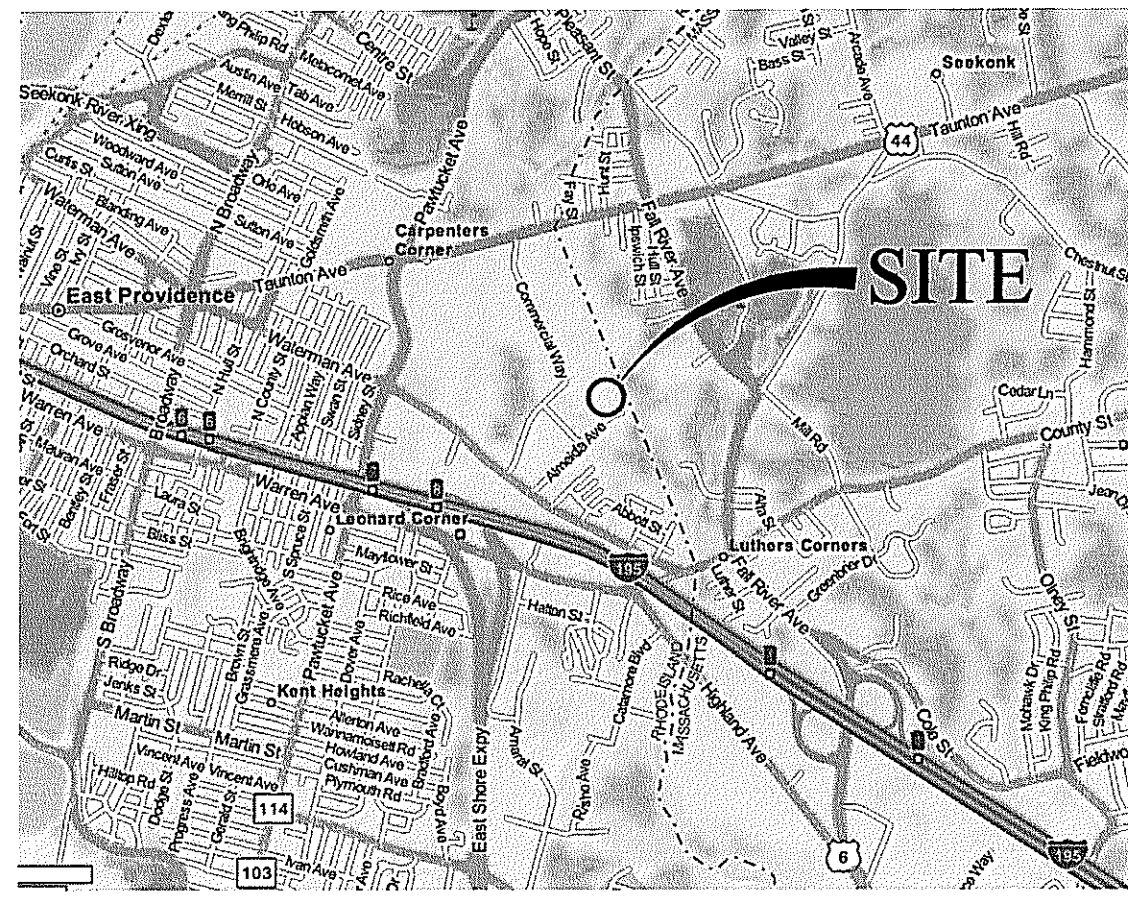
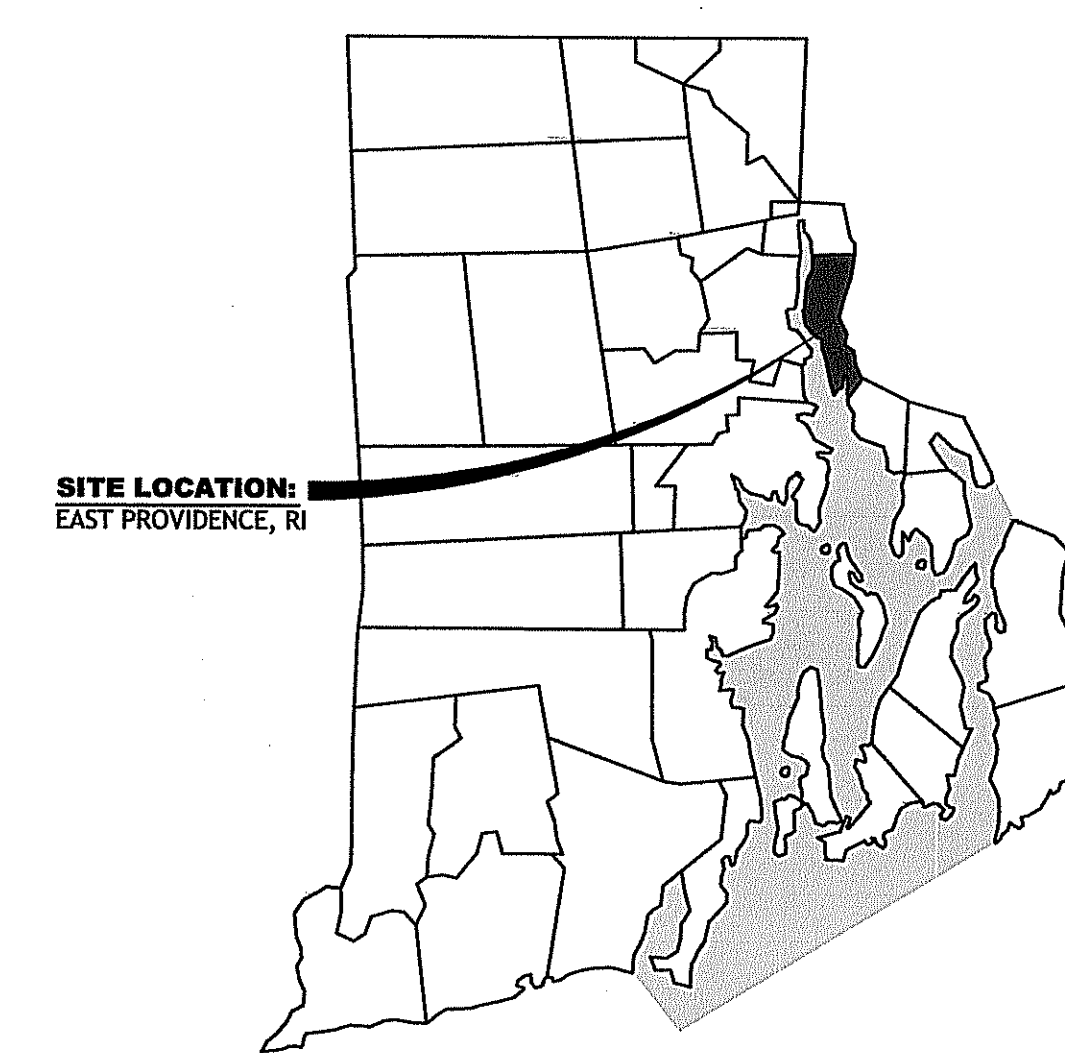


LOCUS MAP (NOT TO SCALE)



STATE WIDE MAP



# PERMIT SITE PLANS FOR PROPOSED INDUSTRIAL BUILDING ADDITION SITE

MAP 606, BLOCK 1, LOT 1

25 ALMEIDA AVENUE  
EAST PROVIDENCE, RHODE ISLAND

ZONING DISTRICT - I-3 (INDUSTRIAL 3 HEAVY MANUFACTURING DISTRICT)

### INDEX OF DRAWINGS

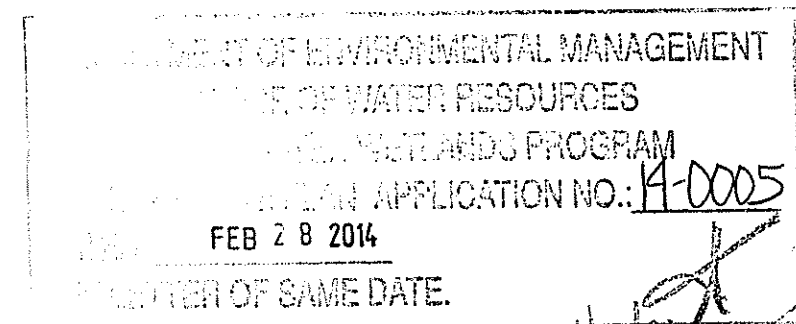
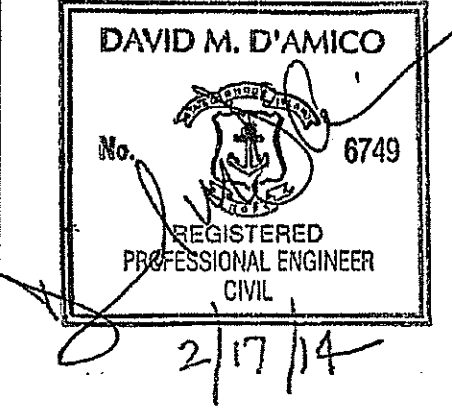
SHEET NO.	PLAN
1	COVER SHEET
2	GENERAL NOTES
3	OVERALL EXISTING CONDITIONS
4	SITE PLAN
5	GRADING, DRAINAGE AND UTILITY PLAN
6	DETAIL PLAN

### PROJECT TEAM

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PROPOSED INDUSTRIAL BUILDING  
ADDITION  
25 ALMEIDA AVENUE  
EAST PROVIDENCE, RHODE ISLAND  
MAP 606, BLOCK 1, LOT 1

NO.	DATE	DESCRIPTION
1.	2-17-14	RIDEM COMMENTS OF 2-4-14
DESIGNED BY:	DMD	
DRAWN BY:	DMD	
CHECKED BY:	DMD	
DATE:	DEC, 2013	
PROJECT NO:	07-0097-02	

PRELIMINARY, NOT FOR CONSTRUCTION

**COVER SHEET**

**SHEET 1 OF 6**

**GENERAL NOTES:**

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

**SITE NOTES:**

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- 2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- 3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- 4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
- 5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- 6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
- 7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- 8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR ENGINEER.
- 9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
- 10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- 11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
- 12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
- 13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- 14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
- 15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- 16. REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
- 17. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

**MISCELLANEOUS UTILITY NOTES:**

- 1. PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATIONS WILL BE AUTHORIZED.
- 2. THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
- 3. OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
- 4. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THERE OPERATIONS.
- 5. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR CITY.
- 6. EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

**DRAINAGE SYSTEM NOTES:**

- 1. ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES
- 2. THE DESIGN ENGINEER MUST SUBMIT AN AS BUILT PLAN AND A CERTIFICATION TO THE CITY ENGINEER THAT THE CONSTRUCTION IS IN COMPLIANCE WITH THE DESIGN PLANS FOR ALL ELEMENTS OF THE STORM OR DRAINAGE SYSTEM PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

**PROPOSED PAVEMENT STRUCTURE:**

- ON-SITE (PAVEMENT TYPE A)**
- 1.5" BITUMINOUS CONCRETE SURFACE COURSE CLASS I-1
- 1.5" BITUMINOUS CONCRETE BINDER COURSE
- 12" GRAVEL BORROW SUBBASE

ASPHALT EMULSION TACK COAT TO BE PLACED PRIOR TO SURFACE COURSE PAVING IF BINDER COURSE IS OPENED TO VEHICULAR USE, OR IF BINDER COURSE IS GREATER THAN 30 DAYS OLD.

**PROPOSED PAVEMENT STRUCTURE:**

- CITY/STATE (PAVEMENT TYPE B)**
- 2" BITUMINOUS CONCRETE SURFACE COURSE CLASS TYPE I-1
- 2" BITUMINOUS CONCRETE BINDER COURSE
- 12" GRAVEL BORROW SUBBASE COURSE

ASPHALT EMULSION TACK COAT TO BE PLACED ON ALL BITUMINOUS COURSES PRIOR TO PAVING.

**LAYOUT NOTE:**

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

**MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:**

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- 2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- 3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR CITY RIGHT-OF-WAY.
- 4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 1988 EDITION. INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
- 5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

**DRAINAGE AND SUBSURFACE DRAINAGE SYSTEM MAINTENANCE SCHEDULE:**

UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE PLAN AND SCHEDULE:

- 1. CATCH BASINS, MANHOLES AND DRAIN LINES: AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONAL TO ENSURE PROPER OPERATION. ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
  - \* DAMAGE TO GRATE/ COVERS
  - \* EVIDENCE OF STANDING WATER
  - \* DEBRIS REMOVAL
  - \* STRUCTURAL ALIGNMENT/ INTEGRITY
  - \* OIL/WATER SEPARATORS
- 2. IF SEDIMENT OR ORGANIC DEBRIS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES OF THE UNDERGROUND INFILTRATION CHAMBERS OR TRENCHES TO BELOW THE DESIGN RATE THE SYSTEM MUST BE REMOVED AND RE-CONSTRUCTED. THE SYSTEMS BOTTOM SHOULD BE RESTORED ACCORDING TO ORIGINAL DESIGN SPECIFICATIONS.
- 3. SEDIMENT REMOVAL: ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.
- 4. THE PROPERTY OWNER IS RESPONSIBLE FOR ANY SOIL AND GROUNDWATER CONTAMINATION RESULTING FROM THE USE OF THE STORMWATER RUNOFF SUBSURFACE DRAINAGE SYSTEM.
- 5. THE EXISTENCE OF THE SUBSURFACE DRAINAGE SYSTEM SHOULD BE RECORDED ON THE PROPERTY DEED AT THE LOCAL MUNICIPAL OFFICE. ALL OPERATIONAL AND MAINTENANCE REQUIREMENTS, INCLUDING LEGAL RESPONSIBILITIES, WHERE APPLICABLE, SHOULD ALSO BE RECORDED ON THE TITLE.
- 6. UNDERGROUND INFILTRATION CHAMBERS AND TRENCHES SHALL BE INSPECTED ANNUALLY AND AFTER STORMS EQUAL TO OR GREATER THAN THE 1-YEAR, 24 HOUR TYPE III STORM EVENT (APPROXIMATELY 2.7").
- 7. THE SUBSURFACE DRAINAGE SYSTEM SHOULD BE INSPECTED OFTEN DURING THE FIRST MONTHS OF OPERATION AND CLEANED AT LEAST YEARLY THEREAFTER WITH ALL OIL AND DEBRIS REMOVED AND DISPOSED OF PROPERLY IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. CLEANING OF THE FLOW DIFFUSERS WILL BE CONDUCTED BY VACUUM TRUCK DESIGN SPECIFICALLY TO REMOVE STORMWATER RUNOFF SEDIMENT. IN THE CASE OF AN OIL OR BULK POLLUTANT RELEASE, THE SYSTEM SHOULD BE CLEANED IMMEDIATELY FOLLOWING THE SPILL AND THE RIDEM DIVISION OF SITE REMEDIATION SHOULD BE NOTIFIED. FOR THE PURPOSE OF OIL REMOVAL A LICENSED CONTRACTOR MAY BE NECESSARY FOR THE REMOVAL, TRANSPORT, AND DISPOSAL OF WASTE OIL PRODUCTS TO A PROPERLY LICENSED FACILITY.

**WATER NOTES:**

- 1. ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE CITY OF EAST PROVIDENCE WATER DEPARTMENT REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- 2. INSTALLATION OF ALL WATER CONVEYANCES, MAINS, PIPES OR LINES SHALL BE IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION'S INSTALLATION MANUAL AND ANSI/AWWA C600 AND ALL OTHER REQUIREMENTS OF THE KENT COUNTY WATER AUTHORITY.
- 3. WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER PIPE.
- 4. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS; SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- 5. WATER LINE TRENCH TO BE AWWA TYPE 5 A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1' BELOW FINISHED GRADE.
- 6. THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ENGINEER AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
- 7. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, GRAVEL, STONE, DRAINAGE PIPE AND RELATED STRUCTURES, WATER, SEWER, AND DRAIN LINE INSTALLATION, PAVEMENT SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1997 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
- 8. SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

- 1. THE HAYBALE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
- 2. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- 3. ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- 4. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
- 5. ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- 6. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- 7. THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
- 8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- 9. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.

**BMP MAINTENANCE SCHEDULE**

- 1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 2. CONSTRUCTION EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE INFILTRATION TRENCH AND/OR SUBSURFACE CHAMBER AREAS TO MINIMIZE COMPACTION OF THE SOIL.
- 3. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER DRAINAGE SYSTEMS AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), CATCH BASIN SUMPS, AND MANHOLES.
- 4. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY, STABILITY AND EVIDENCE OF SOIL EROSION, SHALL INCLUDE MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/8 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BIMONTHLY IF NO RAINFALL EVENT OCCURS.
- 5. UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, (SEEDING, PLANTING, ETC.) WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES MUST BE REMOVED.
- 6. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED.
- 7. REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
- 8. ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM ANY WETLAND AREAS, SWALE, AND PIPE OUTLETS.

**RIDOT**

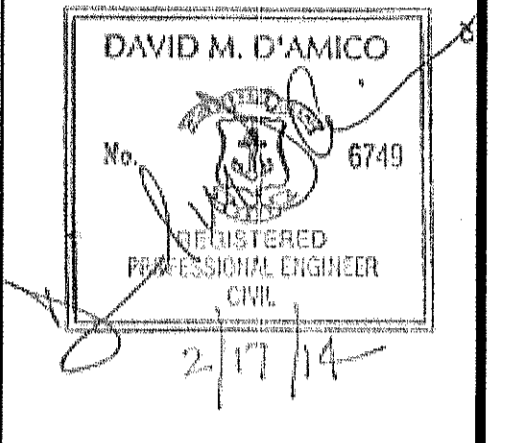
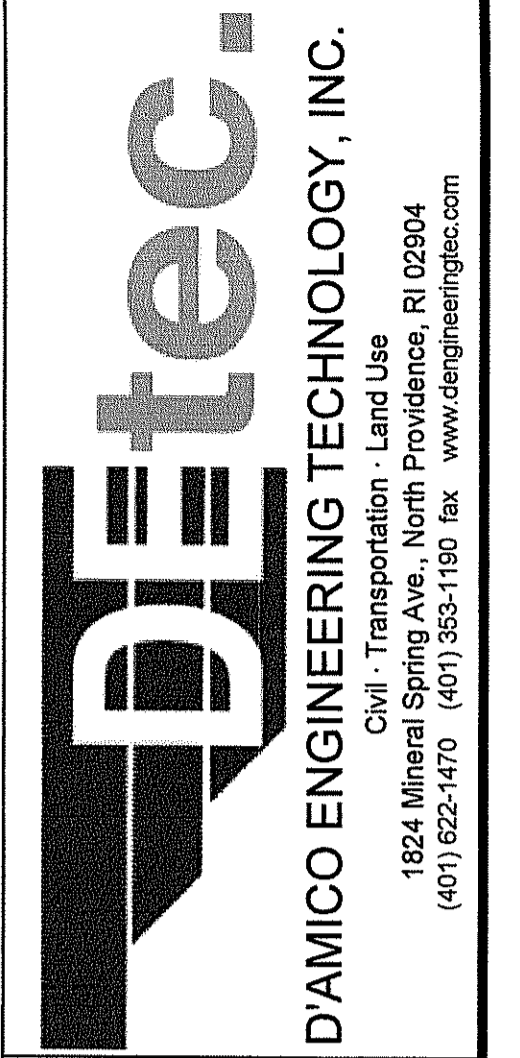
- 1. ALL WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

**REQUIRED INFILTRATION SETBACKS**

- 1. THE PROPOSED INFILTRATION SYSTEMS DOES NOT MEET THE 3' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND THE SEASONAL HIGH WATER TABLE. THE PROPOSED SEPARATION IS 2' WHICH INCLUDES ONLY ROOF RUNOFF TO THE INFILTRATION SYSTEM.
- 2. THE PROPOSED INFILTRATION SYSTEM MEETS THE 4' MINIMUM SEPARATION DISTANCE FROM THE SEASONAL HIGH WATER TABLE FOR SOILS WITH AN INFILTRATION RATE GREATER THAN 8.3 INCHES PER HOUR.
- 3. THE PROPOSED INFILTRATION SYSTEM MEETS THE 5' MINIMUM SEPARATION DISTANCE BETWEEN THE DESIGN BOTTOM OF THE STRUCTURE AND BEDROCK.
- 4. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 25 FEET OF ANY SEPTIC SYSTEM COMPONENT.
- 5. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 400 FEET OF A PUBLIC WELL.
- 6. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 100 FEET OF A PRIVATE WELL.
- 7. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 200 FEET OF ANY SURFACE DRINKING WATER SUPPLIES AND THEIR RESPECTIVE TRIBUTARIES.
- 8. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 150 FEET OF ANY COASTAL FEATURE.
- 9. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 50 FEET OF ANY SURFACE WETLAND OR COASTAL WETLAND.
- 10. THE PROPOSED INFILTRATION SYSTEM IS NOT WITHIN 10 FEET OF ANY BUILDING FOUNDATION AND THE PROPOSED FOUNDATION FLOOR ELEVATION IS ABOVE THE INVERT OF THE PROPOSED INFILTRATION SYSTEM.

**NOTE:**

IF ANY SETBACK IS LESS THAN THE REQUIRED SETBACK AS DETERMINED BY THE GOVERNING AGENCY, THE GOVERNING AGENCY SHALL SUPERSEDE ABOVE BULLETED SETBACK(S). REFER TO THE LOCAL BUILDING OFFICIAL FOR DETAILED SETBACK CRITERIA.

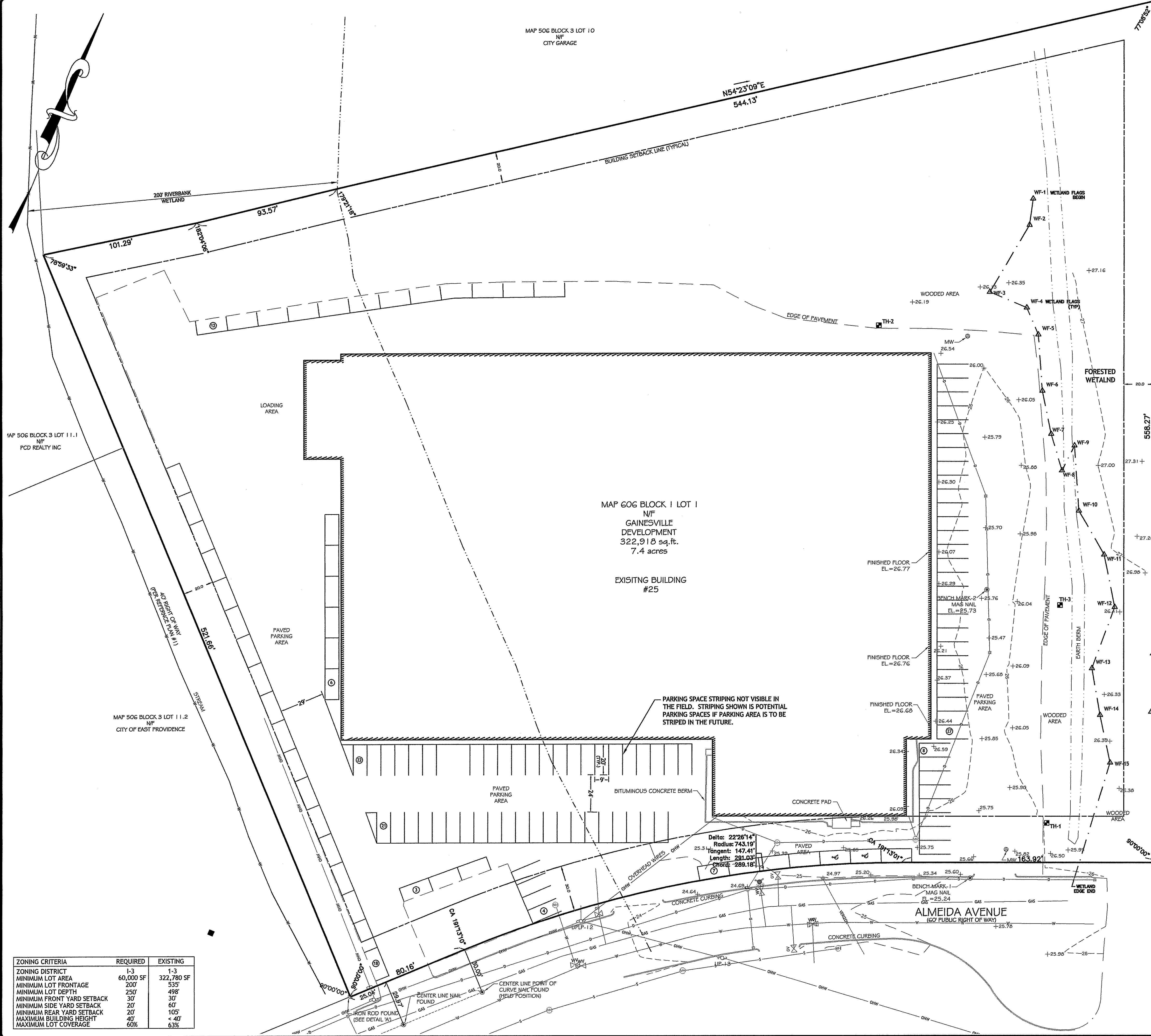


PROPOSED INDUSTRIAL BUILDING  
ADDITION  
25 ALMEIDA AVENUE  
EAST PROVIDENCE, RHODE ISLAND  
MAP 606, BLOCK 1, LOT 1

Table with 3 columns: NO, DATE, DESCRIPTION. Includes revision 1 on 2-17-14 regarding RIDEM COMMENTS. Also includes fields for DESIGNED BY (DMD), DRAWN BY, CHECKED BY (DMD), DATE (DEC 2013), PROJECT NO (07-0097-02), and PRELIMINARY, NOT FOR CONSTRUCTION.

N:\D:\Amico Engineering Technology, Inc\07-0097-JI-Carroll\02 Custom-Corrugated Box\400 Technical\407 Plans\22 ALMEIDA AVE PRELIM Plan R2.dwg Feb. 17, 2014 11:19am

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**LEGEND**

---	EXISTING PROPERTY LINE
- - -	ABUTTING PROPERTY LINE
- - -	BUILDING SETBACK LINE
- - -	WETLAND EDGE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING STONE WALL
○	IRON ROD
⊙	DRILL HOLE
□	CONCRETE BOUND
---	EXISTING CURB
---	CHAIN LINK FENCE
---	DRAIN LINE
---	DRAINAGE MANHOLE
---	CATCH BASIN
---	UTILITY POLE
---	OVERHEAD WIRES
---	UNDERGROUND ELECTRIC
---	GAS LINE
---	WATER LINE
---	WATER SHUT OFF VALVE
---	GAS VALVE
---	SEWER
---	SMH
N/F	NOW OR FORMERLY
128°32'22"(AS)	LOT DIM. "AS SURVEYED" IN THE FIELD
126°49'00"(D)	LOT DIM. "AS PROVIDED" BY DEED
---	LIMIT OF DISTURBANCE
---	SOIL EVALUATION
---	BUILDING DOOR LOCATION
---	CUT AND MATCH LINE (SAW CUT)
---	HANDICAPPED PARKING
---	STOP SIGN
---	ELECTRIC SIGN
---	PAINTED TRAFFIC ARROW
---	LIGHT POLE
---	CLEAN OUT

**NOTES:**

1. THE PROPERTY BOUNDARY PERIMETER SHOWN ON THIS EXISTING CONDITIONS SHEET IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY SEVEN TWENTY ONE ASSOCIATES 38 BRIGGS ST. CRANSTON, RI DATED 6-21-12, TITLED "SITE PLAN AND PLAN OF SURVEY 2067 MINERAL SPRING AVE. AP 25 LOTS 170 & 242 NORTH PROVIDENCE RI." TO A CLASS 1 STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR LAND SURVEYORS.
2. INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO ALIGNMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE ON-THE-GROUND MEASUREMENTS. THE PE STAMP IS AFFIXED FOR THIS INFORMATION ONLY.
3. BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THE TOWN OF NORTH PROVIDENCE, COMMUNITY-PANEL NUMBER 0301G, MAP NUMBER 44007C0301G EFFECTIVE DATE MARCH 2, 2009, THE SITE IS LOCATED OUTSIDE FLOOD ZONE "A OR AE" OTHER AREAS (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 REVIEWED SITE PLAN APPLICATION NO. 14-0005  
 DATED FEB 28 2014  
 SEE LETTER OF SAME DATE.

**EXISTING PARKING CALCULATION(S):**

CHAPTER 19 ARTICLE IV, DIVISION 11 OFF-STREET PARKING REGULATIONS, SECTION 19-284 - OFF-STREET PARKING SPACES REQUIRED:

(a) (20) INDUSTRIAL AND MANUFACTURING ESTABLISHMENTS - ONE SPACE FOR EACH 270 SQUARE FEET OF GFA OR ONE SPACE FOR EACH TWO EMPLOYEES ON THE LARGEST SHIFT, WHICHEVER IS MOST APPROPRIATE, SUBJECT TO THE APPROVAL OF THE ZONING OFFICER.

(23) OFFICE USES: (a) OFFICE USE INCLUDING BANK, PROFESSIONAL, MEDICAL AND DENTAL (b) OFFICE BUILDING(S) GREATER THAN 40,000 GFA - (a) ONE SPACE FOR EACH 200 GFA (b) ONE SPACE FOR EACH 250 SQUARE FEET OF GFA

(40) WHOLESALE, DISTRIBUTION AND WAREHOUSING ESTABLISHMENTS - ONE SPACE FOR EACH TWO EMPLOYEES, OR AT A MINIMUM, ONE SPACE FOR EACH 2000 SF OF GFA, PLUS ADDITIONAL SPACES FOR CUSTOMERS' VEHICLES AS DETERMINED APPROPRIATE FY THE ZONING OFFICER

EXISTING OPERATION:  
 REQUIRED PARKING (MIN.)  
 (20) MANUFACTURING - 20 EMPLOYEES x ONE (1) SPACE PER TWO (2) EMPLOYEES = 10  
 (23) OFFICE USE - 6,200 SF / 200 SF GFA = 31  
 (40) WAREHOUSING - 72,000 SF / 2000 SF GFA = 36

EXISTING REQUIRED: 77 SPACES  
 EXISTING PROVIDED: 128

ADA ACCESSIBLE SPACE(S) REQUIRED: 2  
 ADA ACCESSIBLE SPACE(S) PROVIDED: 2

ZONING CRITERIA	REQUIRED	EXISTING
ZONING DISTRICT	I-3	I-3
MINIMUM LOT AREA	60,000 SF	322,780 SF
MINIMUM LOT FRONTAGE	200'	535'
MINIMUM LOT DEPTH	250'	498'
MINIMUM FRONT YARD SETBACK	30'	60'
MINIMUM SIDE YARD SETBACK	20'	105'
MINIMUM REAR YARD SETBACK	40'	< 40'
MAXIMUM BUILDING HEIGHT	40'	63%
MAXIMUM LOT COVERAGE	60%	

**SCALE (FEET)**  
 0 15 30 60  
 1 INCH = 30 FT

Environmental Management  
 FEB 18 2014  
 Office of Water Resources

**DETEC**  
 DAMICO ENGINEERING TECHNOLOGY, INC.  
 Civil - Transportation - Land Use  
 1824 Mineral Spring Ave., North Providence, RI 02904  
 (401) 822-1470 (401) 365-1150 fax www.damicoeng.com

DAVID M. DAMICO  
 No. 6749  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 2/17/14

**PROPOSED INDUSTRIAL BUILDING ADDITION**  
**25 ALMEIDA AVENUE**  
**EAST PROVIDENCE, RHODE ISLAND**  
**MAP 606, BLOCK 1, LOT 1**

**REVISIONS:**

NO.	DATE	DESCRIPTION
1.	2-17-14	RIDEM COMMENTS OF 2-14-14

DESIGNED BY: DMD  
 DRAWN BY:  
 CHECKED BY: DMD  
 DATE: DEC 2013  
 PROJECT NO: 07-0097-02

PRELIMINARY, NOT FOR CONSTRUCTION

**OVERALL EXISTING CONDITION PLAN**  
**SHEET 3 OF 6**



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233

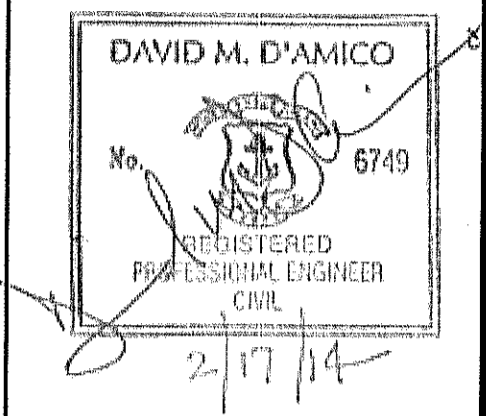
MAP 606 BLOCK 1 LOT 1  
N/F  
GAINESVILLE  
DEVELOPMENT  
322,918 sq.ft.  
7.4 acres

EXISTING BUILDING  
#25

**LEGEND**

- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- WETLAND EDGE
- 100 --- EXISTING CONTOUR
- 100 --- PROPOSED CONTOUR
- EXISTING STONE WALL
- --- IRON ROD
- --- DRILL HOLE
- --- CONCRETE BOUND
- EXISTING CURB
- CHAIN LINK FENCE
- DRAIN LINE
- ⑩ --- DRAINAGE MANHOLE
- CATCH BASIN
- UTILITY POLE
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC
- GAS LINE
- WATER LINE
- WATER SHUT OFF VALVE
- GAS VALVE
- SEWER
- --- SMH
- N/F --- NOW OR FORMERLY
- 128°32'22"(AS) LOT DIM. "AS SURVEYED" IN THE FIELD
- 128°49'00"(D) LOT DIM. "AS PROVIDED" BY DEED
- LIMIT OF DISTURBANCE
- SOIL EVALUATION
- BUILDING DOOR LOCATION
- CUT AND MATCH LINE (SAW CUT)
- HANDICAPPED PARKING
- STOP SIGN
- ELECTRIC SIGN
- PAINTED TRAFFIC ARROW
- LIGHT POLE
- --- CLEAN OUT

**Petec**  
D'AMICO ENGINEERING TECHNOLOGY, INC.  
Civil - Transportation - Land Use  
1824 Mineral Spring Ave., North Providence, RI 02904  
(401) 622-1470 (401) 953-1180 fax www.damicoengineering.com



**PROPOSED INDUSTRIAL BUILDING ADDITION**  
**25 ALMEIDA AVENUE**  
**EAST PROVIDENCE, RHODE ISLAND**  
**MAP 606, BLOCK 1, LOT 1**

**PROPOSED PARKING CALCULATION(S):**

CHAPTER 19 ARTICLE IV, DIVISION 11 OFF-STREET PARKING REGULATIONS, SECTION 19-284 - OFF-STREET PARKING SPACES REQUIRED:

(a) (20) INDUSTRIAL AND MANUFACTURING ESTABLISHMENTS - ONE SPACE FOR EACH 270 SQUARE FEET OF GFA OR ONE SPACE FOR EACH TWO EMPLOYEES ON THE LARGEST SHIFT, WHICHEVER IS MOST APPROPRIATE, SUBJECT TO THE APPROVAL OF THE ZONING OFFICER.

(23) OFFICE USES: (a) OFFICE USE INCLUDING BANK, PROFESSIONAL, MEDICAL AND DENTAL (b) OFFICE BUILDING(S) GREATER THAN 40,000 GFA - (a) ONE SPACE FOR EACH 200 GFA (b) ONE SPACE FOR EACH 250 SQUARE FEET OF GFA

(40) WHOLESALE, DISTRIBUTION AND WAREHOUSING ESTABLISHMENTS - ONE SPACE FOR EACH TWO EMPLOYEES, OR AT A MINIMUM, ONE SPACE FOR EACH 2000 SF OF GFA, PLUS ADDITIONAL SPACES FOR CUSTOMERS' VEHICLES AS DETERMINED APPROPRIATE BY THE ZONING OFFICER

EXISTING OPERATION:

REQUIRED PARKING (MIN.)  
(20) MANUFACTURING - 20 EMPLOYEES x ONE (1) SPACE PER TWO (2) EMPLOYEES = 10  
(23) OFFICE USE - 6,200 SF / 200 SF GFA = 31  
(40) WAREHOUSING - 72,000 SF / 2000 SF GFA = 36  
EXISTING PROVIDED: 77 SPACES  
EXISTING PROVIDED: 128

PROPOSED ADDITION TO OPERATION:

REQUIRED PARKING (MIN.)  
(23) OFFICE USE - 2,000 SF / 200 SF GFA = 10  
(40) WAREHOUSING - 14,750 SF / 2000 SF GFA = 7  
PROPOSED PROVIDED: 16 SPACES  
PROPOSED PROVIDED: 16 SPACES

REVISIONS:

NO.	DATE	DESCRIPTION
1.	2-17-14	RIDEM COMMENTS OF 2-4-14

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
FRESHWATER WETLANDS PROGRAM  
REVIEWED SITE PLAN APPLICATION NO.: H-0005  
TOTAL REQUIRED: 93  
TOTAL EXISTING PROVIDED: 128  
ADA ACCESSIBLE SPACES REQUIRED: 2 FEB 28 2014  
ADA ACCESSIBLE SPACES PROVIDED: 7  
SEE LETTER OF SAME DATE.

ZONING CRITERIA	REQUIRED	EXISTING	PROPOSED
ZONING DISTRICT	I-3	I-3	I-3
MINIMUM LOT AREA	60,000 SF	322,780 SF	322,780 SF
MINIMUM LOT FRONTAGE	200'	535'	535'
MINIMUM LOT DEPTH	250'	498'	498'
MINIMUM FRONT YARD SETBACK	30'	30'	30'
MINIMUM SIDE YARD SETBACK	20'	60'	60'
MINIMUM REAR YARD SETBACK	20'	105'	105'
MAXIMUM BUILDING HEIGHT	40'	< 40'	< 40'
MAXIMUM LOT COVERAGE	60%	63%	63%

SCALE (FEET)  
0 10 20 40  
1 INCH = 20 FT

DESIGNED BY: DMD  
DRAWN BY:  
CHECKED BY: DMD  
DATE: DEC 2013  
PROJECT NO: 07-0097-02

PRELIMINARY, NOT FOR CONSTRUCTION

**SITE PLAN**

**SHEET 4 OF 6**

Environmental Management  
FEB 18 2014  
Office - Water Resources

N:\D'Amico Engineering Technology, Inc\07-0097, J. Cardona\02 Custom Corrugated Box\400 Technical\402 Plans\22 ALMEIDA AVE PRELIM Plan R2.dwg Feb. 17, 2014 1:28pm



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DIGSAFE** AT 1-888-DIG-SAFE 1-888-344-7233

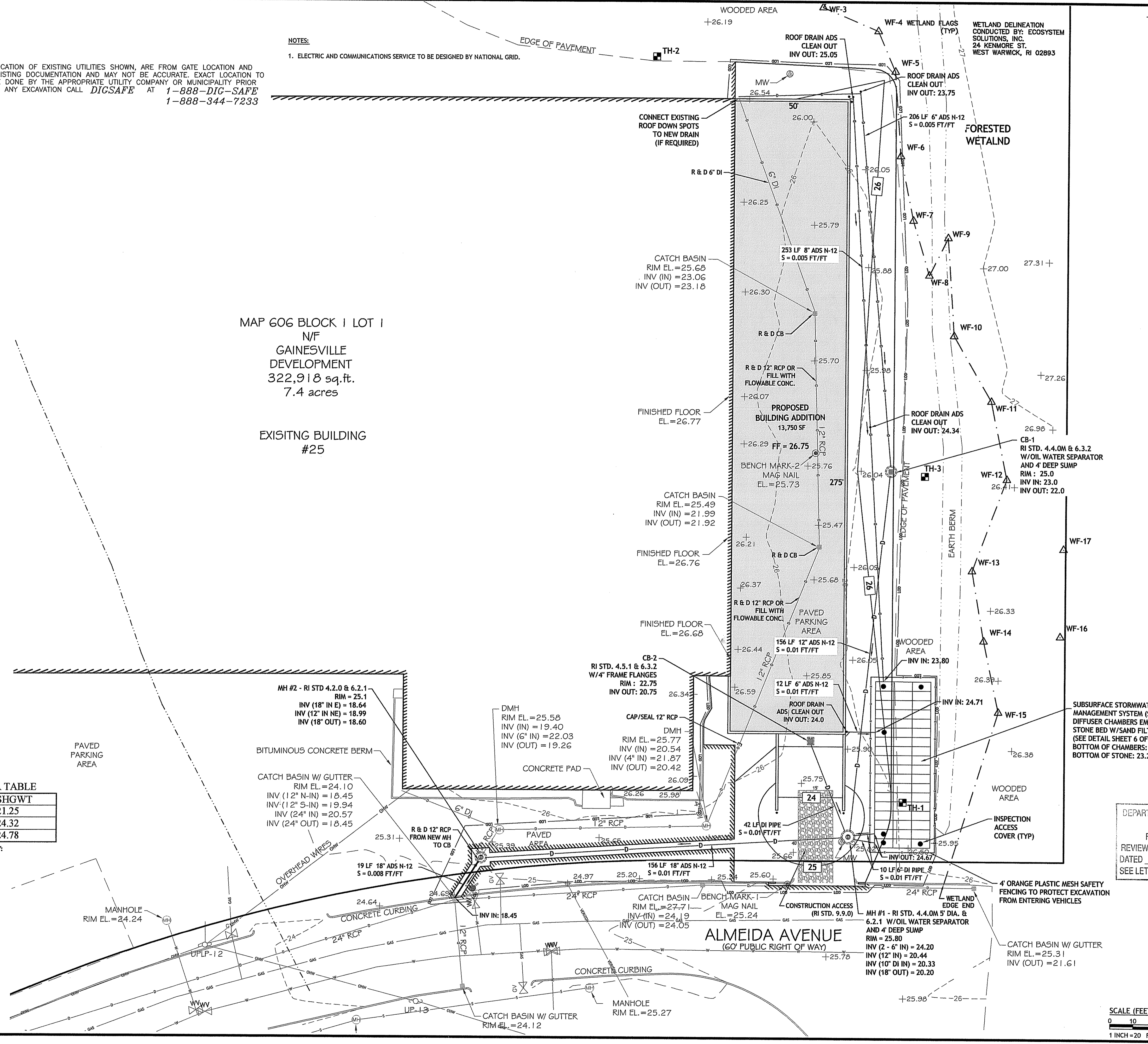
**NOTES:**  
1. ELECTRIC AND COMMUNICATIONS SERVICE TO BE DESIGNED BY NATIONAL GRID.

MAP 606 BLOCK 1 LOT 1  
N/F  
GAINESVILLE  
DEVELOPMENT  
322,918 sq.ft.  
7.4 acres  
  
EXISTING BUILDING  
#25

**TEST HOLE DATA TABLE**

TH	ELEV	SHGWT
1	26.25	21.25
2	26.32	24.32
3	26.28	24.78

SOIL EVALUATIONS CONDUCTED BY:  
ECOSYSTEM SOLUTIONS, INC.  
24 KENMORE ST.  
WEST WARWICK, RI 02893



**LEGEND**

- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- BUILDING SETBACK LINE
- WETLAND EDGE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING STONE WALL
- IRON ROD
- DRILL HOLE
- CONCRETE BOUND
- EXISTING CURB
- CHAIN LINK FENCE
- DRAIN LINE
- DRAINAGE MANHOLE
- CATCH BASIN
- UTILITY POLE
- OVERHEAD WIRES
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- GAS LINE
- WATER LINE
- WATER SHUT OFF VALVE
- GAS VALVE
- SEWER
- SMH
- N/F - NOW OR FORMERLY
- 126°32'22"(AS) LOT DIM. "AS SURVEYED" IN THE FIELD
- 126°49'00"(0) LOT DIM. "AS PROVIDED" BY DEED
- LIMIT OF DISTURBANCE
- SOIL EVALUATION
- BUILDING DOOR LOCATION
- CUT AND MATCH LINE (SAW CUT)
- HANDICAPPED PARKING
- STOP SIGN
- ELECTRIC SIGN
- PAINTED TRAFFIC ARROW
- LIGHT POLE
- CLEAN OUT

**Petec**  
D'AMICO ENGINEERING TECHNOLOGY, INC.  
Civil - Transportation - Land Use  
1824 Mineral Spring Ave., North Providence, RI 02804  
(401) 622-4470 (401) 953-1190 fax www.dengineerinc.com

DAVID M. D'AMICO  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
2-17-14

**PROPOSED INDUSTRIAL BUILDING  
ADDITION  
25 ALMEIDA AVENUE  
EAST PROVIDENCE, RHODE ISLAND  
MAP 606, BLOCK 1, LOT 1**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
REVIEWED SITE PLAN APPLICATION NO.: 14-0005  
DATED FEB 28 2014  
SEE LETTER OF SAME DATE.

**REVISIONS:**

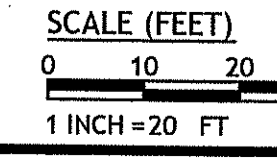
NO.	DATE	DESCRIPTION
1.	2-17-14	RIDEM COMMENTS OF 2-4-14

DESIGNED BY: DMD  
DRAWN BY: DMD  
CHECKED BY: DMD  
DATE: DEC 2013  
PROJECT NO: 07-0097-02

PRELIMINARY, NOT FOR CONSTRUCTION

**GRADING  
DRAINAGE AND  
UTILITY PLAN**

**SHEET  
5 OF 6**



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