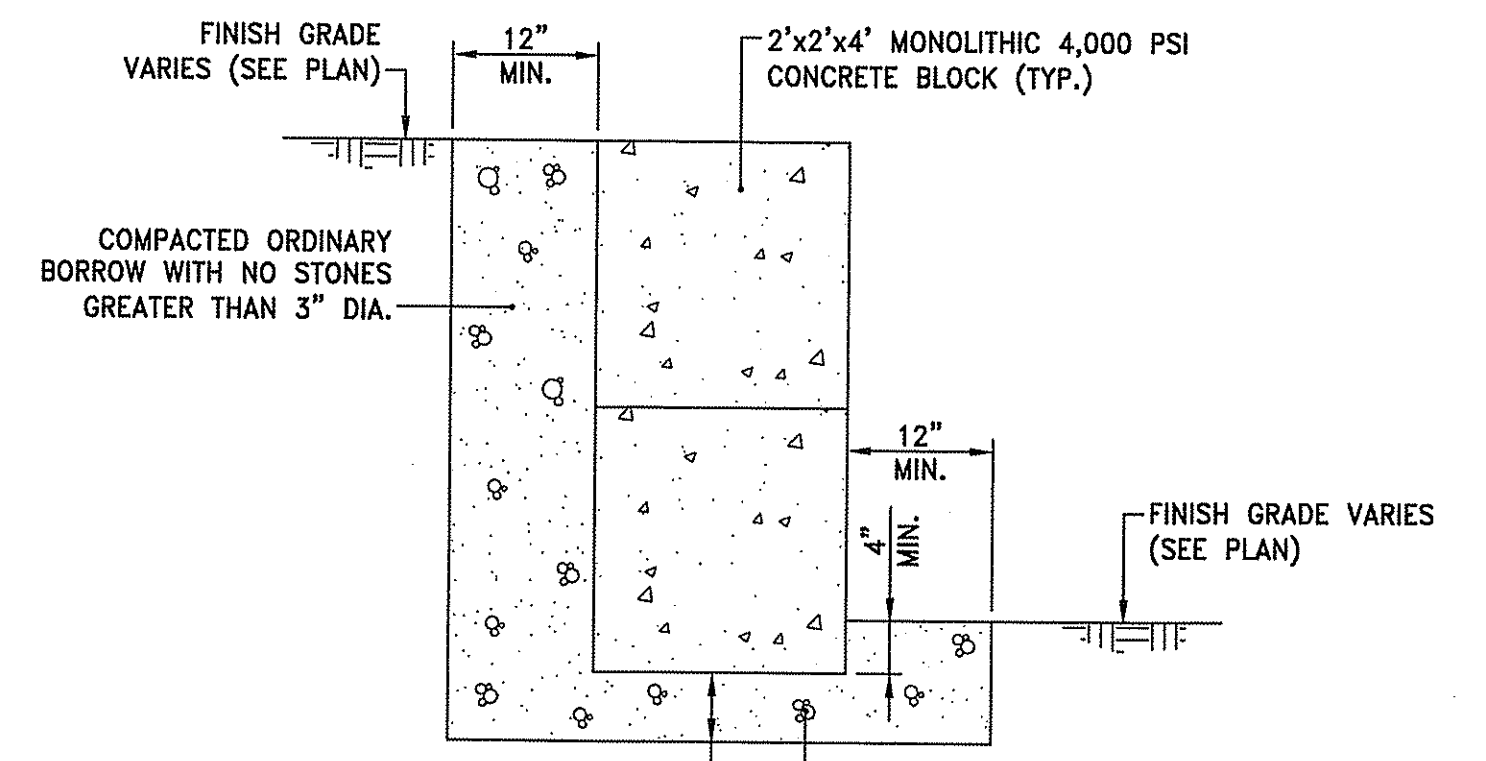
NOTES:
 1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PREPARE A PLAN SHOWING THE PROPOSED LOCATION OF ALL STOCKPILE AREAS.
 2. STOCKPILE AREA SHALL NOT EXCEED SPECIFIED DIMENSIONS WITHOUT APPROVAL FROM ENGINEER.
 3. STOCKPILED ERODIBLE MATERIAL THAT WILL NOT BE USED FOR GREATER THAN 30 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION IMMEDIATELY FOLLOWING PLACEMENT.

ERODIBLE MATERIAL STOCKPILE
 NOT TO SCALE

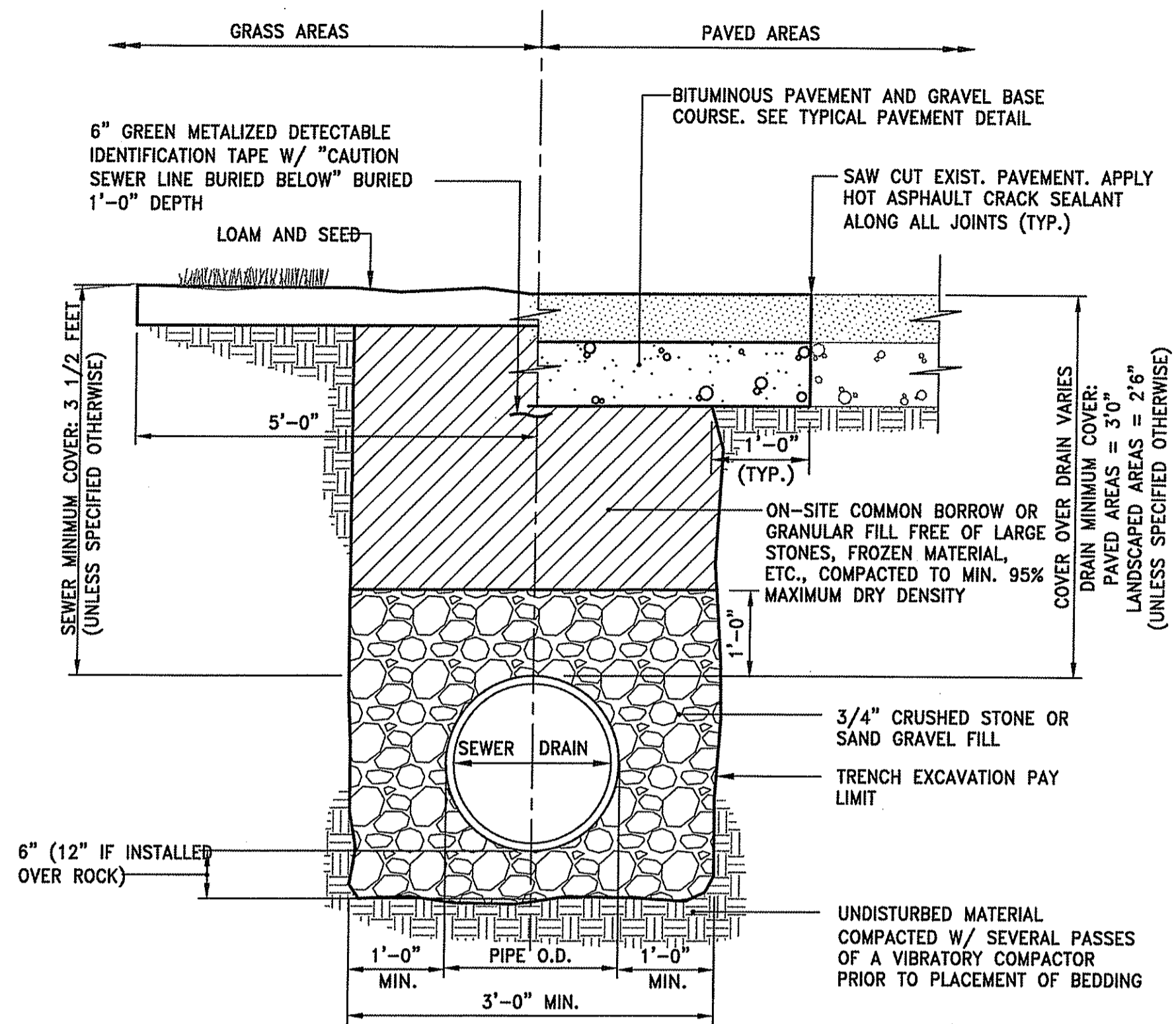


NOTES:
 1. COMPOST/ SOIL/ ROCK/ SEED FILL TO MEET APPLICATION REQUIREMENTS.
 2. COMPOST MATERIAL TO BE REMOVED OR DISPERSED ON SITE AS DETERMINED BY ENGINEER.

SILT SOCK DETAIL
 NOT TO SCALE



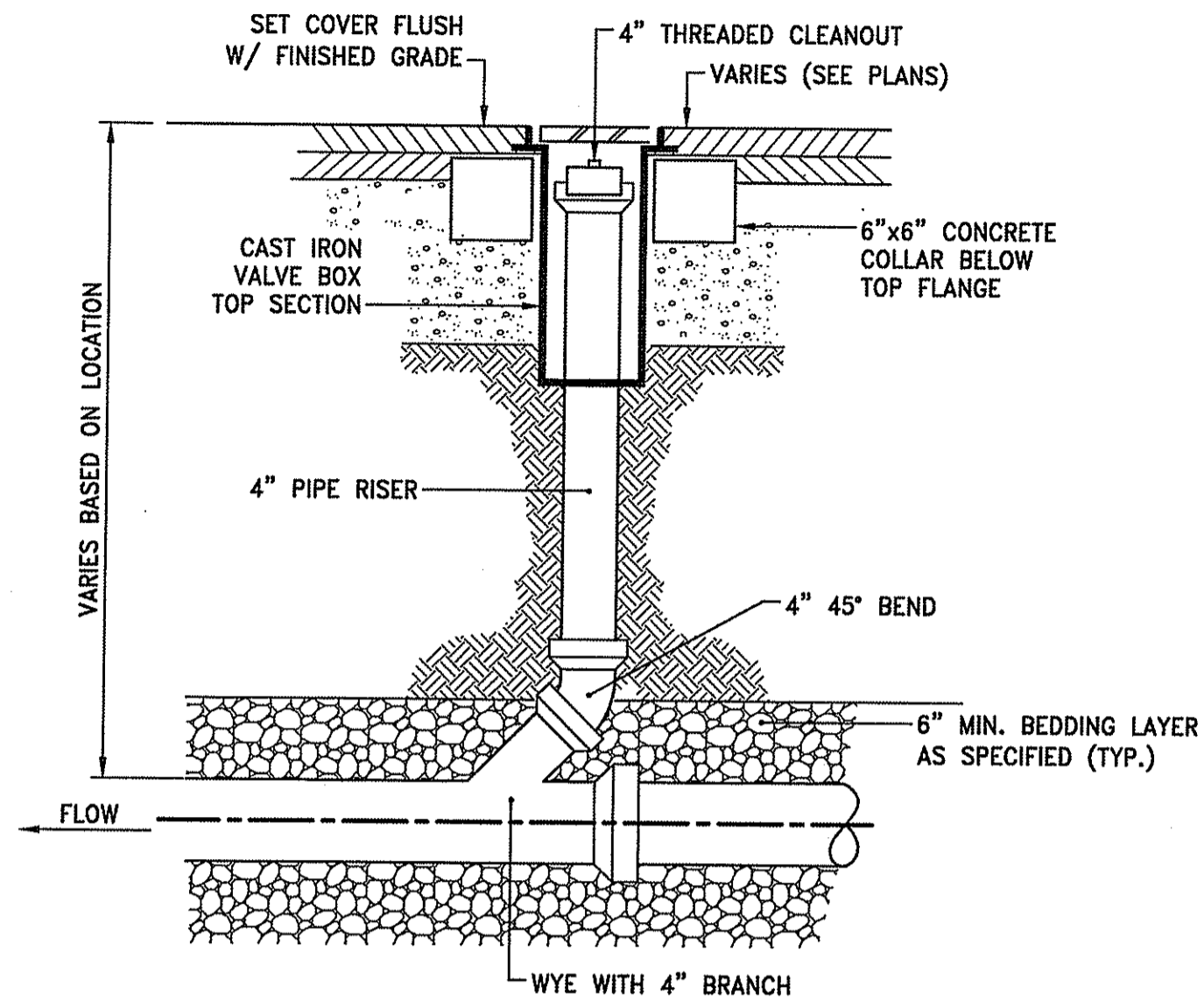
CONCRETE BLOCK RETAINING WALL
 NOT TO SCALE



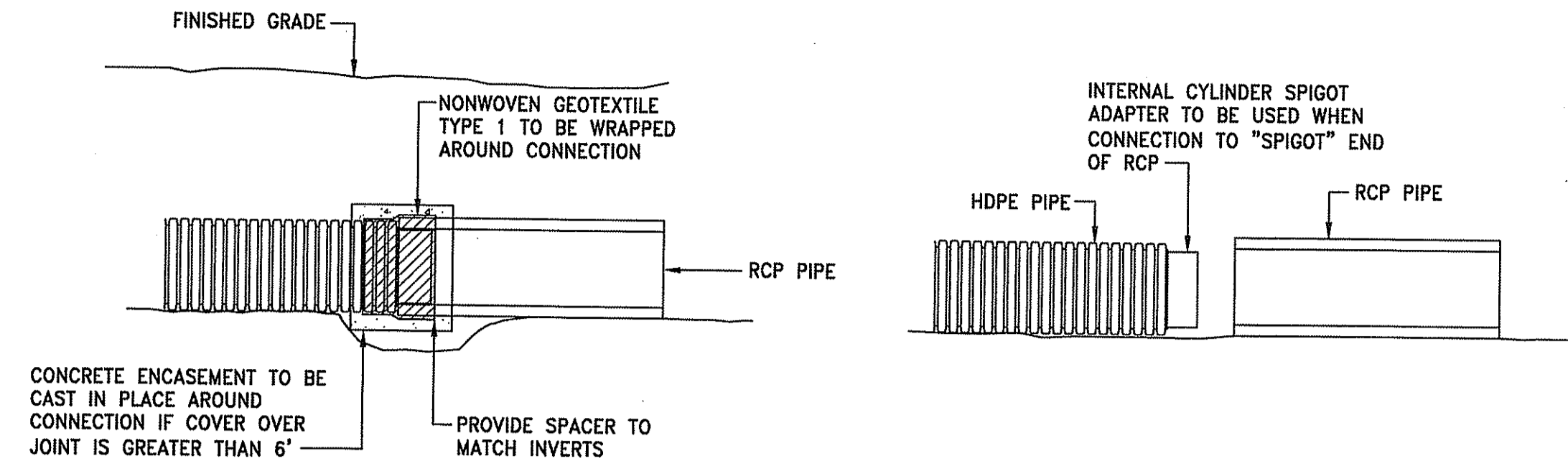
NOTES:

- WHERE THE DISTANCE BETWEEN THE SAWCUT AND EDGE OF PAVEMENT IS 3' OR LESS, THE CONTRACTOR SHALL REPLACE THE PAVEMENT FROM THE TRENCH EDGE TO THE EXISTING EDGE OF PAVEMENT.
- 3/4" DIA. CRUSHED STONE SHALL BE USED AS BEDDING WHERE TRENCH IS BELOW THE GROUND WATER TABLE.

GRAVITY SEWER/DRAIN TRENCH DETAIL
NOT TO SCALE



CLEANOUT DETAIL
NOT TO SCALE



NOTES:

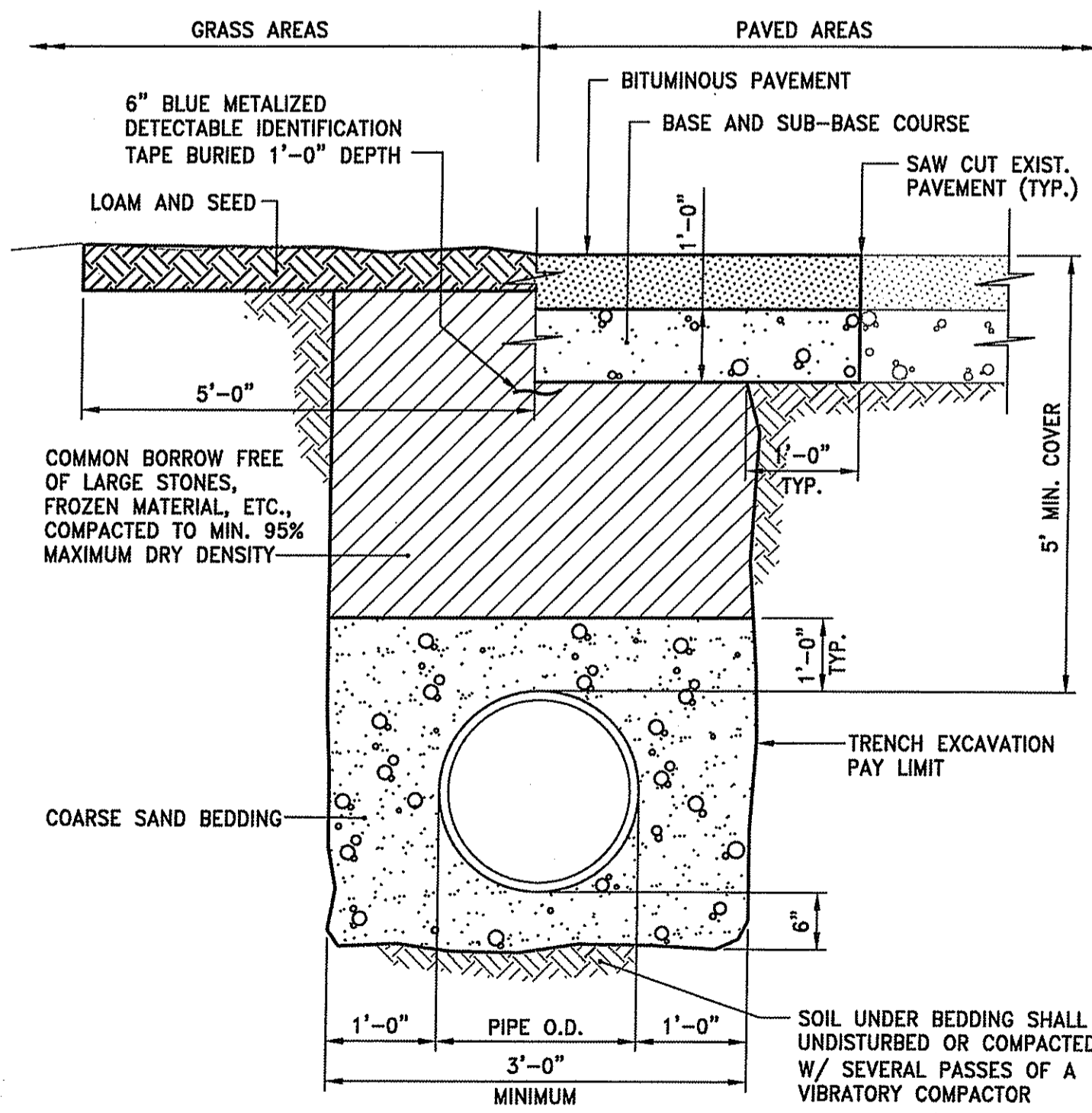
- INTERNAL CYLINDER ADAPTER TO BE WELDED TO HDPE, OUTSIDE DIAMETER TO BE INSERTED INTO INSIDE DIAMETER OF CONCRETE PIPE.
- NON-WOVEN GEOTEXTILE TO BE WRAPPED AROUND CONNECTION WITH FULL SEAM OVERLAP TO PROVIDE FULL PROTECTION FROM SOIL INTRUSION.
- CONNECTION TO BE MADE IN ACCORDANCE WITH PIPE MANUFACTURER'S REQUIREMENTS.
- INTERNAL CYLINDER SPIGOT ADAPTER NOT REQUIRED IF HDPE IS CONNECTION TO "BELL" END OF RCP.

HDPE/RCP PIPE JOINT
NOT TO SCALE

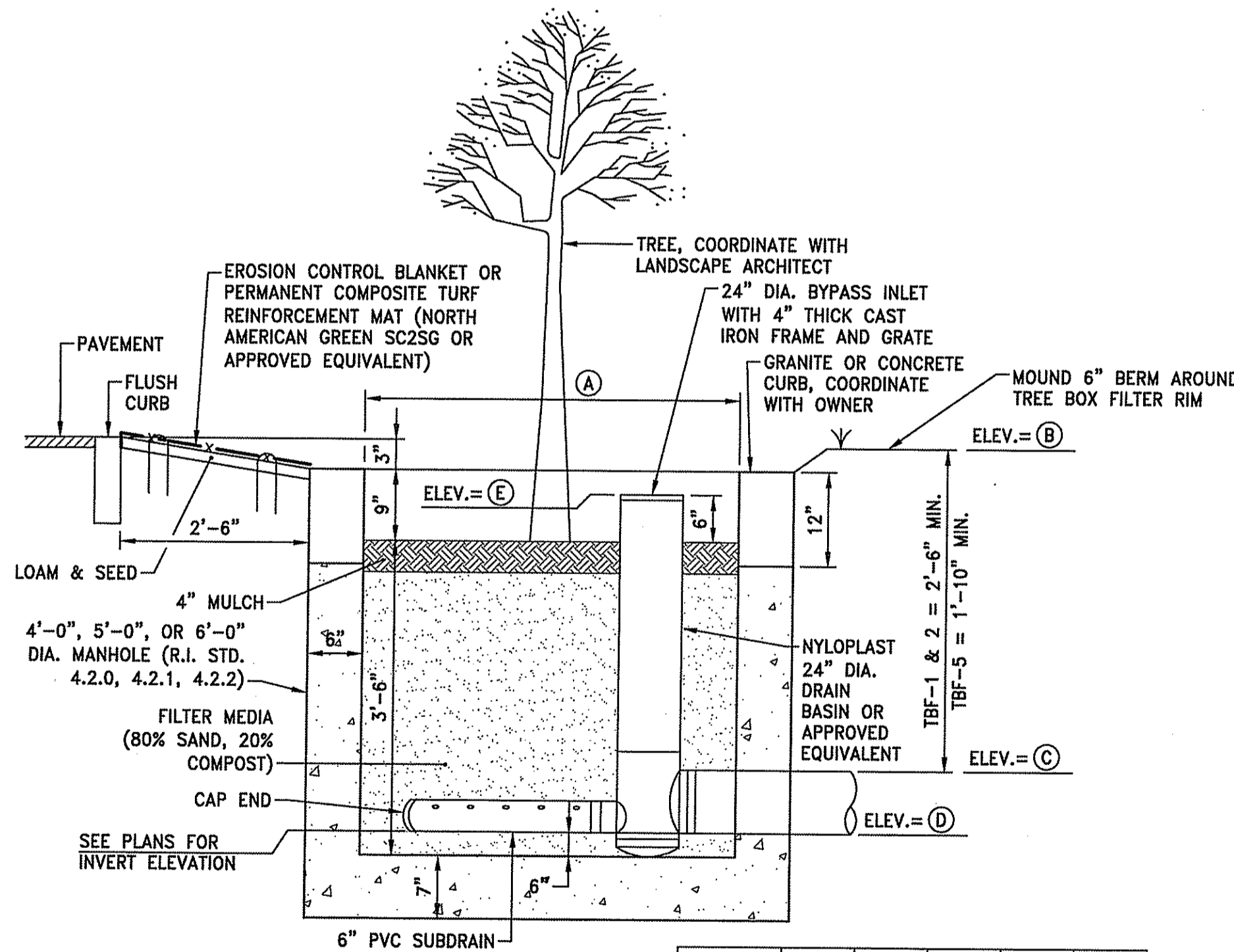
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED **DEC 12 2013** FILE # **13-0110**
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Matthew D. Wenzel

NOV 22 2013
Office of Water Resources



TYPICAL WATER MAIN TRENCH DETAIL
NOT TO SCALE



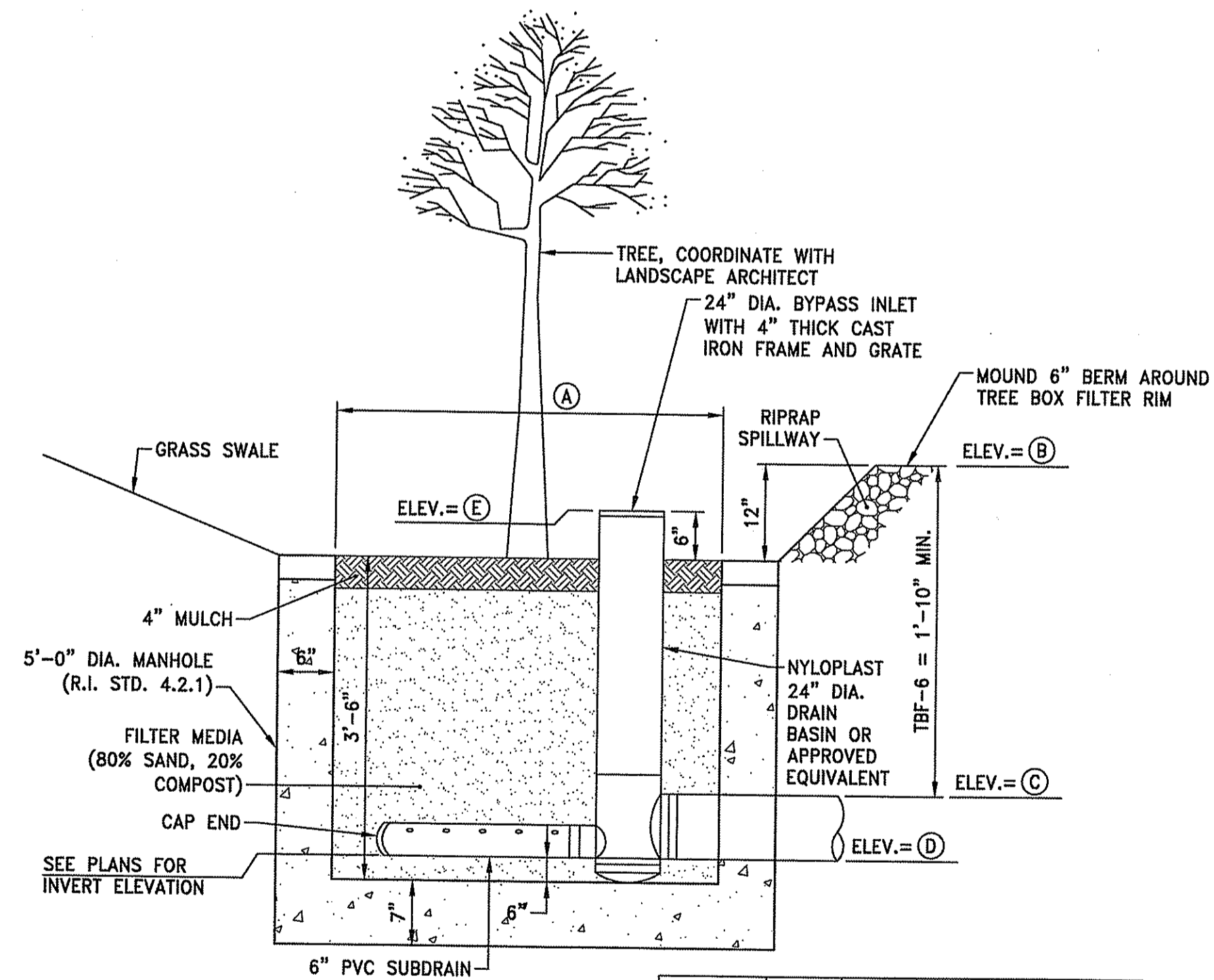
SECTION A-A

	(A)	(B)	(C)	(D)	(E)
TBF-1	4'-0"	334.0	330.7	329.7	333.5
TBF-2	5'-0"	334.0	331.4	330.4	333.5
TBF-5	6'-0"	335.0	333.1	332.1	334.5

NOTES:

- DRAIN BASIN SHALL BE CUSTOM MANUFACTURED FOR THE PROJECT WITH THE INLETS & OUTLETS REQUIRED.
- DRAIN BASIN SHALL BE CONSTRUCTED OF HIGH DENSITY POLYETHYLENE.

TREE BOX FILTER No. 1, 2, & 5 (TBF-X)
NOT TO SCALE



SECTION A-A

	(A)	(B)	(C)	(D)	(E)
TBF-6	5'-0"	335.1	333.2	332.2	334.6

NOTES:

- DRAIN BASIN SHALL BE CUSTOM MANUFACTURED FOR THE PROJECT WITH THE INLETS & OUTLETS REQUIRED.
- DRAIN BASIN SHALL BE CONSTRUCTED OF HIGH DENSITY POLYETHYLENE.

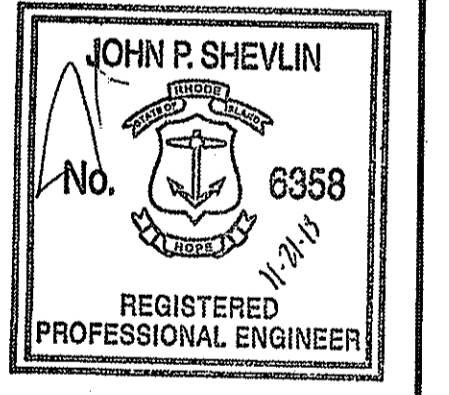
TREE BOX FILTER No. 6
NOT TO SCALE



APPLICANT:
Reuben Hancock
266 Tower Hill Road
Cumberland, RI 02864

OWNER:
Stephen & Deanna Vadenais
65 Pine Swamp Road
Cumberland, RI 02864

Northland Farm and Garden Center
Pine Swamp Road
AP 50 Lot 13 (Portion)
Cumberland, Rhode Island



REVISIONS:

NO.	DATE	REVISION
1	11-22-13	RIDEM COMMENTS

PROJECT NO.: 12190.00
DATE: SEPTEMBER 20, 2013
SCALE: NOT TO SCALE
DESIGNED BY: JWM
CHECKED BY: DLP
DRAWN BY: AKL/JDB
APPROVED BY: JPS
DRAWING TITLE: DETAILS 3

DRAWING NO.: **C6.3**
SHEET NO. 11 OF 24

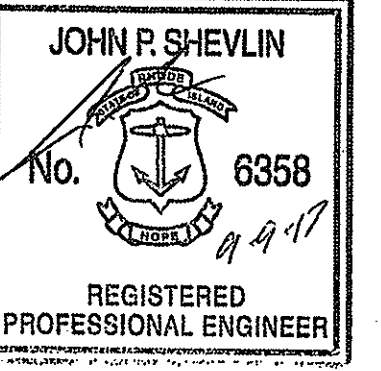
SEP 12 2013



APPLICANT: Reuben Hancock 268 Tower Hill Road Cumberland, RI 02864

OWNER: Stephen & Deanna Vadenals 65 Pine Swamp Road Cumberland, RI 02864

Northland Farm and Garden Center



REVISIONS:

PROJECT NO.: 12190.00 DATE: SEPTEMBER 9, 2013 SCALE: NOT TO SCALE

DESIGNED BY: JWM CHECKED BY: DLP DRAWN BY: AKUJDB APPROVED BY: JPS DRAWING TITLE: DETAILS 4

DRAWING NO.: C6.4 SHEET NO. 15 OF 16

CONCRETE HEADWALLS FOR PIPE CULVERTS. Includes sections A-A and B-B, a table of dimensions, and notes.

PRECAST CONCRETE FLARED END SECTION. Includes section A-A, end elevation, and a table of dimensions.

PRECAST 4'-0" ROUND MANHOLE. Includes alternate top loading, side elevation, and notes.

PRECAST 5'-0" ROUND MANHOLE. Includes alternate top loading, side elevation, and notes.

PRECAST 6'-0" ROUND MANHOLE. Includes alternate top loading, side elevation, and notes.

HEAVY-DUTY ROUND FRAME AND COVER. Includes top, bottom, cover, and frame sections with dimensions.

PRECAST CONCRETE CAR STOPS. Includes front and side elevations with dimensions.

GRANITE CURB. Includes 1/2" chamfer and circular curb details with dimensions.

6'-0" GRANITE TRANSITION CURB. Includes transition curb and optional batter details.

BITUMINOUS BERM. Includes construction methods A and B with cross-sections.

SILT FENCE DETAIL. Includes detail 'A' showing silt fence construction and notes.

BALED HAY EROSION CHECK AND SILT FENCE COMBINED. Includes detail 'A' and notes.

DEWATERING BASIN. Includes plan and section views with dimensions.

CONSTRUCTION ACCESS. Includes construction entrance detail with dimensions.

CEMENT CONCRETE SIDEWALK. Includes sidewalk detail with dimensions.

DETECTABLE WARNING PANEL PLACEMENT. Includes plan view showing panel placement and notes.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES FRESHWATER WETLANDS PROGRAM APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL DATED DEC 12 2013 FILE # 13-0160

TOWN OF CUMBERLAND Land Development & Subdivision Regulations

Section 7. Public Improvement Design Standards

STREET TREES

Description	Required	Provided
Tree location	Trees located along all streets	Yes
Tree spacing along streets	50 feet on center	50 feet on center
Street tree size at installation	3 to 3 1/2 inch caliper	3 to 3 1/2 inch caliper

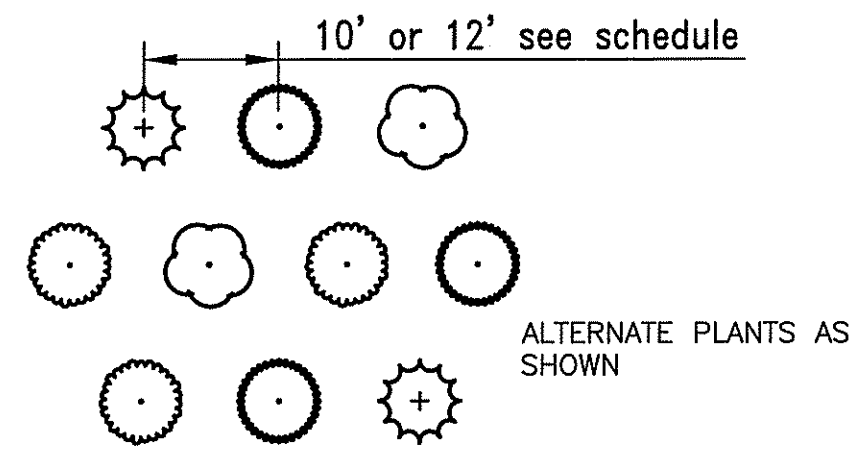
Section 8. Land Development & Development Plan Review Design Standards

PARKING

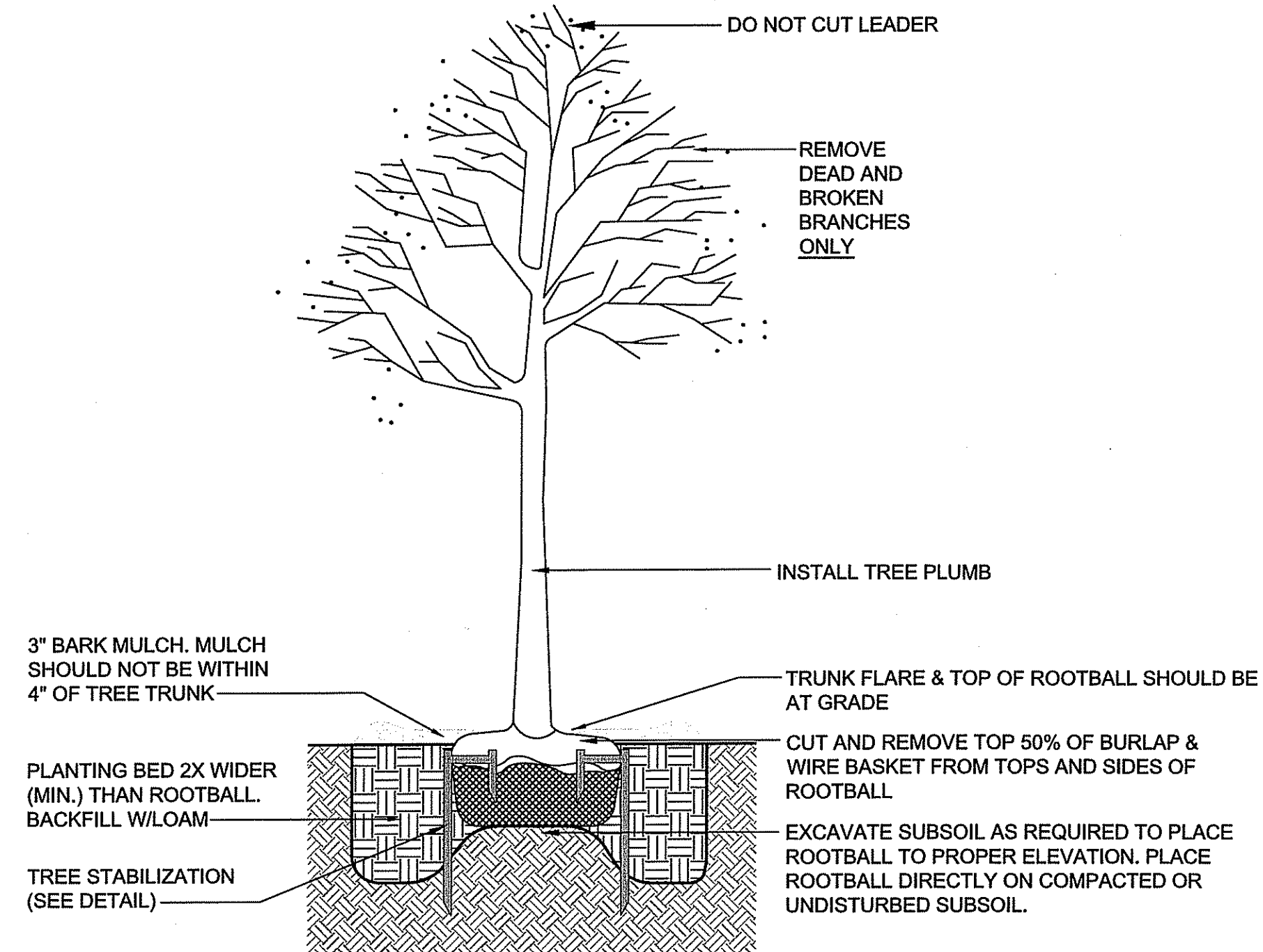
Shade trees	1 tree per 10 spaces (39 spaces = 4 trees req'd)	4 trees
Terminal islands	5 feet x 18 feet at the end of each row of spaces	2 to 6 feet x 18 feet
Parking lot location	5 feet from buildings separated by walks, planting strip or bollards and located to the rear or sides of building	5 feet from building located in front, side and rear of building
Parking buffer	Buffered from surrounding areas as much as possible	Parking along Pine Swamp Road buffered by low hedge

LANDSCAPING

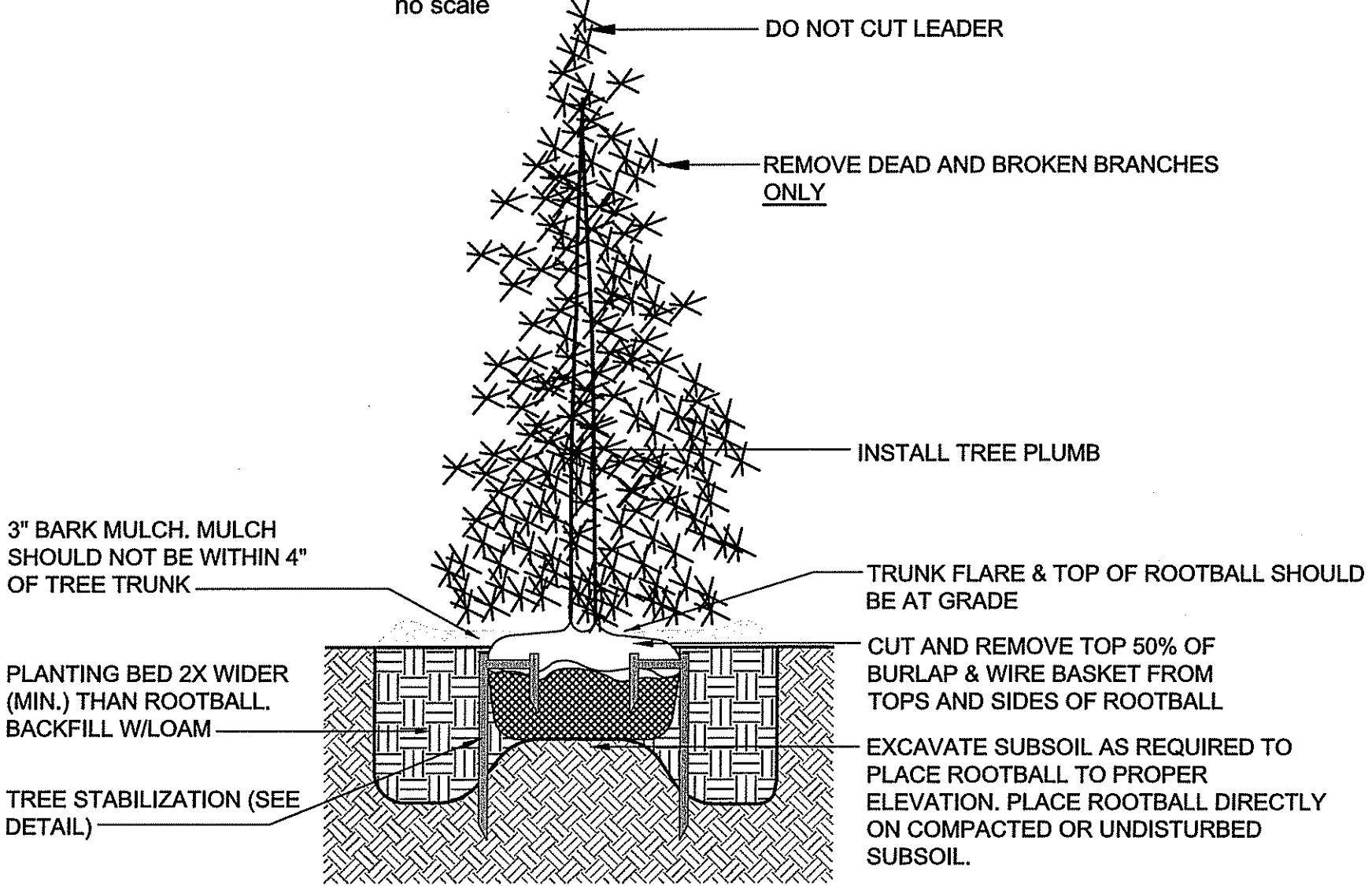
Yard area landscaping	10 feet wide (all yard areas) with shrubs every 20 feet and trees every 50 feet	17 feet minimum
Incompatible land use buffer	20 feet wide with evergreen trees 10 feet on center (when fence is used provide shrubs every 20 feet and trees every 50 feet)	See Plan
Shade tree size at installation	3 inch caliper	3 inch caliper
Tree and shrub location	10 feet from utility poles 10 feet from underground utilities 10 feet from hydrants 10 feet from driveway and road openings and sidewalks	21 feet minimum 5 feet minimum N/A 27 feet minimum



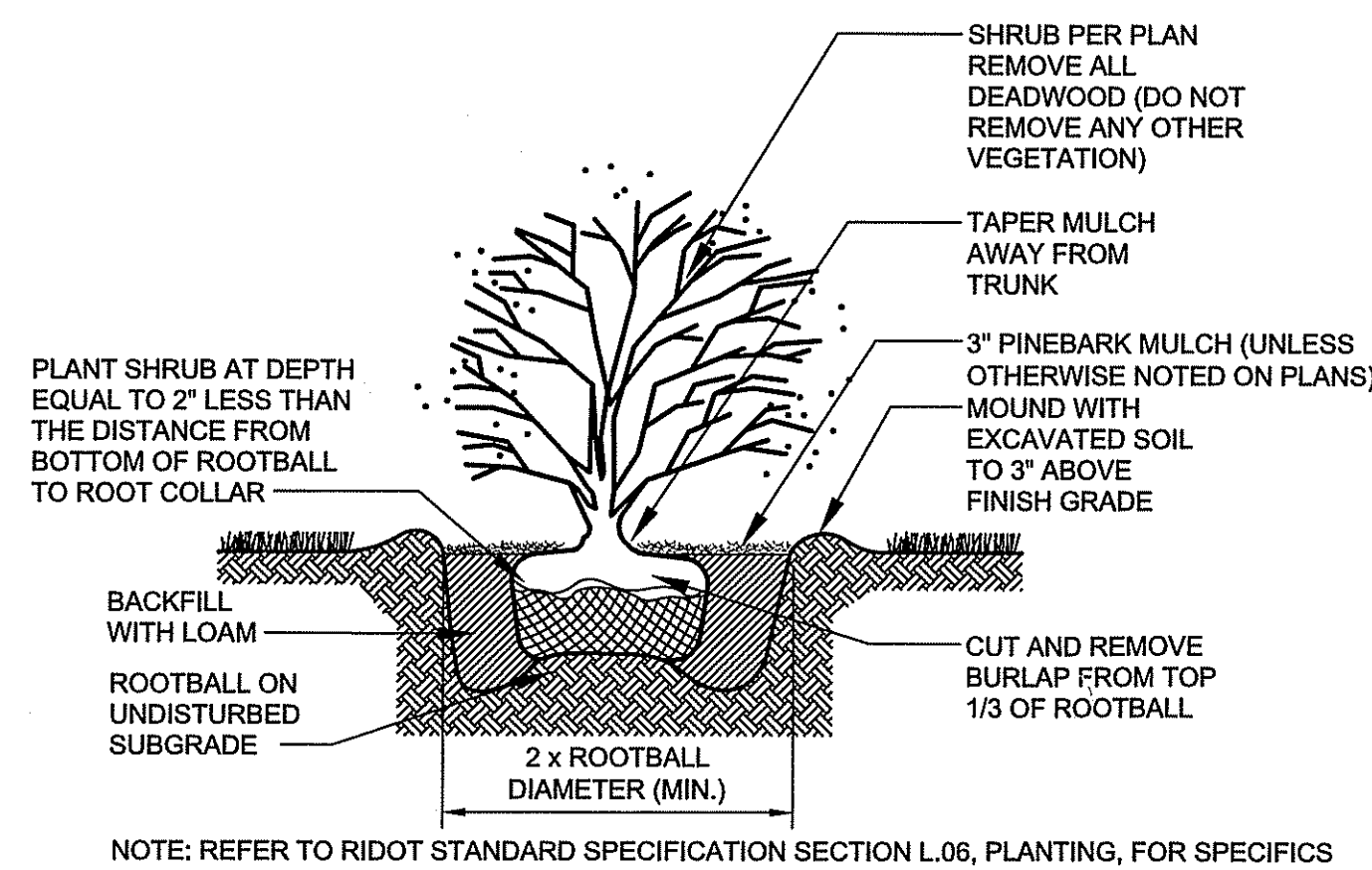
WETLAND AREA PLANTING DETAIL
no scale



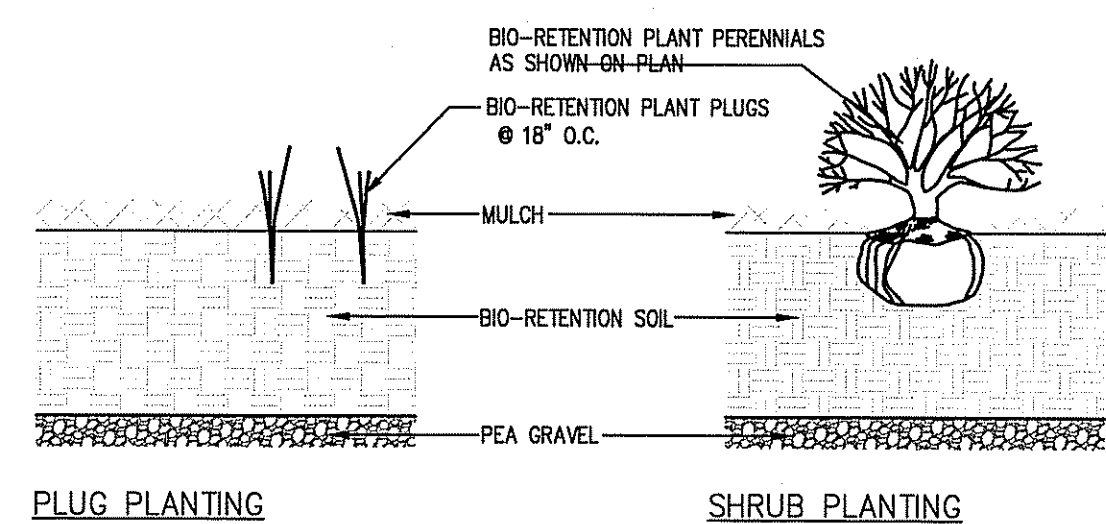
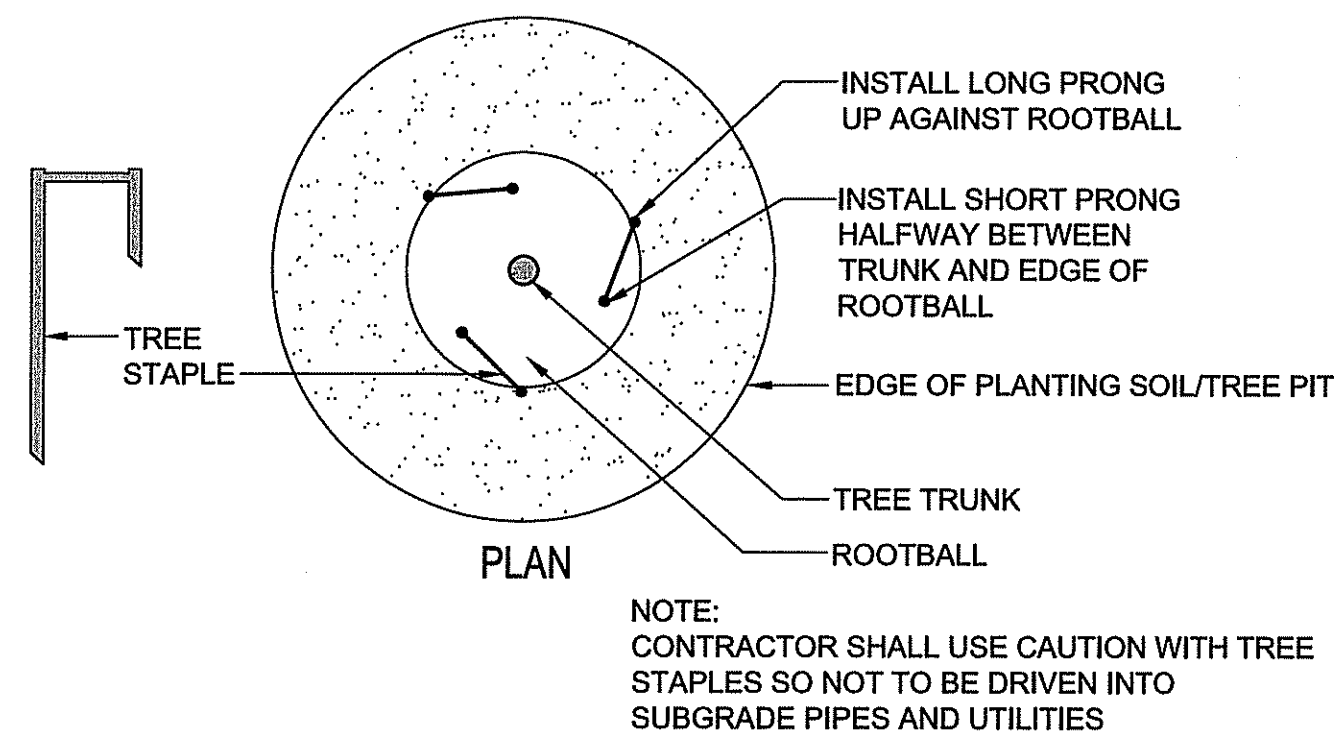
TREE PLANTING DETAIL
no scale



EVERGREEN TREE PLANTING DETAIL
no scale



SHRUB PLANTING DETAIL
no scale



BIORETENTION AREA PLANTING DETAIL
no scale

LANDSCAPE NOTES:

GUARANTEE THAT, UPON COMPLETION AND FINAL ACCEPTANCE, LANDSCAPE PLANTINGS CONFORM TO REQUIREMENTS OF CONTRACT DOCUMENTS. PROVIDE A WARRANTY FOR TREE PLANTINGS FOR A MINIMUM OF TWO (2) YEARS, INCLUDING TWO (2) CONTINUOUS GROWING SEASONS. COMMENCE WARRANTY ON DATE IDENTIFIED IN THE 'CERTIFICATE OF FINAL COMPLETION'. REPLACEMENTS: PLANTS OF SAME SIZE AND SPECIES AS SPECIFIED, PLANTED IN THE NEXT GROWING SEASON, WITH NEW WARRANTY AND EXTENDED MAINTENANCE SERVICE COMMENCING ON THE DATE OF REPLACEMENT.

PLANT MATERIALS SHALL BE OF SIZE AND CALIPER REQUIRED AND CONFORM TO THE REQUIREMENTS DESCRIBED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

PLANTS OF OTHER KINDS THAN THOSE NAMED IN THE PLANT SCHEDULE SHALL NOT BE ACCEPTED WITHOUT APPROVAL. REPLACEMENT PLANTS LARGER IN SIZE THAN EXISTING MAY BE USED IF APPROVED BY THE A/E, PROVIDED USE OF LARGER PLANTS DOES NOT INCREASE CONTRACT PRICE.

A PROFESSIONAL HORTICULTURIST/NURSERYMAN SHALL BE CONSULTED TO DETERMINE THE PROPER TIME TO MOVE AND INSTALL PLANT MATERIAL SO THAT STRESS TO THE PLANT IS MINIMIZED. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING WINTER MONTHS PROVIDED THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.

UNLESS OTHERWISE APPROVED BY THE A/E, ALL PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.

SET PLANTS PLUMB AND AT SUCH A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY & PROPERLY, BY FIRING OR TAMPING. ACCOMPANY BACKFILLING WITH THOROUGH WATERING UNLESS OTHERWISE APPROVED. FORM SAUCER CAPABLE OF HOLDING WATER AROUND INDIVIDUAL PLANTS.

FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER AT THE RATE OF 3 POUNDS PER 100 SQUARE FEET OF SURFACE AREA, BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO (2) INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT THE RATE OF ONE (1) AGRIFORM PELLETT PER INCH OF TREE DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.

CONTAINER GROWN MATERIALS: REMOVE PLANT FROM CONTAINER AND "BUTTERFLY" ROOT BALL OR OTHERWISE SPREAD OUT ROOTS ON SETTING MOUND. BACKFILL SHALL BE SIFTED THROUGH THEM AND SOLIDLY FIRMED.

AFTER PLANTING PRUNE ONLY BROKEN OR DEFORMED BRANCHES AND IN SUCH MANNER AS TO PRESERVE NATURAL CHARACTER OF PLANT.

IMMEDIATELY AFTER PLANTING, STAKE TREES OVER FIVE (5) FEET AS INDICATED ON DETAIL DRAWING INDICATED OR APPROVED BY THE OWNERS REPRESENTATIVE.

MULCH SHALL BE APPLIED A MINIMUM OF THREE (3) INCHES IN DEPTH IN ALL PLANTING BEDS, AS INDICATED ON THE DRAWINGS.

THE PLANTS SHALL BE WATERED IMMEDIATELY FOLLOWING PLANTING, PREFERABLY WHEN TWO THIRDS OF THE BACKFILL HAS BEEN PLACED SO ALL AIR POCKETS ARE REMOVED AND THE PLANT PROPERLY SET. ADDITIONAL WATERING SHALL BE MADE AT LEAST ONCE EVERY THREE (3) WEEKS UNLESS OTHERWISE DIRECTED UNTIL FINAL ACCEPTANCE OF THE PLANT MATERIAL.

INSTALL 'JUTE MESH' EROSION CONTROL FABRIC WHERE FINAL GRADES ARE 3:1 (33%) OR GREATER PER MANUFACTURER'S INSTRUCTIONS.

UNLESS OTHERWISE SPECIFIED, CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS.

SEEDING NOTE: USE UNIVERSITY OF RHODE ISLAND NO. 2 IMPROVED SEED MIX OR EQUAL.

TREE PRUNING NOTE: STREET TREES SHOULD BE PRUNED TO MAINTAIN A MINIMAL BRANCH HEIGHT OF 8' WITHIN TWO (2) YEARS OF INSTALLATION OF THE TREE.

LANDSCAPE ESTABLISHMENT AND MAINTENANCE NOTE: CONTRACTOR SHALL ENSURE THAT ALL LAWN AREAS AND PLANTINGS ARE FULLY ESTABLISHED AND ACCEPTABLE TO THE OWNER'S REPRESENTATIVE PRIOR TO RELINQUISHING THEIR RESPONSIBILITIES FOR MAINTENANCE OF THESE AREAS.

TREE PROTECTION NOTE: NO MATERIAL, TEMPORARY SOIL DEPOSIT OR EXCAVATION SHALL OCCUR WITHIN FOUR FEET OF SHRUBS OR WITHIN TWO FEET OF THE DRIP LINE OF ANY SHRUBS OR TREES TO REMAIN. ANY RETAINED EXISTING VEGETATION SHALL BE PROTECTED AS PER DETAIL ON PLAN.

NOTE: TREES AND SHRUBS WILL BE ADDED AS NEEDED FOR RESTORATION IN WETLAND AREA ALONG WEST SIDE OF PROPERTY. ALL EXISTING PLANT MATERIALS SHALL REMAIN UNDISTURBED.

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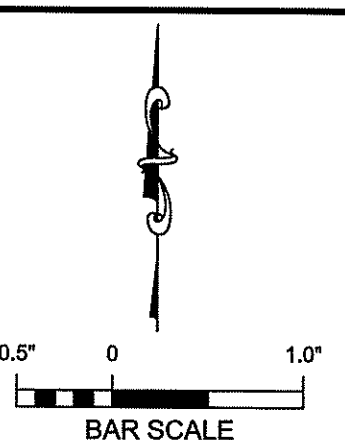
Martin D. Wenzel



LANDSCAPE ARCHITECT:
DIANE C. SOULE & ASSOCIATES, ASLA
LANDSCAPE ARCHITECTURE • GRAPHICS • DESIGN
Smithfield, Rhode Island 401.231.0736 e-mail: diane@dcsa.com
www.dianesoulandassociates.com



NORTHLAND FARM & GARDEN
CUMBERLAND, RHODE ISLAND



REVISIONS:

NO.	DATE	DESCRIPTION
1	11/22/13	RIDEM COMMENTS

PROJECT NO.: 12190.00
DATE: 9 SEP 2013
SCALE: 1"=30'
DESIGNED BY: DCSA
CHECKED BY: DCSA
APPROVED BY: DCSA
DRAWING TITLE:
LANDSCAPE NOTES & DETAILS
DRAWING NO.:
SHEET NO. 15 OF 15