

RIDEM WETLAND PRELIMINARY DETERMINATION SUBMISSION FOR A 6-LOT SUBDIVISION

PAYNE ROAD
NEW SHOREHAM, RHODE ISLAND
PLAT 9, LOT 58

NOVEMBER 26, 2013
REVISED JANUARY 21, 2014

OWNER/APPLICANT: WILLIAM MERKLER & SHANNON McALOON



LOCATION MAP
NOT TO SCALE

SHEET INDEX

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GRADING AND DRAINAGE PLAN (50 SCALE)	6
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LEGEND

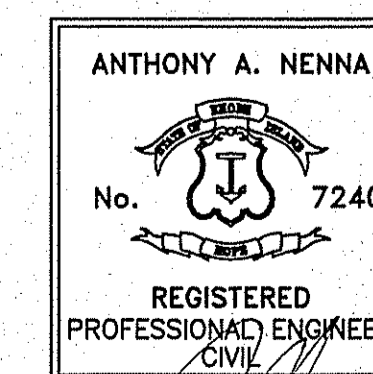
---100---	EXISTING CONTOUR
~~~~~	EXISTING TREE LINE
---	PROPERTY LINE
TH-1	TEST HOLE
TH-101	DRAINAGE SOIL EVALUATION
---	BUILDING SETBACK
⊕	EXISTING/PROPOSED WELL
---W---	PROPOSED WATER SERVICE
---E---	PROPOSED UNDERGROUND ELECTRICAL SERVICE
⊙	EXISTING SEPTIC TANK COVER
---	PROPOSED CONTOUR
+ 93.0	PROPOSED SPOT ELEVATION
---	LIMITS OF DISTURBANCE
---	SILT FENCE

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 18 2014 FILE # B-0200  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

JAN 30 2014

GENERAL NOTES

1. THE SUBJECT PARCEL IS PRESENTLY DESIGNATED AS MAP 9 - LOT NO. 58 OF THE TOWN OF NEW SHOREHAM.
2. THE SUBJECT PROPERTY IS LOCATED IN A RA ZONING DISTRICT AND IS CURRENTLY UNDEVELOPED AND UTILIZED AS AN AGRICULTURAL FIELD WITH EXISTING GRAVEL ROADWAYS.
3. FEMA FLOOD INSURANCE RATE MAP NO. 44009C0364J (OCTOBER 16, 2013), INDICATES THAT THE SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
4. THE SUBJECT PARCEL IS NOT LOCATED IN A CRITICAL RESOURCE AREA.
5. THE PROPOSED DWELLINGS WILL BE SERVICED BY ONSITE WASTEWATER TREATMENT SYSTEMS (OWTS) AND PRIVATE WELLS.
6. THE BOUNDARY AND TOPOGRAPHIC SURVEY WAS PROVIDED BY HILBERN LAND SURVEYING, DAVE HILBERN, 2255 SHADY LEA ROAD, NORTH KINSTOWN RI 02852, 401-294-4080.
7. THE VERTICAL DATUM UTILIZED IN THE SUBDIVISION IS BASED UPON AN ASSUMED ELEVATION.
8. ALL OF THE ROOF RUNOFF FROM EACH OF THE PROPOSED DWELLINGS SHALL BE DIRECTED TO THE PROPOSED STONE TRENCHES AS INDICATED ON THE SITE PLAN.

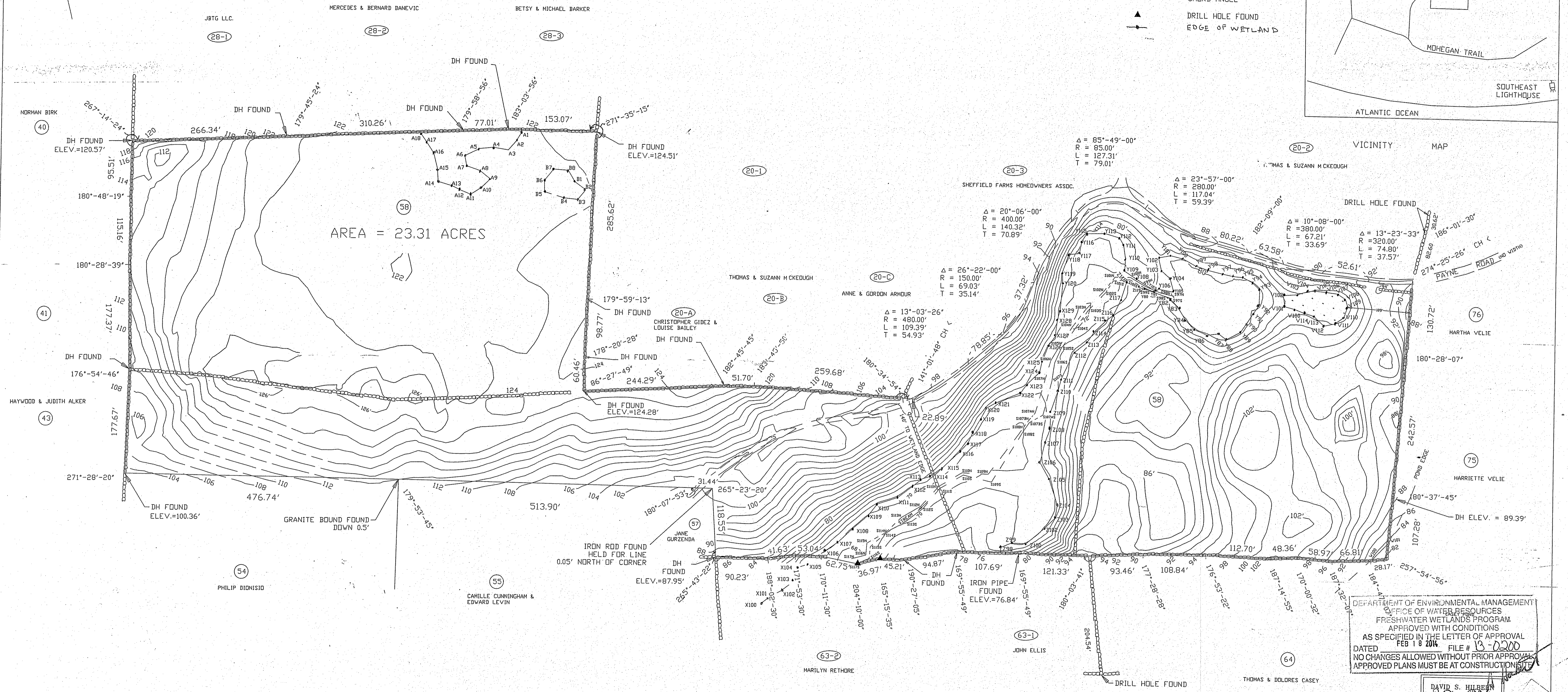
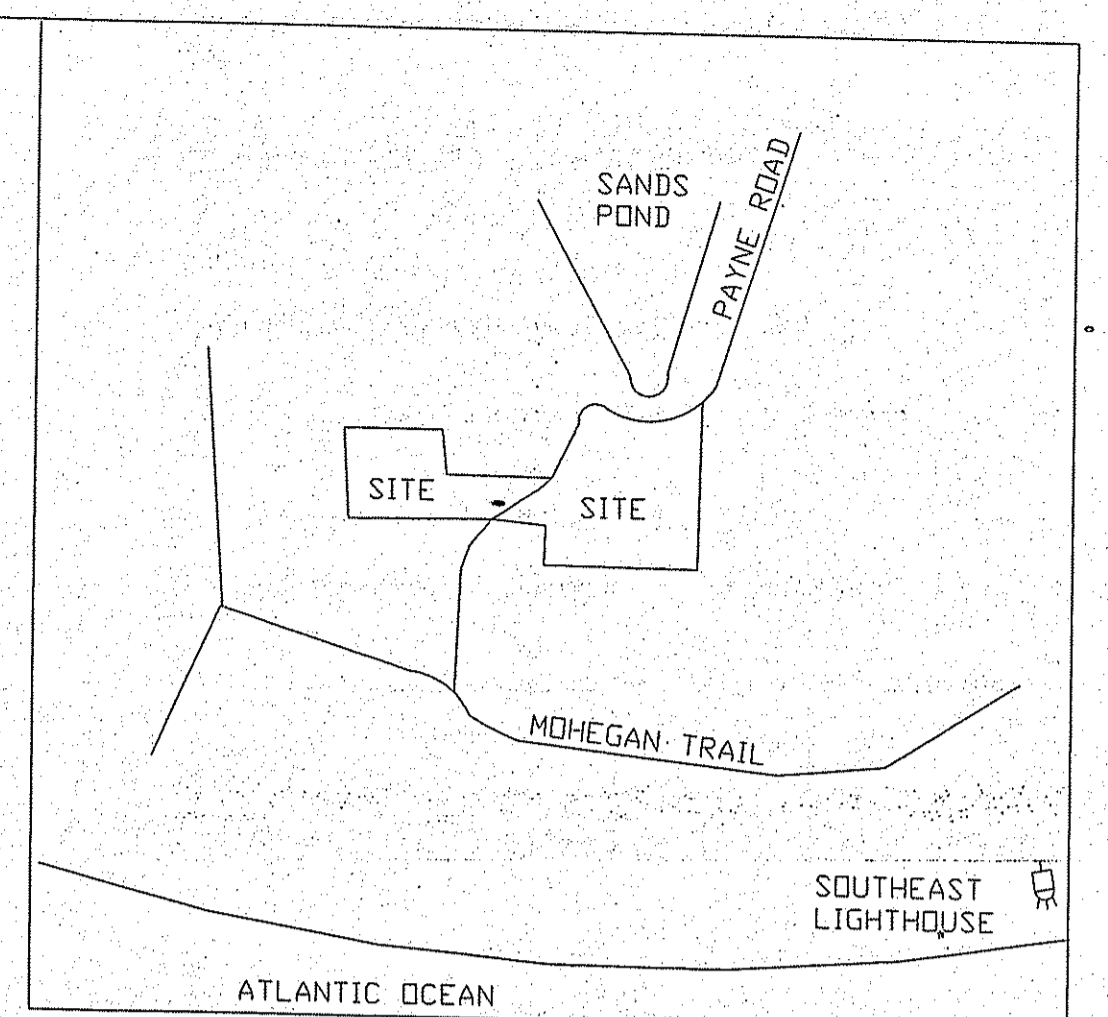


*[Signature]*  
1/21/14

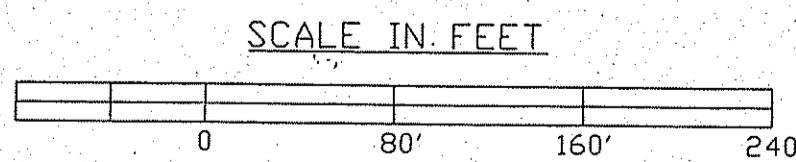
MAGNETIC NORTH 2011

LEGEND

- DRILL HOLE SET
- STONE WALL
- DH DRILL HOLE
- 58 ASSESSOR'S PLAT LOT #
- A1 WETLAND FLAG
- CH < CHORD ANGLE
- ▲ DRILL HOLE FOUND
- EDGE OF WETLAND



- REFERENCES:
- DEFINITIVE PLAN SUBDIVISION OF LOT 28 ASSESSORS PLAT 9 IN NEW SHOREHAM, RI FOR MICHAEL AND KATHRYN BELIS 1" = 40' JUNE 1994 BY STANLEY ENGINEERING FILE # 520
  - REPLAT SHEPHERD FARM PLAN OF SUBDIVISION IN NEW SHOREHAM, RI FOR BLAKE PHELAN 1" = 40' DECEMBER 1981 BY STANLEY ENGINEERING FILE # 184
  - SURVEY OF LAND FOR ROBERT PETIT BY KEN ANTHONY 1" = 30' MAY 1979



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 DATED FEB 18 2011 FILE # 13-0200  
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DAVID S. HILBERN  
 No. 1831  
 PROFESSIONAL LAND SURVEYOR

DATE: 11/25/11  
 SCALE: 1" = 80'

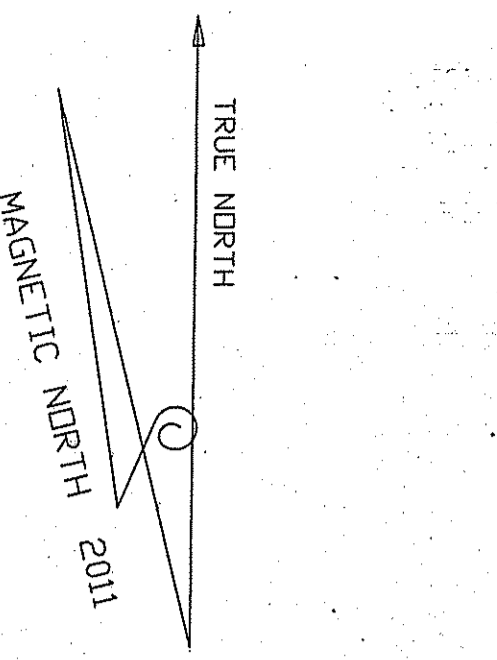
PROPERTY SURVEY OF LOT 58  
 ASSESSOR PLAT 9 NEW SHOREHAM, R.I.  
 OWNED BY WILLIAM MERKLER  
 AND SHANNON McALOON

THIS PLAN AND SURVEY CONFORM TO A CLASS I  
 STANDARD AS ADOPTED BY THE RHODE ISLAND  
 BOARD FOR PROFESSIONAL LAND SURVEYORS.  
 BY: *D. Hilbern*  
 REGISTERED PROFESSIONAL LAND SURVEYOR

NO.	DATE	REVISIONS
1	2/14/12	STREAM EDGE NUMBERS ADDED
2	3/16/12	FLAG SPOTS ADDED

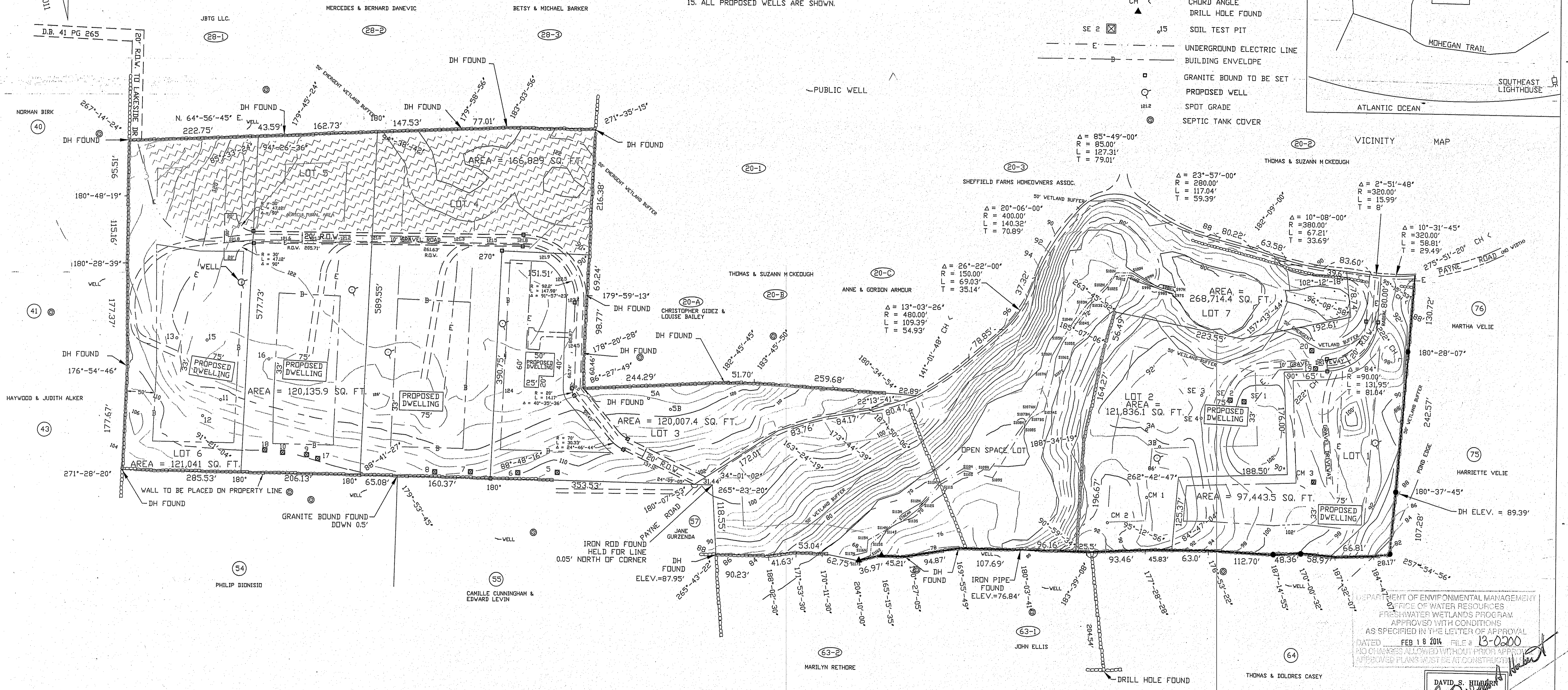
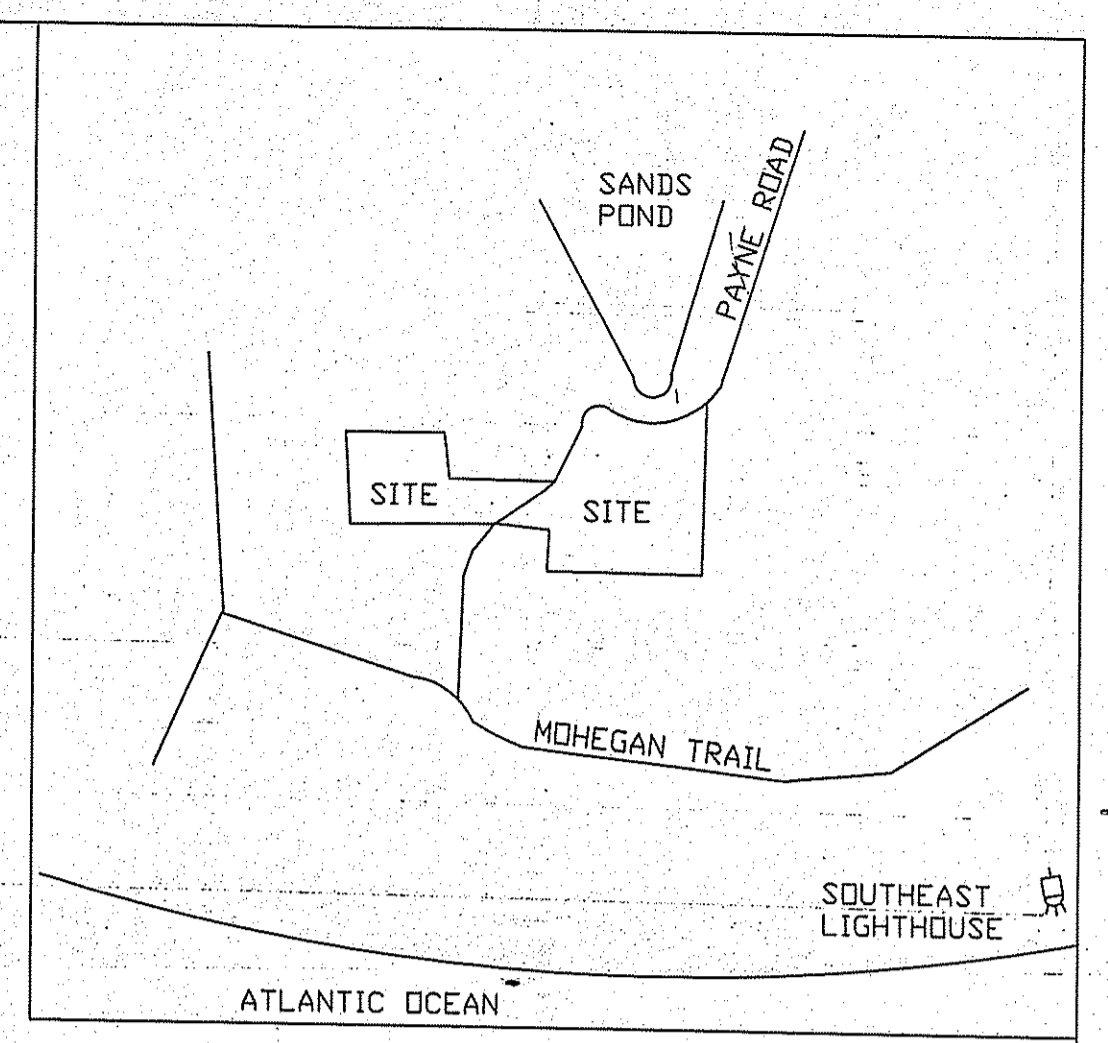
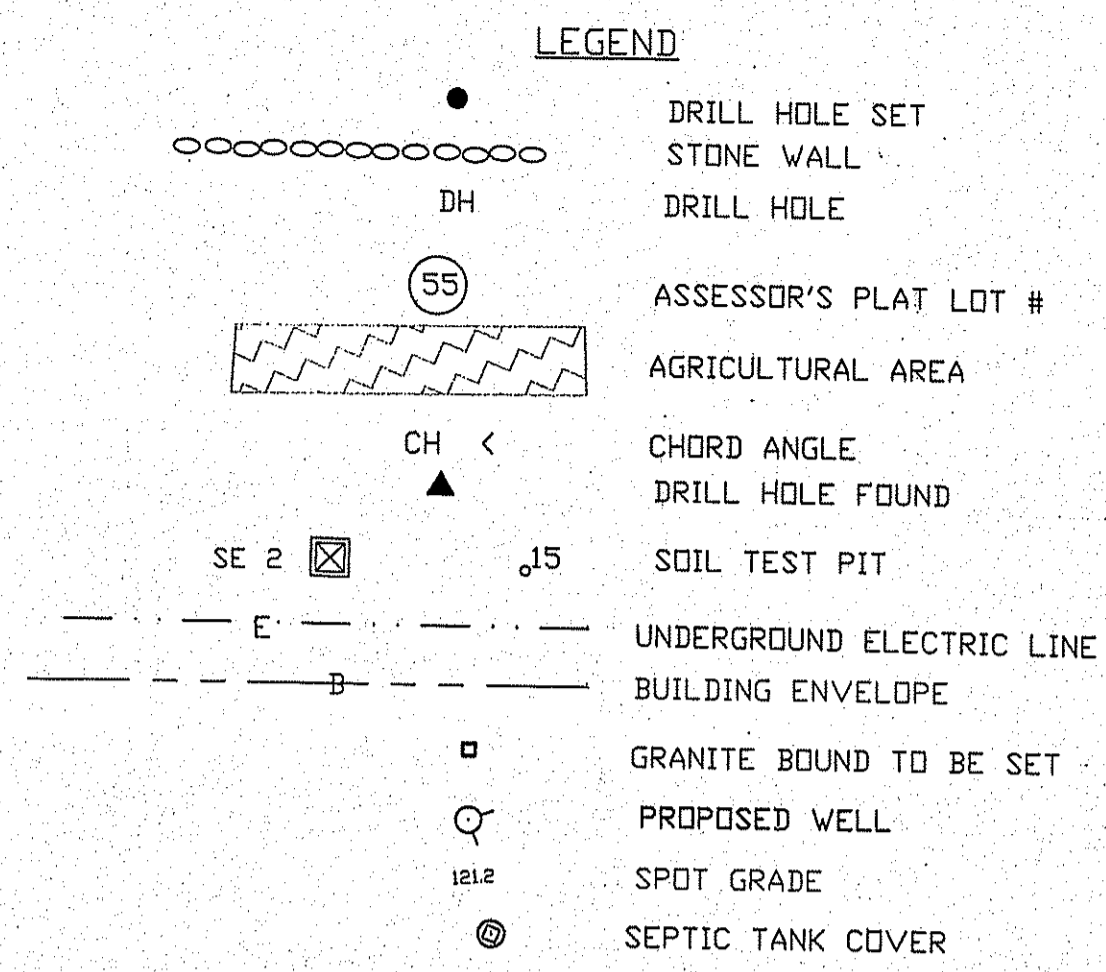
**HILBERN**  
 Land Surveying  
 Land Surveyors and Planners  
 225 B SHADY LEA RD. NORTH KINGSTOWN, RI 02852 (401)294-4080

THE SUBJECT PROPERTY ABUTS  
 THE FOLLOWING STREETS:  
 PAYNE ROAD  
 SANDS POND ROAD  
 ROAD TO MOHEGAN BLUFFS



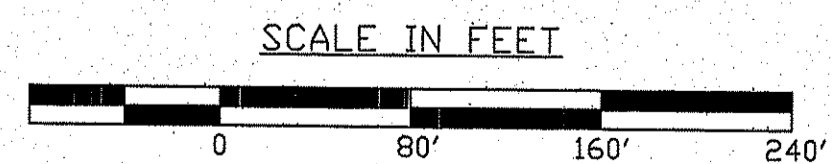
**NOTES**

1. DEVELOPABLE LAND AREA OF LOT 1 = 90,444.5 SQ. FT.
2. DEVELOPABLE LAND AREA OF LOT 2 = 103,036.7 SQ. FT.
3. DEVELOPABLE LAND AREA OF LOT 3 = 120,007.4 SQ. FT.
4. DEVELOPABLE LAND AREA OF LOT 4 = 120,023 SQ. FT.
5. DEVELOPABLE LAND AREA OF LOT 5 = 120,135.9 SQ. FT.
6. DEVELOPABLE LAND AREA OF LOT 6 = 121,041 SQ. FT.
7. DEVELOPABLE LAND AREA OF LOT 7 = 69,464.3 SQ. FT.
8. THIS LAND LIES WITHIN AN RA ZONE
9. AREA TO NORTH OF R.O.W. ON LOTS 3,4,5 & 6 TO BE DEEDED AS AN AGRICULTURAL AREA = 133,222.9 SQ. FT.
10. TOTAL AREA OF LOT 58 = 1,016,007.3 SQ. FT. = 23.3 ACRES
11. TOTAL DEVELOPABLE AREA LOT 58 = 744,152.8 SQ. FT.
12. NO PROPOSED GRADE CHANGES FOR R.O.W.'S
13. ALL EXISTING WELLS WITHIN 200' OF SITE ARE SHOWN.
14. ALL PUBLIC WELLS WITHIN 400' OF SITE ARE SHOWN.
15. ALL PROPOSED WELLS ARE SHOWN.



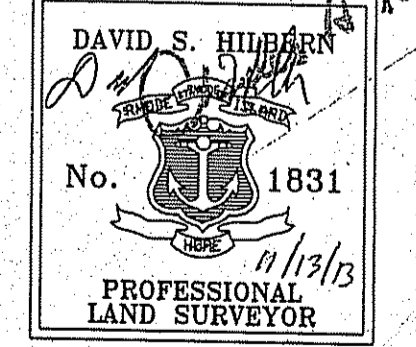
**REFERENCES:**

1. DEFINITIVE PLAN SUBDIVISION OF LOT 28 ASSESSOR'S PLAT 9 IN NEW SHOREHAM, RI FOR MICHAEL AND KATHRYN BELIS 1" = 40' JUNE 1994 BY STANLEY ENGINEERING FILE # 520
2. REPLAT SHEFFIELD FARM PLAN OF SUBDIVISION IN NEW SHOREHAM, RI FOR BLAKE PHELAN 1" = 40' DECEMBER 1981 BY STANLEY ENGINEERING FILE # 184
3. SURVEY OF LAND FOR ROBERT PETIT BY KEN ANTHONY 1" = 30' MAY 1979
4. PROPERTY SURVEY OF LOT 58 ASSESSOR PLAT 9 NEW SHOREHAM, R.I. OWNED BY WILLIAM MERKLER AND SHANNON McALOON 1" = 80' 11/25/11 BY HILBERN LAND SURVEYING



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DATE: 6/26/12

SCALE: 1" = 80'

**FLEXIBLE DESIGN MASTER PLAN**  
"THE PLAINS"  
LOT 58 ASSESSOR PLAT 9  
NEW SHOREHAM, R.I.  
OWNED BY WILLIAM MERKLER  
AND SHANNON McALOON  
219 SECOND AVENUE BELMAR, NEW JERSEY 07719

THIS PLAN AND SURVEY CONFORM TO A CLASS I STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD FOR PROFESSIONAL LAND SURVEYORS.



BY: *David Hilbern*  
REGISTERED PROFESSIONAL LAND SURVEYOR

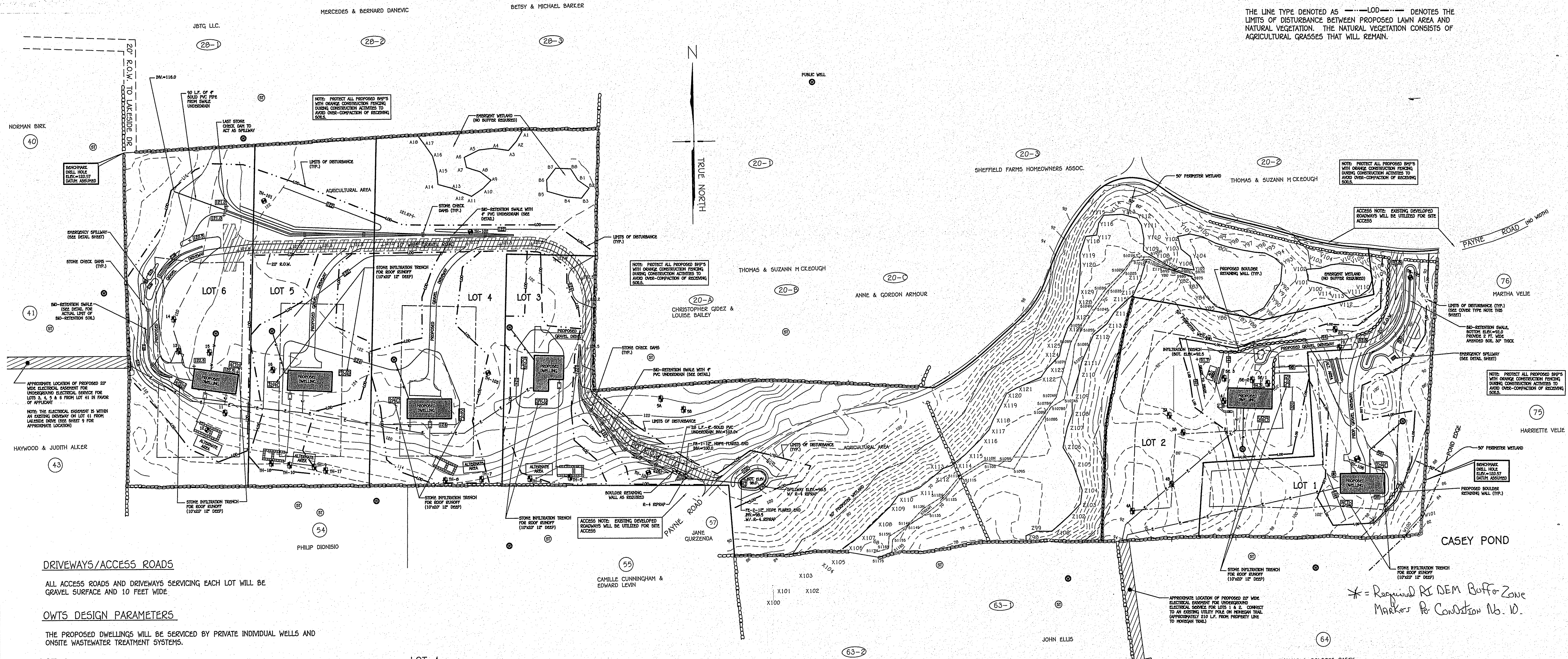
NO.	DATE	REVISIONS
1	9/6/12	ADDED SOIL TEST PITS, MOVED HOUSES
2	10/31/12	MOVED HOUSES AND RIGHT OF WAY
3	12/18/12	MOVED RIGHT OF WAY, ADDED AGRICULTURAL AREA
4	2/11/13	MASTER PLAN, WELLS & 2' CONTOURS ADDED
5	5/7/13	LOTS 1 & 2 CHANGED LOT 7 CREATED
6	6/14/13	LOTS 5 & 6 CHANGED FLEXIBLE DESIGN
7	7/17/13	HAMMERHEAD ADDED, BUILDING ENVELOPE CHANGED
8	9/4/13	MOVED HOUSE ON LOT 6
9	11/12/13	SPOT GRADES, WELLS, SEPTIC TANKS ADDED

**HILBERN**  
Land Surveying  
Land Surveyors and Planners  
225 B SHADY LEA RD. NORTH KINGSTOWN, RI 02852 (401)294-4080

THE SUBJECT PROPERTY ABUTS THE FOLLOWING STREETS:  
PAYNE ROAD  
SANDS POND ROAD  
ROAD TO MOHEGAN BLUFFS

**COVER TYPE NOTE**

THE LINE TYPE DENOTED AS -LOD- DENOTES THE LIMITS OF DISTURBANCE BETWEEN PROPOSED LAWN AREA AND NATURAL VEGETATION. THE NATURAL VEGETATION CONSISTS OF AGRICULTURAL GRASSES THAT WILL REMAIN.



**DRIVEWAYS/ACCESS ROADS**

ALL ACCESS ROADS AND DRIVEWAYS SERVICING EACH LOT WILL BE GRAVEL SURFACE AND 10 FEET WIDE.

**OWTS DESIGN PARAMETERS**

THE PROPOSED DWELLINGS WILL BE SERVICED BY PRIVATE INDIVIDUAL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS.

**LOT 1**

GWT DESIGN ELEV.=86.4  
 BASED ON CATEGORY 1 SOILS FROM TH-19  
 PROPOSED 5 BEDROOM DWELLING X 115GPD/BEDROOM = 575 GPD  
 LOADING RATE FOR CAT. 1 SOILS=2.3 GPD/SF  
 REQUIRED LEACHFIELD AREA = 575 GPD/2.3 GPD/SF = 250 S.F.  
 UTILIZING GEOMAT FOR LEACHFIELD OPTON, THEREFORE NEED 77 LF OF GEOMATS PROVIDING 2 LINES AT 38.5 LF  
 INV. OF GEOMAT=92.5

**LOT 2**

GWT DESIGN ELEV.=85.0  
 BASED ON CATEGORY 6 SOILS FROM SE-3  
 PROPOSED 3 BEDROOM DWELLING X 115GPD/BEDROOM = 345 GPD  
 LOADING RATE FOR CAT. 6 SOILS=2.3 GPD/SF  
 REQUIRED LEACHFIELD AREA = 345 GPD/2.3 GPD/SF = 150 S.F.  
 UTILIZING GEOMAT FOR LEACHFIELD OPTON, THEREFORE NEED 47 LF OF GEOMATS PROVIDING 2 LINES AT 23.5 LF  
 INV. OF GEOMAT=91.0

**LOT 3**

GWT DESIGN ELEV.=103.4  
 BASED ON CATEGORY 8 SOILS FROM TH-5  
 PROPOSED 3 BEDROOM DWELLING X 115GPD/BEDROOM = 345 GPD  
 LOADING RATE FOR CAT. 8 SOILS=0.46 GPD/SF  
 REQUIRED LEACHFIELD AREA = 345 GPD/0.46 GPD/SF = 750 S.F.  
 UTILIZING ELJEN IN-DRAINS FOR LEACHFIELD OPTON, THEREFORE NEED 27 ELJEN UNITS PROVIDING 27 ELJEN UNITS  
 INV. OF ELJENS=107.0

**LOT 4**

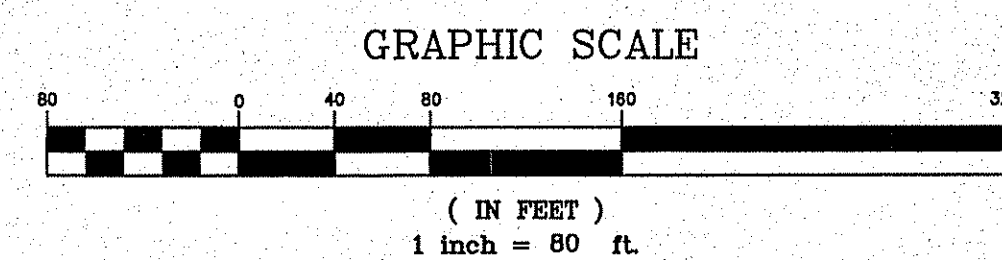
GWT DESIGN ELEV.=111.8  
 BASED ON CATEGORY 7 SOILS FROM TH-8  
 PROPOSED 3 BEDROOM DWELLING X 115GPD/BEDROOM = 345 GPD  
 LOADING RATE FOR CAT. 7 SOILS=0.52 GPD/SF  
 REQUIRED LEACHFIELD AREA = 345 GPD/0.52 GPD/SF = 663 S.F.  
 UTILIZING ELJEN IN-DRAINS FOR LEACHFIELD OPTON, THEREFORE NEED 24 ELJEN UNITS PROVIDING 24 ELJEN UNITS  
 INV. OF ELJENS=115.0

**LOT 5**

GWT DESIGN ELEV.=106.0  
 BASED ON CATEGORY 7 SOILS FROM TH-10  
 PROPOSED 3 BEDROOM DWELLING X 115GPD/BEDROOM = 345 GPD  
 LOADING RATE FOR CAT. 7 SOILS=0.52 GPD/SF  
 REQUIRED LEACHFIELD AREA = 345 GPD/0.52 GPD/SF = 663 S.F.  
 UTILIZING ELJEN IN-DRAINS FOR LEACHFIELD OPTON, THEREFORE NEED 24 ELJEN UNITS PROVIDING 24 ELJEN UNITS  
 INV. OF ELJENS=109.5

**LOT 6**

GWT DESIGN ELEV.=106.7  
 BASED ON CATEGORY 8 SOILS FROM TH-12  
 PROPOSED 3 BEDROOM DWELLING X 115GPD/BEDROOM = 345 GPD  
 LOADING RATE FOR CAT. 8 SOILS=0.46 GPD/SF  
 REQUIRED LEACHFIELD AREA = 345 GPD/0.46 GPD/SF = 750 S.F.  
 UTILIZING ELJEN IN-DRAINS FOR LEACHFIELD OPTON, THEREFORE NEED 27 ELJEN UNITS PROVIDING 27 ELJEN UNITS  
 INV. OF ELJENS=111.5

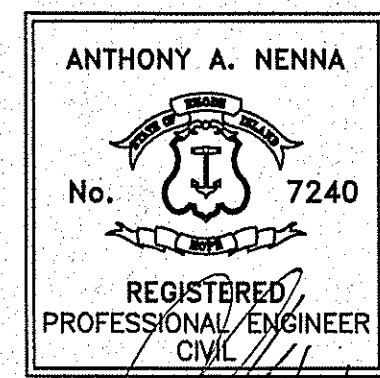


* = Required RI DEM Buffer Zone  
 Marked Per Construction No. 10.

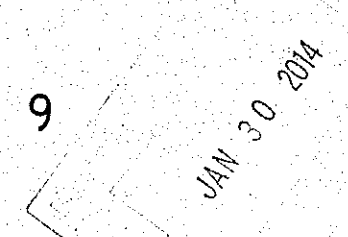
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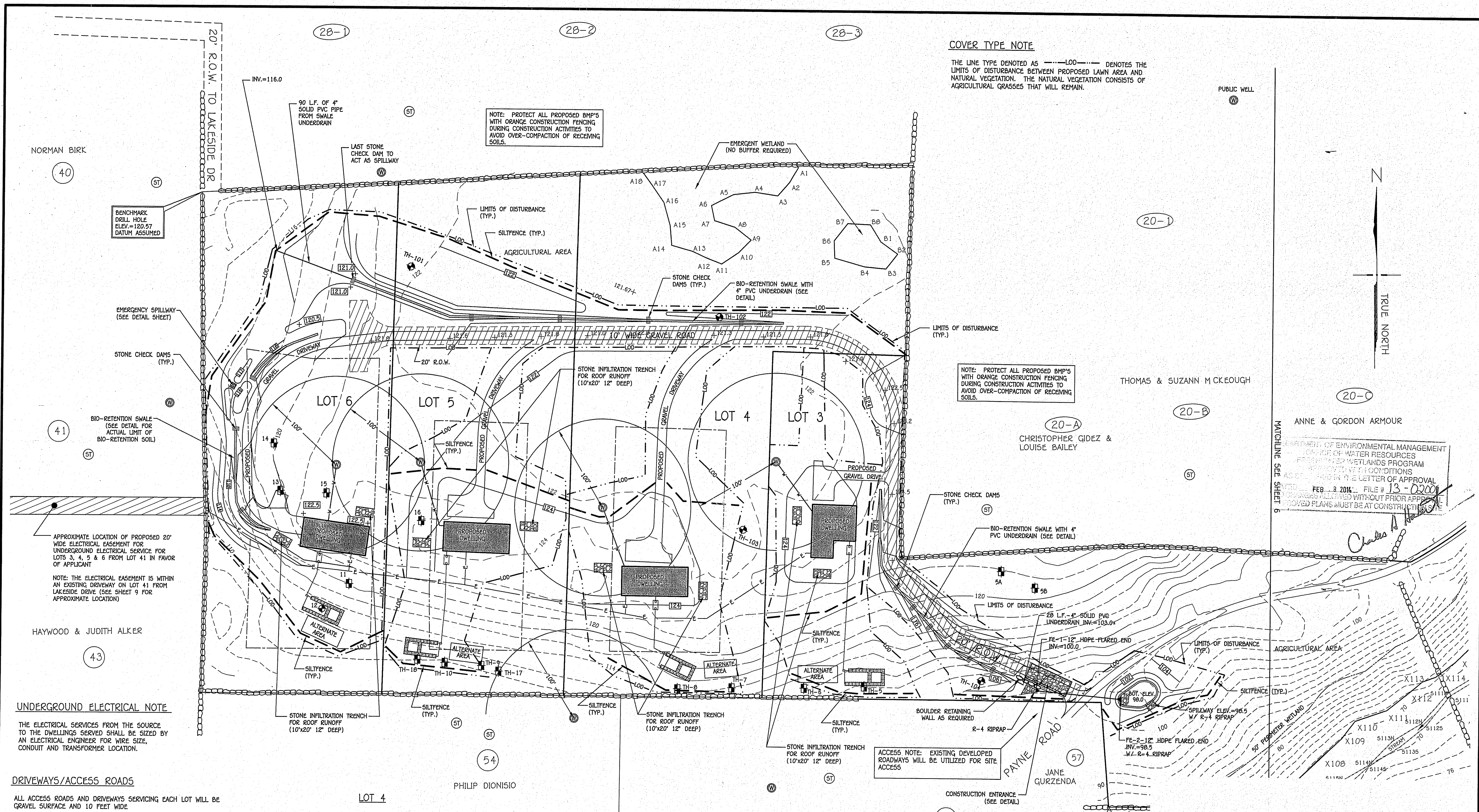
*Charles A. Hackett*

OVERALL PLAN  
 RIDEM PRELIMINARY DETERMINATION APPLICATION  
 PREPARED FOR WILLIAM MERKLER AND SHANNON MCALOON  
 ASSESSOR'S PLAT 9, LOT 58  
 PAYNE ROAD  
 NEW SHOREHAM, RHODE ISLAND  
 SCALE: 1"=80'  
 NOVEMBER 26, 2013 SHEET 4 OF 9  
 REVISED JANUARY 21, 2014  
 PREPARED BY:



ON-SITE ENGINEERING, INC.  
 85 BEACH STREET, BLDG. B  
 WESTERLY, RI 02891  
 401-348-6831



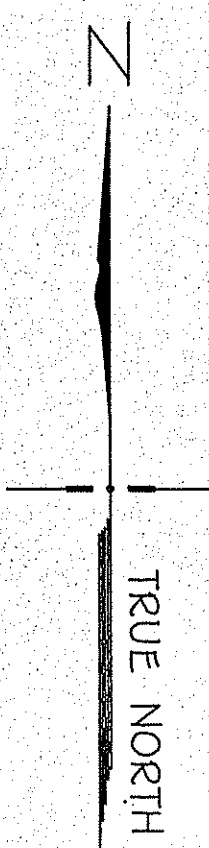


**COVER TYPE NOTE**  
 THE LINE TYPE DENOTED AS ---LOO--- DENOTES THE LIMITS OF DISTURBANCE BETWEEN PROPOSED LAWN AREA AND NATURAL VEGETATION. THE NATURAL VEGETATION CONSISTS OF AGRICULTURAL GRASSES THAT WILL REMAIN.

NOTE: PROTECT ALL PROPOSED BMP'S WITH ORANGE CONSTRUCTION FENCING DURING CONSTRUCTION ACTIVITIES TO AVOID OVER-COMPACTION OF RECEIVING SOILS.

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 RIVER AND WETLANDS PROGRAM  
 AS APPROVED IN THE LETTER OF APPROVAL  
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NORMAN BIRK  
 (40)

THOMAS & SUZANN MCKEOUGH  
 (20-A) (20-B)

CHRISTOPHER GIDZ & LOUISE BAILEY  
 (20-A)

ANNE & GORDON ARMOUR  
 (20-C)

APPROXIMATE LOCATION OF PROPOSED 20' WIDE ELECTRICAL EASEMENT FOR UNDERGROUND ELECTRICAL SERVICE FOR LOTS 3, 4, 5 & 6 FROM LOT 41 IN FAVOR OF APPLICANT  
 NOTE: THE ELECTRICAL EASEMENT IS WITHIN AN EXISTING DRIVEWAY ON LOT 41 FROM LAKESIDE DRIVE (SEE SHEET 9 FOR APPROXIMATE LOCATION)

**UNDERGROUND ELECTRICAL NOTE**  
 THE ELECTRICAL SERVICES FROM THE SOURCE TO THE DWELLINGS SERVED SHALL BE SIZED BY AN ELECTRICAL ENGINEER FOR WIRE SIZE, CONDUIT AND TRANSFORMER LOCATION.

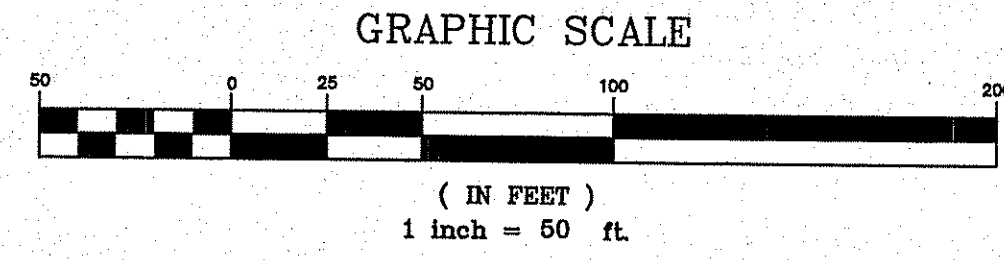
**DRIVEWAYS/ACCESS ROADS**  
 ALL ACCESS ROADS AND DRIVEWAYS SERVICING EACH LOT WILL BE GRAVEL SURFACE AND 10 FEET WIDE

**OWTS DESIGN PARAMETERS**  
 THE PROPOSED DWELLINGS WILL BE SERVICED BY PRIVATE INDIVIDUAL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS.  
 THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A CRITICAL RESOURCE AREA OR NEW SHOREHAM'S DRINKING WATER SUPPLY WATERSHED.

**LOT 3**  
 QWT DESIGN ELEV.=103.4  
 BASED ON CATEGORY 8 SOILS FROM TH-5  
 PROPOSED 3 BEDROOM DWELLING X 115GPD/BEDROOM = 345 GPD  
 LOADING RATE FOR CAT. 8 SOILS=0.46 GPD/5F  
 REQUIRED LEACHFIELD AREA = 345 GPD/0.46 GPD/5F = 750 S.F.  
 UTILIZING ELJEN IN-DRAINS FOR LEACHFIELD OPTION, THEREFORE NEED 27 ELJEN UNITS PROVIDING 27 ELJEN UNITS  
 INV. OF ELJENS=107.0

**LOT 5**  
 QWT DESIGN ELEV.=106.0  
 BASED ON CATEGORY 7 SOILS FROM TH-10  
 PROPOSED 3 BEDROOM DWELLING X 115GPD/BEDROOM = 345 GPD  
 LOADING RATE FOR CAT. 7 SOILS=0.52 GPD/5F  
 REQUIRED LEACHFIELD AREA = 345 GPD/0.52 GPD/5F = 663 S.F.  
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 INV. OF ELJENS=109.5

**LOT 6**  
 QWT DESIGN ELEV.=106.7  
 BASED ON CATEGORY 8 SOILS FROM TH-12  
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 LOADING RATE FOR CAT. 8 SOILS=0.46 GPD/5F  
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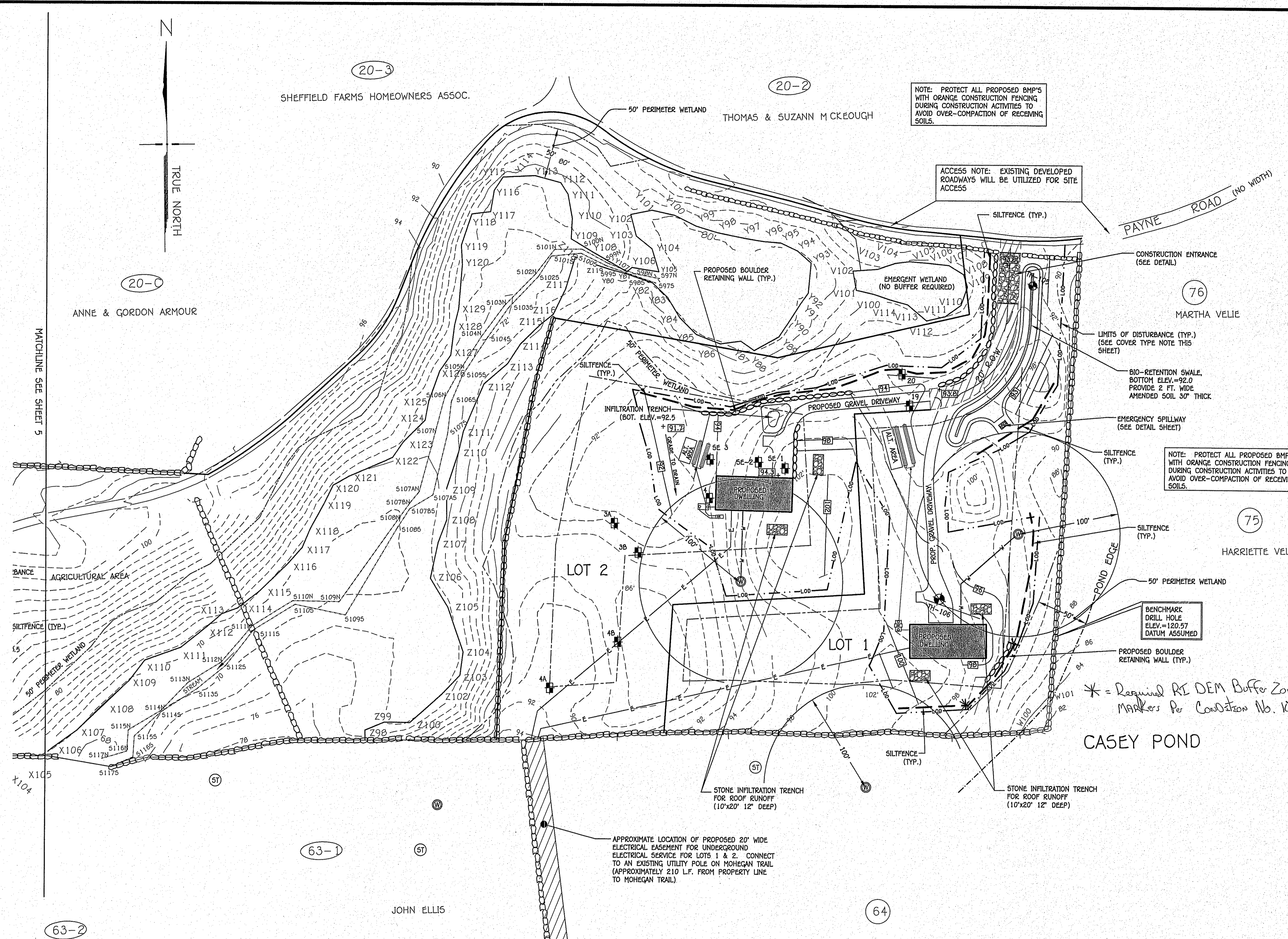


ANTHONY A. NENNA  
 No. 7240  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

PROPOSED GRADING AND DRAINAGE PLAN  
 RIDEM PRELIMINARY DETERMINATION APPLICATION  
 PREPARED FOR WILLIAM MERKLER AND SHANNON MCALOON  
 ASSESSOR'S PLAT 9, LOT 5B  
 PAYNE ROAD  
 NEW SHOREHAM, RHODE ISLAND  
 SCALE: 1"=50'  
 NOVEMBER 26, 2013 SHEET 5 OF 9  
 REVISED JANUARY 21, 2014  
 PREPARED BY:

ON-SITE ENGINEERING, INC.  
 85 BEACH STREET, BLDG. B  
 WESTERLY, RI 02891  
 401-348-6831

JAN 30 2014



**UNDERGROUND ELECTRICAL NOTE**  
 THE ELECTRICAL SERVICES FROM THE SOURCE TO THE DWELLINGS SERVED SHALL BE SIZED BY AN ELECTRICAL ENGINEER FOR WIRE SIZE, CONDUIT AND TRANSFORMER LOCATION.

**COVER TYPE NOTE**  
 THE LINE TYPE DENOTED AS ---LOO--- DENOTES THE LIMITS OF DISTURBANCE BETWEEN PROPOSED LAWN AREA AND NATURAL VEGETATION. THE NATURAL VEGETATION CONSISTS OF AGRICULTURAL GRASSES THAT WILL REMAIN.

NOTE: PROTECT ALL PROPOSED BMP'S WITH ORANGE CONSTRUCTION FENCING DURING CONSTRUCTION ACTIVITIES TO AVOID OVER-COMPACTION OF RECEIVING SOILS.

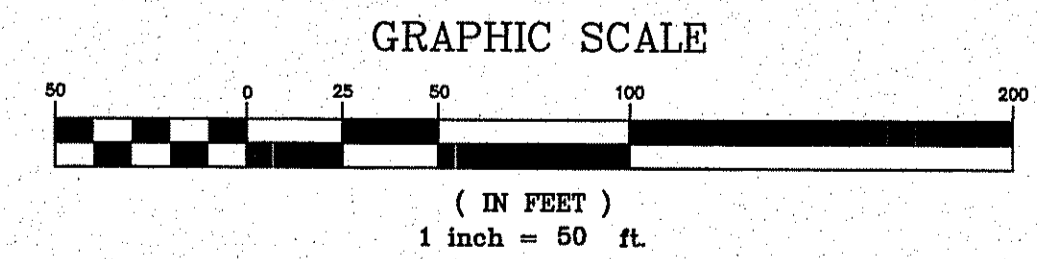
ACCESS NOTE: EXISTING DEVELOPED ROADWAYS WILL BE UTILIZED FOR SITE ACCESS

NOTE: PROTECT ALL PROPOSED BMP'S WITH ORANGE CONSTRUCTION FENCING DURING CONSTRUCTION ACTIVITIES TO AVOID OVER-COMPACTION OF RECEIVING SOILS.

* = Required RI DEM Buffer Zone Markers Per Condition No. 10.

APPROXIMATE LOCATION OF PROPOSED 20' WIDE ELECTRICAL EASEMENT FOR UNDERGROUND ELECTRICAL SERVICE FOR LOTS 1 & 2. CONNECT TO AN EXISTING UTILITY POLE ON MOHEGAN TRAIL (APPROXIMATELY 210 L.F. FROM PROPERTY LINE TO MOHEGAN TRAIL).

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**DRIVEWAYS/ACCESS ROADS**

ALL ACCESS ROADS AND DRIVEWAYS SERVICING EACH LOT WILL BE GRAVEL SURFACE AND 10 FEET WIDE

**OWTS DESIGN PARAMETERS**

THE PROPOSED DWELLINGS WILL BE SERVICED BY PRIVATE INDIVIDUAL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS.

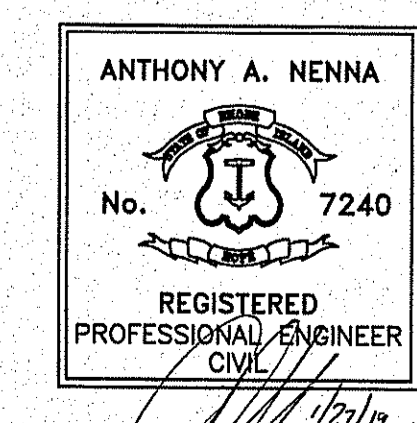
THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A CRITICAL RESOURCE AREA OR NEW SHOREHAM'S DRINKING WATER SUPPLY WATERSHED.

**LOT 1**

GWT DESIGN ELEV.=86.4  
 BASED ON CATEGORY 1 SOILS FROM TH-19  
 PROPOSED 5 BEDROOM DWELLING X 115GPD/BEDROOM = 575 GPD  
 LOADING RATE FOR CAT. 1 SOILS=2.3 GPD/SF  
 REQUIRED LEACHFIELD AREA = 575 GPD/2.3 GPD/SF = 250 S.F.  
 UTILIZING GEOMAT FOR LEACHFIELD OPTION, THEREFORE NEED 77 LF OF GEOMATS PROVIDING 2 LINES AT 38.5 LF  
 INV. OF GEOMAT=92.5

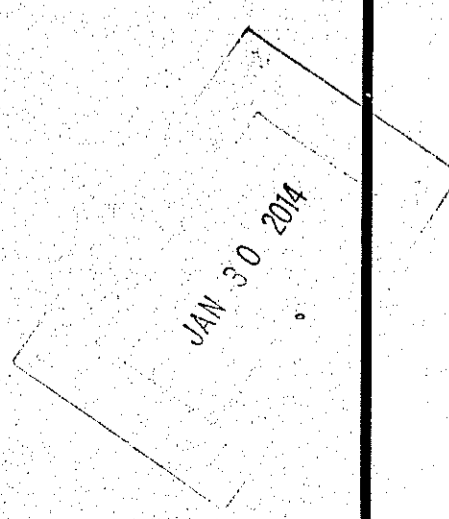
**LOT 2**

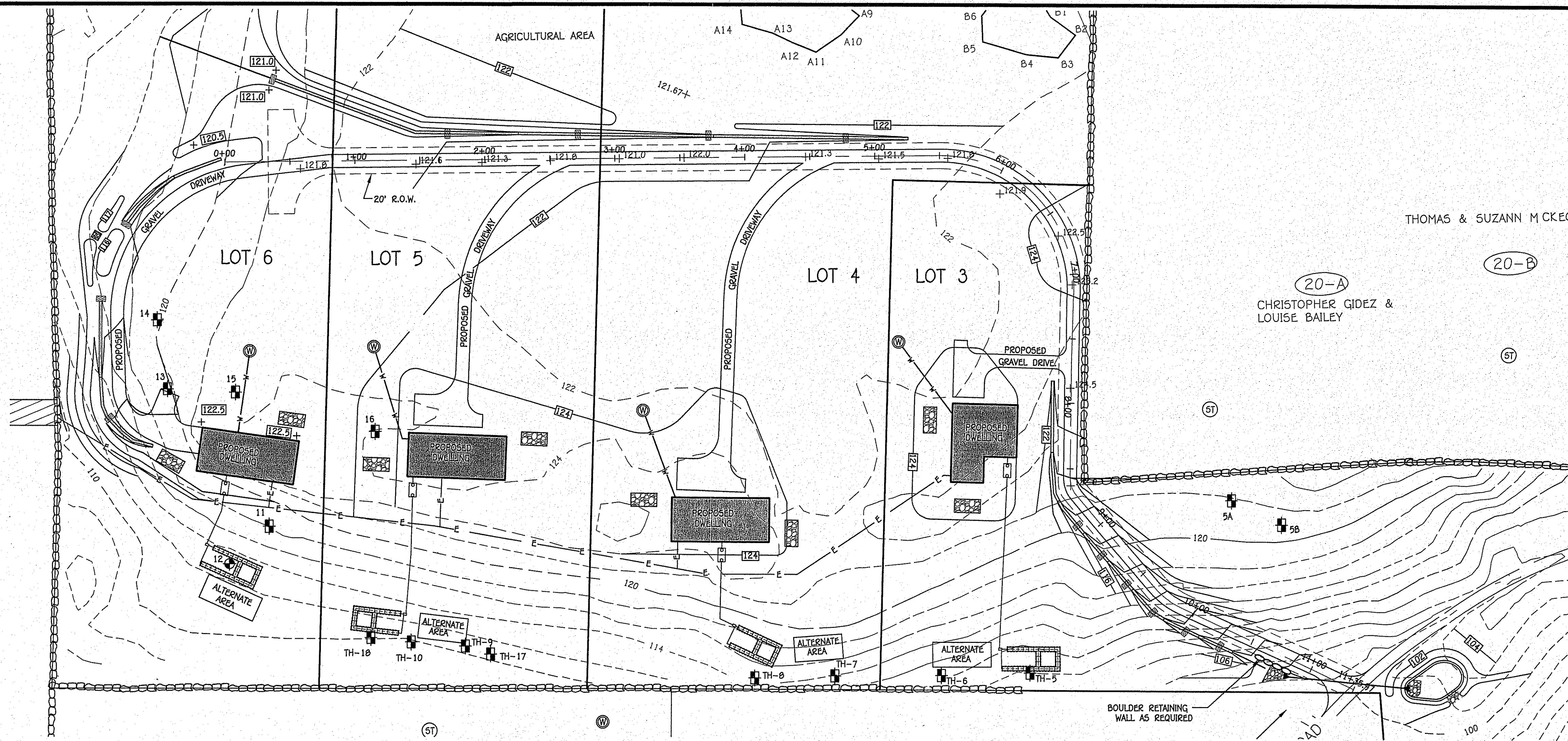
GWT DESIGN ELEV.=85.0  
 BASED ON CATEGORY 6 SOILS FROM SE-3  
 PROPOSED 3 BEDROOM DWELLING X 115GPD/BEDROOM = 345 GPD  
 LOADING RATE FOR CAT. 6 SOILS=2.3 GPD/SF  
 REQUIRED LEACHFIELD AREA = 345 GPD/2.3 GPD/SF = 150 S.F.  
 UTILIZING GEOMAT FOR LEACHFIELD OPTION, THEREFORE NEED 47 LF OF GEOMATS PROVIDING 2 LINES AT 23.5 LF  
 INV. OF GEOMAT=91.0



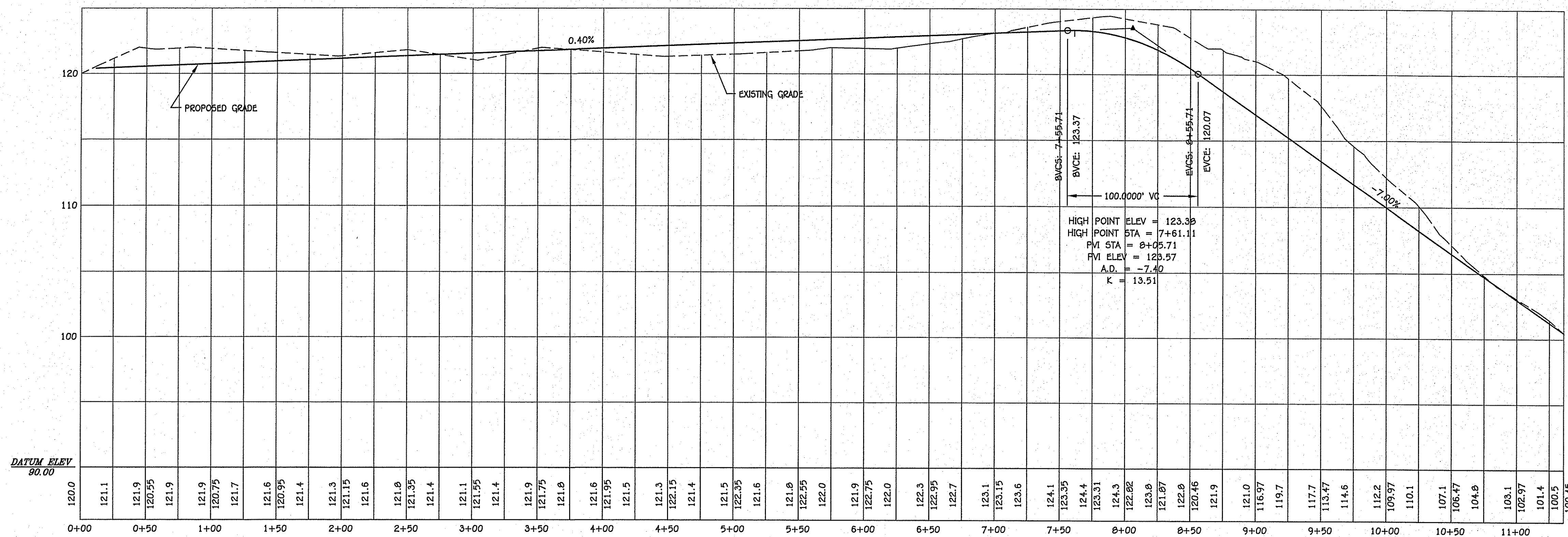
PROPOSED GRADING AND DRAINAGE PLAN  
 RIDEM PRELIMINARY DETERMINATION APPLICATION  
 PREPARED FOR WILLIAM MERKLER AND SHANNON MCALOON  
 ASSESSOR'S PLAT 9, LOT 58  
 PAYNE ROAD  
 NEW SHOREHAM, RHODE ISLAND  
 SCALE: 1"=50'  
 NOVEMBER 26, 2013 SHEET 6 OF 9  
 REVISED JANUARY 21, 2014  
 PREPARED BY:

ON-SITE ENGINEERING, INC.  
 85 BEACH STREET, BLDG. B  
 WESTERLY, RI 02891  
 401-348-6831



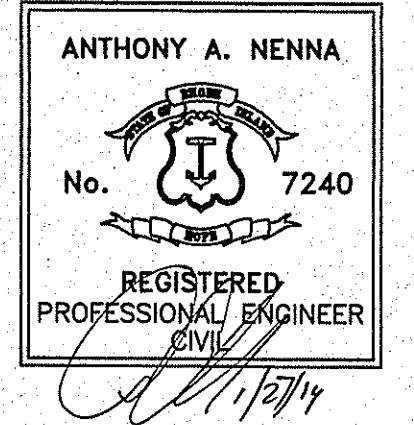


PLAN VIEW  
SCALE: 1"=50'



PROFILE  
SCALE: H: 1"=50'  
V: 1"=5'

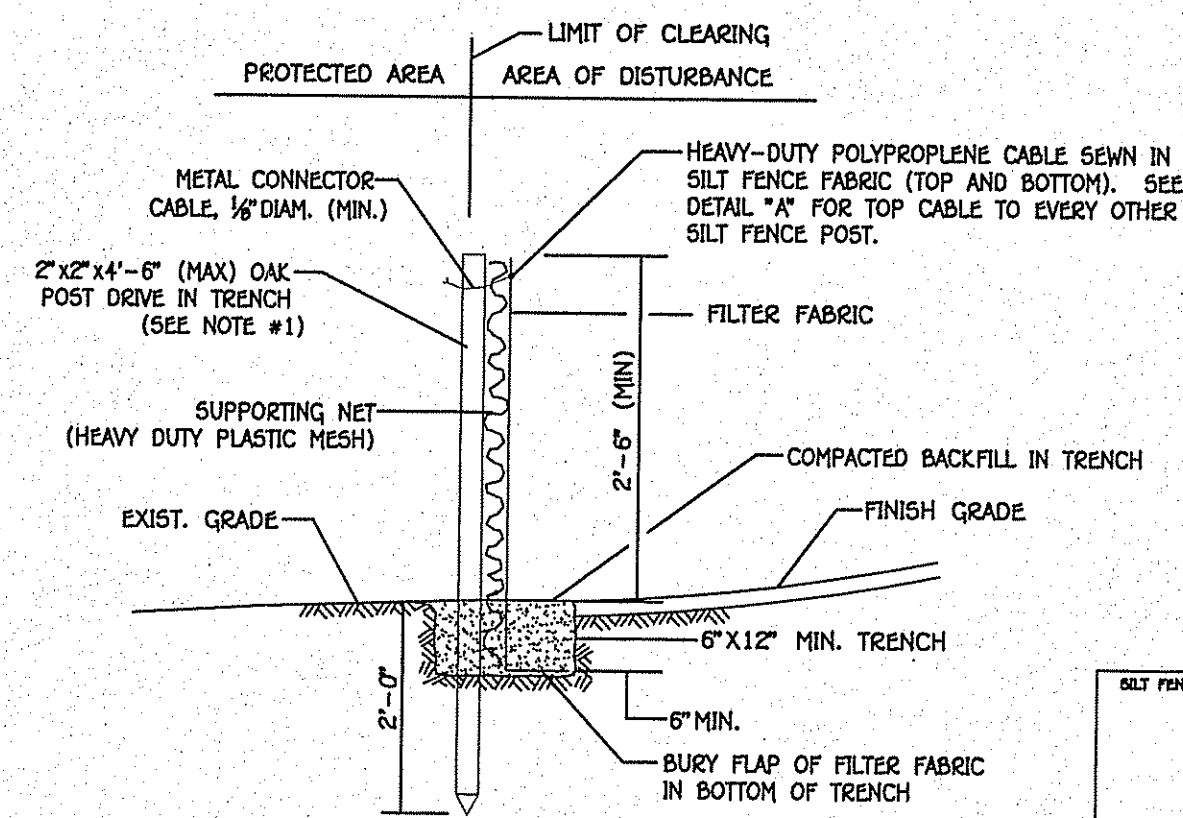
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
BUREAU OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 18 2014 FILE # 13-0200  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE



RIGHT OF WAY/ACCESS DRIVE PROFILE  
RIDEM PRELIMINARY DETERMINATION APPLICATION  
PREPARED FOR WILLIAM MERKLER AND SHANNON MCALOON  
ASSESSOR'S PLAT 9, LOT 5B  
PAYNE ROAD  
NEW SHOREHAM, RHODE ISLAND  
SCALE: 1"=50'  
NOVEMBER 26, 2013 SHEET 7 OF 9  
REVISED JANUARY 21, 2014  
PREPARED BY:

ON-SITE ENGINEERING, INC.  
95 BEACH STREET, BLDG. B  
WESTERLY, RI 02891  
401-348-6831

JAN 20 2014



- NOTES:**
- 2"x4"-6" (MAX) OAK POSTS FOR SILT FENCE SHALL BE LOCATED ON 8'-0" (MAX) O.C. IN WETLAND AREAS AND LOCATED ON 4'-0" (MAX) O.C. IN WETLAND RAVINE, GULLY OR DROPOFF AREAS AS SHOWN ON THE PLANS.
  - 1"x4"-6" (MIN) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
  - SILT FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH EXCAVATION TAKES PLACE.

**SILT FENCE DETAIL**  
NOT TO SCALE

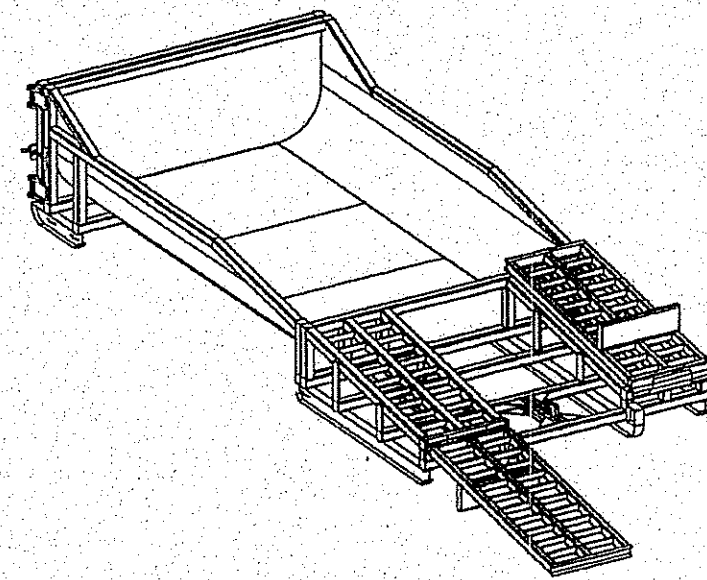
**EROSION AND SEDIMENT CONTROL NOTES**

- ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY SITE ACTIVITY.
- THE EROSION CONTROLS SHALL REMAIN IN PLACE UNTIL VEGETATION HAS BEEN ESTABLISHED.

**SILT FENCE MAINTENANCE**

- INSPECTION SHALL BE MADE AFTER EACH STORM EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS REQUIRED.
- CLEANOUT OF ACCUMULATED SEDIMENT BEHIND THE BALES IS NECESSARY IF 1/2 OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENT.

**PORTABLE CONCRETE WASHOUT CONTAINER**



**CONCRETE WASHOUT SYSTEMS**  
PO Box 2604  
Carmichael, CA. 95609  
Phone: 1.877.282.7468  
Fax: 1.818.244.0403  
info@concretewashout.com  
www.concretewashout.com  
Patent Pending

**DESCRIPTION**  
A portable, self-contained and watertight container affixed with ramps that controls, captures and contains caustic concrete wastewater and washout material.

**PURPOSE & OBJECTIVE**  
Allows trade personnel to easily washout concrete trucks, pumps and other equipment associated with cement on site and allows easy off site recycling of the same concrete materials and wastewater.

**APPLICATION**  
Construction projects where concrete, stucco, mortar, grout and cement are used as a construction material or where cementitious wastewater is created.

**MAINTENANCE**  
Inspect and clean out when 3/4 full, not allowing the container to overflow. Inspect wastewater level and request a vacuum if needed. Inspect subcontractors to ensure that proper housekeeping measures are employed when washing out equipment.

**SPECIFICATIONS**  
The container must be portable and temporary, watertight, equipped with ramps and have a holding capacity to accept washout from approximately 350 yards of poured concrete. A vacuum service must accompany washout container and be used by site superintendent as needed. A rampless container may be used in conjunction with a ramped container or by itself if a concrete pump is not needed. The washwater must be disposed of or treated and recycled in an environmentally safe manner and in accordance with federal, state or local regulatory guidelines.

**TARGETED POLLUTANTS**  
Caustic wastewater (high pH level near 12 units)  
Suspended solids  
Assorted Metals; Chromium VI, Nickel, Sulfate, Potassium, Magnesium and Calcium Compounds

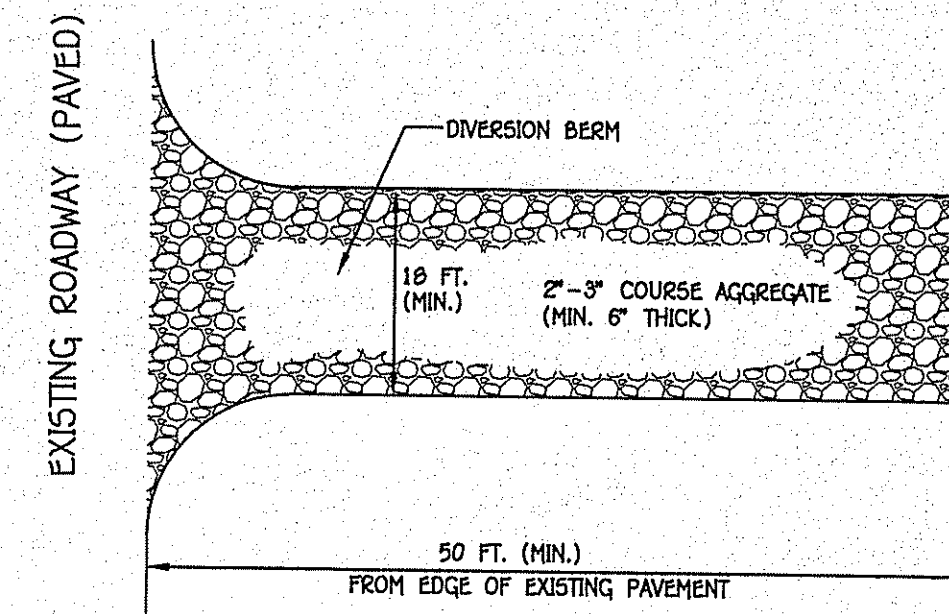
**MAINTENANCE OF BMP'S DURING CONSTRUCTION OPERATIONS**

- THE INFILTRATION AREAS SHALL BE DELINEATED IN THE FIELD TO AVOID COMPACTION BY CONSTRUCTION MACHINERY DURING CONSTRUCTION.
- THE INFILTRATION AREAS SHALL BE PROTECTED FROM SEDIMENTATION BY ADJACENT CONSTRUCTION ACTIVITIES DURING THE CONSTRUCTION PHASE.

**INSPECTION/MAINTENANCE OF WATER QUALITY AND INFILTRATION TRENCHES**

**BIO-RETENTION SWALE**

- INSPECT SWALES AT THE END OF MAJOR STORM EVENTS, CORRECT EROSION GULLIES AND MAINTAIN A HEALTHY STAND OF VEGETATION.
- REMOVE SEDIMENT BUILD-UP WITHIN THE BOTTOM OF THE SWALE.
- MAINTAIN AN AVERAGE GRASS HEIGHT OF 6-INCHES.



**GENERAL NOTES:**

- STONE SIZE: 2"-5" COARSE AGGREGATE AND SHALL MEET RIDOT SPECIFICATIONS AND RIDOT STD 9.9.0.
- LENGTH SHALL NOT BE LESS THAN 50 FEET.
- THE THICKNESS SHALL NOT BE LESS THAN 6-INCHES.
- THE WIDTH SHALL BE A MINIMUM OF 18 FEET AT POINTS WHERE INGRESS/EGRESS OCCURS.
- A FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE AGGREGATE.
- MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING ONTO PUBLIC RIGHT-OF-WAY.

**CONSTRUCTION ENTRANCE**

SCALE: NONE

**EROSION AND SEDIMENT CONTROL NARRATIVE**

**PROJECT DESCRIPTION**

THE PROPOSED DEVELOPMENT CONSISTS OF SUBDIVIDING THE PROPERTY INTO SIX SINGLE FAMILY RESIDENTIAL LOTS. THE HOUSES PROPOSED ARE APPROXIMATELY 2,500 S.F. IN SIZE AND WILL BE SERVICED BY INDIVIDUAL ON-SITE WASTEWATER TREATMENT SYSTEM (OWTS'S) AND PRIVATE WELLS. THE ACCESS ROADWAYS AND DRIVEWAYS WILL BE 10 FEET WIDE AND CONSIST OF A GRAVEL BASE.

**SITE DESCRIPTION**

THE SUBJECT PROPERTY IS DENOTED AS MAP 9, LOT 50 AND IS LOCATED DIRECTLY OFF OF PAYNE ROAD IN THE TOWN OF NEW SHOREHAM RHODE ISLAND. THE SUBJECT PROPERTY CONTAINS A TOTAL OF 23.4 ACRES AND IS MAINLY UTILIZED FOR AGRICULTURAL USE. A STREAM LESS THAN 10 FEET IN WIDTH TRAVELS FROM THE NORTHEAST PORTION OF THE PROPERTY TO THE SOUTHWEST PORTION. WETLANDS ARE LOCATED ON BOTH THE EAST AND WEST SIDE OF THE STREAM.

LAND USE IN THE VICINITY OF THE PROJECT AREA IS AGRICULTURAL AND RESIDENTIAL.

THE UPLAND SOILS IN THE PROJECT AREA CONSIST OF GLOUCESTER (GBC AND GBD) AND BRIDGEHAMPTON (BMA) SOILS. THE WETLAND SOIL COMPLEX CONSIST OF RAINBOW (RAB) SOILS WITHIN THE STREAM AREA AND WETLAND EDGE. WETLANDS ARE LOCATED ON SITE ALONG THE EDGES OF THE EXISTING STREAM AND TWO SMALL EMERGENT AREAS LOCATED ALONG THE NORTHERN PROPERTY LINE. THE WETLAND EDGE WAS VERIFIED BY RIDEM IN MARCH 2012 UNDER WETLAND APPLICATION NO. 12-0031.

**EROSION AND SEDIMENTATION CONTROL PLAN**

- SILT FENCE OR STAKED HAY BALES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND MAINTAINED ON A REGULAR BASIS AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY AND REGULATED WETLAND AREAS.
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 THROUGH OCTOBER 15.
- TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE.
- STOCKPILES SHALL NOT HAVE SLOPES STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES OR SILT FENCING.
- THE TOPSOIL FOR SEEDING SHALL HAVE A SANDY LOAM TEXTURE, RELATIVELY FREE OF STONES, ROOTS OR DEBRIS.
- THE FOLLOWING TEMPORARY SEED MIX SHALL BE USED ON ALL STOCK PILE AREAS THAT WILL EXPOSED FOR PROLONG PERIODS OF TIME

SPECIES	POUNDS/1000 SF	POUNDS/ACRE	SEEDING DATES
ANNUAL RYEGRASS	1.0	40	MARCH 1 TO JUNE 15
PERENNIAL RYEGRASS	1.0	40	MARCH 15 TO JUNE 15
SUDANGRASS	0.7	30	MAY 15 TO AUGUST 15
MILLET	0.5	20	JUNE 1 TO JULY 1
WINTER RYE	3.0	120	APRIL 15 TO OCTOBER 15
OAT	2.0	86	MARCH 1 TO JUNE 15
WEED LOVEGRASS	0.2	5	JUNE 1 TO JULY 1

A. APPLY EVENLY AT 2 TONS OF GROUND LIMESTONE PER ACRE OR ACCORDING TO SOIL TESTS.

B. APPLY EVENLY 10-10-10 ANALYSIS FERTILIZER OR ACCORDING TO SOIL TESTS.

C. APPLY MULCH IMMEDIATELY AFTER SEEDING.

**MAINTENANCE PLAN**

- PRIOR TO COMMENCING CLEARING AND GRUBBING OPERATIONS, SILT FENCE SHALL BE PLACED AS TO PREVENT SEDIMENT FROM ENTERING REGULATED WETLANDS AND BUFFERS AND ADJUTING PROPERTIES.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCES WHEN IT BECOMES ABOUT 6-INCHES DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ADDITIONAL SILT FENCING OR HAY BALES SHALL BE LOCATED IN CONDITIONS-MANNER RESOURCES OR AS DIRECTED BY THE TOWN OR ENGINEER.

**CONSTRUCTION SCHEDULE**

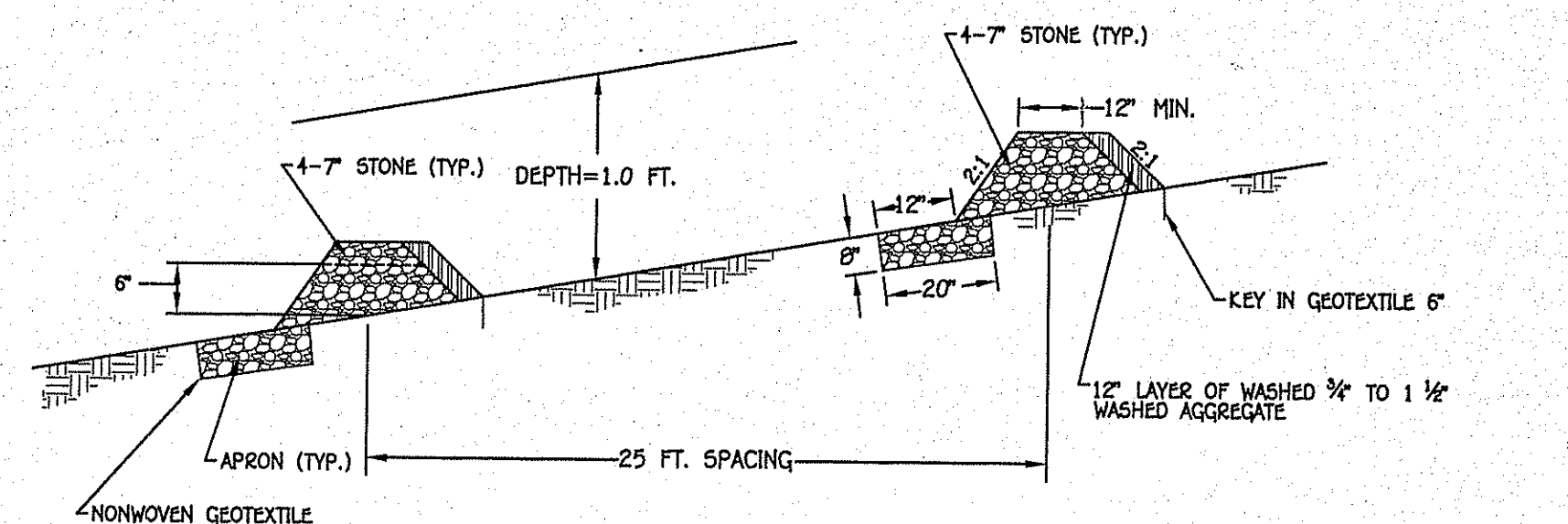
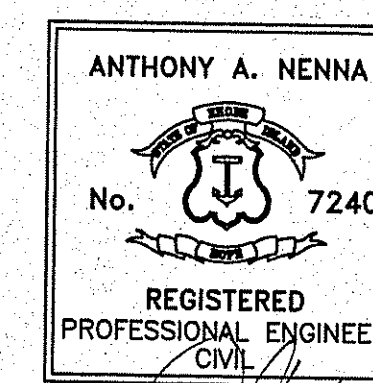
- OBTAIN PLAN APPROVAL AND APPLICABLE PERMITS.
- INSTALL ALL NECESSARY EROSION CONTROL MEASURES.
- RE-ALIGN EXISTING GRAVEL ACCESS ROADWAY. THERE WILL BE NO GRADE CHANGES FOR THE ACCESS ROADWAY.
- EXCAVATE AND CONSTRUCT THE DWELLING ON LOT 6.
- UPON COMPLETION OF BUILDING FOUNDATION, START CONSTRUCTION OF GRAVEL DRIVEWAY, DRILL WELL AND INSTALL THE SEPTIC SYSTEM.
- CONDUCT FINAL SITE GRADING, TOPSOIL AND SEEDING.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER RAINFALL EVENTS. NEEDED REPAIRS SHALL BE MADE IMMEDIATELY.
- ONCE THE SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES.

NOTE: THE REMAINING LOTS WILL BE SEQUENCED IN THE SAME MANNER AND WILL BE CONSTRUCTED AT LATER DATES.

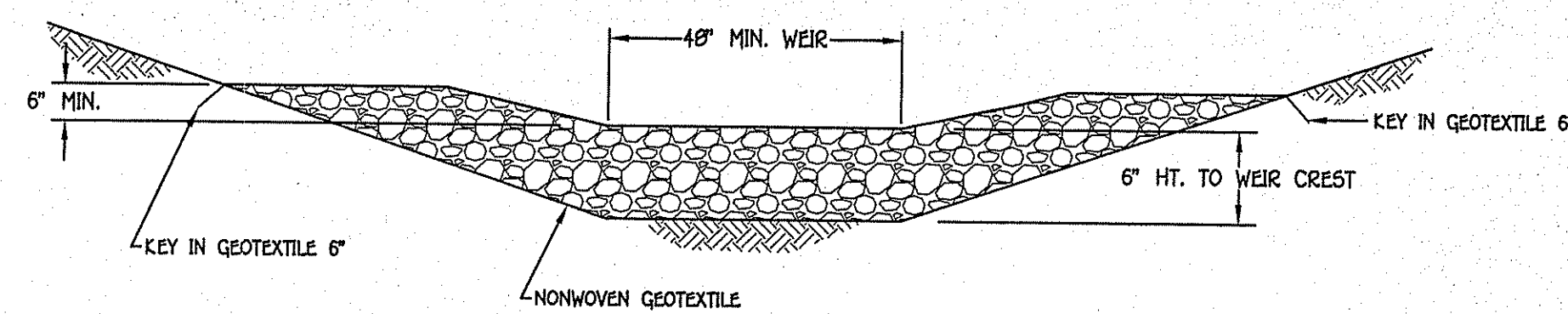
**DETAILS AND NOTES**

RIDEM PRELIMINARY DETERMINATION APPLICATION  
PREPARED FOR WILLIAM MERKLER AND SHANNON MCALOON  
ASSESSOR'S PLAT 9, LOT 50  
PAYNE ROAD  
NEW SHOREHAM, RHODE ISLAND  
SCALE: 1"=50'  
NOVEMBER 26, 2013 SHEET 8 OF 9  
REVISED JANUARY 21, 2014  
PREPARED BY:

ON-SITE ENGINEERING, INC.  
85 BEACH STREET, BLDG. B  
WESTERLY, RI 02891  
401-348-6831



**CHANNEL PROFILE**

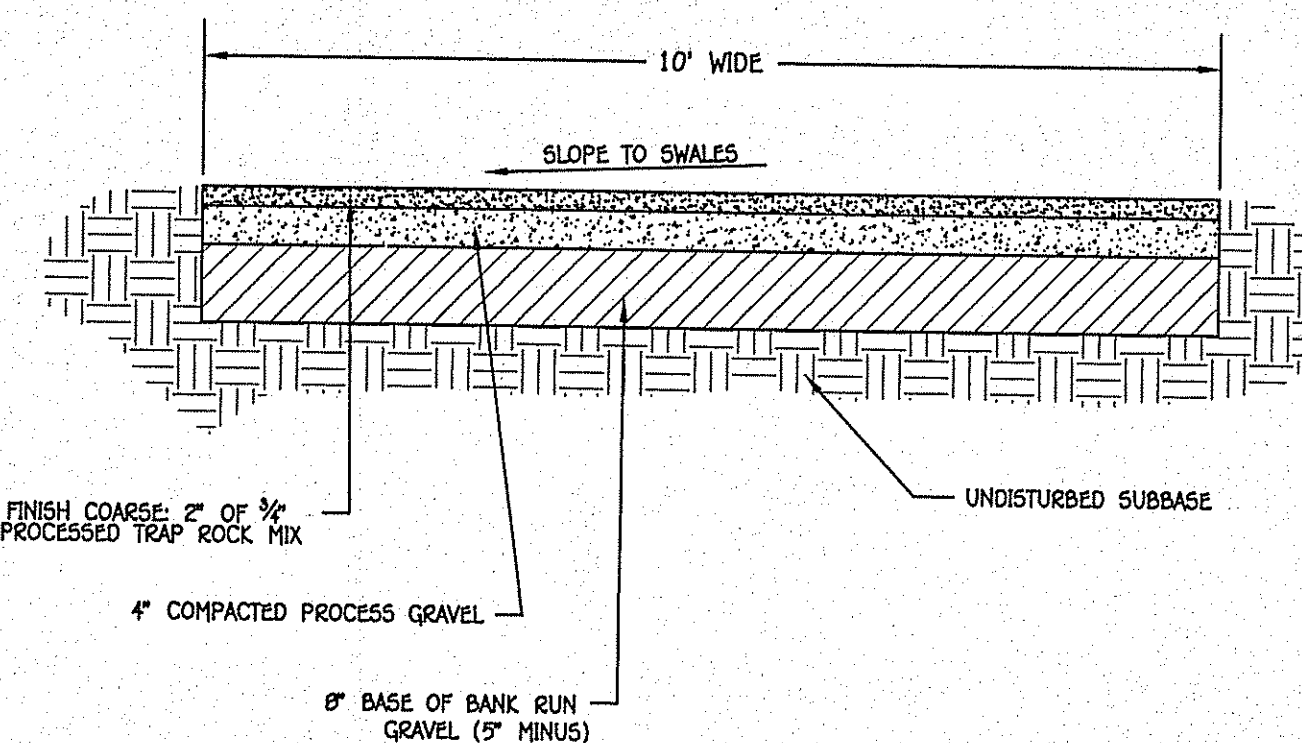


**CROSS SECTION**

- NOTES:**
- THE CHECK DAM SHALL BE CONSTRUCTED OF 4" TO 7" STONE. THE STONE SHALL BE PLACED SO THAT IT COMPLETELY COVERS THE WIDTH OF THE CHANNEL AND IS KEYPED INTO THE CHANNEL BANKS.
  - THE TOP OF THE CHECK DAM SHALL BE CONSTRUCTED SO THAT THE CENTER IS APPROXIMATELY 6" LOWER THAN THE OUTER EDGES FORMING A WEIR THAT WATER CAN FLOW ACROSS.
  - PLACE A NONWOVEN GEOTEXTILE UNDER THE BOTTOM AND SIDES OF THE DAM PRIOR TO PLACEMENT OF STONE.
  - SET THE HEIGHT FOR THE WEIR CREST EQUAL TO ONE-HALF THE DEPTH OF THE CHANNEL OR DITCH. THE MAXIMUM HEIGHT OF THE CHECK DAM AT THE CENTER SHALL NOT EXCEED 2 FEET.
  - THE UPSTREAM SIDE OF THE CHECK DAM SHALL BE LINED WITH APPROXIMATELY 12" OF 3/4 TO 1 1/2" AGGREGATE.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS BUILT UP TO 1/2 OF THE ORIGINAL HEIGHT OF THE WEIR CREST.

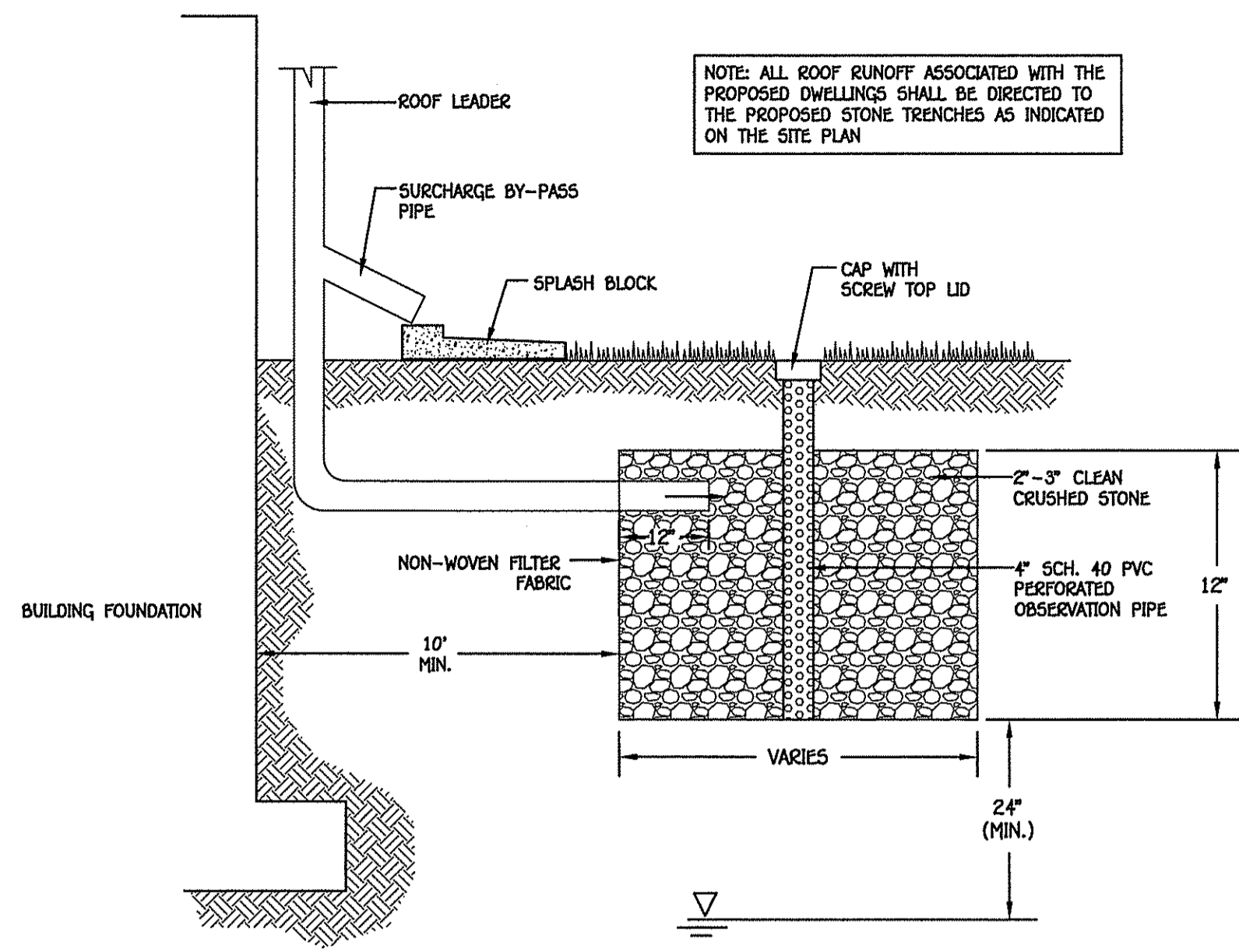
**STONE CHECK DAM**

SCALE: NONE



**TYPICAL GRAVEL DRIVEWAY/ACCESS ROAD CROSS SECTION**

SCALE: NONE

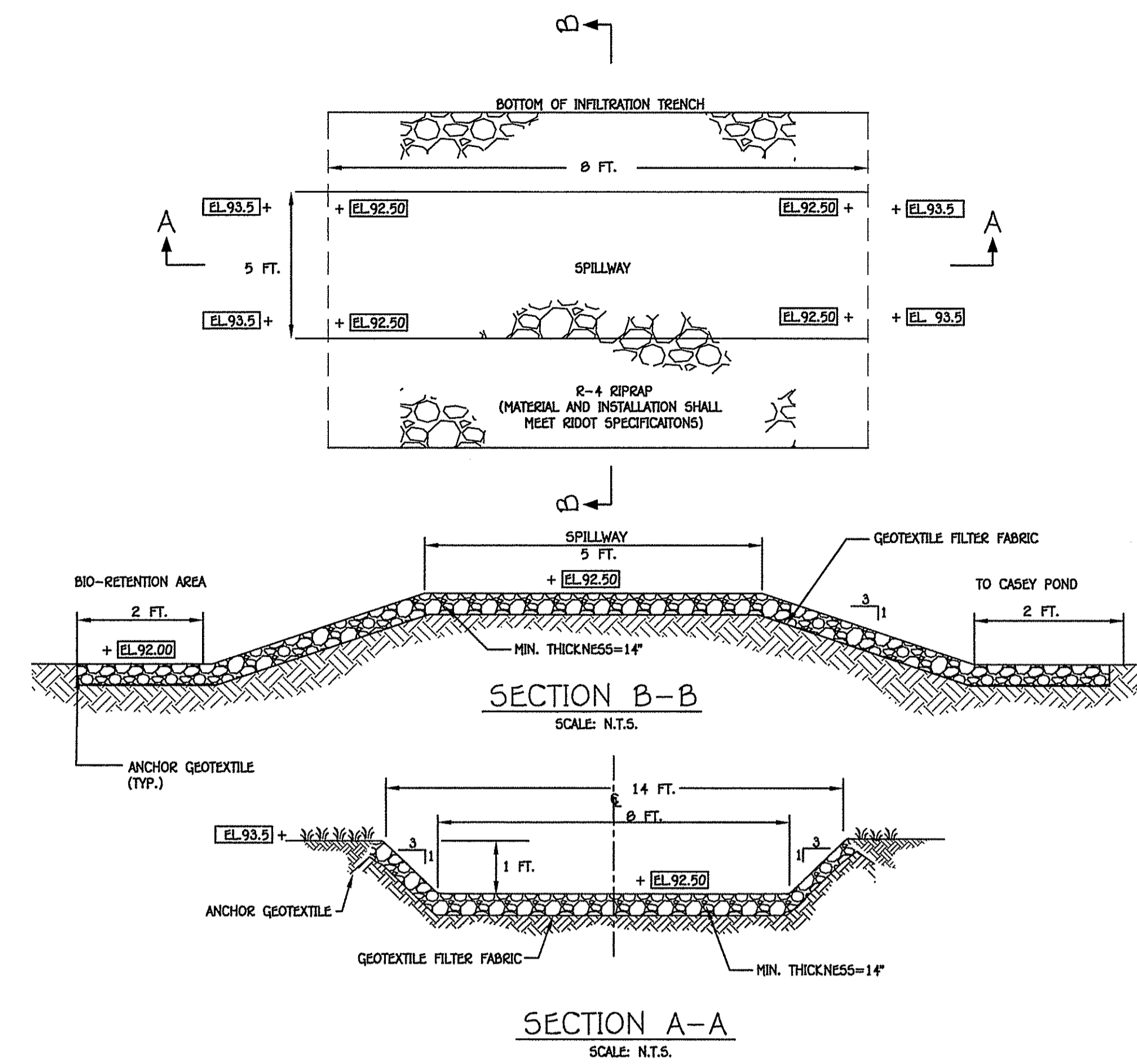


**DRY WELL FOR ROOF GUTTERS**  
SCALE: NONE

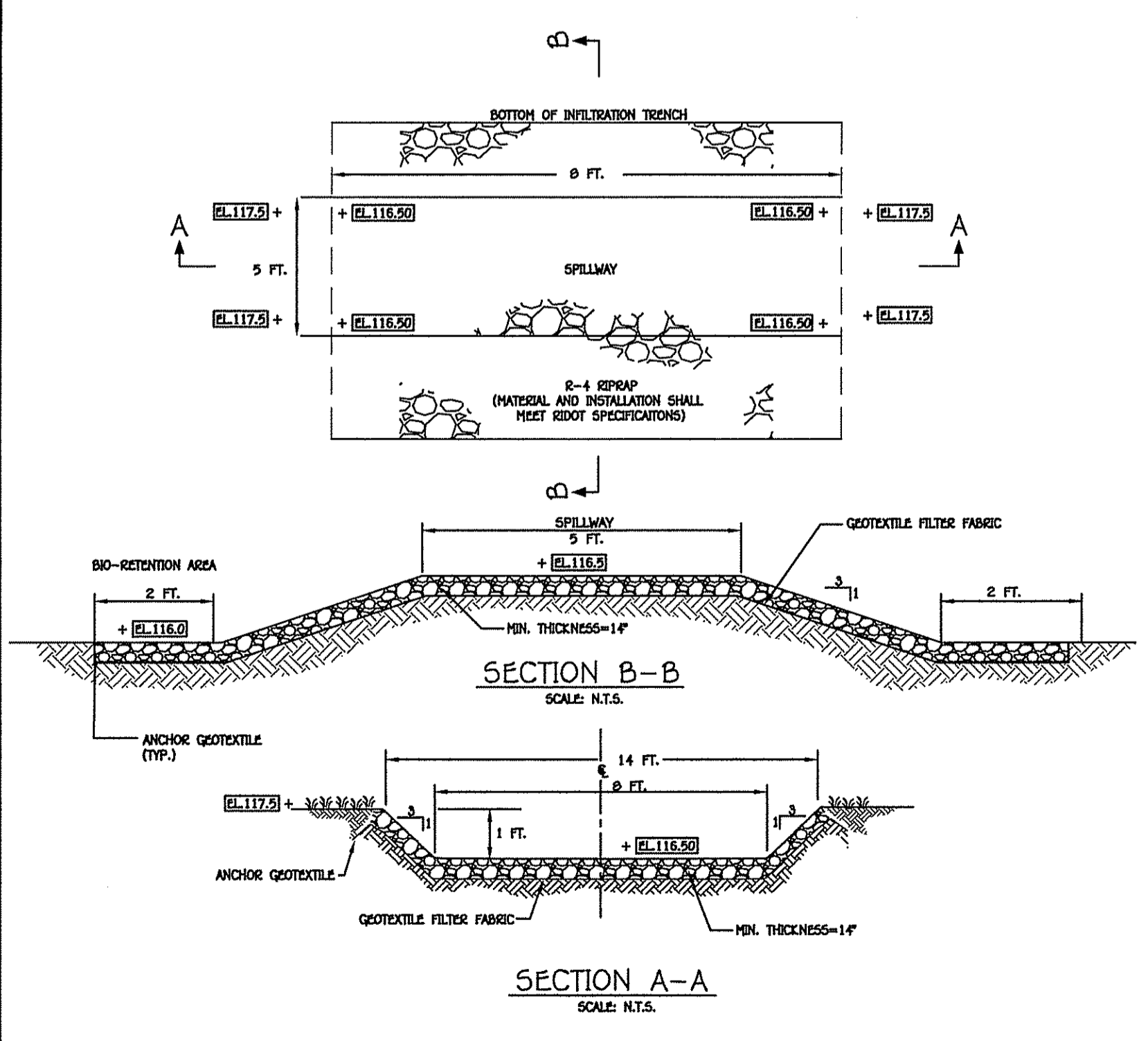
**ELEVATION SCHEDULE FOR STONE INFILTRATION TRENCHES (ROOF)**

DRAINAGE SYSTEM INVOLVES DIVIDING THE ROOFTOP INTO 2 AREAS AND WILL INVOLVE 10'x20'x12\"/>

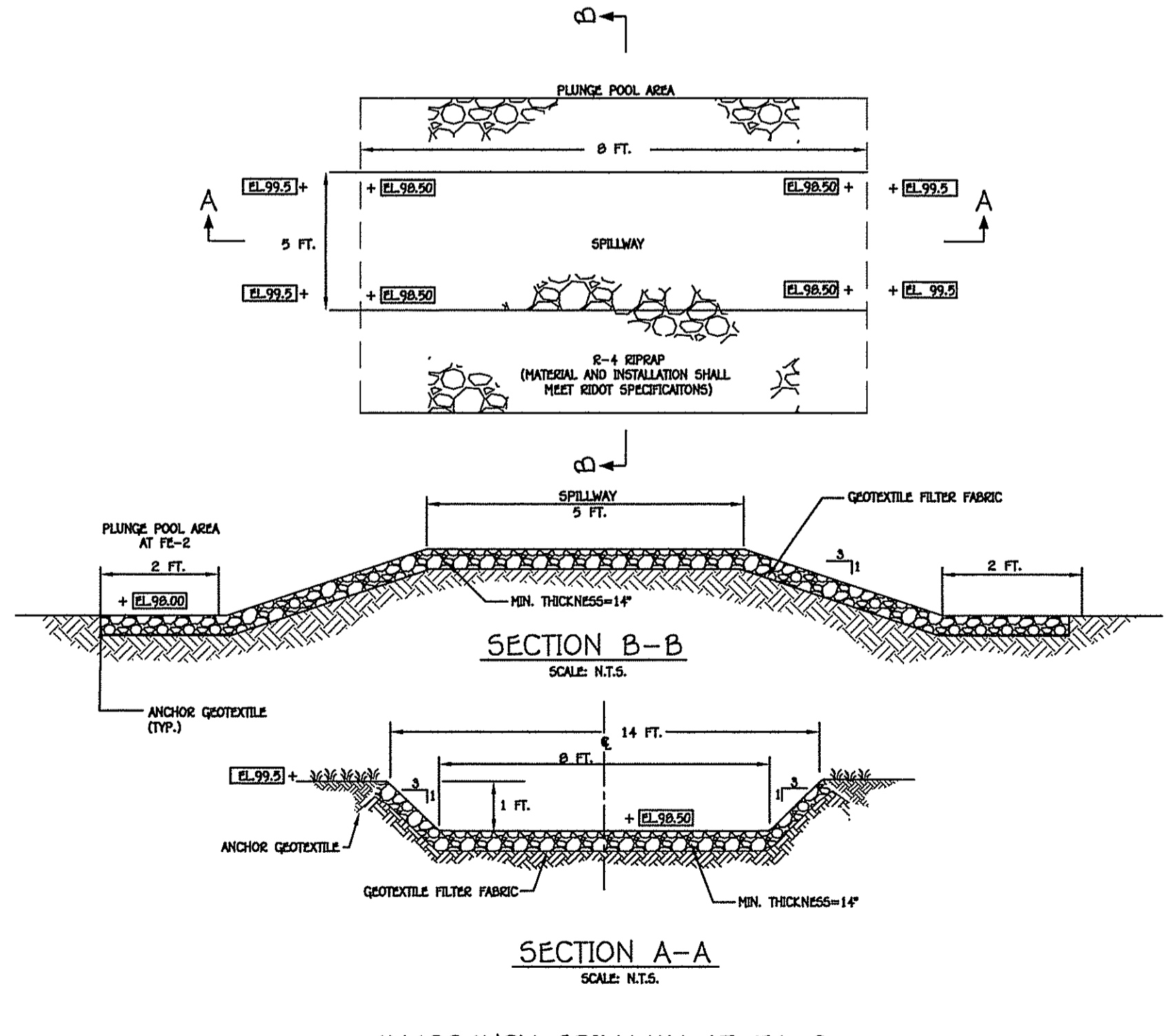
LOT 1	LOT 2	LOT 3
<b>NORTH SYSTEM:</b> DESIGN GWT ELEV.=90.0+ TOP OF STONE ELEV.=94.00 BOTTOM OF STONE ELEV.=93.00	<b>NORTHEAST SYSTEM:</b> DESIGN GWT ELEV.=95.5+ TOP OF STONE ELEV.=99.00 BOTTOM OF STONE ELEV.=98.00	<b>NORTHWEST SYSTEM:</b> DESIGN GWT ELEV.=115.5+ TOP OF STONE ELEV.=121.50 BOTTOM OF STONE ELEV.=120.50
<b>SOUTH SYSTEM:</b> DESIGN GWT ELEV.=93.00+ TOP OF STONE ELEV.=97.00 BOTTOM OF STONE ELEV.=96.00	<b>SOUTH SYSTEM:</b> DESIGN GWT ELEV.=95.50+ TOP OF STONE ELEV.=100.00 BOTTOM OF STONE ELEV.=99.00	<b>SOUTH SYSTEM:</b> DESIGN GWT ELEV.=115.5+ TOP OF STONE ELEV.=121.50 BOTTOM OF STONE ELEV.=120.50
LOT 4	LOT 5	LOT 6
<b>WEST SYSTEM:</b> DESIGN GWT ELEV.=117.5+ TOP OF STONE ELEV.=121.50 BOTTOM OF STONE ELEV.=120.50	<b>WEST SYSTEM:</b> DESIGN GWT ELEV.=117.5+ TOP OF STONE ELEV.=122.00 BOTTOM OF STONE ELEV.=121.00	<b>NORTHEAST SYSTEM:</b> DESIGN GWT ELEV.=117.0+ TOP OF STONE ELEV.=121.00 BOTTOM OF STONE ELEV.=120.00
<b>EAST SYSTEM:</b> DESIGN GWT ELEV.=117.5+ TOP OF STONE ELEV.=121.50 BOTTOM OF STONE ELEV.=120.50	<b>EAST SYSTEM:</b> DESIGN GWT ELEV.=117.5+ TOP OF STONE ELEV.=122.00 BOTTOM OF STONE ELEV.=121.00	<b>SOUTHWEST SYSTEM:</b> DESIGN GWT ELEV.=111.5+ TOP OF STONE ELEV.=116.00 BOTTOM OF STONE ELEV.=115.00



**EMERGENCY SPILLWAY DETAIL-LOT 1**  
SCALE: NONE



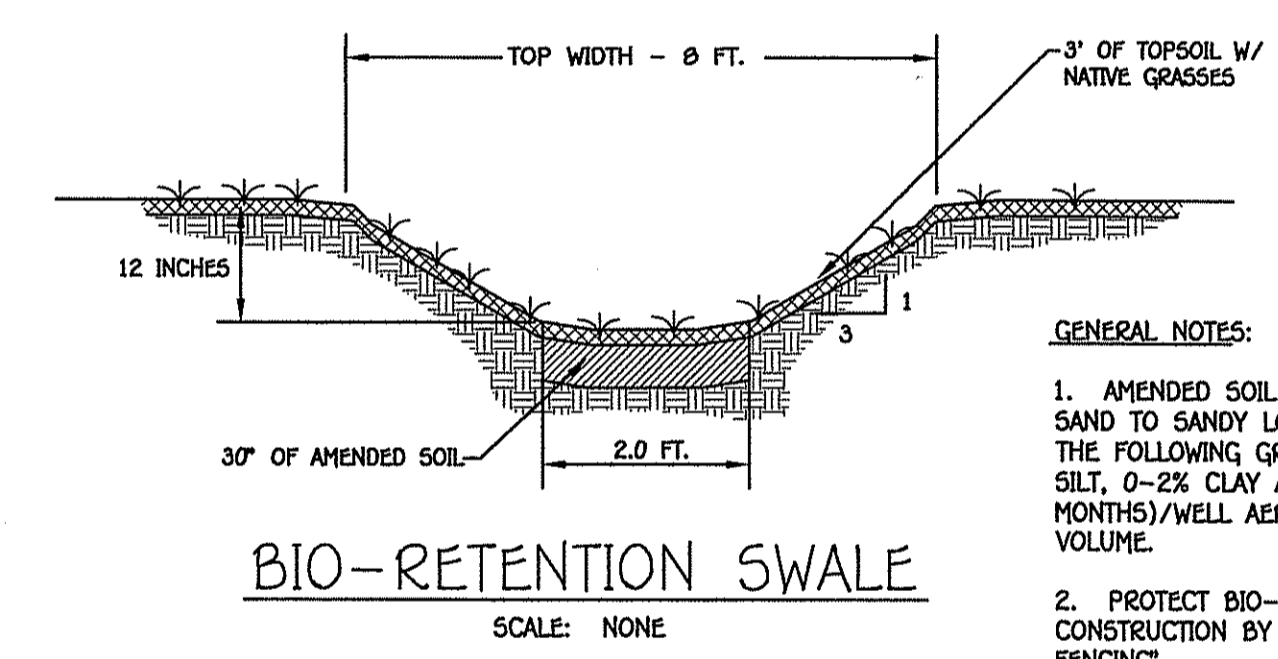
**EMERGENCY SPILLWAY DETAIL-LOT 6**  
SCALE: NONE



**EMERGENCY SPILLWAY AT FE-2**  
SCALE: NONE

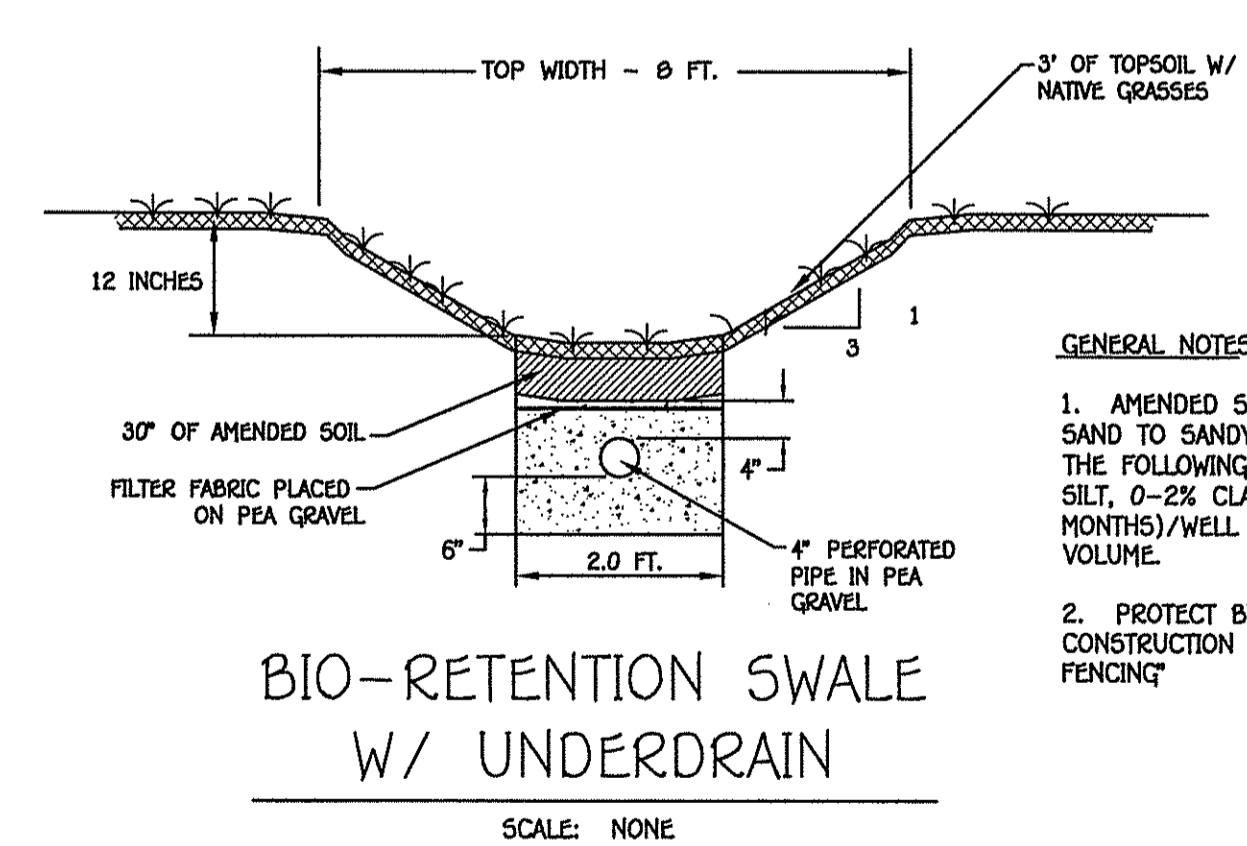


**OVERALL PLAN SHOWING APPROXIMATE LOCATION OF ELECTRICAL EASEMENTS**  
SCALE: 1"=250'



**BIO-RETENTION SWALE**  
SCALE: NONE

- GENERAL NOTES:**
1. AMENDED SOIL SHALL CONSIST OF USDA LOAMY SAND TO SANDY LOAM CLASSIFICATION AND SHALL MEET THE FOLLOWING GRADUATION: 85-88% SAND; 8-12% SILT; 0-2% CLAY AND WELL AGED (6-12 MONTHS)/WELL AERATED LEAF COMPOST 20% BY VOLUME.
  2. PROTECT BIO-RETENTION AREAS DURING CONSTRUCTION BY UTILIZING ORANGE "CONSTRUCTION FENCING"

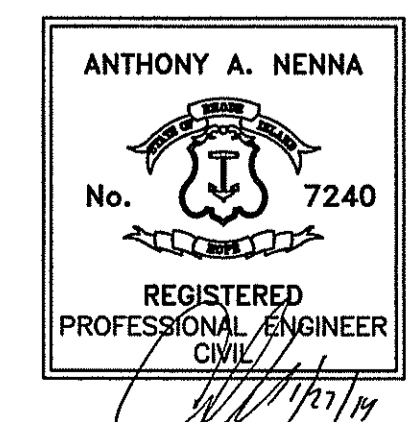


**BIO-RETENTION SWALE W/ UNDERDRAIN**  
SCALE: NONE

- GENERAL NOTES:**
1. AMENDED SOIL SHALL CONSIST OF USDA LOAMY SAND TO SANDY LOAM CLASSIFICATION AND SHALL MEET THE FOLLOWING GRADUATION: 85-88% SAND; 8-12% SILT; 0-2% CLAY AND WELL AGED (6-12 MONTHS)/WELL AERATED LEAF COMPOST 20% BY VOLUME.
  2. PROTECT BIO-RETENTION AREAS DURING CONSTRUCTION BY UTILIZING ORANGE "CONSTRUCTION FENCING"

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED FEB 18 2014 FILE # 13-0220

**DETAILS AND NOTES**  
RIDEM PRELIMINARY DETERMINATION APPLICATION  
PREPARED FOR WILLIAM MERKLER AND SHANNON MCALOON  
ASSESSOR'S PLAT 9, LOT 5B  
PAYNE ROAD  
NEW SHOREHAM, RHODE ISLAND  
SCALE: 1"=50'  
NOVEMBER 26, 2013 SHEET 9 OF 9  
REVISED JANUARY 21, 2014  
PREPARED BY: ON-SITE ENGINEERING, INC.  
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JAN 30 2014