

# PROPOSED FILLING STATION RECONSTRUCTION

2095 DIAMOND HILL ROAD  
CUMBERLAND, RHODE ISLAND

JANUARY 31, 2014

## PLANNING BOARD PRELIMINARY PLAN SUBMISSION

### OWNER

Prepared For: **Colbea Enterprises, LLC**  
2050 Plainfield Turnpike  
Cranston, RI 02920

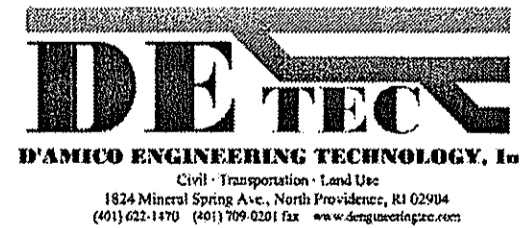
### CONSULTANTS

Prepared By:



Sophisticated Site Design  
Landscape Architecture  
Civil Engineering

114 West Main Street, Suite 201  
New Britain, CT 06051  
P 860-612-1700  
F 860-612-1757  
www.todesignllc.com



### LIST OF DRAWINGS

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### LOCATION MAP

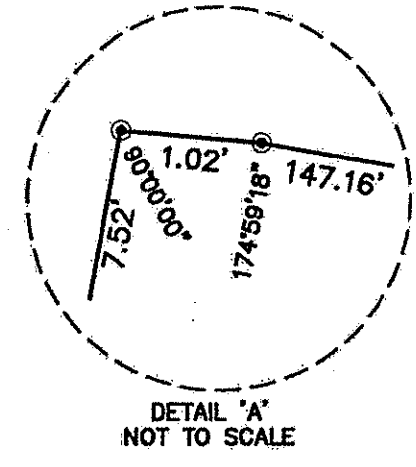
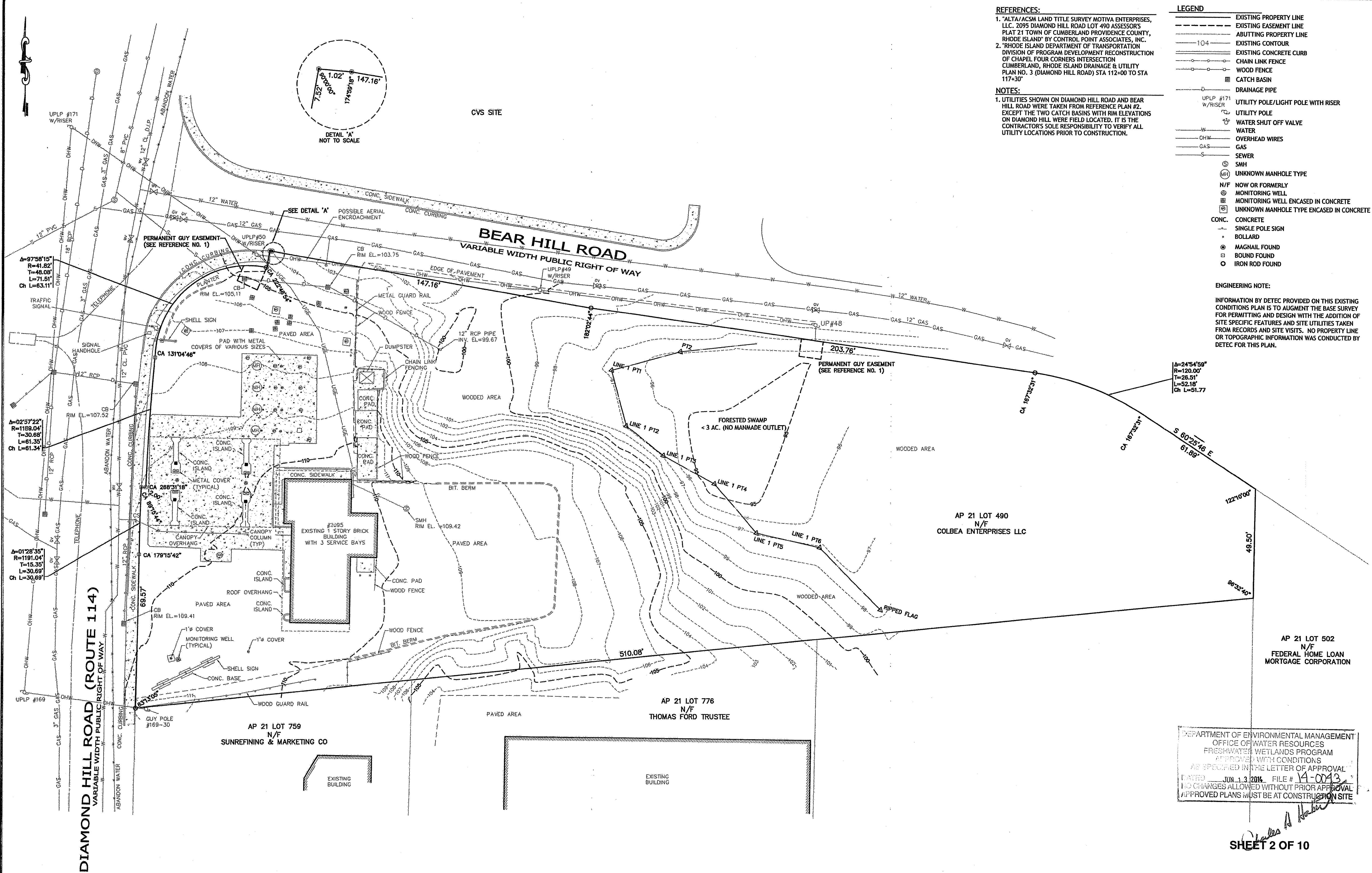


DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 13 2014 FILE # 14-0043  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Charles A. [Signature]  
1/31/14

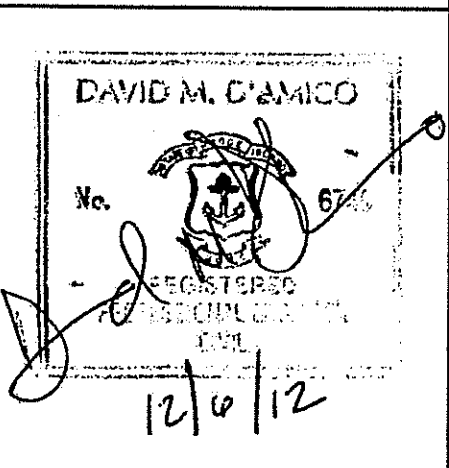
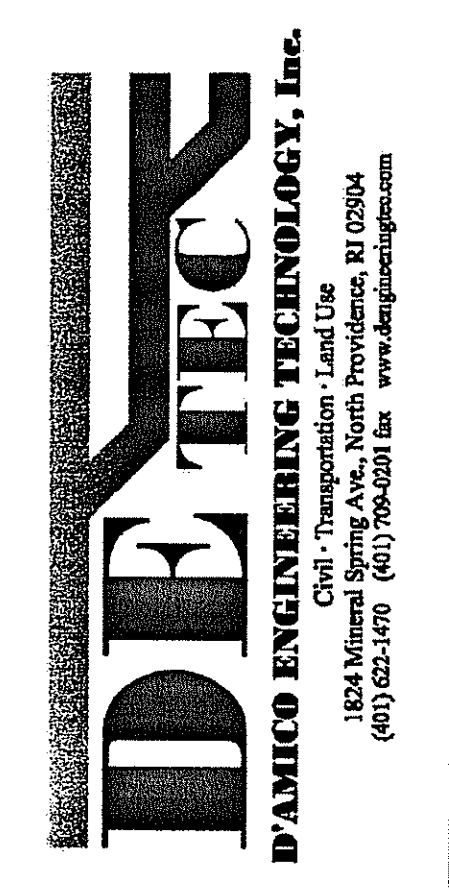
Environmental Management  
MAY 6 2014  
Office of Water Resources

W. P. M. B. A.



- REFERENCES:**
- ALTA/ACSM LAND TITLE SURVEY MOTIVA ENTERPRISES, LLC, 2095 DIAMOND HILL ROAD LOT 490 ASSESSOR'S PLAT '21 TOWN OF CUMBERLAND PROVIDENCE COUNTY, RHODE ISLAND' BY CONTROL POINT ASSOCIATES, INC.
  - RHODE ISLAND DEPARTMENT OF TRANSPORTATION DIVISION OF PROGRAM DEVELOPMENT RECONSTRUCTION OF CHAPEL FOUR CORNERS INTERSECTION CUMBERLAND, RHODE ISLAND DRAINAGE & UTILITY PLAN NO. 3 (DIAMOND HILL ROAD) STA 112+00 TO STA 117+30'
- NOTES:**
- UTILITIES SHOWN ON DIAMOND HILL ROAD AND BEAR HILL ROAD WERE TAKEN FROM REFERENCE PLAN 12. EXCEPT THE TWO CATCH BASINS WITH RIM ELEVATIONS ON DIAMOND HILL WERE FIELD LOCATED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

- LEGEND**
- EXISTING PROPERTY LINE
  - EXISTING EASEMENT LINE
  - ABUTTING PROPERTY LINE
  - EXISTING CONTOUR
  - EXISTING CONCRETE CURB
  - CHAIN LINK FENCE
  - WOOD FENCE
  - CATCH BASIN
  - DRAINAGE PIPE
  - UPLP #171 W/RISER
  - UTILITY POLE/LIGHT POLE WITH RISER
  - UTILITY POLE
  - WATER SHUT OFF VALVE
  - WATER
  - OVERHEAD WIRES
  - GAS
  - SEWER
  - SMH
  - UNKNOWN MANHOLE TYPE
  - N/F
  - MONITORING WELL
  - MONITORING WELL ENCASED IN CONCRETE
  - UNKNOWN MANHOLE TYPE ENCASED IN CONCRETE
  - CONC.
  - CONCRETE
  - SINGLE POLE SIGN
  - BOLLARD
  - MAGNAIL FOUND
  - BOUND FOUND
  - IRON ROD FOUND
- ENGINEERING NOTE:**
- INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE VISITS. NO PROPERTY LINE OR TOPOGRAPHIC INFORMATION WAS CONDUCTED BY DETEC FOR THIS PLAN.



**EXISTING CONDITIONS PLAN**  
**2095 DIAMOND HILL ROAD**  
**CUMBERLAND, RHODE ISLAND**  
**AP 21, LOT 490**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JUN 13 2014 FILE # 14-0013  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

| REVISIONS: | NO. DATE | DESCRIPTION |
|------------|----------|-------------|
| 1          |          |             |

DESIGNED BY:  
 DRAWN BY: FT  
 CHECKED BY: MC  
 DATE: JUNE, 2012  
 PROJECT NO: 12-0018

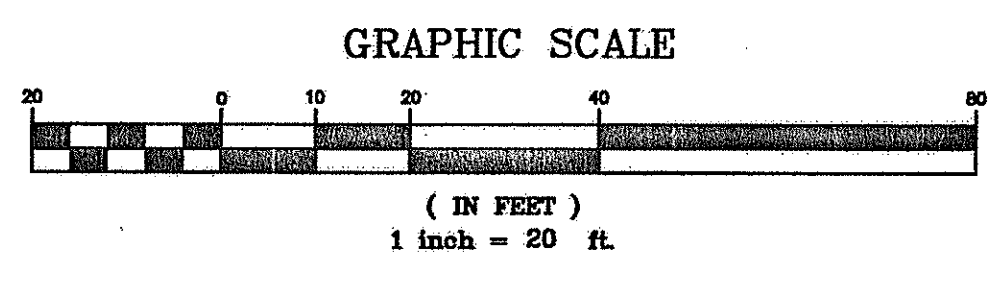
PRELIMINARY, NOT FOR CONSTRUCTION

**EXISTING CONDITIONS**

**SHEET EX-1**

| ZONING CRITERIA                 | REQUIRED  |
|---------------------------------|-----------|
| ZONING DISTRICT                 | C-2       |
| COMMERCIAL DISTRICT             |           |
| MINIMUM LOT AREA                | 80,000 SF |
| MINIMUM LOT FRONTAGE & WIDTH    | 100'      |
| MIN. FRONT YARD SETBACK         | 40'       |
| MIN. SIDE YARD SETBACK          | 20'       |
| MIN. REAR YARD SETBACK          | 20'       |
| MIN. - MAX. BLDG. HEIGHT (MAIN) | 30'       |
| MAXIMUM LOT COVERAGE            | 40%       |

\* SEE ZONING REGULATIONS FOR ADDITIONAL SETBACK INFORMATION



THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

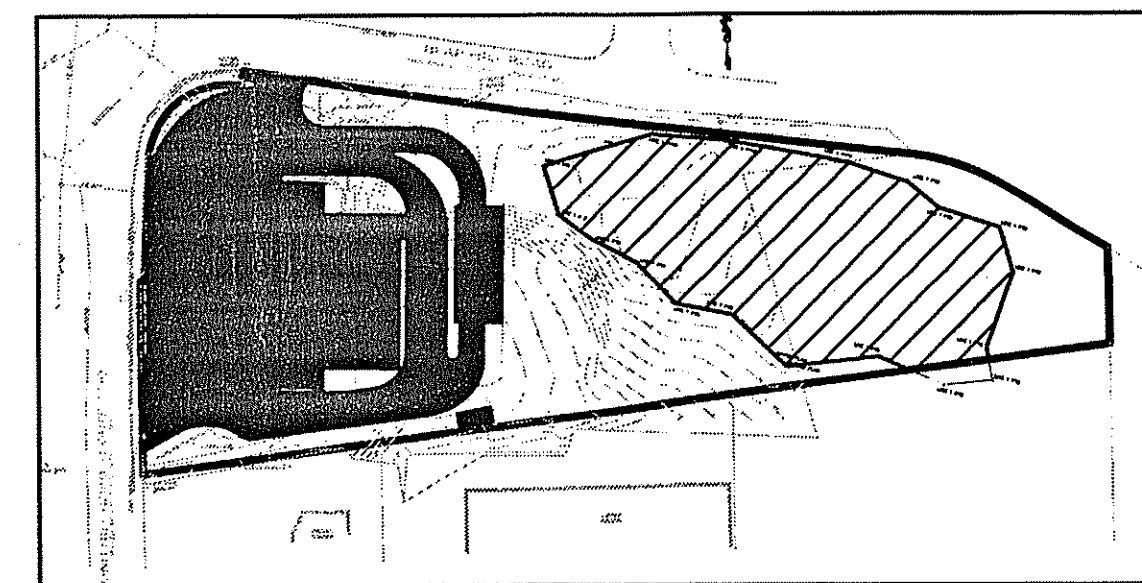
HORIZONTAL: CLASS I TOPOGRAPHIC, CLASS III

BY: *Martin G. Canavan* 12-6-12  
 REGISTERED PROFESSIONAL LAND SURVEYOR DATE:

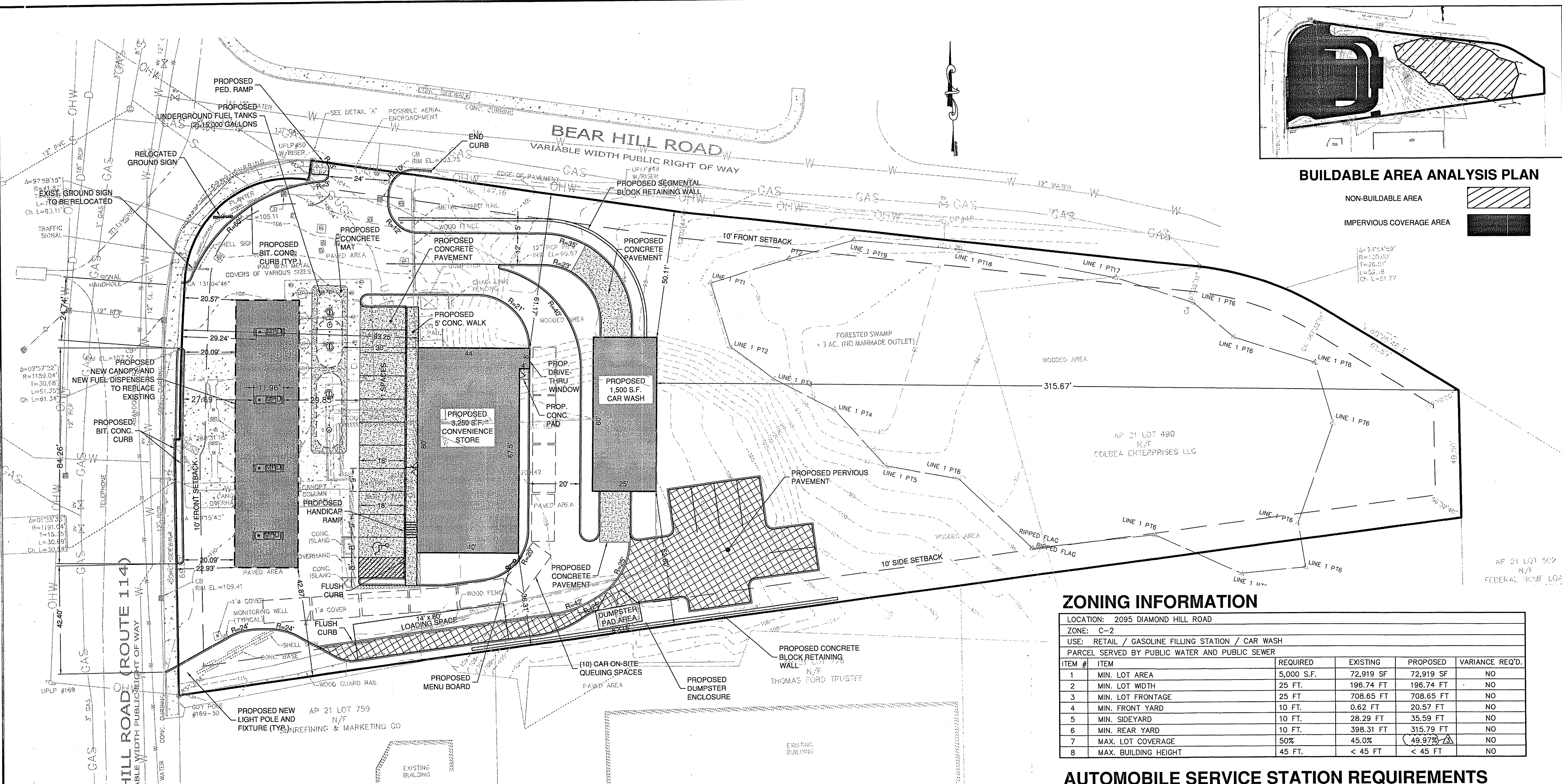
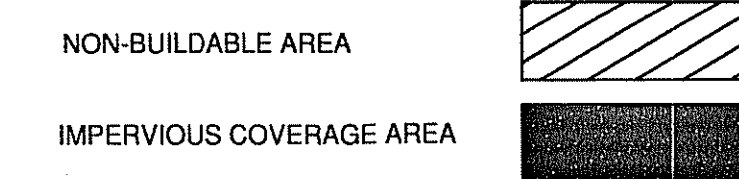
**CANAVAN & Associates, Inc.**  
 Land Surveying  
 CONSTRUCTION - LAND - COMMERCIAL - RESIDENTIAL  
 450 George Washington Highway  
 Smithfield, R.I. 02917  
 P=(401) 232-1990 F=(401) 232-1994



MAY 6 2014  
 Office of Water Resources



**BUILDABLE AREA ANALYSIS PLAN**



**ZONING INFORMATION**

LOCATION: 2095 DIAMOND HILL ROAD  
 ZONE: C-2  
 USE: RETAIL / GASOLINE FILLING STATION / CAR WASH  
 PARCEL SERVED BY PUBLIC WATER AND PUBLIC SEWER

| ITEM # | ITEM                 | REQUIRED   | EXISTING  | PROPOSED  | VARIANCE REQ'D. |
|--------|----------------------|------------|-----------|-----------|-----------------|
| 1      | MIN. LOT AREA        | 5,000 S.F. | 72,919 SF | 72,919 SF | NO              |
| 2      | MIN. LOT WIDTH       | 25 FT.     | 196.74 FT | 196.74 FT | NO              |
| 3      | MIN. LOT FRONTAGE    | 25 FT      | 708.65 FT | 708.65 FT | NO              |
| 4      | MIN. FRONT YARD      | 10 FT.     | 0.62 FT   | 20.57 FT  | NO              |
| 5      | MIN. SIDEYARD        | 10 FT.     | 28.29 FT  | 35.59 FT  | NO              |
| 6      | MIN. REAR YARD       | 10 FT.     | 398.31 FT | 315.79 FT | NO              |
| 7      | MAX. LOT COVERAGE    | 50%        | 45.0%     | 49.97%    | NO              |
| 8      | MAX. BUILDING HEIGHT | 45 FT.     | < 45 FT   | < 45 FT   | NO              |

**AUTOMOBILE SERVICE STATION REQUIREMENTS**

| ITEM # | ITEM   | REQUIRED    | PROPOSED           |
|--------|--|-------------|--------------------|
| a.     | LOT REQUIREMENTS   |             |                    |
| (1)    | MIN. LOT SIZE  | 20,000 S.F. | 72,919 S.F.        |
| (2)    | MIN. LOT DEPTH   | 100 FT.     | 506.64 FT.         |
| (3)    | MIN. LOT WIDTH / FRONTAGE  | 100 FT.     | 196.74 / 708.65 FT |
| b.     | SERVICE STATION BUILDINGS  |             |                    |
| (1)    | MIN. SETBACK FROM STREET LINES   | 40 FT.      | 93.25 FT.          |
| (2)    | MIN. SETBACK FROM INT. LOT LINES   | 20 FT.      | 36.31 FT.          |
| c.     | DRIVEWAYS  |             |                    |
| (1)    | MIN. DISTANCE BETWEEN ACCESS DRIVEWAYS                                     | 20 FT.      | 84.26              |
| (2)    | MAX. WIDTH OF CURB CUTS  | 25 FT.      | 42.4 (EXIST.)      |
| d.     | OTHER STRUCTURES   |             |                    |
| (1)    | MIN. DISTANCE BETWEEN PUMP ISLANDS, COMP. AIR AND STREET OR PROPERTY LINES | 20 FT.      | 29.24 FT.          |
| (2)    | MIN. DISTANCE BETWEEN CANOPY AND STREET LINE                               | 12 FT.      | 20.09 FT.          |
| e.     | UNDERGROUND STORAGE TANKS  |             |                    |
| (1)    | MAX. STORAGE CAPACITY FOR PETROLEUM PRODUCTS                               | 42,000 GAL. | 30,000 GAL.        |
| (2)    | MIN. DISTANCE BETWEEN TANKS AND ADJOINING BUILDINGS AND STREET LINE        | 10 FT.      | 30 FT.             |

**PARKING REQUIREMENTS**

| ITEM # | ITEM                                      | REQUIRED  | PROPOSED  |
|--------|---|-----------|-----------|
| 1      | RETAIL SPACE (1 SPACE / 300 S.F.)         | 12 SPACES | 12 SPACES |
| 2      | GASOLINE STATIONS ( 1 SPACE / EMPLOYEE)   | 2 SPACES  | 5 SPACES  |
| 3      | TOTAL PARKING                             | 14 SPACES | 17 SPACES |
| 4      | HANDICAP SPACES                           | 1         | 1         |
| 5      | MIN. PARKING STALL DIMENSIONS             | 9' x 18'  | 9' x 18'  |
| 6      | MIN. LOADING SPACE DIMENSIONS (14' x 60') | 1         | 1         |

**BUILDABLE AREA ANALYSIS**

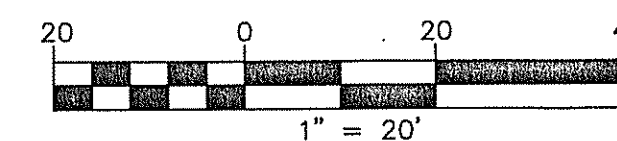
| ITEM # | ITEM                          | EXISTING    | PROPOSED    |
|--------|-------------------------------|-------------|-------------|
| 1      | LOT AREA                      | 72,919 S.F. | 72,919 S.F. |
| 2      | NON-BUILDABLE AREA (WETLANDS) | 19,431 S.F. | 19,431 S.F. |
| 3      | BUILDABLE AREA                | 53,488 S.F. | 53,488 S.F. |
| 4      | IMPERVIOUS COVERAGE AREA      | 24,084 S.F. | 26,733 S.F. |
| 5      | LOT COVERAGE                  | 45.0%       | 49.97%      |

**GENERAL NOTES**

- NO EASEMENTS OR PLAT RESTRICTIONS EXIST FOR THIS SITE.
- THE PROPOSED PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
- MATERIALS AND CONSTRUCTION PROCEDURES SHALL COMPLY WITH RI DOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION 2004 EDITION AND THE TOWN OF NORTH KINGSTOWN SPECIFICATIONS.
- CONTRACTOR TO SECURE ALL NECESSARY TRADE PERMITS.
- NEW PAVEMENT TO MEET LINE & GRADE OF EXISTING PAVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
- LOAM AND SEED ALL DISTURBED AREAS NOT COVERED BY OTHER IMPROVEMENTS.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED.
- STORAGE AREAS FOR CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE AS APPROVED BY THE TOWN OF NORTH KINGSTOWN.
- ALL LOCATIONS WHERE EXISTING CURBING, BITUMINOUS CONCRETE ROADWAY OR CONCRETE ROADWAY OR CONCRETE SIDEWALK ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO PROVIDE A CLEAN, SMOOTH EDGE. TACK COAT EXPOSED EDGES OF EXISTING CONCRETE PRIOR TO PLACEMENT OF NEW BITUMINOUS CONCRETE PAVEMENT.
- WHERE LIMIT OF WORK MEETS AN EXISTING BUILDING, IT IS ASSUMED THE WORK LIMIT CONTINUES AT THE BUILDING FACE.
- ALL NEW WORK SHALL BE STAKED-OUT PRIOR TO CONSTRUCTION. OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY DISCREPANCIES.
- FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND APPROPRIATE MUNICIPAL OFFICIALS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL AND HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTROL DUST CAUSED BY HIS OPERATIONS BY APPLYING WATER OR DUST PALLIATIVE, OTHER THAN CALCIUM CHLORIDE.
- CONTRACTOR SHALL CONTROL NOISE TO AS GREAT AN EXTENT AS POSSIBLE. ALL POWER EQUIPMENT USED DURING CONSTRUCTION SHALL BE EQUIPPED WITH MUFFLERS.
- MANUFACTURED ITEMS SHALL BE INSTALLED, CONNECTED AND CLEANED ACCORDING TO THE MANUFACTURERS DIRECTIONS.
- PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE. ALSO, ANY DAMAGE TO FIELD OR FACTORY APPLIED FINISHES SHALL BE REPAIRED.
- EXPANSION AND SCORE JOINTS FOR NEW CONCRETE WALKS SHALL BLEND TO MATCH EXISTING PATTERNS. CONTRACTOR TO ARRANGE TIMELY ON-SITE CONFERENCES WITH LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF JOINT PATTERNS.
- PROVIDE EXPANSION JOINTS FOR NEW CONCRETE PAVING AT ALL CURBS, TREE GRATES, BUILDING WALLS, SITE WALLS, STAIRS, LIGHT POLE BASES, MANHOLES, GRATES/VAULTS, EXISTING CONCRETE PAVING, STOP LIGHTS, FIRE HYDRANTS AND ALL OTHER FIXED MATERIALS. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS SHALL NOT EXCEED 25 FEET.

**PLAN / SURVEY REFERENCE**

SURVEY INFORMATION FROM PLAN ENTITLED: "EXISTING CONDITIONS PLAN - 2095 DIAMOND HILL ROAD, CUMBERLAND, RI, AP21, LOT 490", SCALE: 1" = 20', DATED: JUNE 2012, BY: CARAVAN & ASSOCIATES, SMITHFIELD, RI.



SHEET 3 OF 10

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
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Applicant / Owner:  
**COLBEA ENTERPRISES, LLC**  
 2050 Plainfield Pike  
 Cranston, RI 02921  
 Tel: (401) 943-0005

Consultants:  
 Mark G. Smith - Rhode Island  
 P. E. #7235  
 David M. D'Amico - Rhode Island  
 P. E. #6749

PLANNING BOARD- PRELIMINARY PLAN APPLICATION  
 FOR:  
**PROPOSED FILLING STATION RECONSTRUCTION**  
 2095 DIAMOND HILL ROAD  
 CUMBERLAND, RHODE ISLAND  
 ASSESSORS PLAT 21 - LOT 490

Sheet Description:  
**SITE PLAN**

Rev:

Issue Date:  
 JANUARY 31, 2014

Scale: 1"=20' Drawn by: RNC

Project number:  
 5548

Sheet #:  
**C-1**

Environmental Management  
 June 6 2014  
 Office of Water Resources

PLANNING BOARD - PRELIMINARY PLAN APPLICATION  
FOR:  
**PROPOSED FILLING STATION  
RECONSTRUCTION**  
2095 DIAMOND HILL ROAD  
CUMBERLAND, RHODE ISLAND  
ASSESSORS PLAT 21 - LOT 490

Sheet Description:  
**GRADING  
AND  
DRAINAGE  
PLAN**

Rev:  
1 5-5-14 RIDEM COMMENTS OF 3-31-2014  
2 6-5-14 RIDEM COMMENTS OF 6-2-2014

Issue Date:  
JANUARY 31, 2014

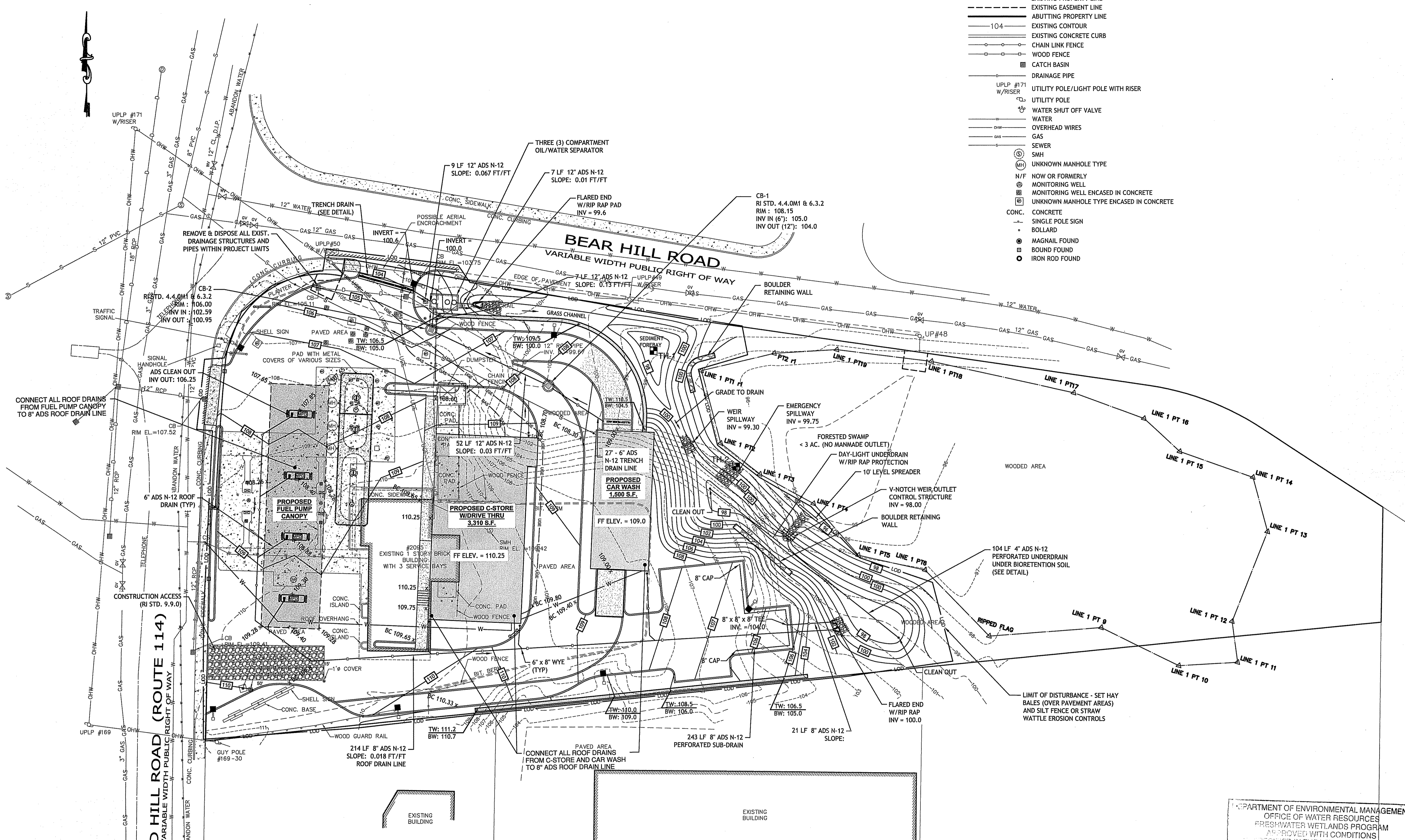
Scale: 1"=20'  
Drawn by: DMG

Project number:  
DEtec 08-0011e08

Sheet #:  
C-2.0

JUN - 2, 2014  
Office of Water Resources

- LEGEND**
- EXISTING PROPERTY LINE
  - EXISTING EASEMENT LINE
  - ABUTTING PROPERTY LINE
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  - CATCH BASIN
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  - WATER SHUT OFF VALVE
  - WATER
  - OVERHEAD WIRES
  - GAS
  - SEWER
  - SMH UNKNOWN MANHOLE TYPE
  - MH UNKNOWN MANHOLE TYPE
  - N/F NOW OR FORMERLY
  - MONITORING WELL
  - MONITORING WELL ENCASED IN CONCRETE
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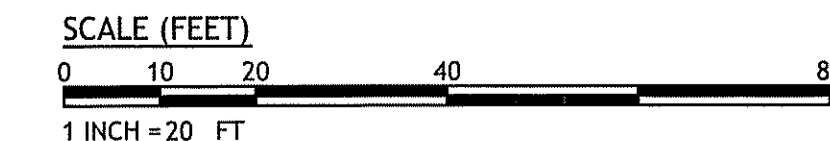


**SECTION 3.2.6 RIDISDM REDEVELOPMENT CRITERIA GUIDANCE**

TOTAL SITE AREA (TSA): 72,919 SF  
 JURISDICTIONAL WETLANDS (JW): 19,431 SF  
 CONSERVATION LAND (CL): NA  
 SITE SIZE (SS) = 72,919 - 19,431 = 53,488 SF  
 EXISTING TOTAL IMPERVIOUS AREA (TIA) = 24,084 SF  
 TIA/SS = 0.45 > 0.4  
 PROPOSED DISTURBED IMPERVIOUS (DI) = 26,733 SF  
 STORMWATER TREATMENT AREA (STA) = (26,733 x 0.5) + (26,733 - 24,084) = 16,016 SF < 22,941 SF ACTUAL PROJECT STA

**TEST HOLE DATA TABLE**

| TH | ELEV  | SHGWT |
|----|-------|-------|
| 1  | 98.20 | 96.20 |
| 2  | 98.00 | 96.00 |

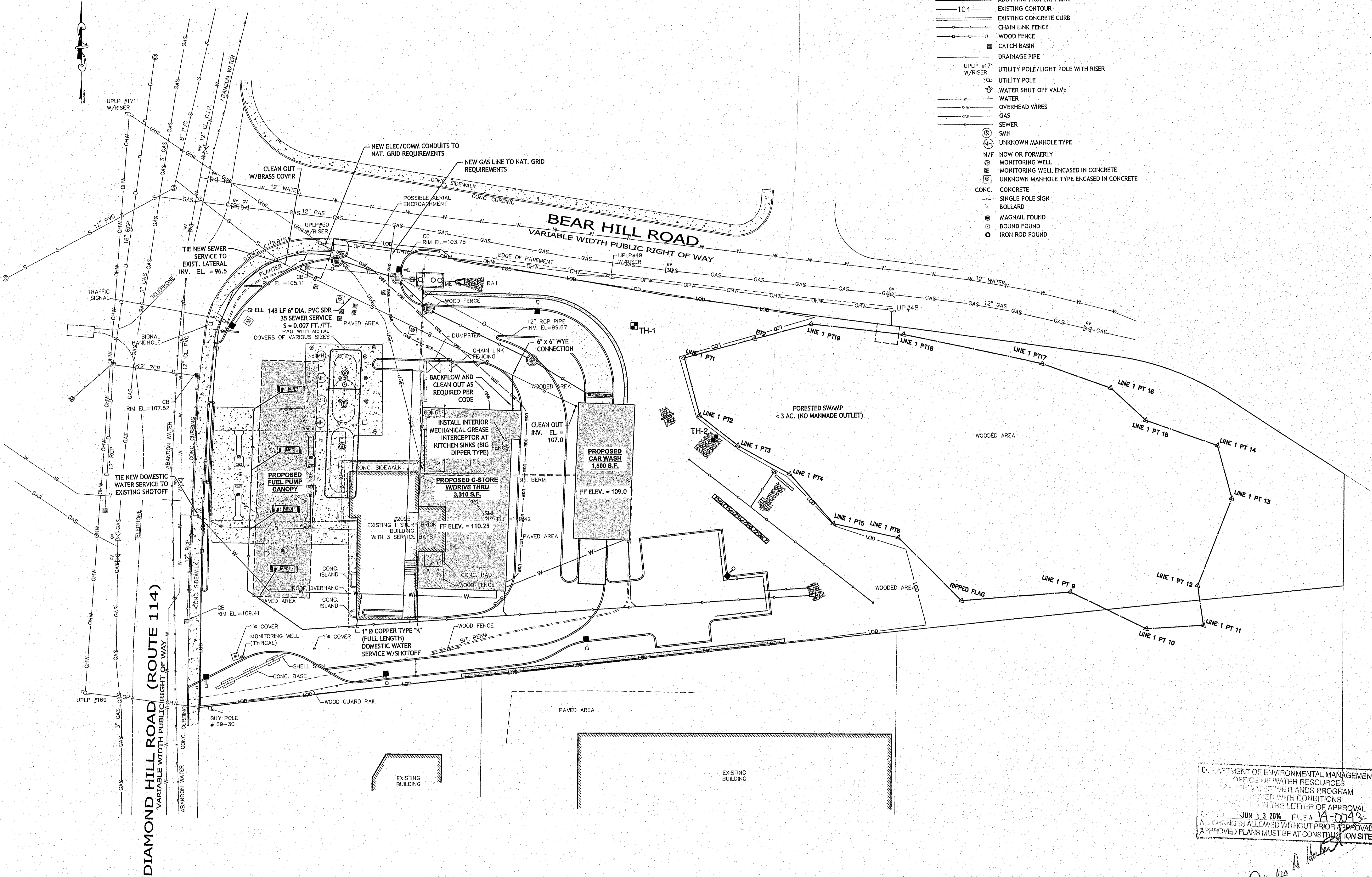


SOIL EVALUATIONS CONDUCTED BY:  
SOVEREIGN CONSULTING, INC.  
16 CHESTNUT STREET  
FOXBOROUGH, MA 02035

DAVID M. D'AMICO  
No. 6749  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
Professional Seal



LOCATION OF EXISTING UTILITIES SHOWN ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DICS SAFE** AT 1-888-DIG-SAFE 1-888-344-7233

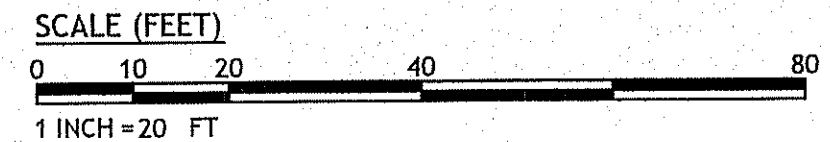


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**DIAMOND HILL ROAD (ROUTE 114)**  
VARIABLE WIDTH PUBLIC RIGHT OF WAY

**BEAR HILL ROAD**  
VARIABLE WIDTH PUBLIC RIGHT OF WAY

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OFFICE OF WATER RESOURCES  
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SHEET 5 OF 10



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Applicant / Owner:  
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2050 Plainfield Pk  
Cranston, RI 02931  
Tel: (401) 943-005

Consultants:  
Mark G. Smith - Rhode Island  
P. E. #7235  
David M. D'Amico - Rhode Island  
P.E. #6749

PLANNING BOARD - PRELIMINARY PLAN APPLICATION

FOR:

**PROPOSED FILLING STATION RECONSTRUCTION**

2095 DIAMOND HILL ROAD CUMBERLAND, RHODE ISLAND  
ASSESSORS PLAT 21 - LOT 499

Sheet Description:

**UTILITIES PLAN**

Rev: 1 5-5-14 RIDEM COMMENTS OF 3-31-2014

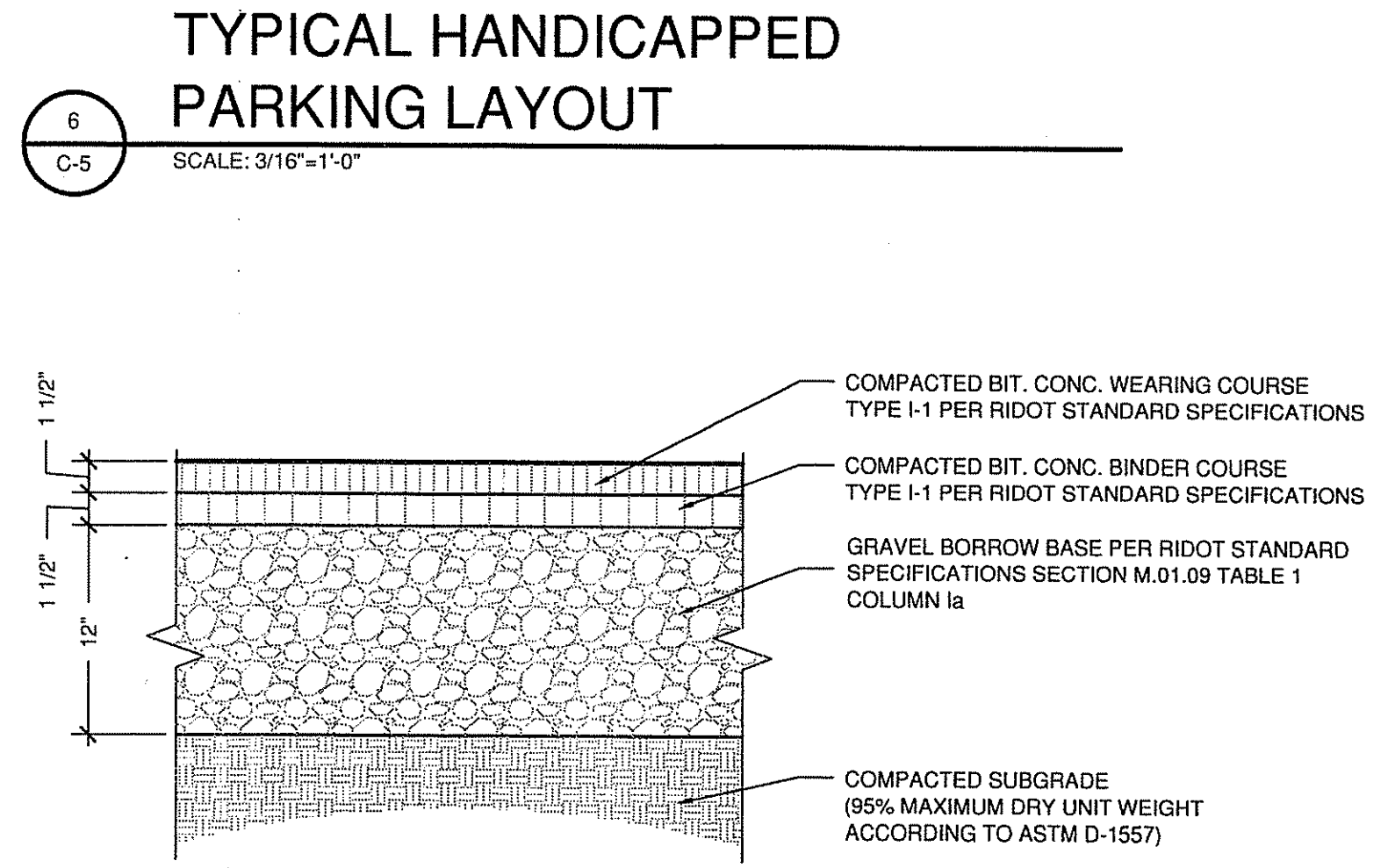
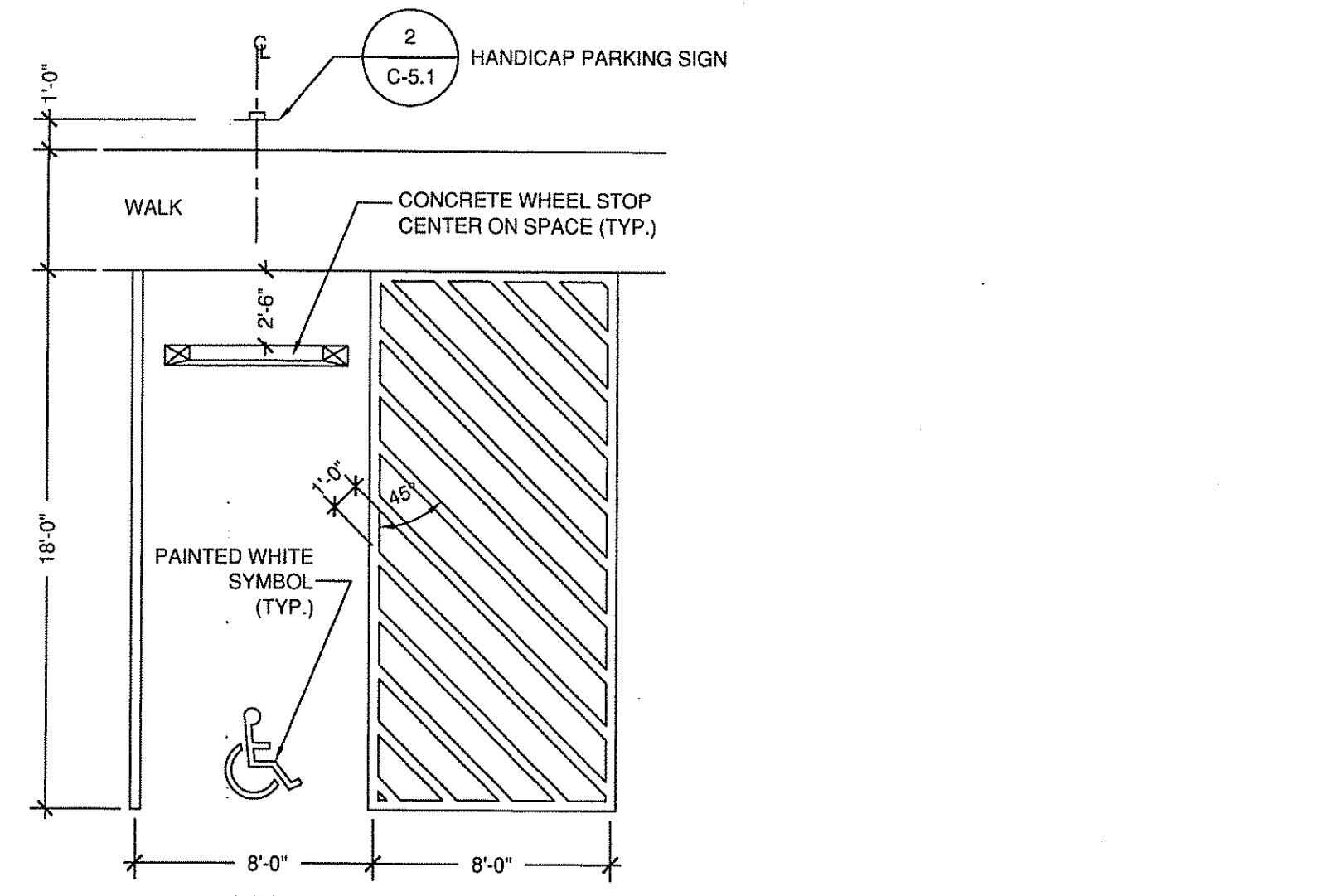
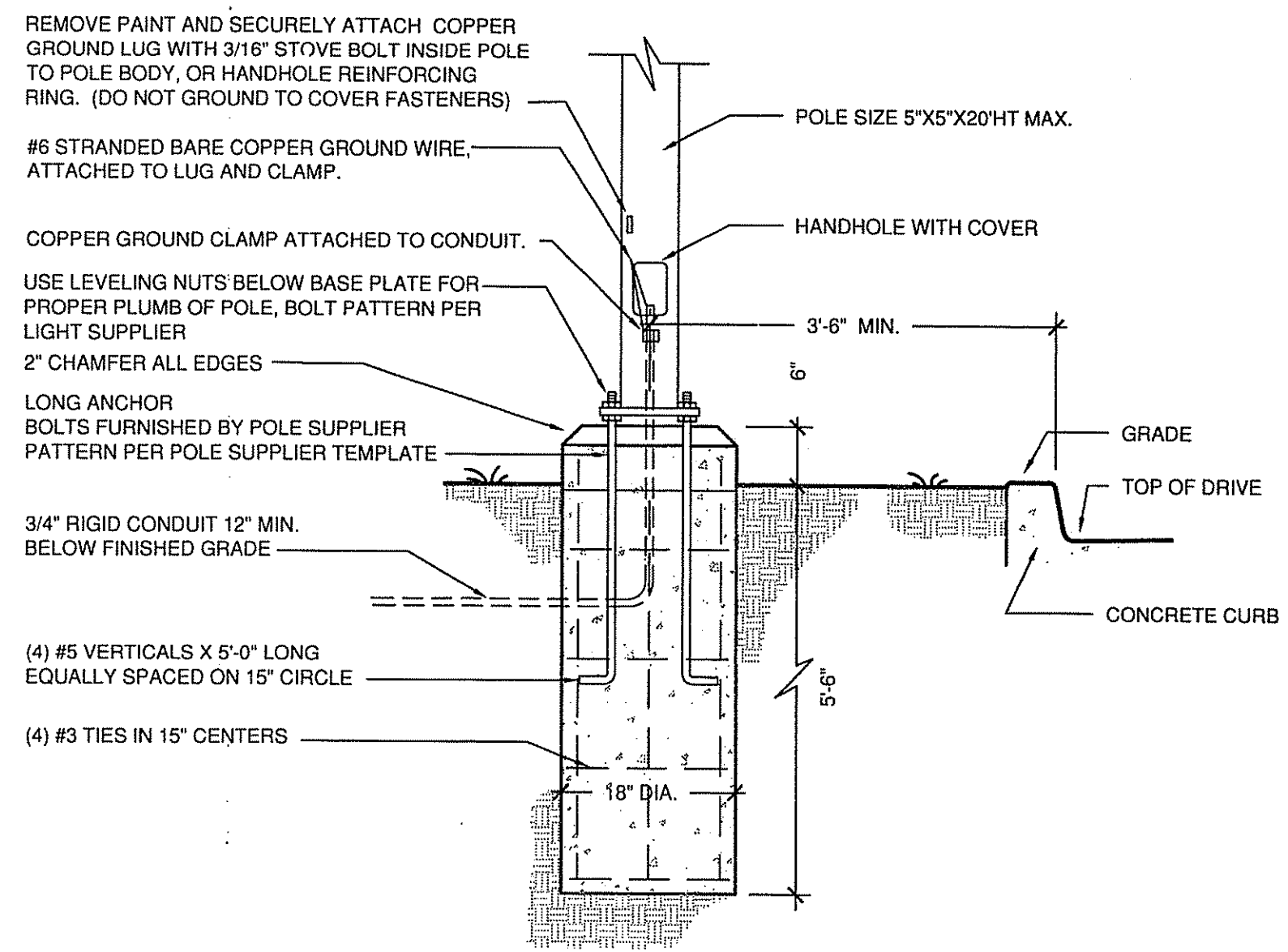
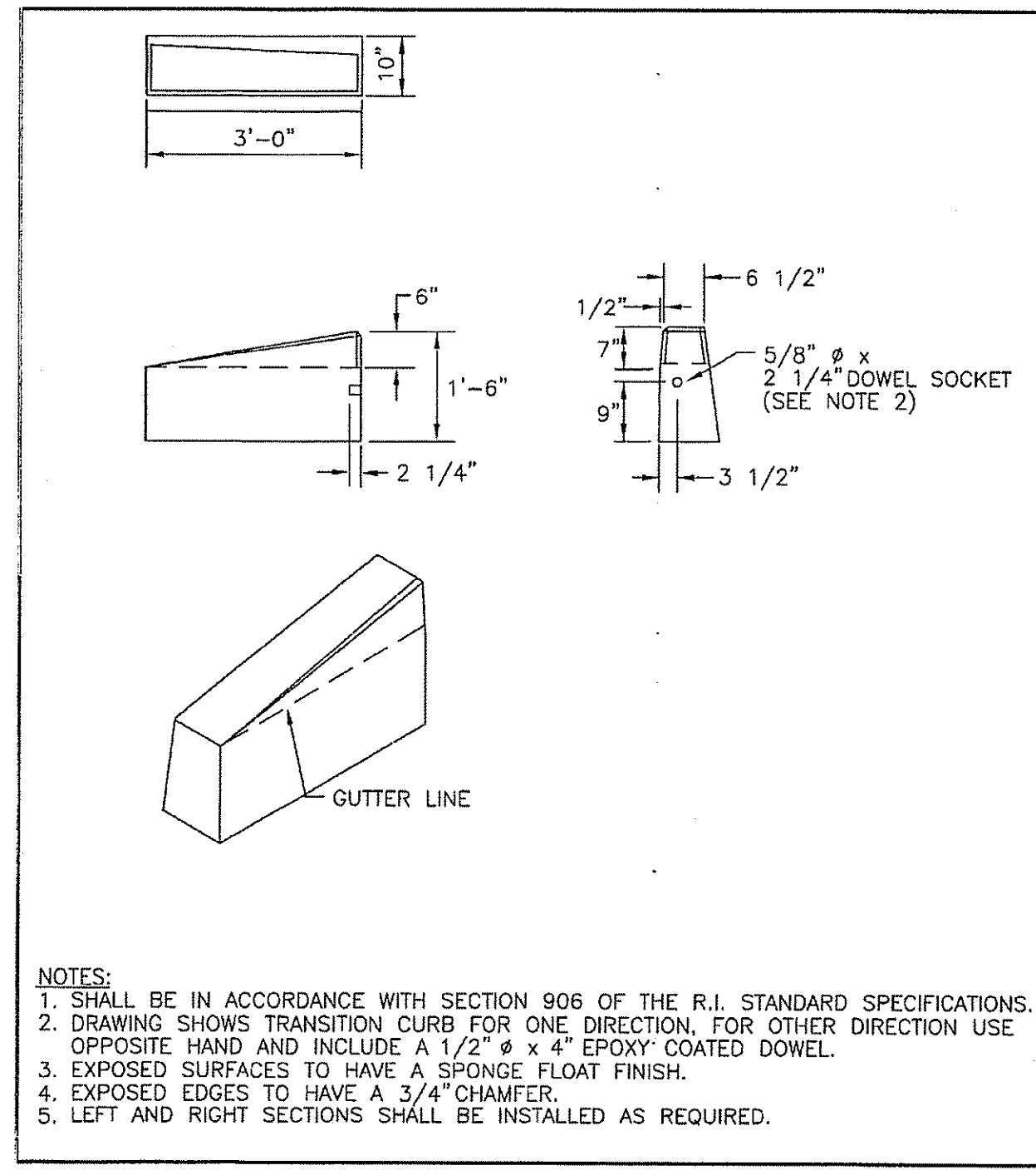
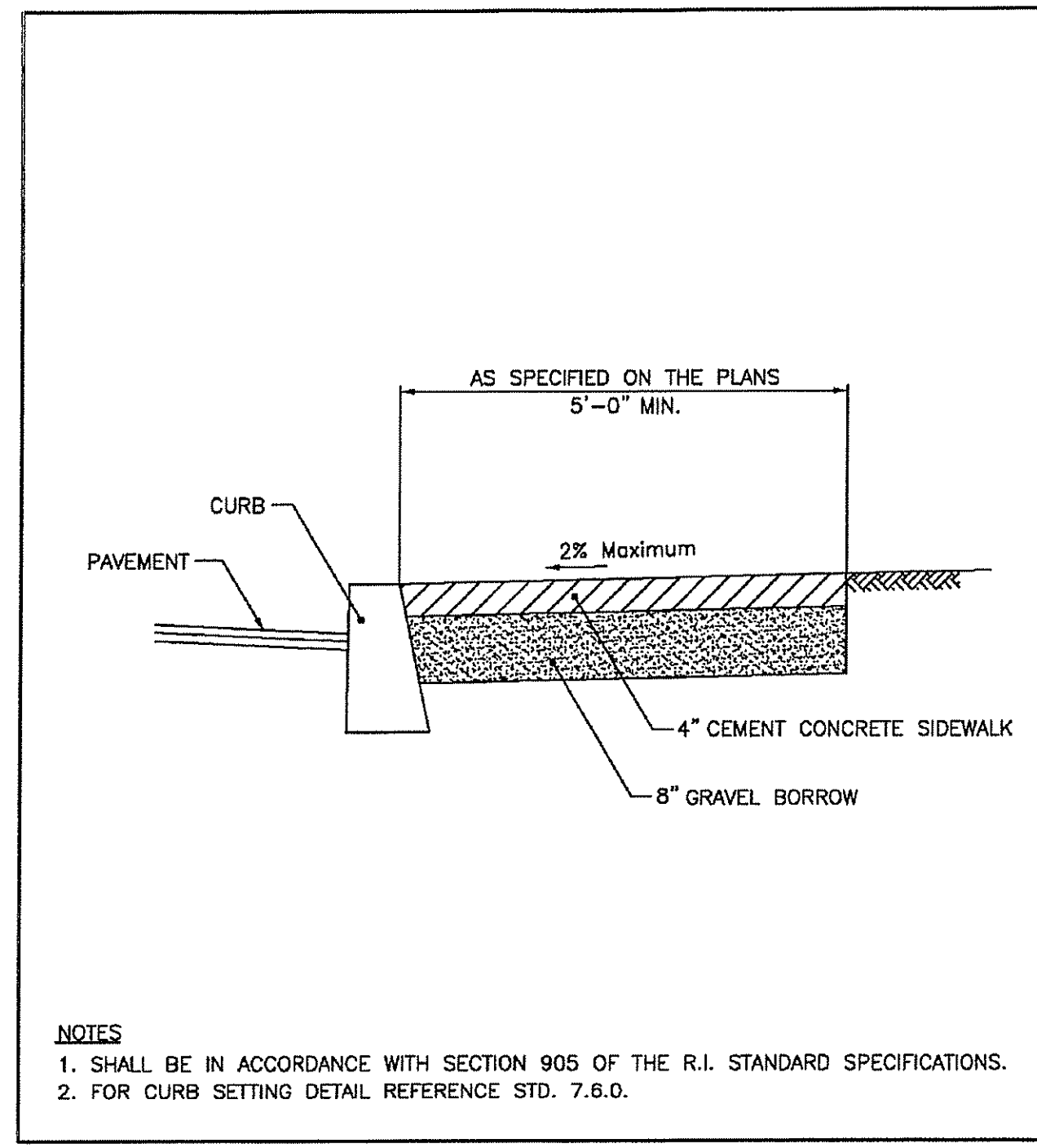
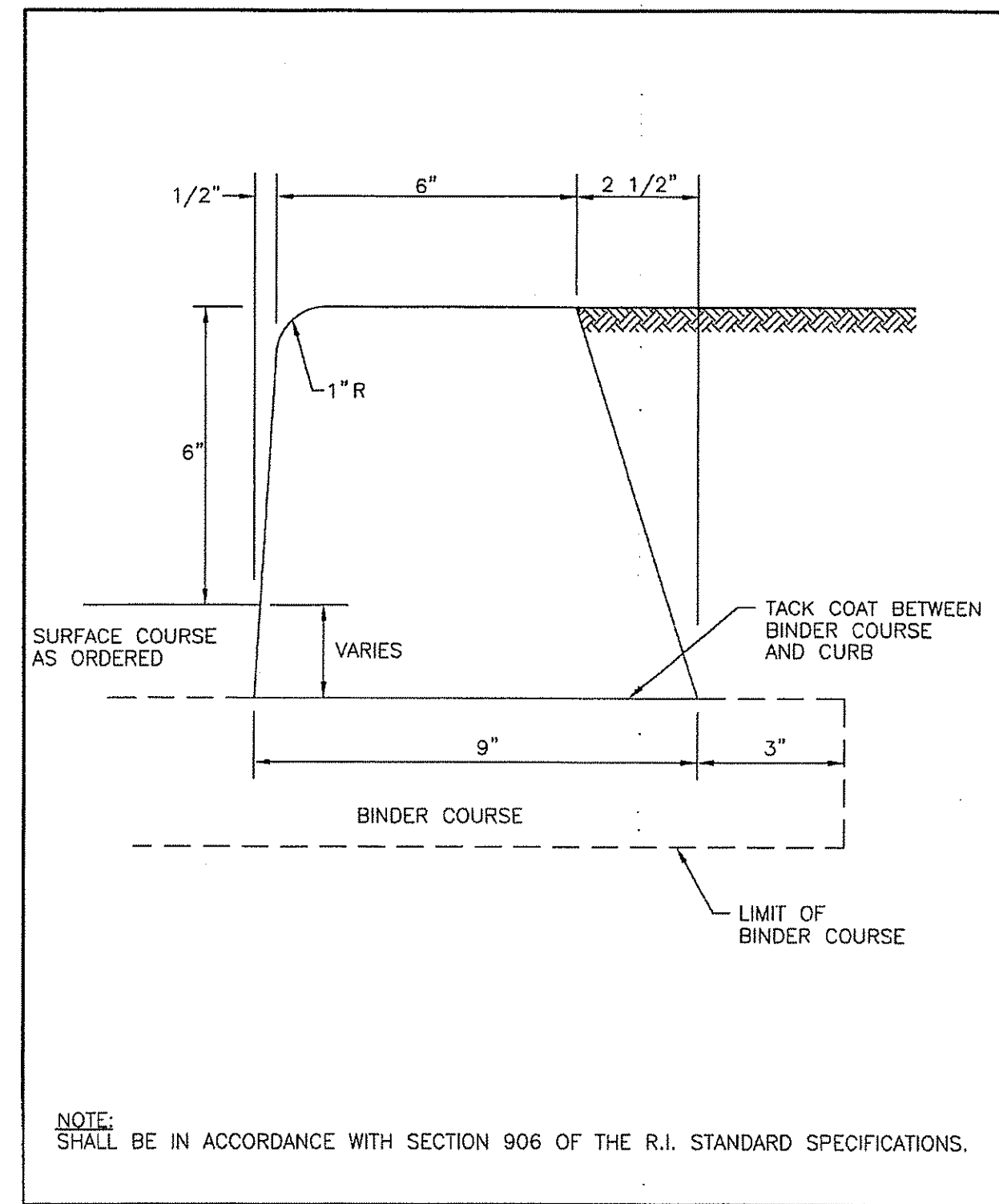
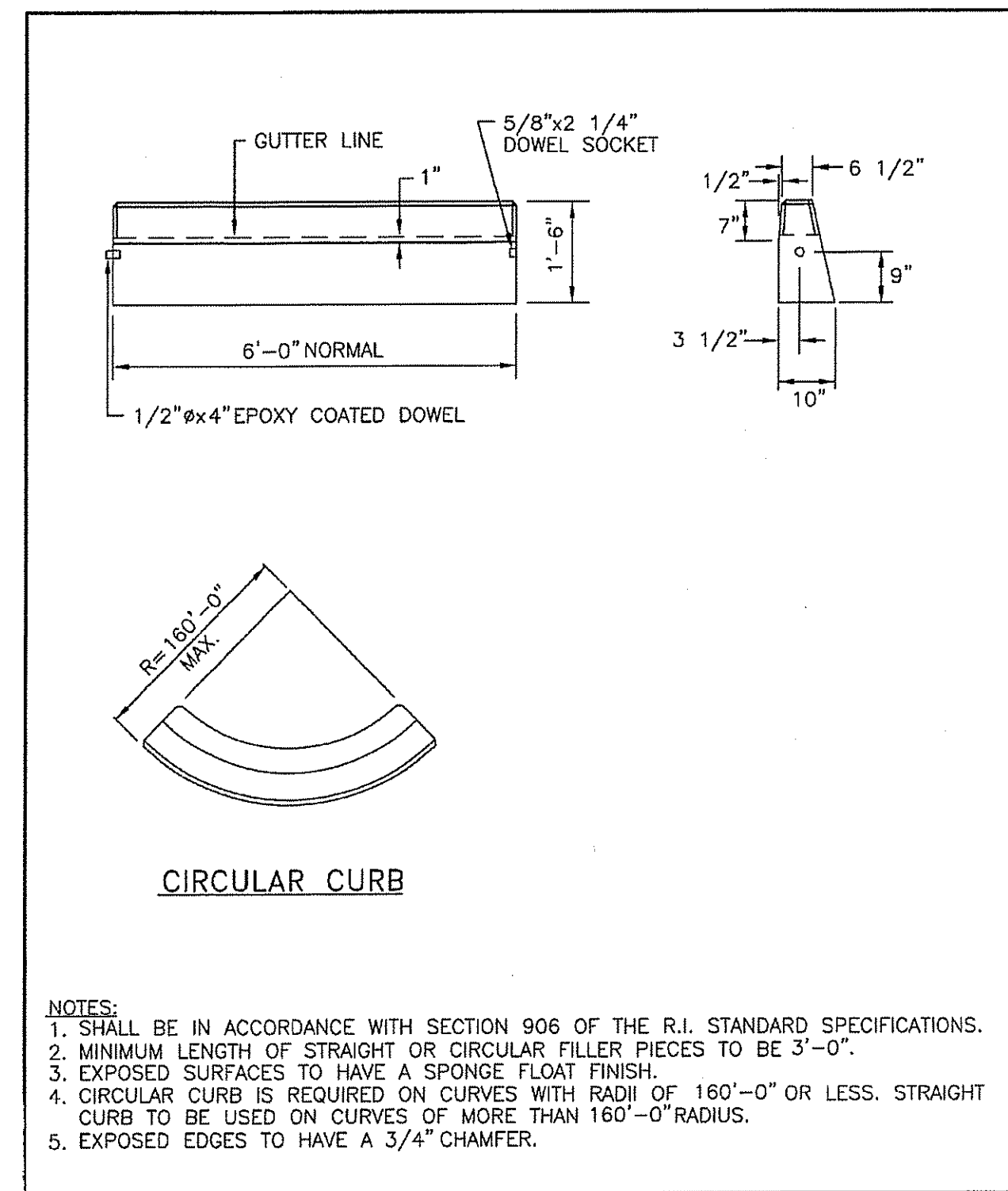
Environmental Management  
JAN 20 2014  
Scale: 1"=20'  
Drawn by: D.M.D.  
Project No: DEtec 08-0011-06  
Date: MAY 2014

DAVID M. D'AMICO  
Professional Seal

**C-3.0**



LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233



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F 860.612.1757  
www.todesignllc.com

Applicant / Owner:  
**COLBEA ENTERPRISES, LLC**  
2555 Plainfield Pike  
Cranston, RI 02931  
Tel: (401) 943-0005

Consultants:  
Mark G. Smith - Rhode Island  
P. E. #7235  
David M. D'Amico - Rhode Island  
P. E. #6749

PLANNING BOARD - PRELIMINARY PLAN APPLICATION  
FOR:  
**PROPOSED FILLING STATION  
RECONSTRUCTION**  
2095 DIAMOND HILL ROAD CUMBERLAND, RHODE ISLAND  
ASSESSORS PLAT 21 - LOT 490

Sheet Description:

**Details**

Rev:

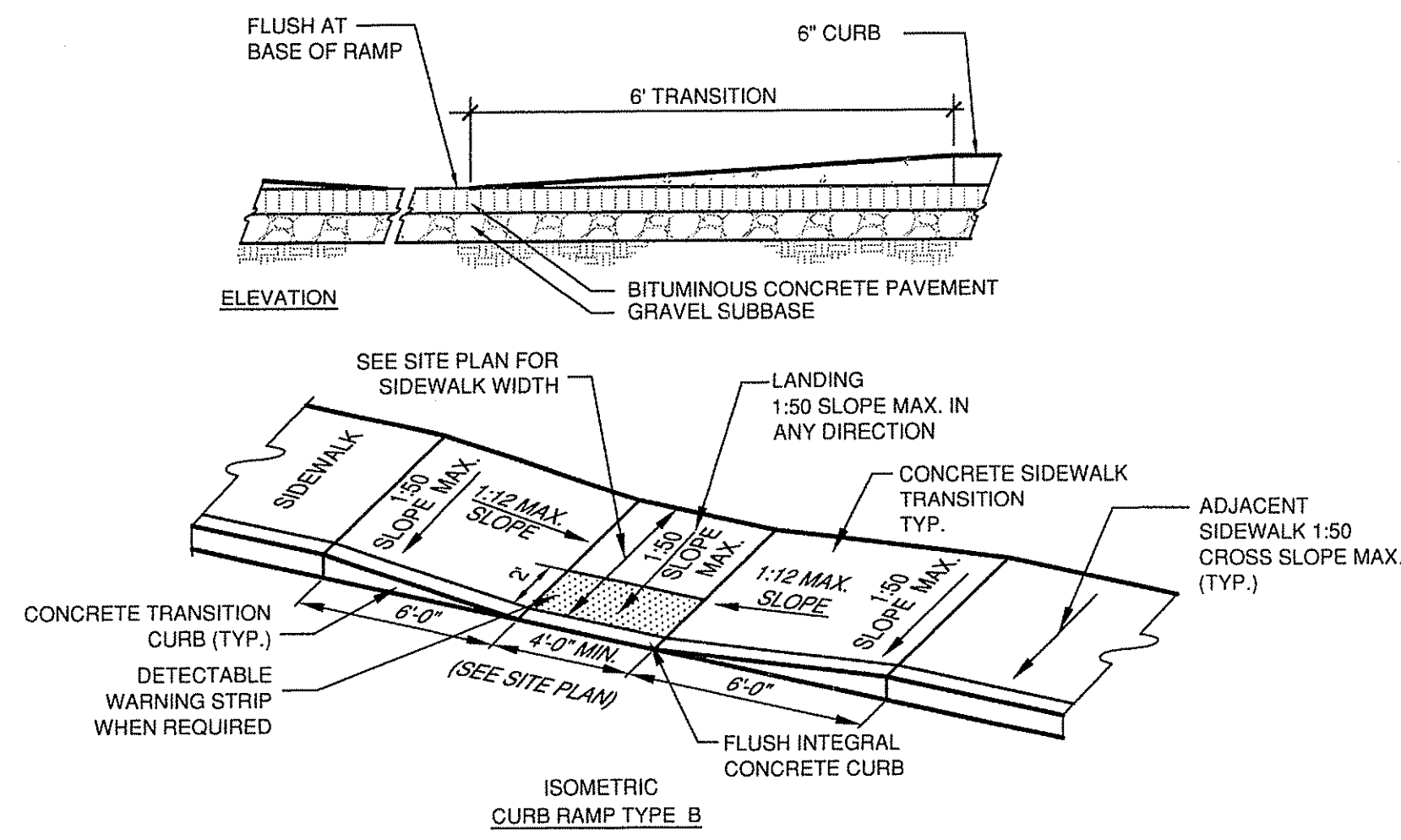
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JANUARY 31, 2014

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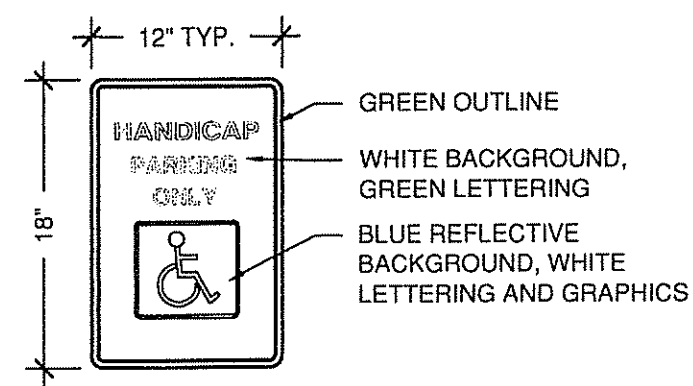
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5548

Sheet #:  
C-4.1

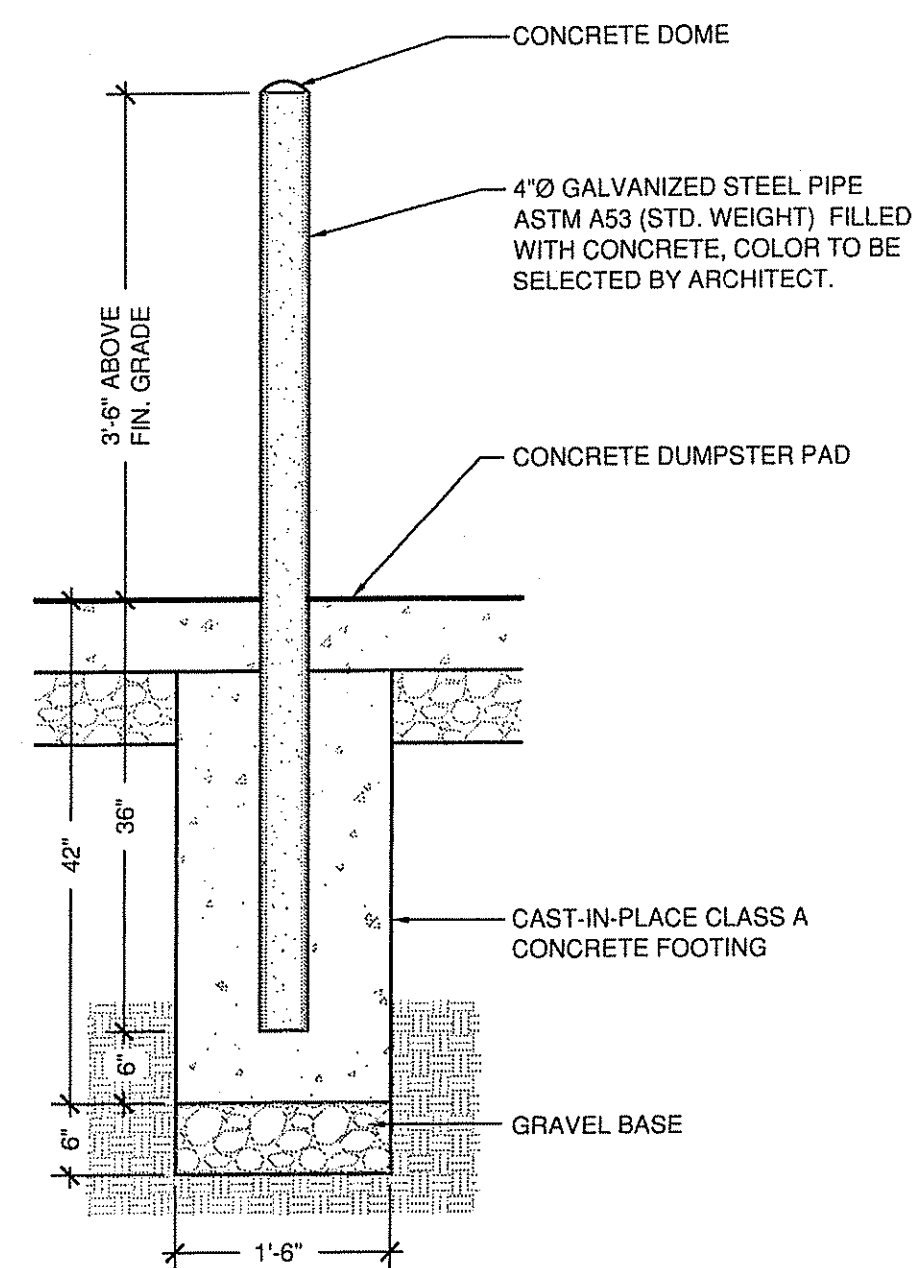
Professional Seal  
MARK G. SMITH  
No. 7205  
MA  
6/24/14  
1/21/14



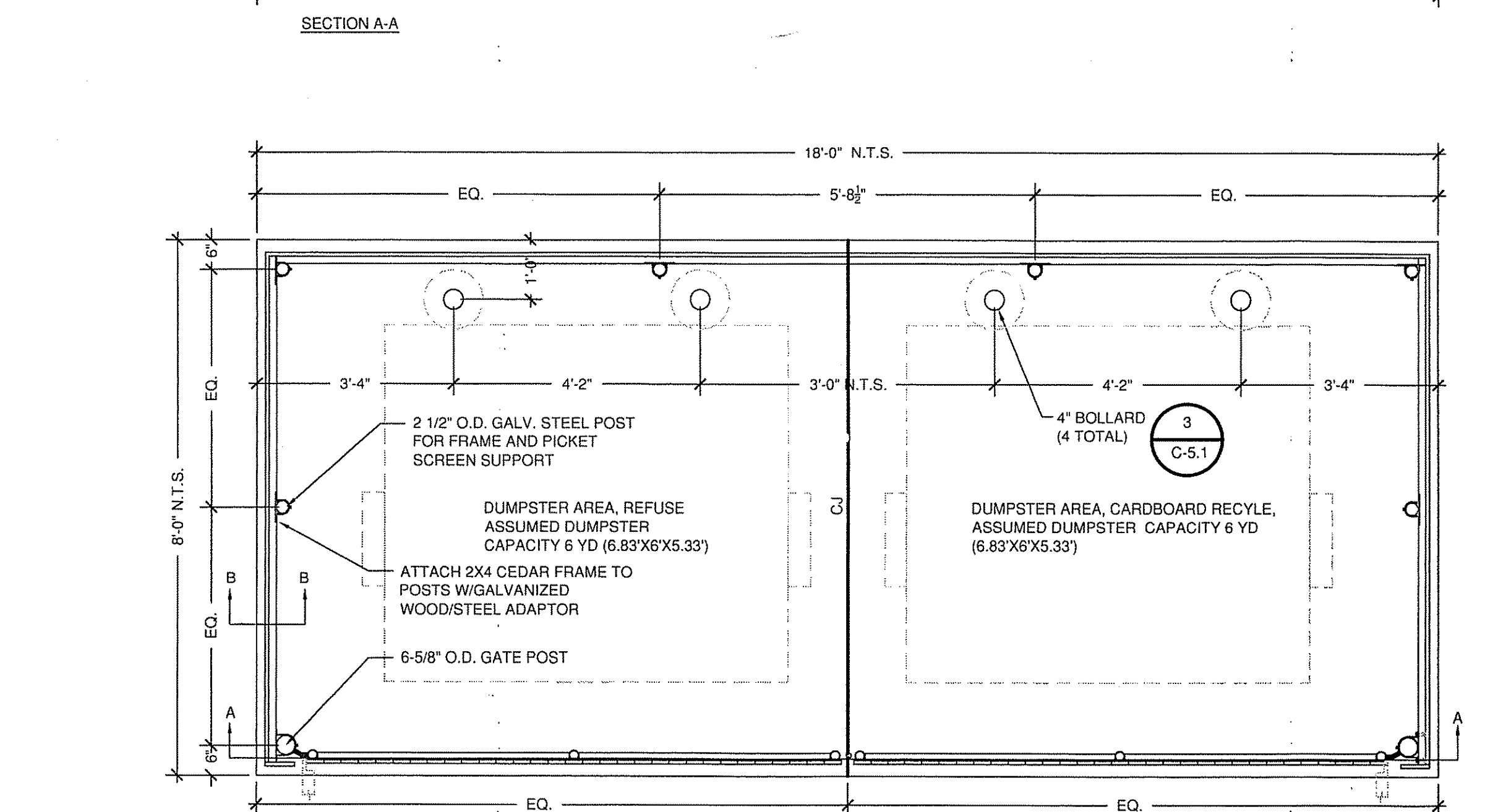
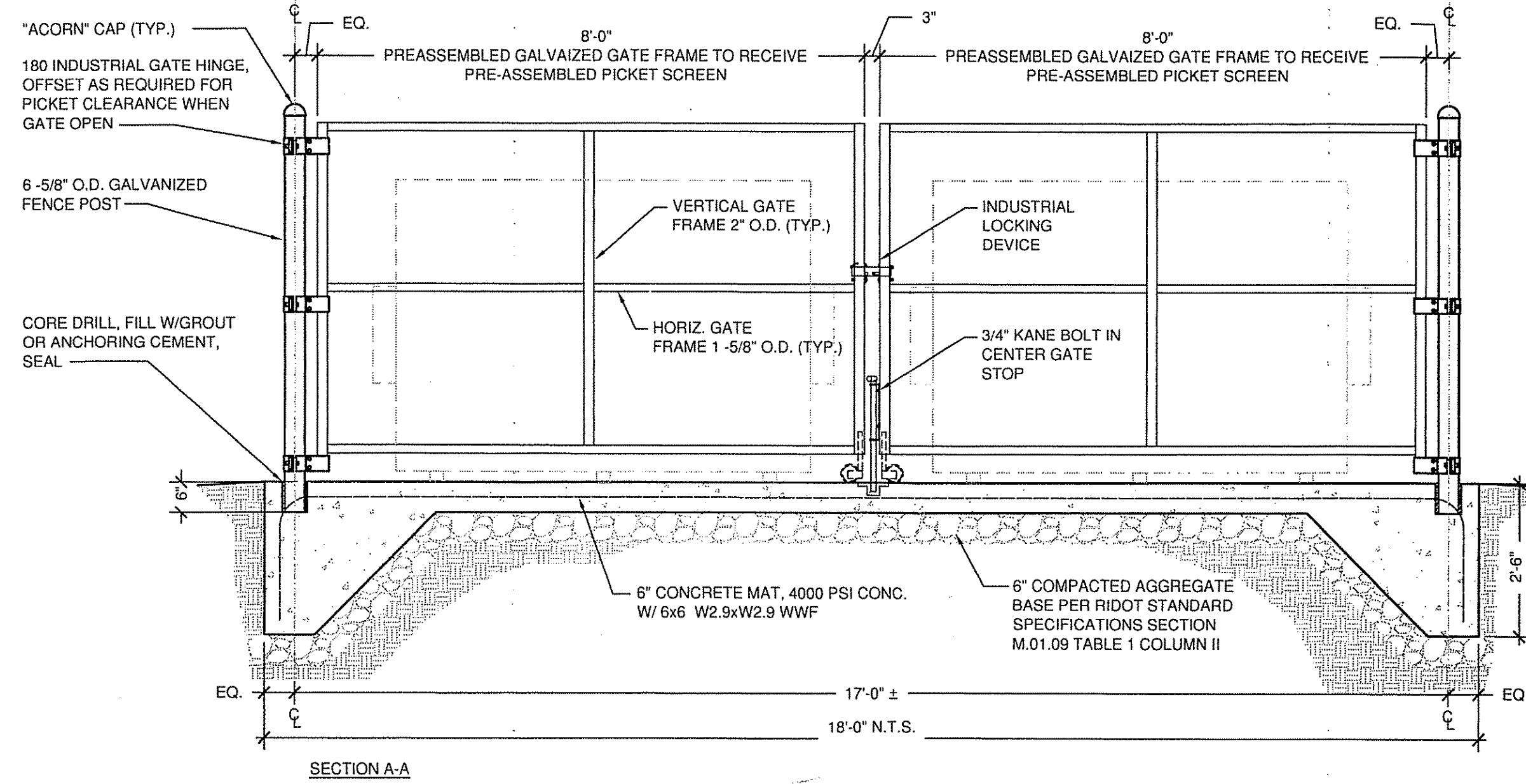
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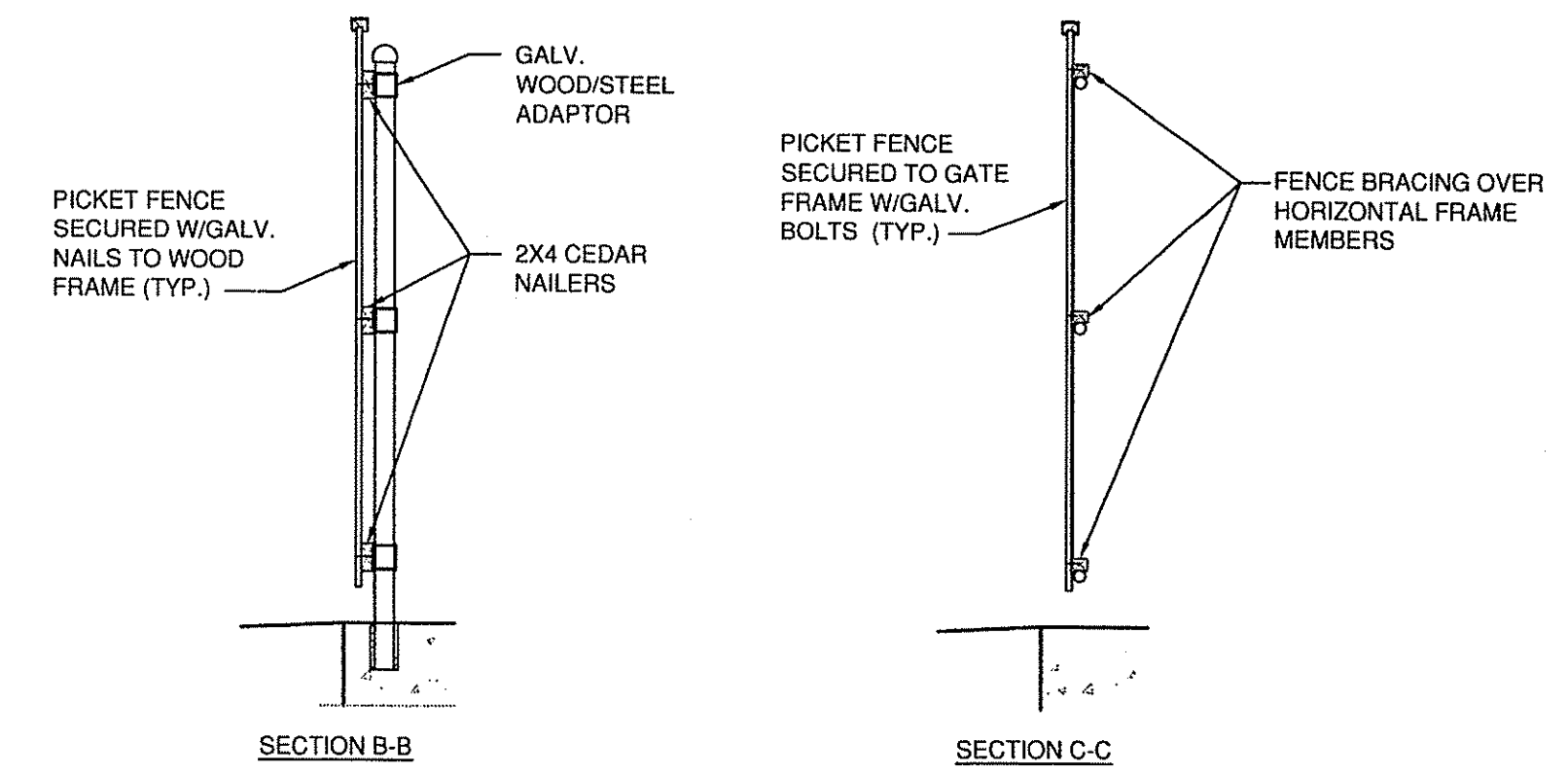
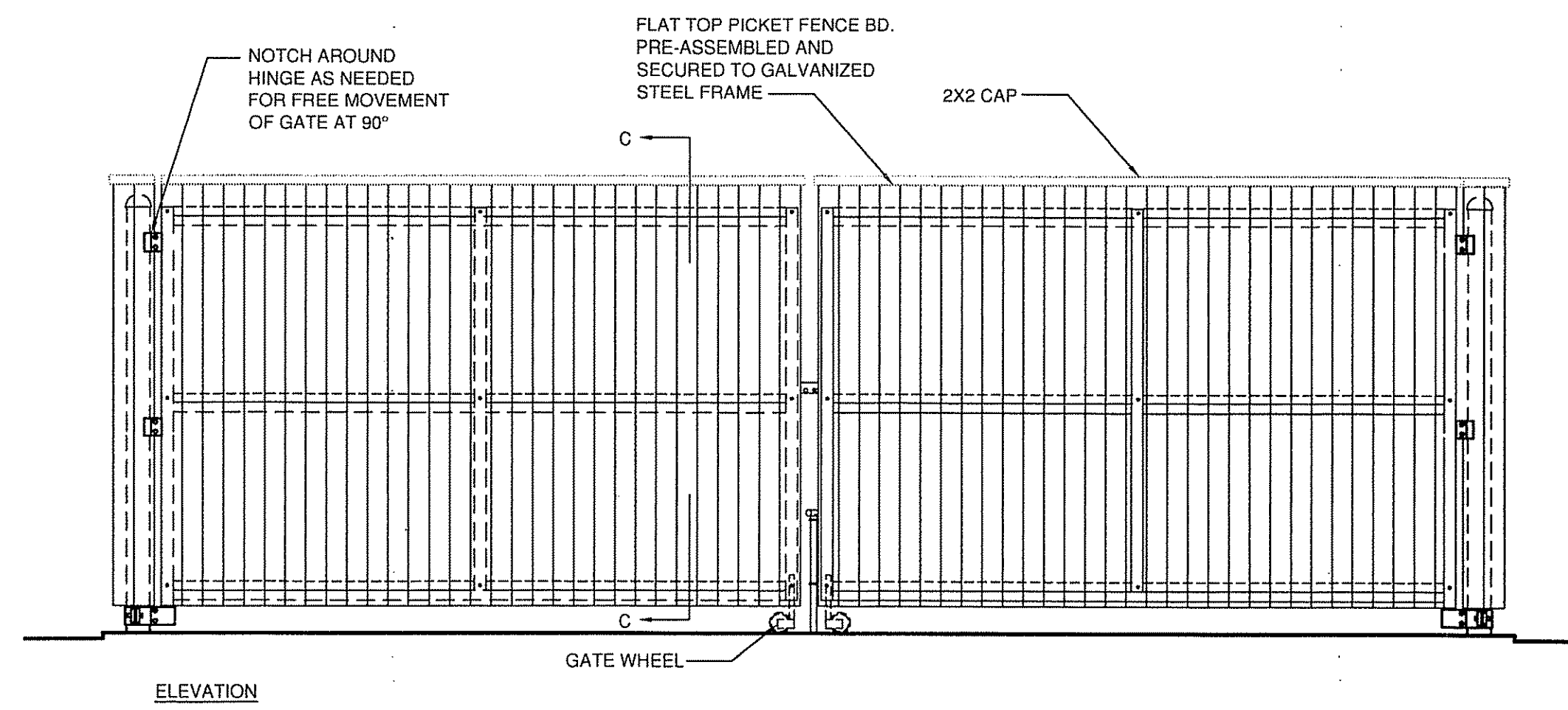
2 PROJECT SIGNAGE KEY  
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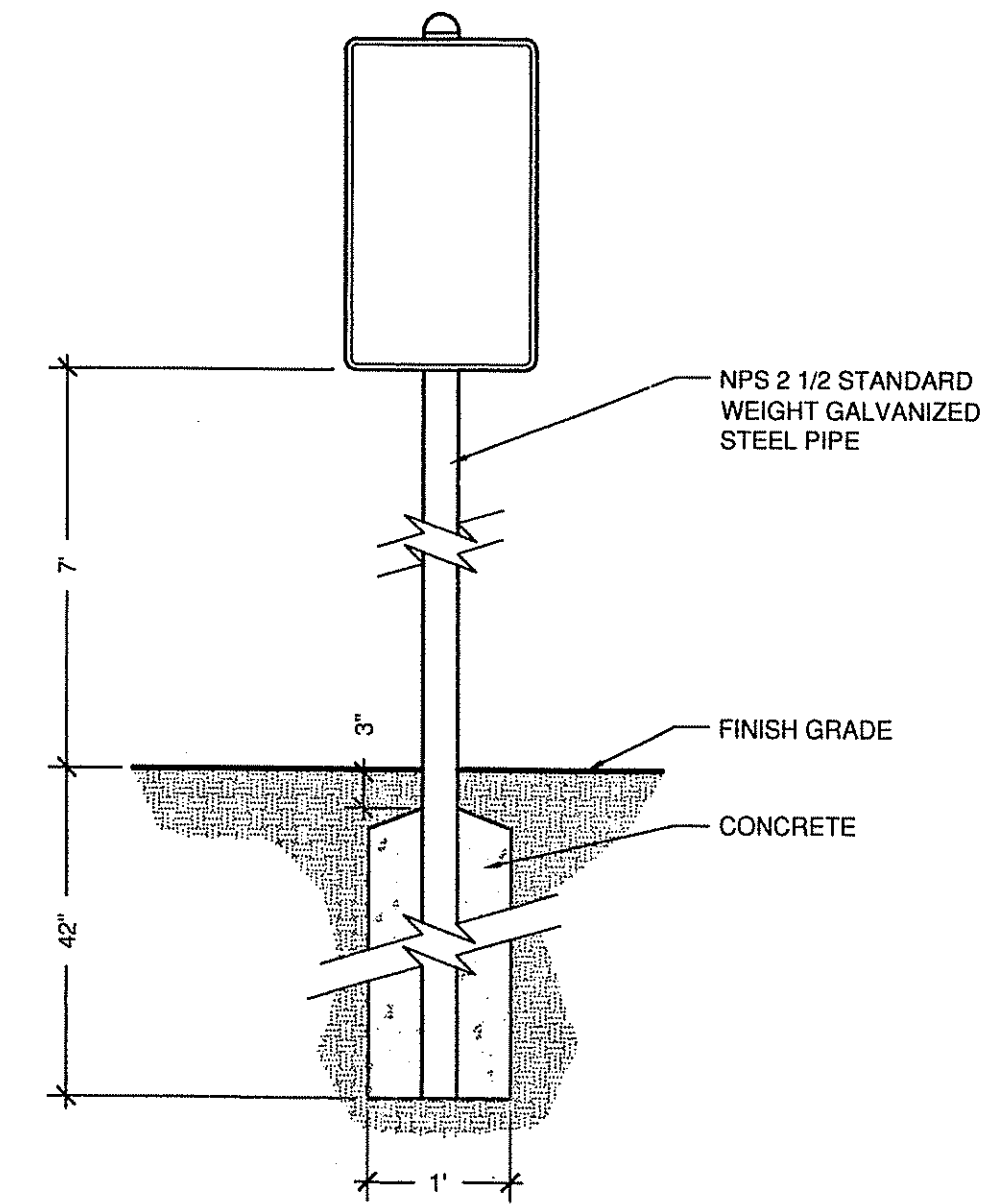
3 4" STEEL BOLLARD @ DUMPSTER PAD  
SCALE: 3/4" = 1'-0"



4 DUMPSTER ENCLOSURE  
SCALE: 1/2" = 1'-0"



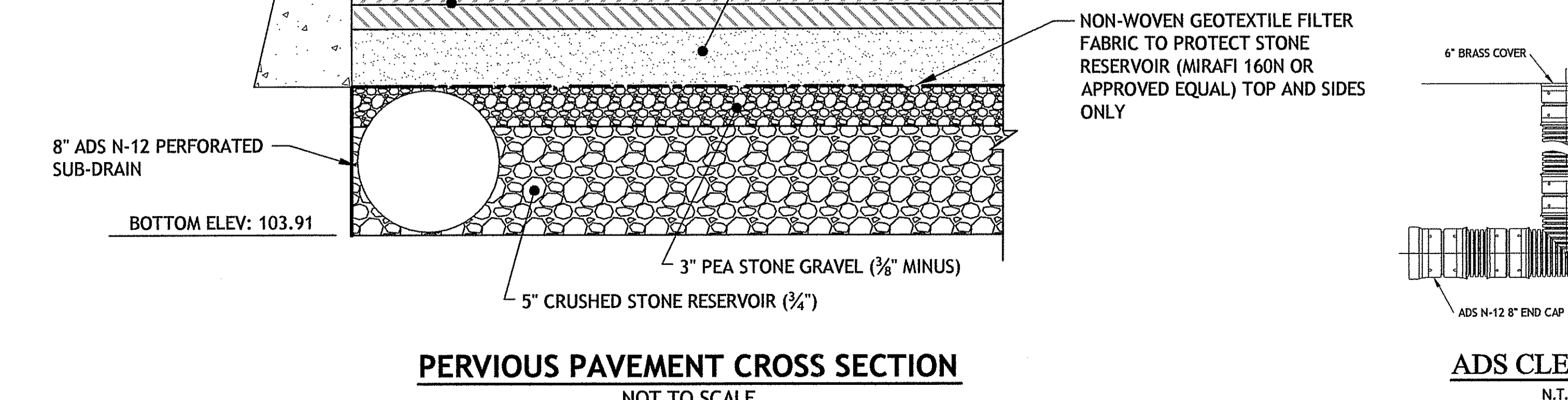
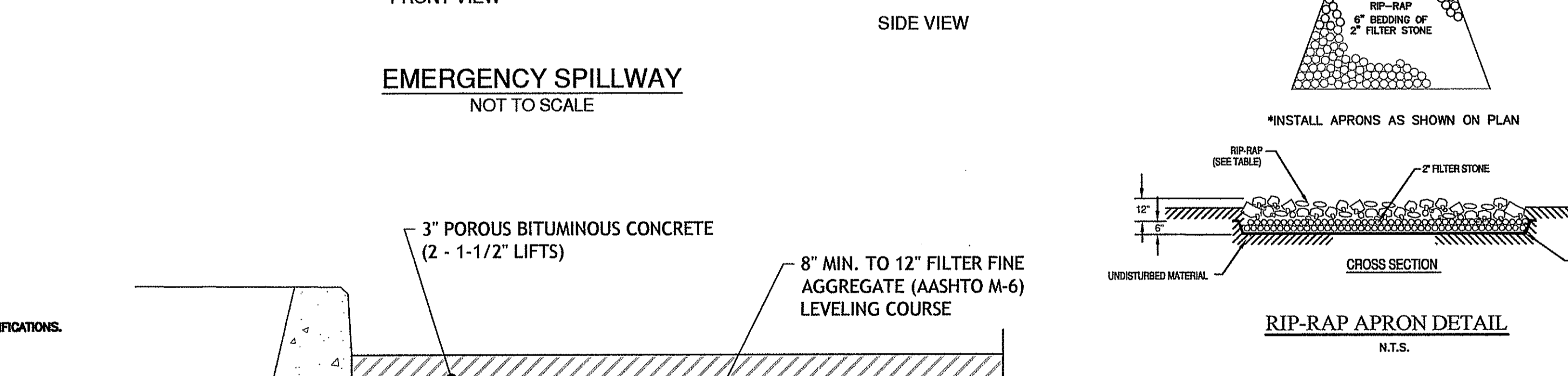
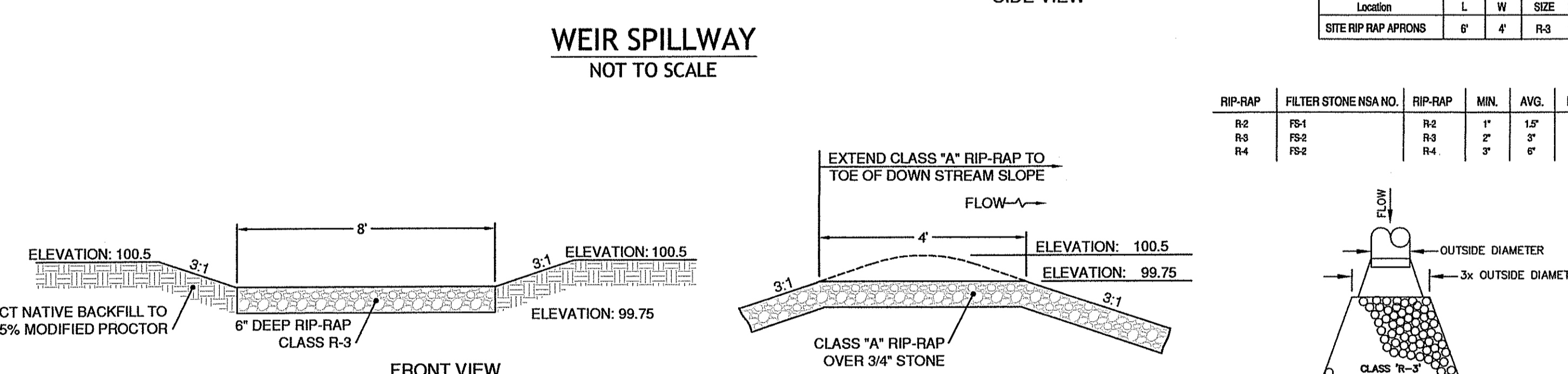
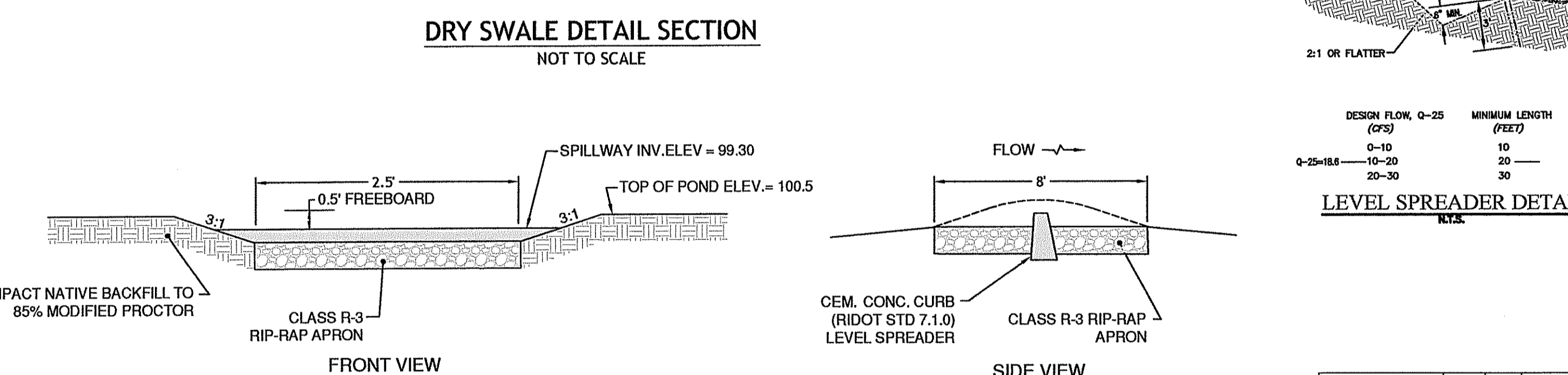
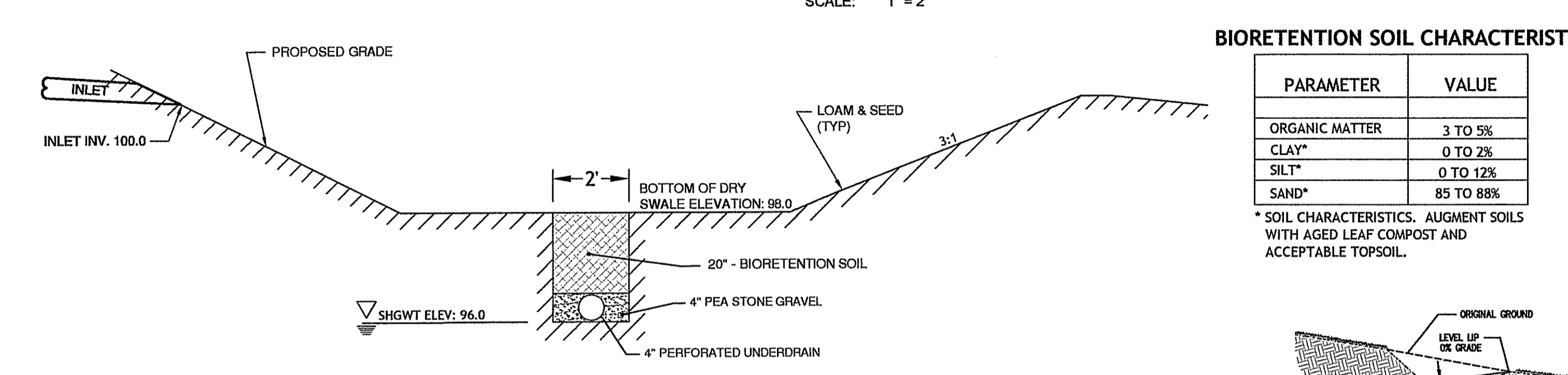
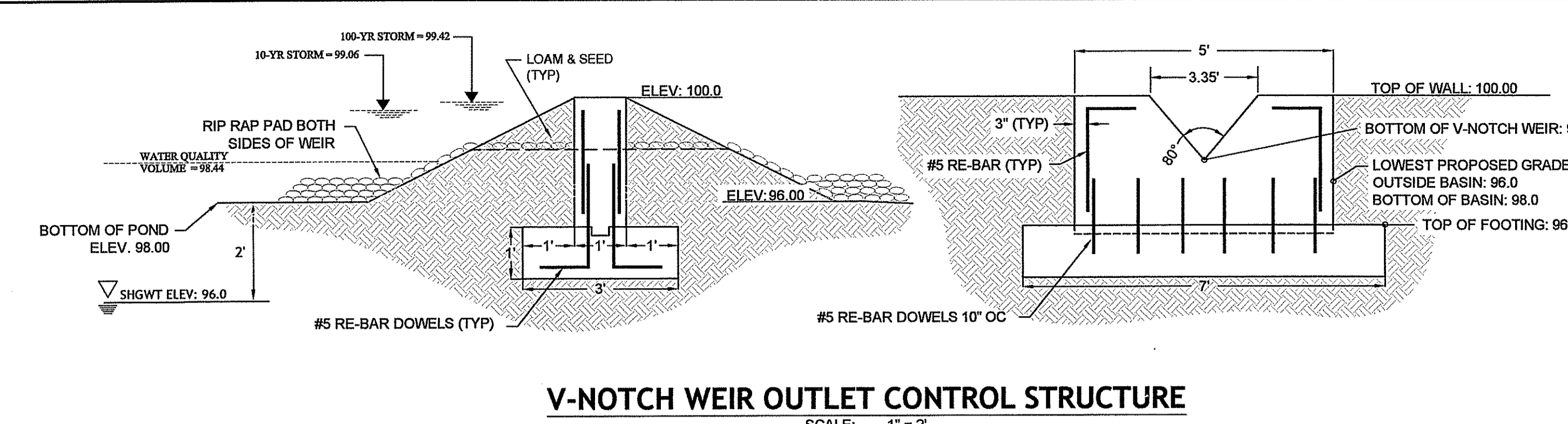
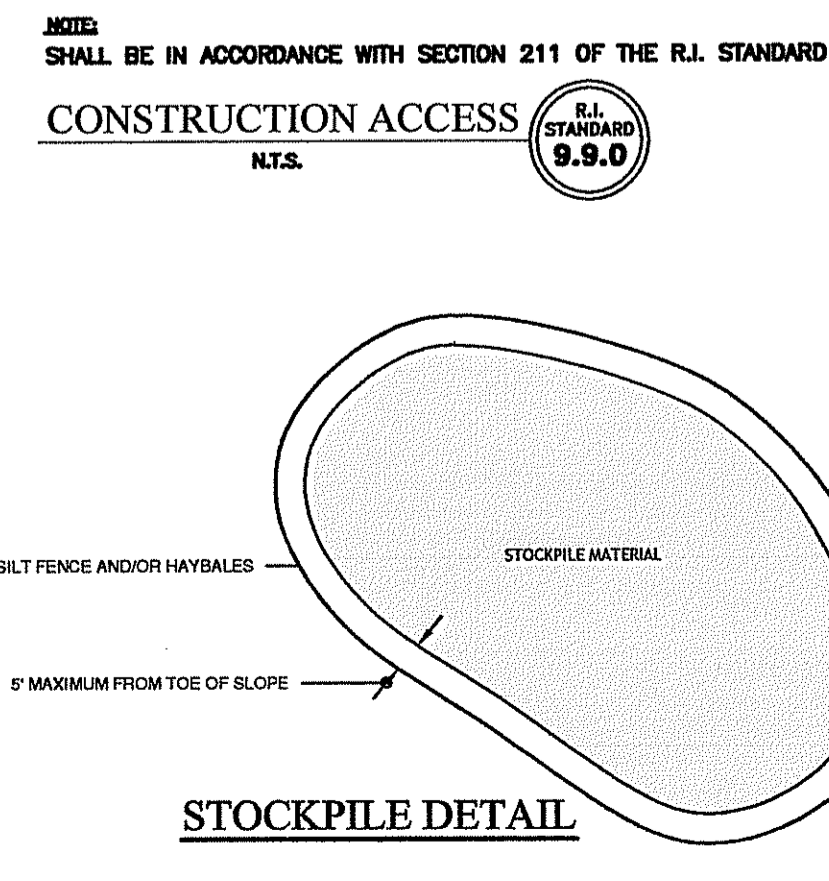
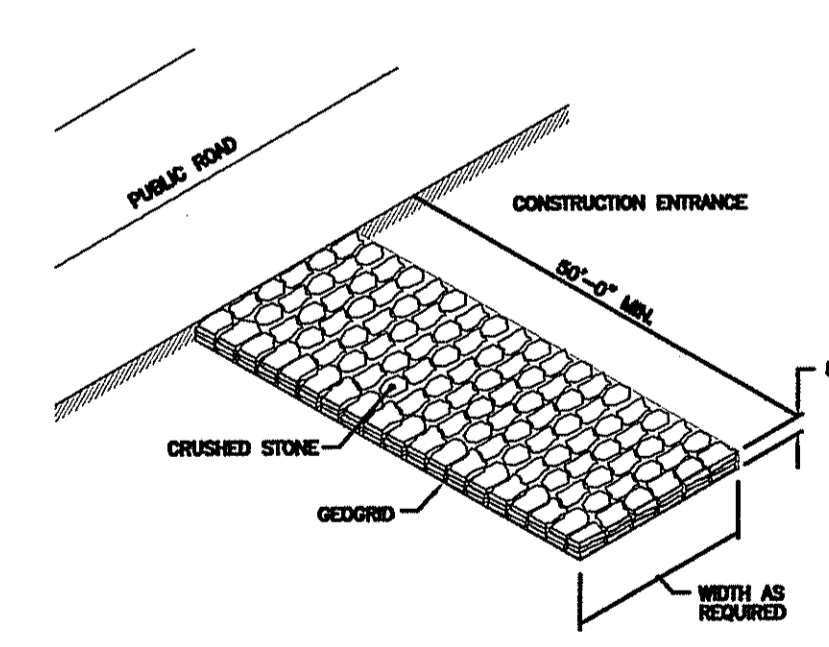
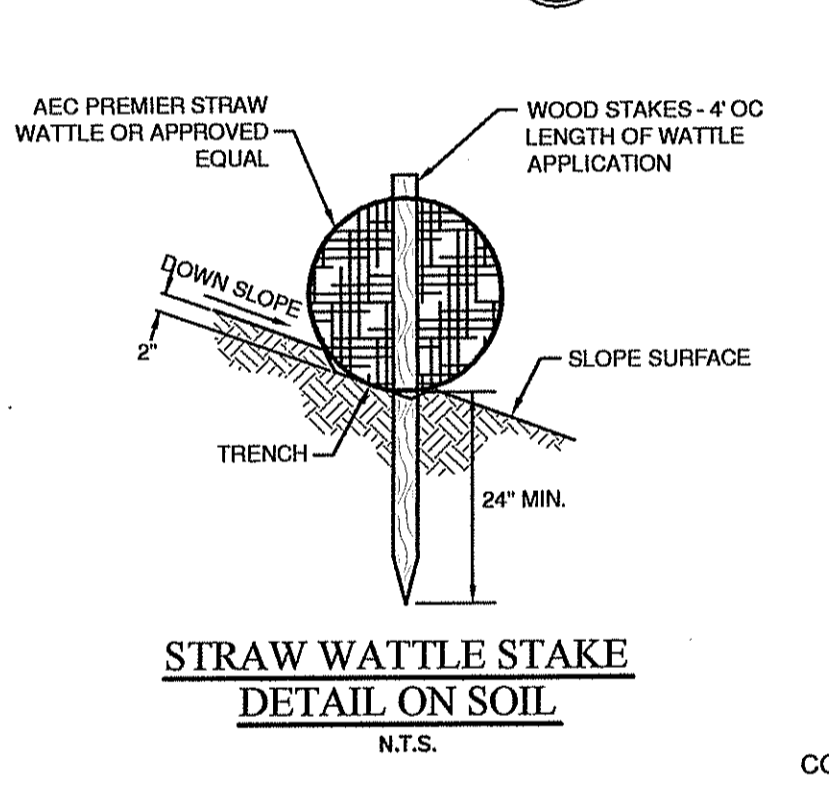
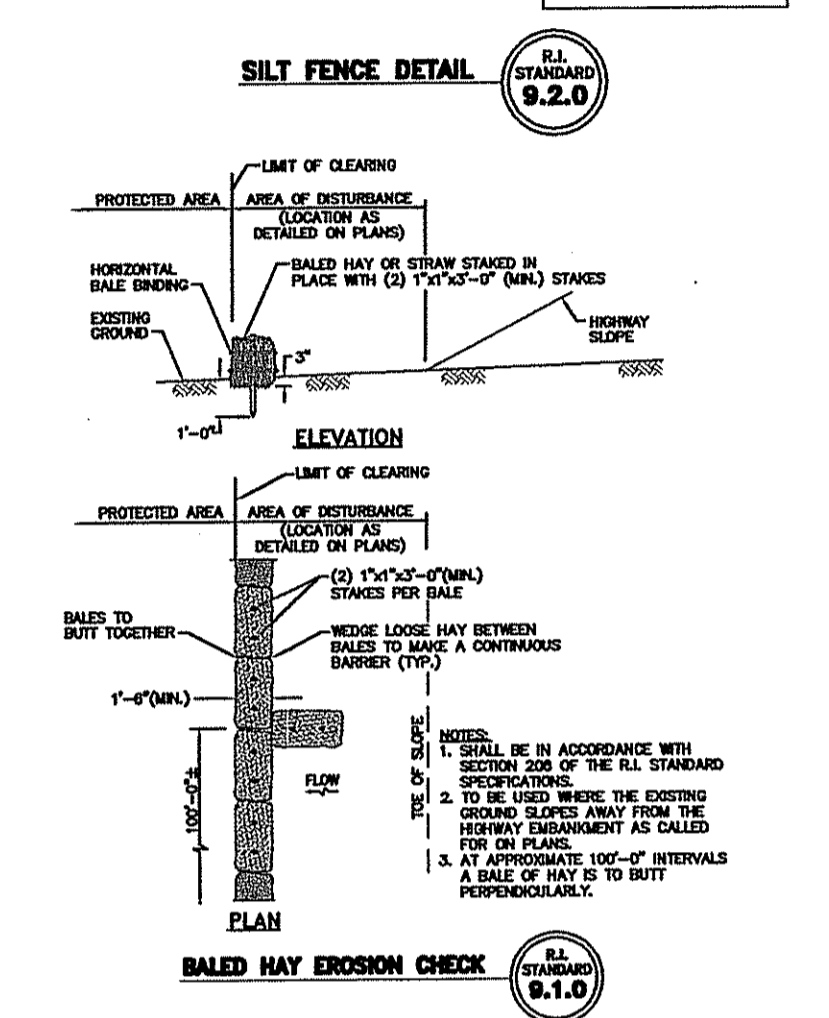
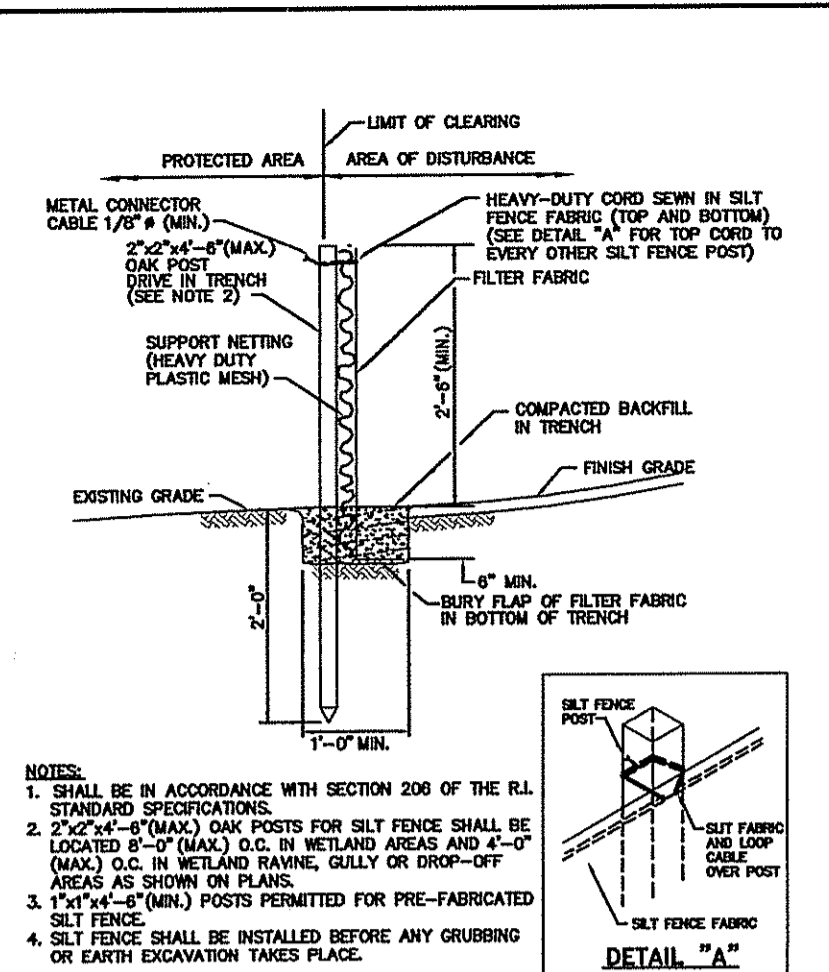
5 SIGNAGE POST  
SCALE: 3/4" = 1'-0"



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 13 2014 FILE # 14-0043  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

*Charles A. Smith*

Professional Seal  
21/2/19



**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

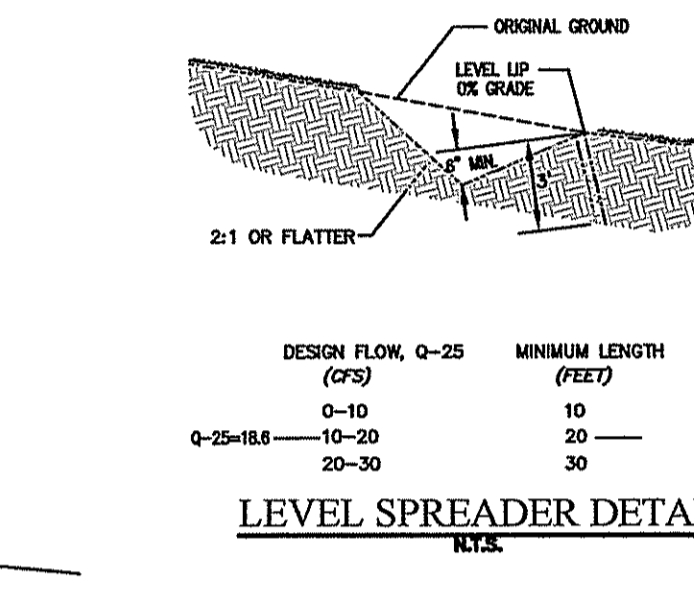
1. THE HAYBALE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
2. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
3. ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
4. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
5. ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
7. THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
9. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993.

**BMP MAINTENANCE SCHEDULE**

1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. CONSTRUCTION EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE INFILTRATION TRENCH AND/OR SUBSURFACE CHAMBER AREAS TO MINIMIZE COMPACTION OF THE SOIL.
3. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER DRAINAGE SYSTEMS AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), CATCH BASIN SUMPS, AND MANHOLES.
4. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY, STABILITY AND EVIDENCE OF SOIL EROSION, SHALL INCLUDE MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BIMONTHLY IF NO RAINFALL EVENT OCCURS.
5. UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, (SEEDING, PLANTING, ETC.) WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES MUST BE REMOVED.
6. AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED.
7. REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
8. ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM ANY WETLAND AREAS, SWALE, AND PIPE OUTLETS.

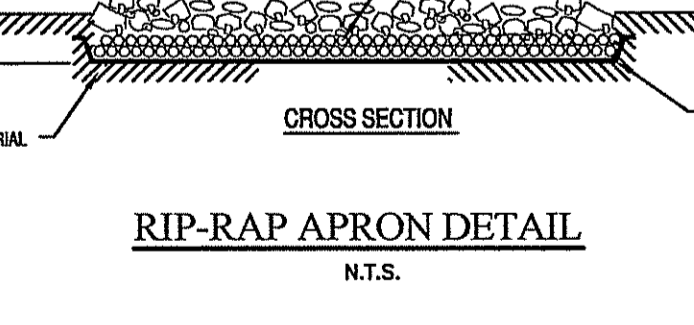
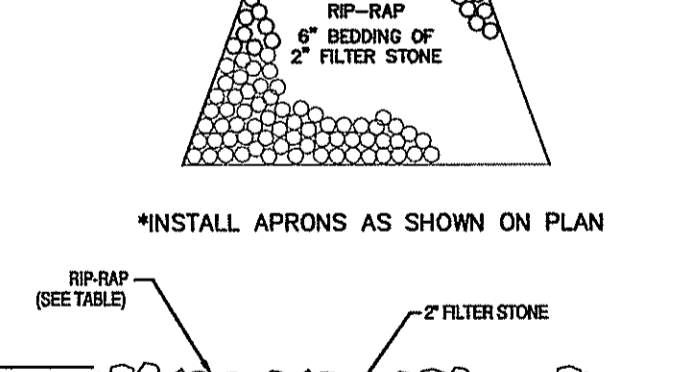
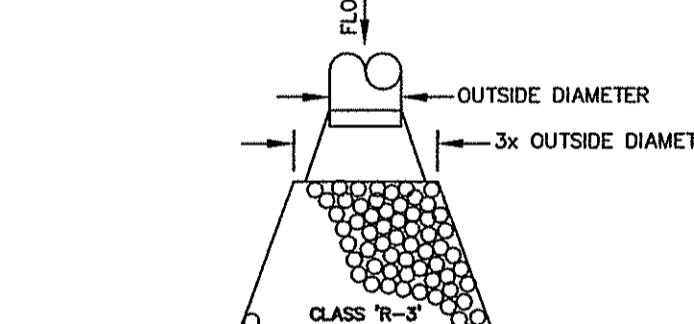
**WATER NOTES:**

1. ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE CUMBERLAND WATER DEPARTMENT REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
2. WATER PIPES SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPES, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER PIPE IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER PIPE PASSES BENEATH A SEWER OR STORM DRAIN, ENCASE THE SEWER OR DRAIN IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER PIPE.
3. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS; SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
4. WATER LINE TRENCH TO BE AWWA TYPE 5 A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1' BELOW FINISHED GRADE.
5. THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ARCHITECT AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
6. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, GRAVEL, STONE, DRAINAGE PIPE AND RELATED STRUCTURES, WATER, SEWER, AND DRAIN LINE INSTALLATION, PAVEMENT SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 1997 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
7. SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.



| DESIGN FLOW, Q-25 (CFS) | MINIMUM LENGTH (FEET) |
|-------------------------|-----------------------|
| 0-10                    | 10                    |
| 10-20                   | 20                    |
| 20-30                   | 30                    |

| Location            | L  | W  | SIZE |
|---------------------|----|----|------|
| SITE RIP-RAP APRONS | 6' | 4' | R-3  |



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Consultants:  
Mark G. Smith - Rhode Island  
P. E. #7235  
David M. D'Amico - Rhode Island  
P. E. #6749

PLANNING BOARD- PRELIMINARY PLAN APPLICATION  
FOR:  
**PROPOSED FILLING STATION RECONSTRUCTION**  
CUMBERLAND, RHODE ISLAND  
2095 DIAMOND HILL ROAD  
ASSESSORS PLAT 21 - LOT 490

Sheet Description:  
**DETAILS**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
REQUIRED IN THE LETTER OF APPROVAL  
JUN 13 2014 FILE # 14-0043  
CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
REVISED PLANS MUST BE AT CONSTRUCTION SITE

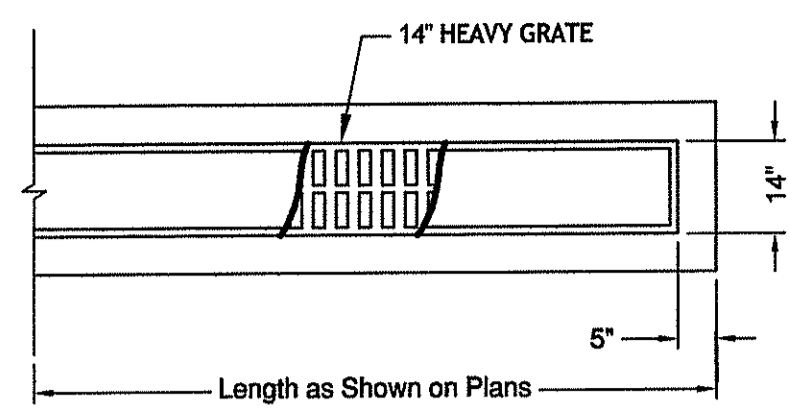
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JANUARY 31, 2014

Scale:  
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Project number:  
DEtec 08-0011-06

Sheet #:  
**C-4.3**

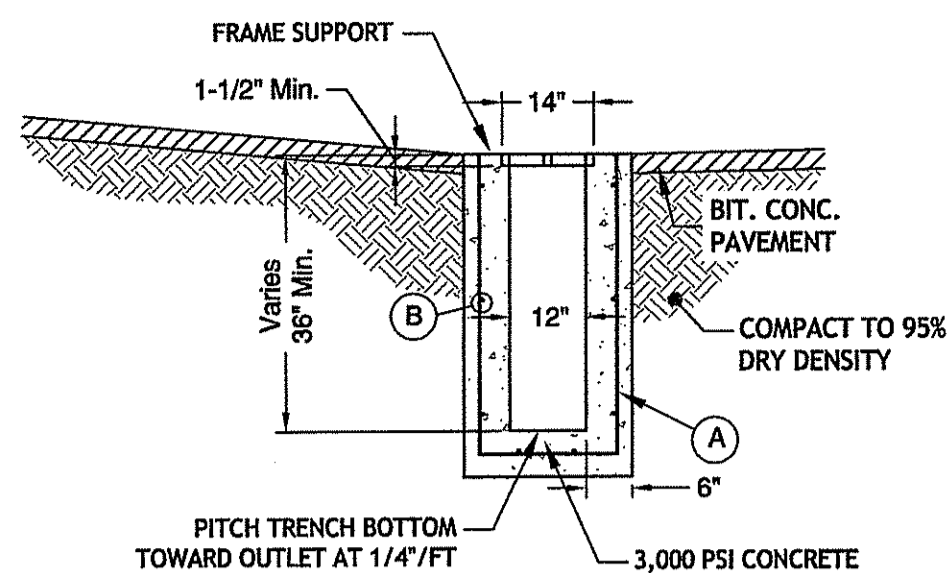
Professional Seal  
DAVID M. D'AMICO  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL  
STATE OF RHODE ISLAND  
No. 6749



PLAN

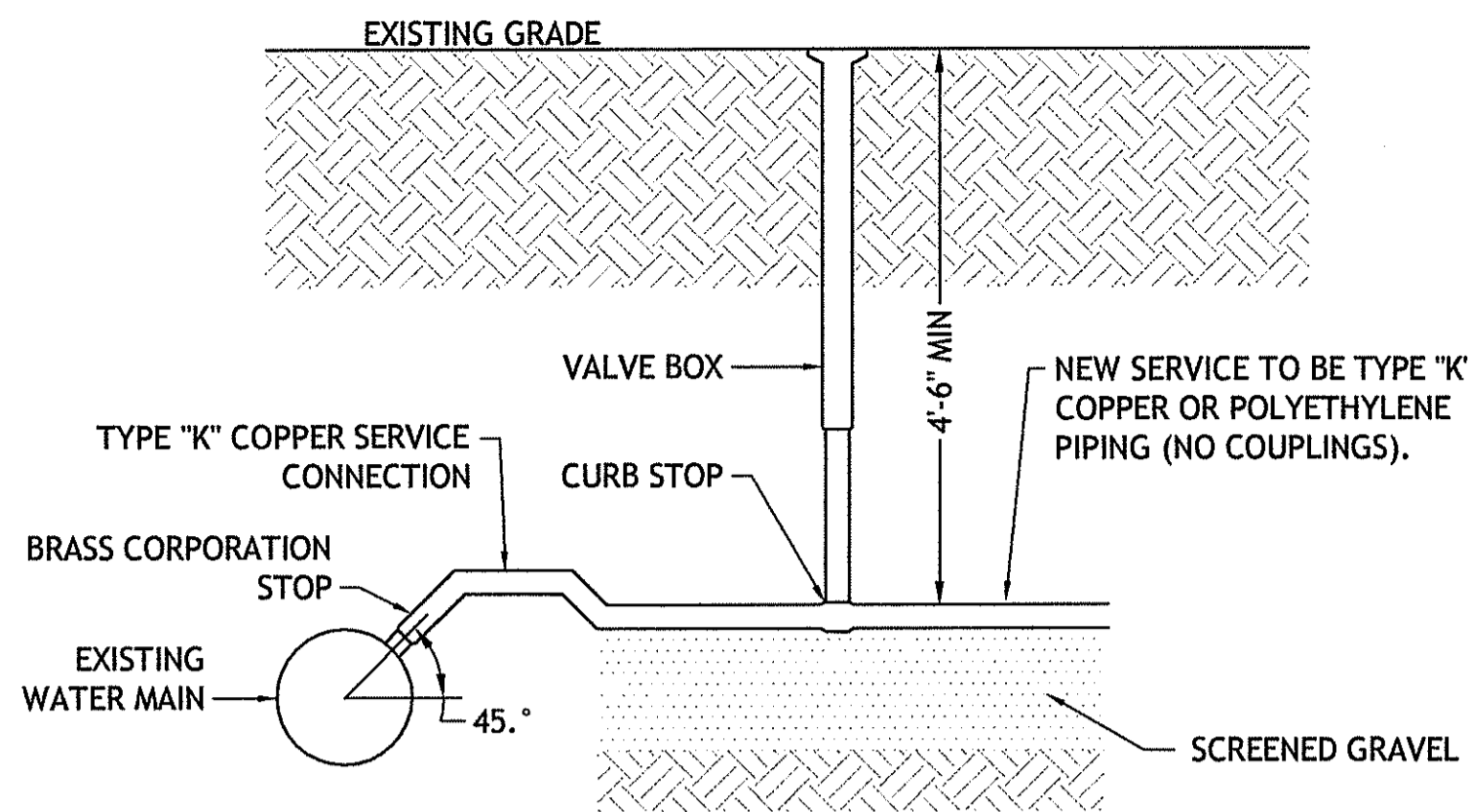
USE NEENAH TYPE A FRAME SECTION WITH TRENCH DRAIN COVER AND CAST INTO CONCRETE AT VEHICULAR CROSSINGS IN ASSOCIATION WITH COVER TYPE NEENAH R-4990-DX

TRENCH DRAIN  
NOT TO SCALE



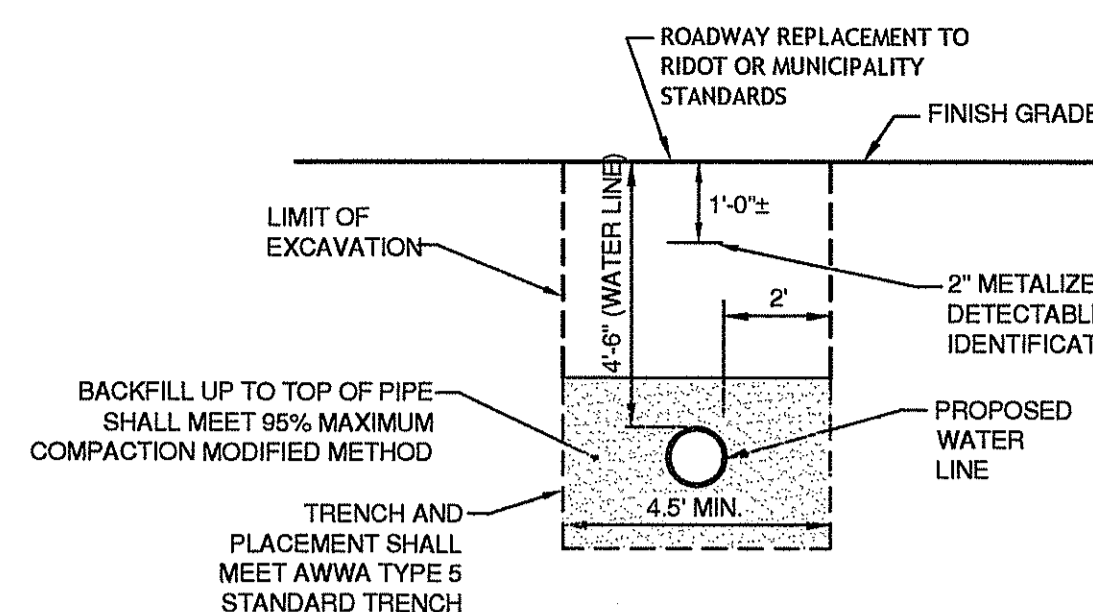
REINFORCEMENT TO BE:

- A. 1" BARS #4 T 12" BOTTOM LEG TO BE 12" VERTICAL LEG.
- B. LONGITUDINAL BARS #4 AT 9" WITH 20" LAP GAP TO REINFORCEMENT 2" MIN. TO ANY FACE.

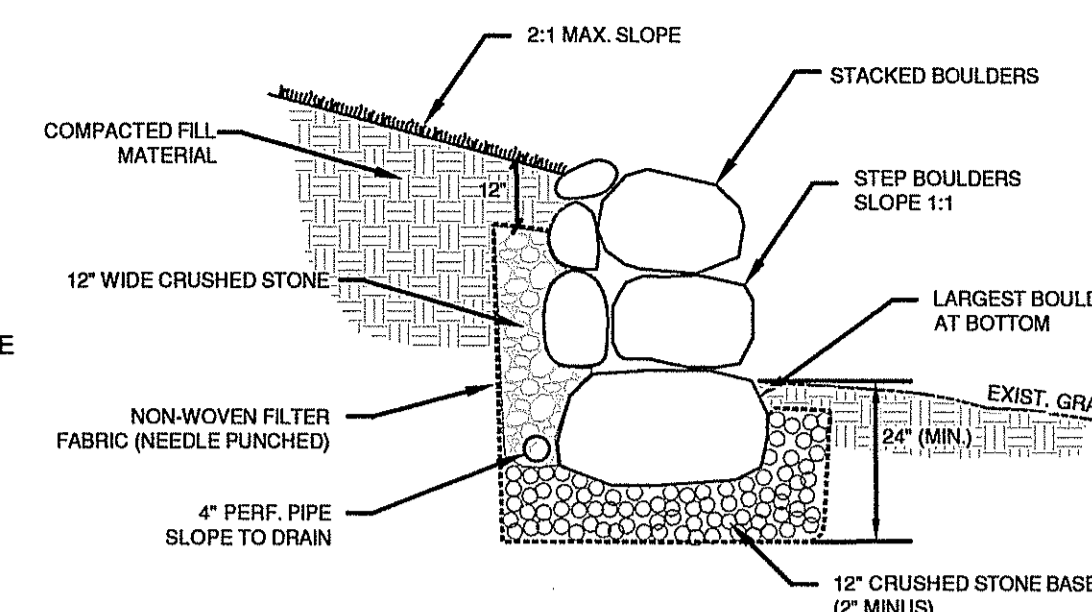


- NOTE:
- SERVICE MATERIALS PER TOWN SPECIFICATION.
  - SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE TOWN PLUMBING INSPECTOR.

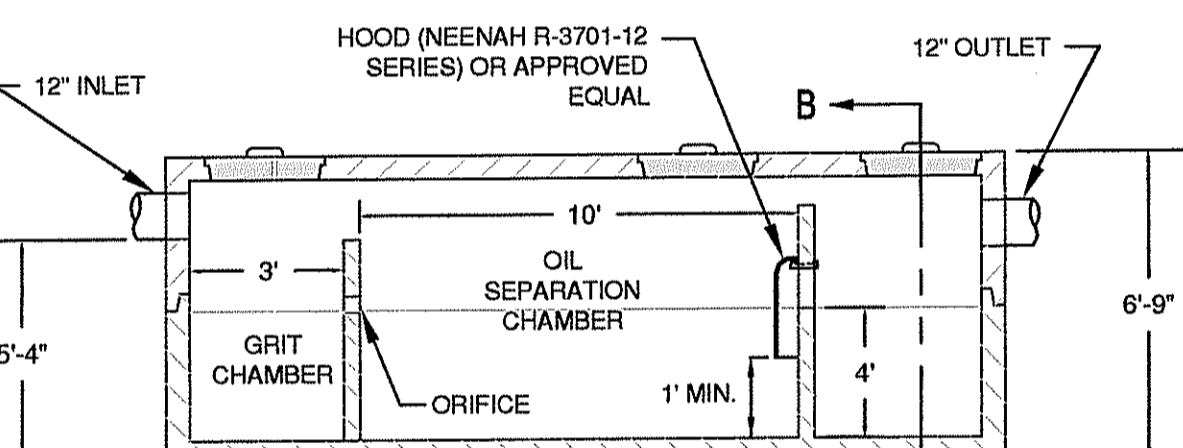
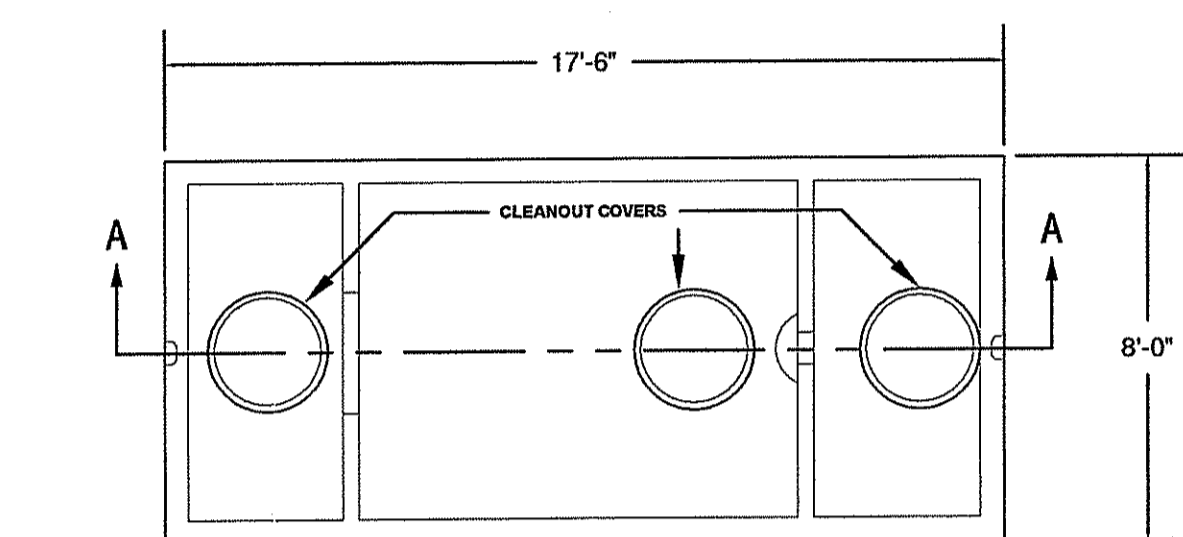
DOMESTIC WATER SERVICE CONNECTION  
NOT TO SCALE



TYPICAL WATER LINE TRENCH  
N.T.S.



BOULDER RETAINING WALL  
N.T.S.

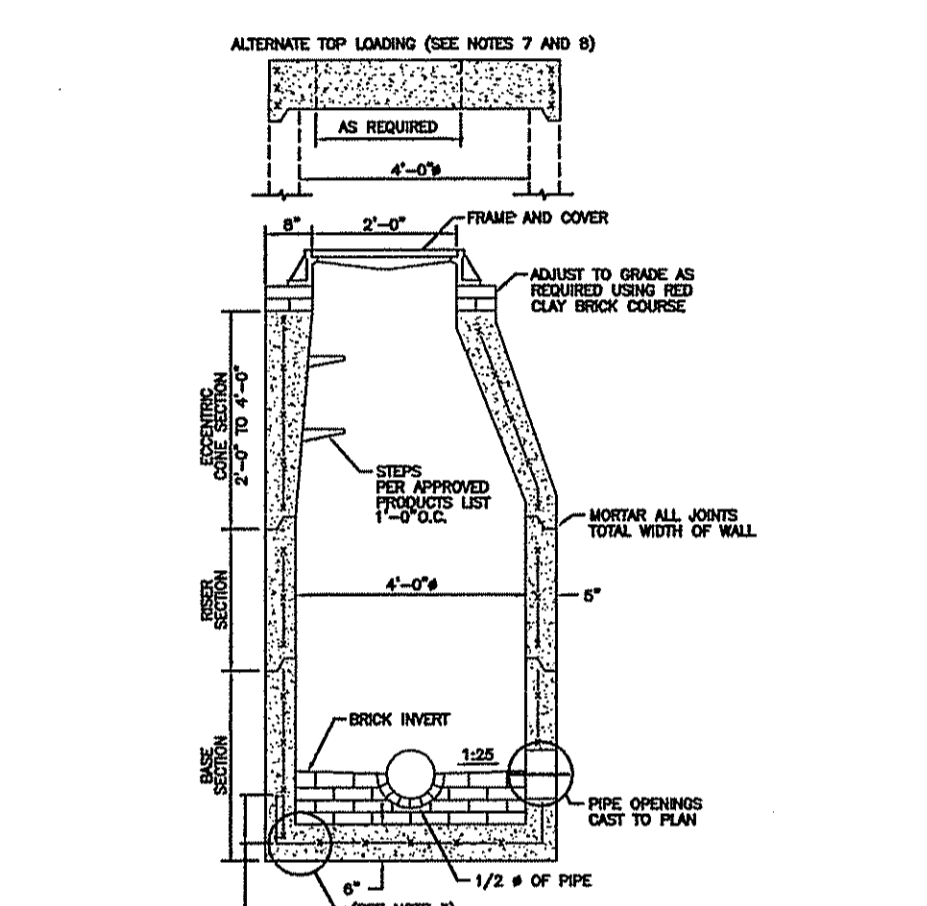


SECTION A-A

SECTION B-B

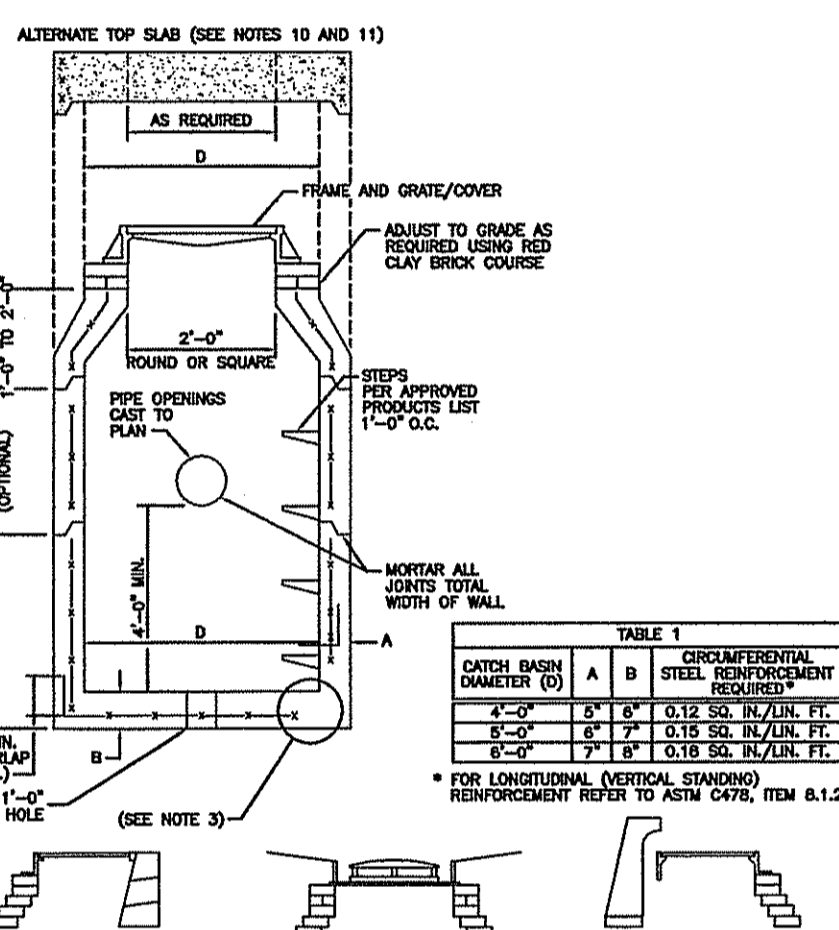
- DESIGN NOTES
- CONCRETE IS 5000 PSI AT 28 DAYS.
  - SEALED WITH A BUTYL RUBBER.
  - EXCAVATION MUST BE AT LEAST 12" WIDER AND LONGER THAN TANK SIZE.

3000 GALLON H-20 THREE COMPARTMENT  
OIL/WATER SEPARATOR  
NOT TO SCALE



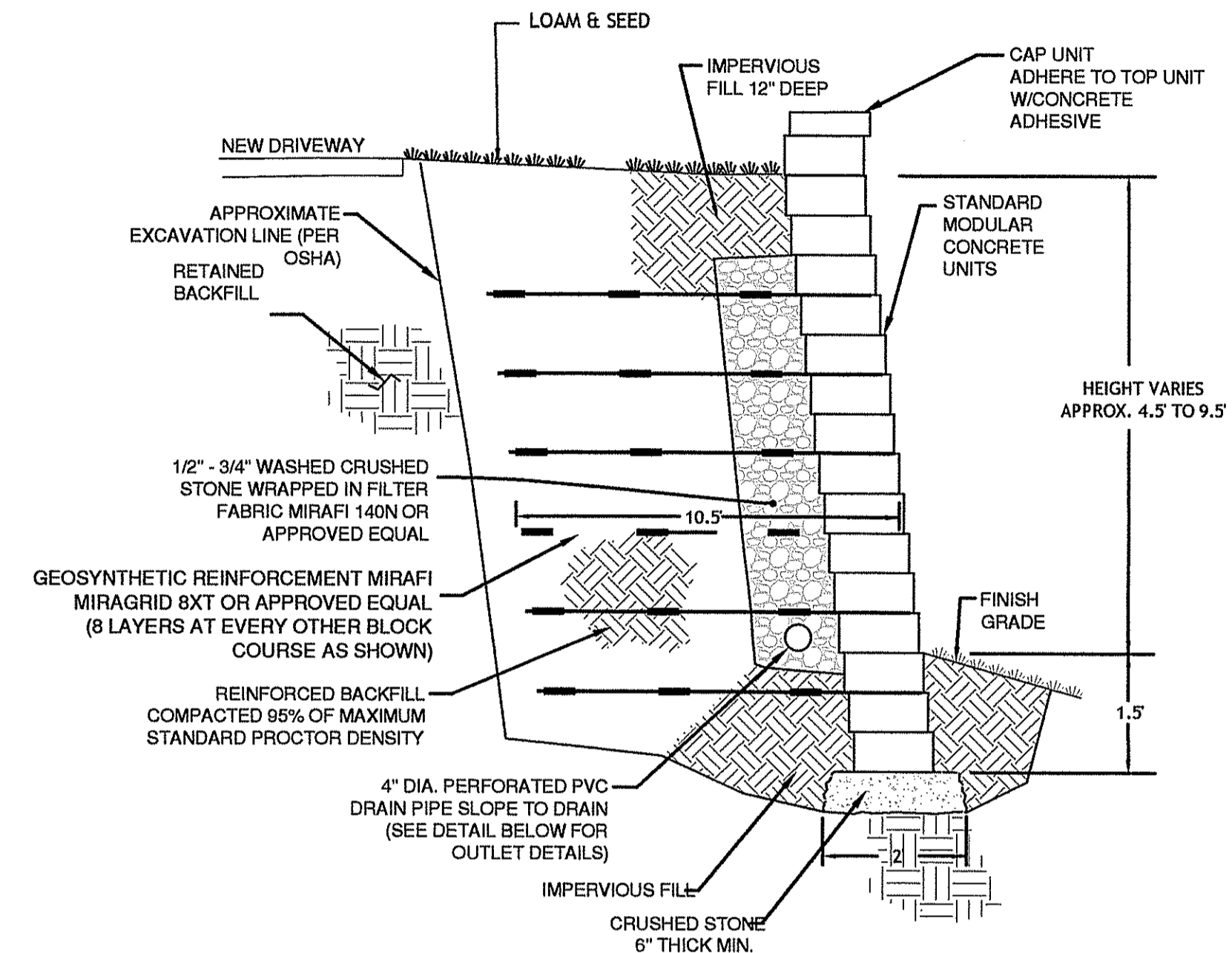
- NOTE:
- SHALL BE IN ACCORDANCE WITH SECTION 202 OF THE R.I. STANDARD SPECIFICATIONS.
  - CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. MINIMUM.
  - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
  - ANY FOUR MONITORING GAGE SECTION.
  - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO MACHINING, HAMMERS AND CHISELS OR PRESSURE TOOLS WILL BE ALLOWED.
  - STEPS SHALL CONFORM TO STD. 4.2.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
  - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED 14-25 LBS/ SQ. YD. LOADING (SEE STD. 4.7.2).
  - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
  - REFER TO STD. 4.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST 4"-Ø ROUND MANHOLE  
R.I. STANDARD 4.2.0

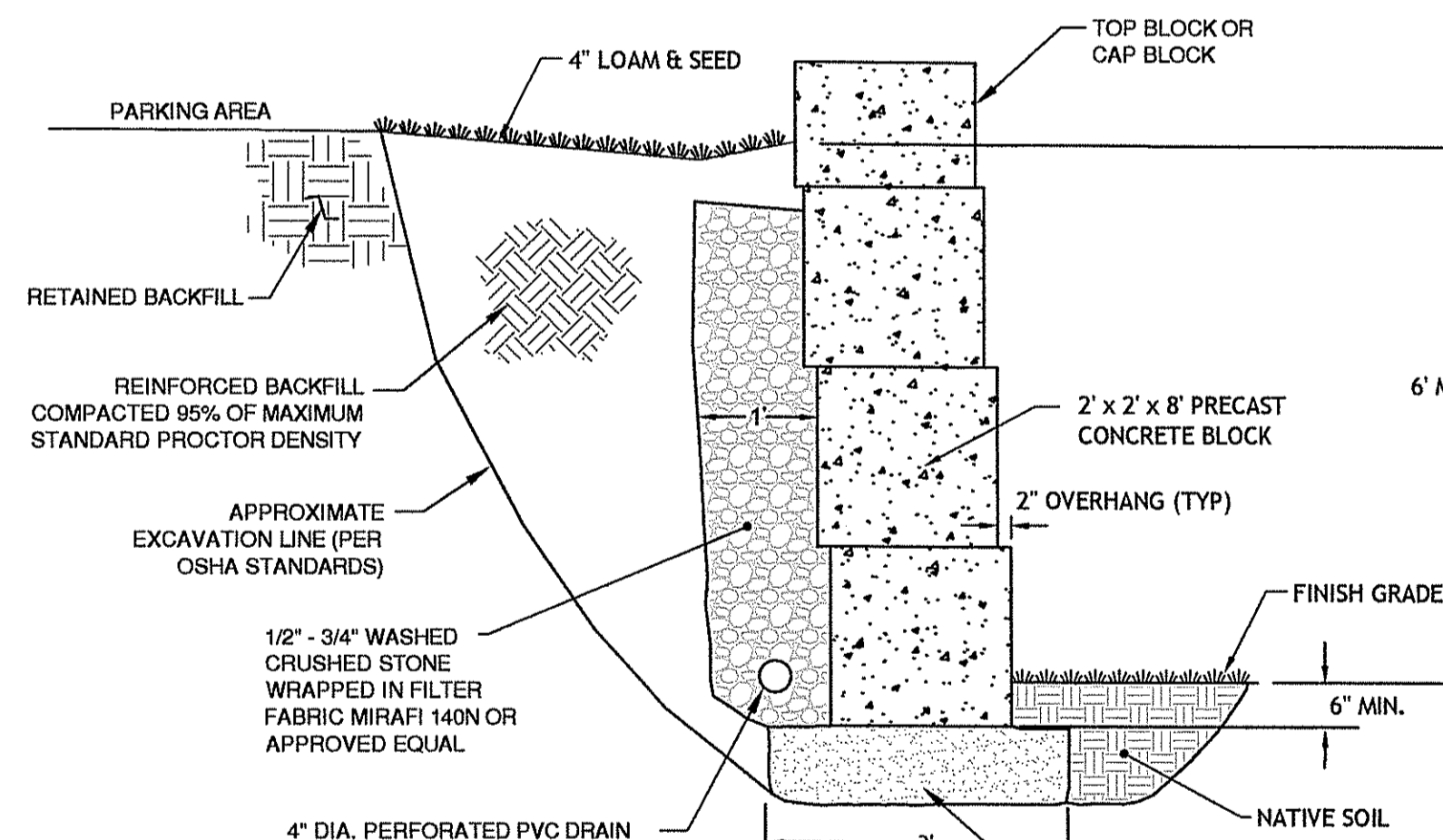


- NOTE:
- SHALL BE IN ACCORDANCE WITH SECTION 202 OF THE R.I. STANDARD SPECIFICATIONS.
  - SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
  - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
  - STEPS SHALL CONFORM TO STD. 4.2.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
  - SEE FOUR MONITORING GAGE SECTION.
  - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO MACHINING, HAMMERS AND CHISELS OR PRESSURE TOOLS WILL BE ALLOWED.
  - CORING MADE OF RED CLAY BLOCK WILL BE PERMITTED FOR THE "ONE SECTION" OF THE 4"-Ø CATCH BASIN ONLY.
  - FOR CATCH BASIN TYPES "D" AND "R" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
  - THE CENTERLINE OF THE OPENING MUST BE WITHIN 2"-Ø FROM THE STEPS.
  - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED 14-25 LBS/ SQ. YD. LOADING (SEE STD. 4.7.2).
  - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
  - REFER TO STD. 4.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST 4"-Ø, 5"-Ø OR 6"-Ø ROUND CATCH BASIN  
R.I. STANDARD 4.4.0 M1



TYPICAL SECTION-GEOSYNTHETIC-REINFORCED SEGMENTAL RETAINING WALL  
NICOLock FIRMA TYPE BLOCKS - OR APPROVED EQUAL  
NOT TO SCALE

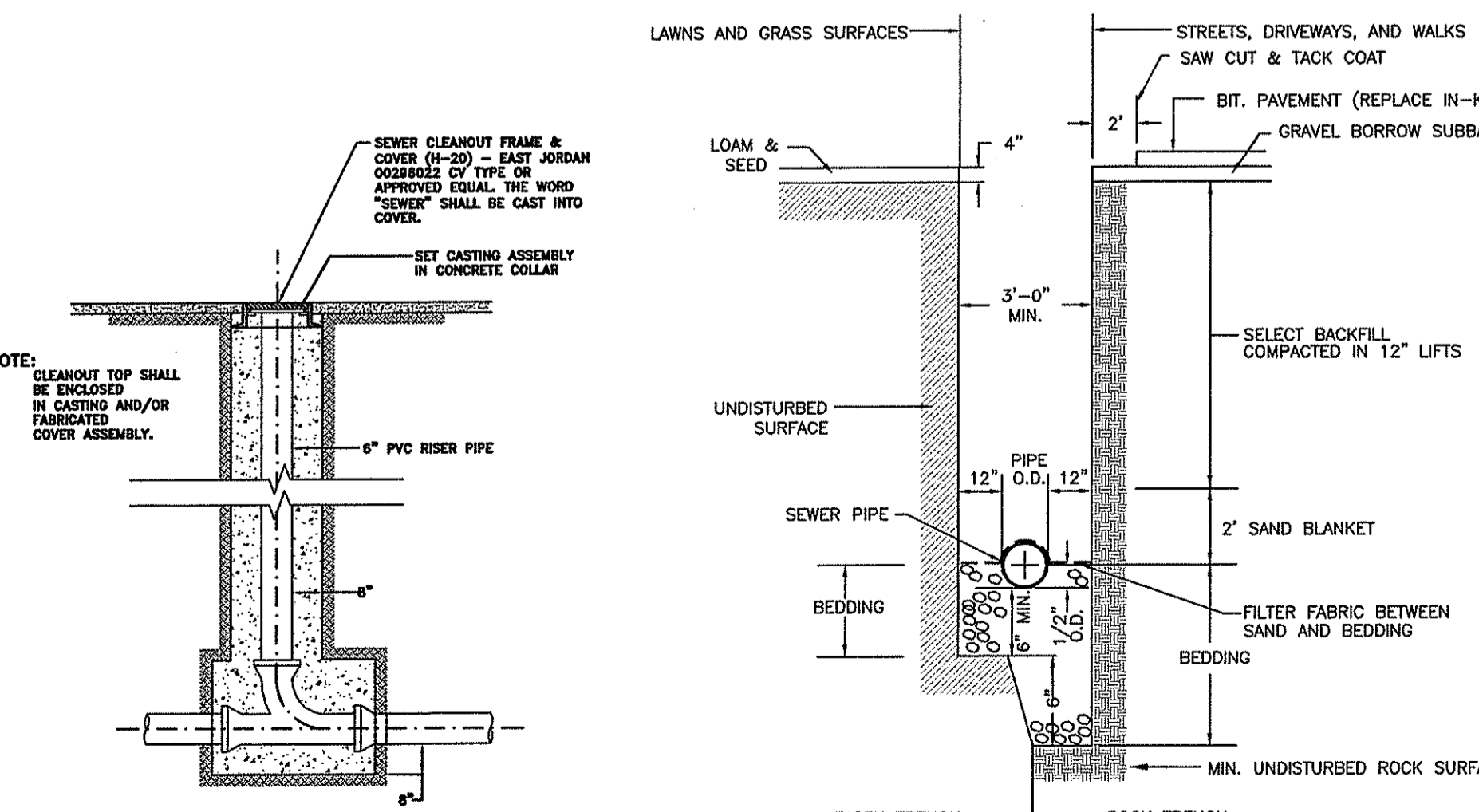


TYPICAL SECTION - RETAINING WALL  
PRECAST CEMENT CONCRETE BLOCK UNIT  
SCALE: NONE

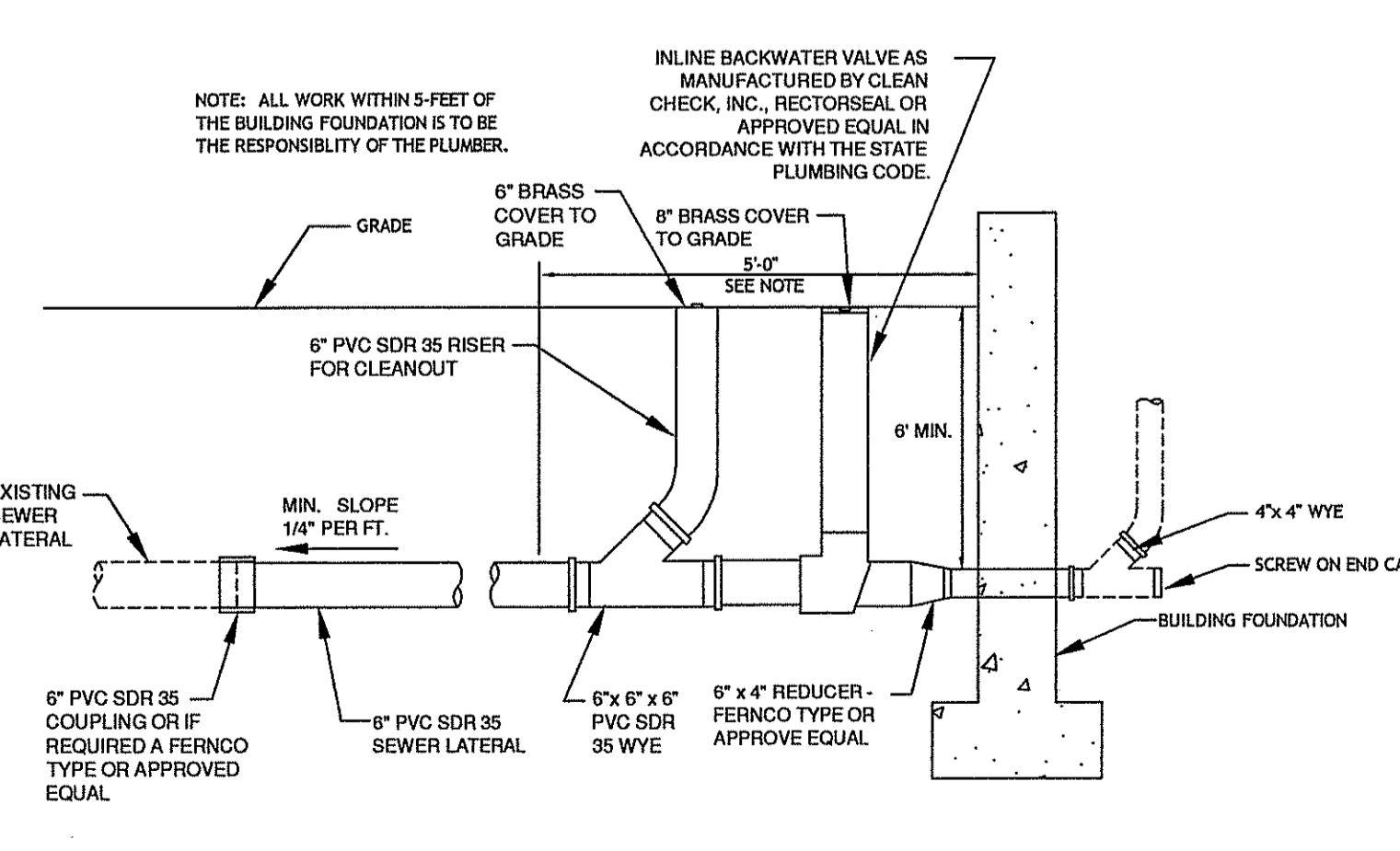
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 13 2014 FILE # 14-0043  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

SHEET 9 OF 10

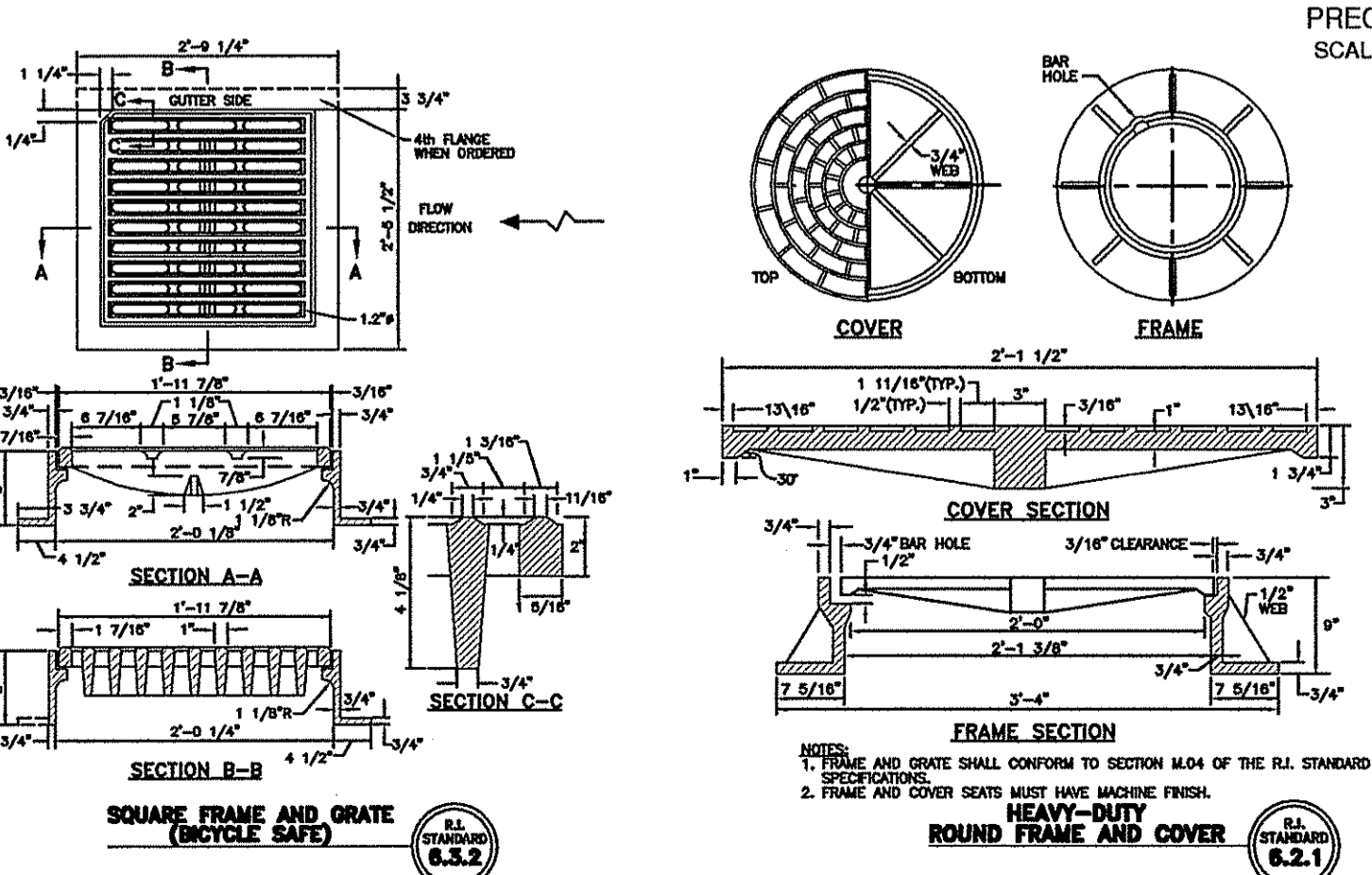
DAVID D'AMICO  
REGISTERED PROFESSIONAL ENGINEER  
5/15/14  
Professional Seal



TYPICAL SEWER LINE TRENCH DETAIL  
NO SCALE



SEWER SERVICE LATERAL DETAIL  
NOT TO SCALE



SQUARE FRAME AND GRATE (HEAVY-DUTY ROUND FRAME AND COVER)  
R.I. STANDARD 6.2.2

**TO DESIGN LLC**  
Sophisticated Site Design  
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Tel: (401) 945-905

Consultants:  
Mark G. Smith - Rhode Island  
P. E. #7235  
David M. D'Amico - Rhode Island  
P. E. #6749

PLANNING BOARD - PRELIMINARY PLAN APPLICATION  
FOR:  
**PROPOSED FILLING STATION RECONSTRUCTION**  
CUMBERLAND, RHODE ISLAND  
2095 DIAMOND HILL ROAD  
ASSESSORS PLAT 21 - LOT 490

Sheet Description:  
**DETAILS**

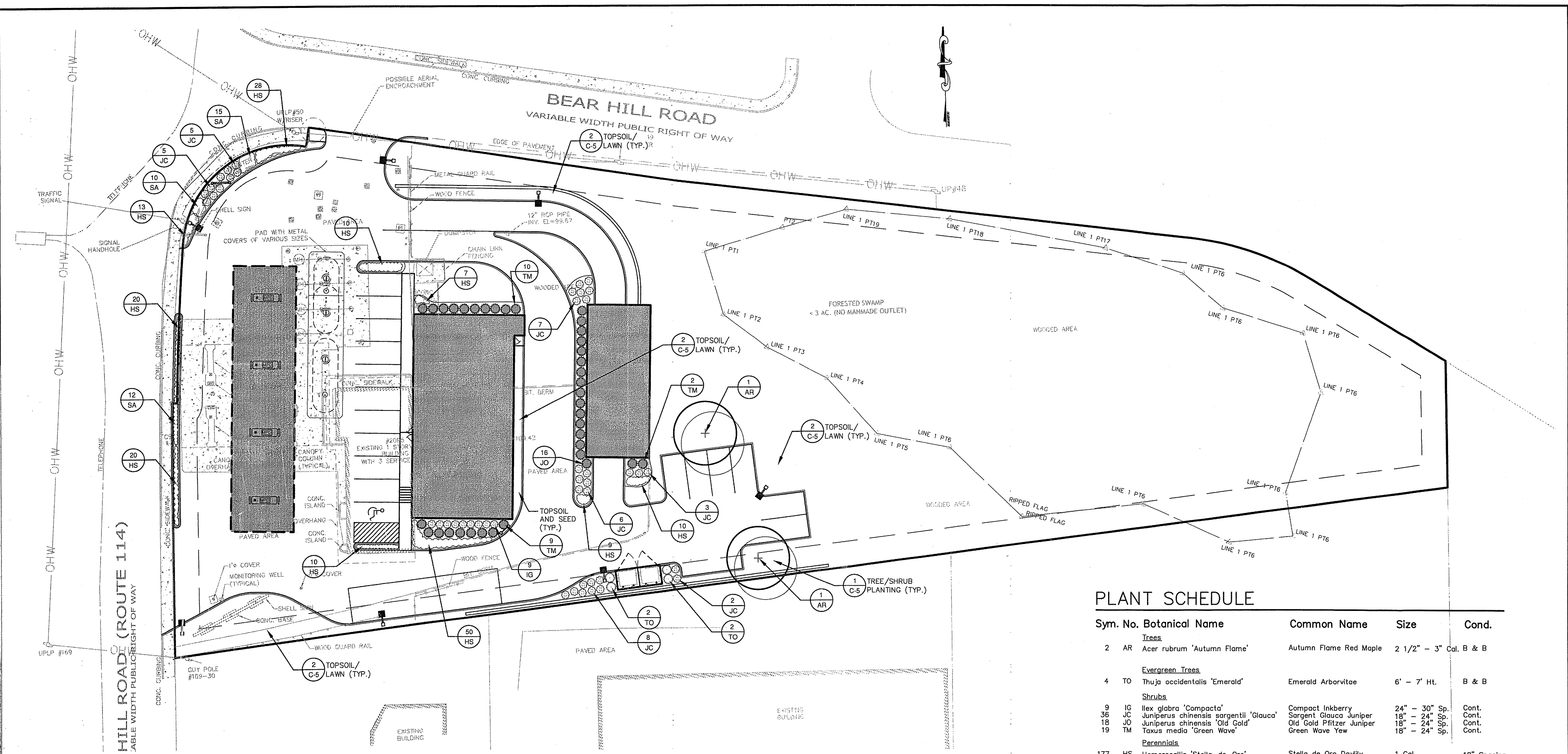
Rev:  
1 5-5-14 RIDEM COMMENTS OF 3-31-2014

Issue Date:  
JANUARY 31, 2014

Scale:  
1"=20'

Project number:  
DEtec 08-0011-06

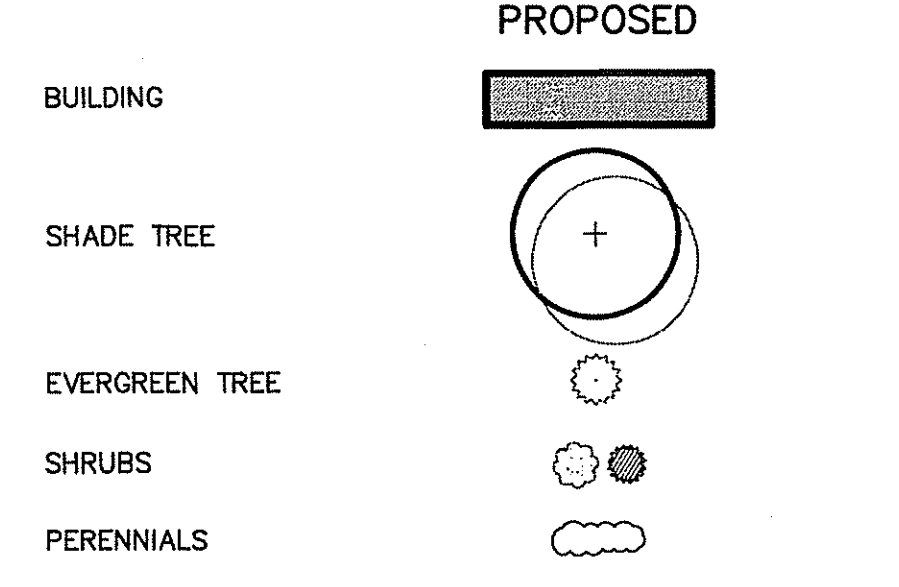
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**C-4.4**



**PLANT SCHEDULE**

| Sym. No.               | Botanical Name                            | Common Name              | Size        | Cond.       |
|------------------------|---|--------------------------|-------------|-------------|
| <b>Trees</b>           |   |                          |             |             |
| 2                      | AR Acer rubrum 'Autumn Flame'             | Autumn Flame Red Maple   | 2 1/2" - 3" | Cal. B & B  |
| <b>Evergreen Trees</b> |   |                          |             |             |
| 4                      | TO Thuja occidentalis 'Emerald'           | Emerald Arborvitae       | 6' - 7' Ht. | B & B       |
| <b>Shrubs</b>          |   |                          |             |             |
| 9                      | IG Ilex glabra 'Compacta'                 | Compact Inkberry         | 24" - 30"   | Sp. Cont.   |
| 36                     | JC Juniperus chinensis sargentii 'Glauca' | Sargent Glauca Juniper   | 18" - 24"   | Sp. Cont.   |
| 18                     | JO Juniperus chinensis 'Old Gold'         | Old Gold Pfitzer Juniper | 18" - 24"   | Sp. Cont.   |
| 19                     | TM Taxus media 'Green Wave'               | Green Wave Yew           | 18" - 24"   | Sp. Cont.   |
| <b>Perennials</b>      |   |                          |             |             |
| 177                    | HS Hemerocallis 'Stella-de-Oro'           | Stella de Oro Daylily    | 1 Gal.      | 18" Spacing |
| 37                     | SA Sedum 'Autumn Joy'                     | Autumn Joy Sedum         | 1 Gal.      | 18" Spacing |

**LEGEND**

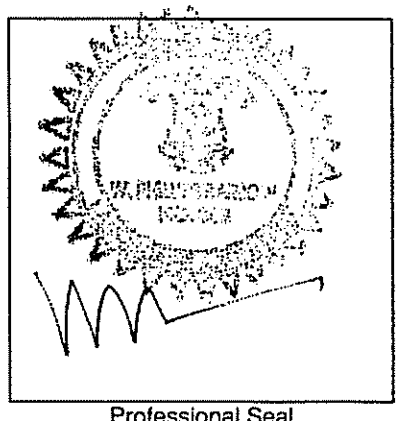
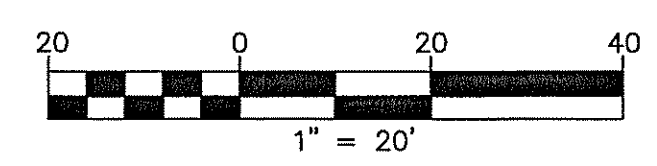


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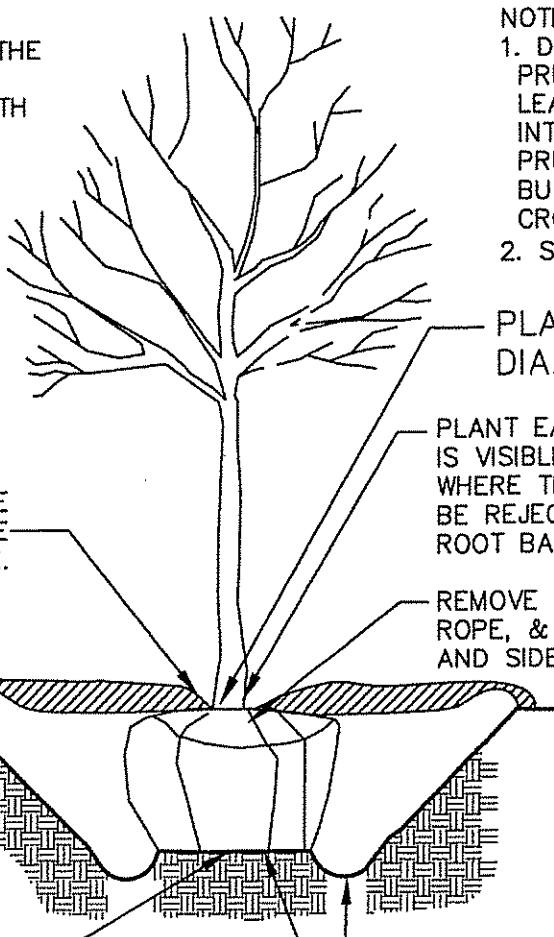
SHEET 10 OF 10

**PLAN / SURVEY REFERENCE**

SURVEY INFORMATION FROM PLAN ENTITLED: "EXISTING CONDITIONS PLAN - 2095 DIAMOND HILL ROAD, CUMBERLAND, RI, AP21, LOT 490", SCALE: 1" = 20', DATED: JUNE 2012, BY: CARAVAN & ASSOCIATES, SMITHFIELD, RI.



NOTE:  
 MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE.



NOTES:  
 1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.  
 2. SPRAY WITH ANTI-DESSICANT IF FOLIAGE IS PRESENT.

PLANTING HOLE DIA. = 3X ROOTBALL DIA.

PLANT EACH TREE SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

REMOVE BURLAP, TWINE, ROPE, & WIRE FROM TOP AND SIDES OF BALL

BARK MULCH, CONTINUOUS IN PLANTING BEDS

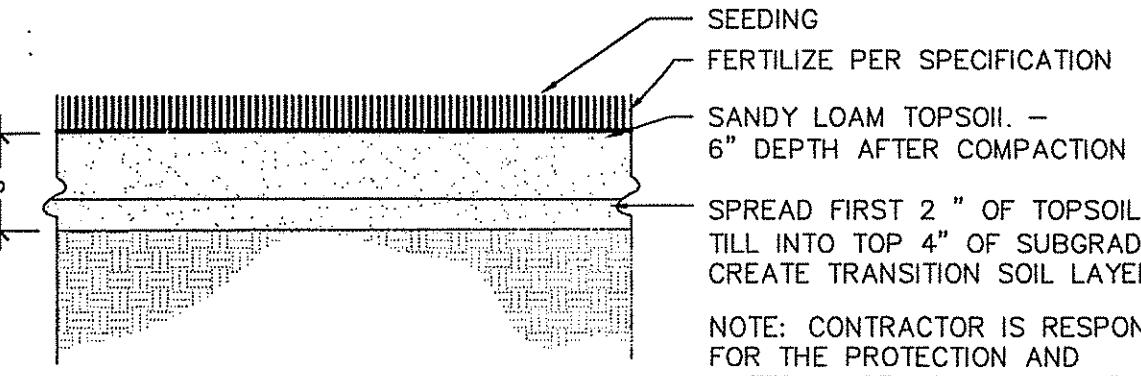
3 IN. MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.  
 4" HIGH SOIL SAUCER BEYOND EDGE OF ROOT BALL

8" DIA. MULCH RING AND PLANTING PIT  
 1:1 SLOPE

NOTES:  
 1. IMPROVED SOIL MIX: 55% TOPSOIL, 25% EXCAVATED MATERIAL, 20% COMPOST.  
 2. WORK MYCORRHIZAL FUNGI & SOIL POLYMERS INTO SOIL PER SPECIFICATIONS.  
 3. TREES KNOWN TO BE A FALL PLANTING HAZARD SHALL BE PLANTED IN THE SPRING/EARLY SUMMER ONLY.

IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND ROOT BALL, CUT WIRE BASKET IN FOUR PLACES AND FOLD DOWN & IN. INTO PLANTING HOLE

NOTE:  
 PLANTING EXCAVATION TO BE CONTINUOUS FOR THE ENTIRE LENGTH AND WIDTH OF THE PLANTING BED



2 TOPSOIL/LAWN (TYP.)  
 SCALE 1" = 1' 0"

1 TREE / SHRUB PLANTING  
 C-5 NOT TO SCALE

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Sheet Description:  
**PLANTING PLAN**

Rev:

Issue Date:  
 JANUARY 31, 2014

Scale:  
 1" = 20'

Project number:  
 5548

Sheet #:  
**C-5**