

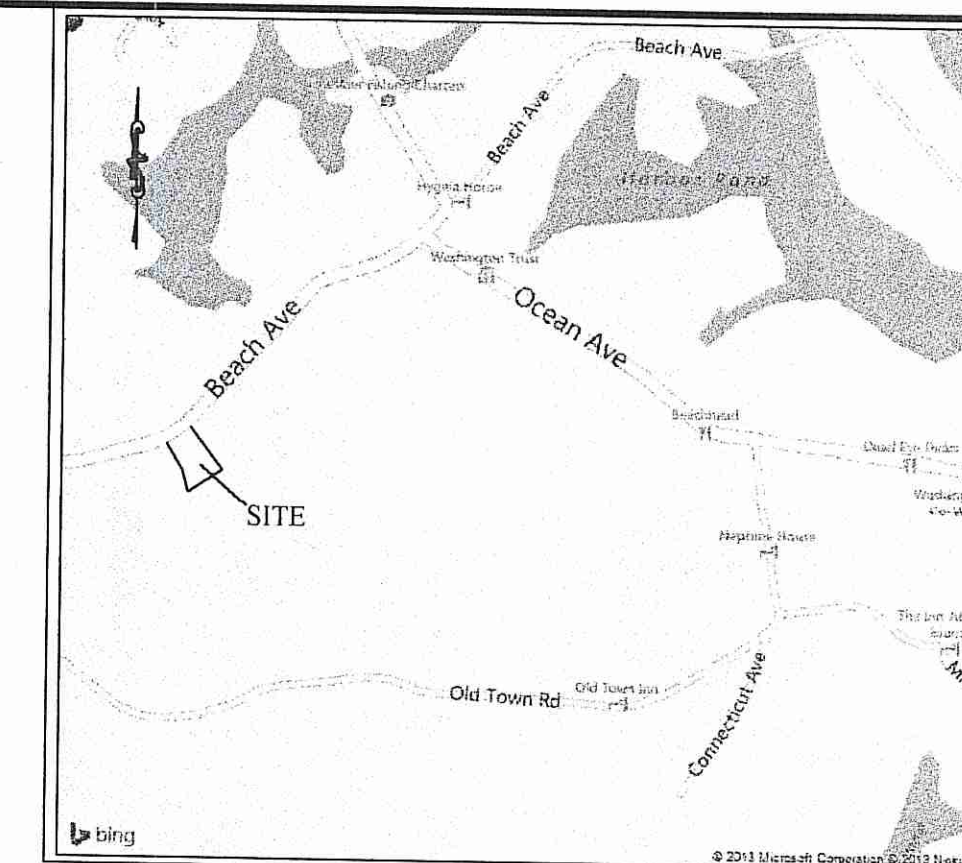
CURRENT ZONING DISTRICT= RESIDENTIAL B ZONE (RB ZONE)
 MIN. LOT AREA = 60,000 S.F.
 MIN. LOT FRONTAGE = 150'
 MIN. SETBACKS
 FRONT = 50'
 SIDE = 25'
 REAR = 50'
 MIN SETBACKS ACCESSORY STRUCTURES & USES
 FRONT = 50'
 SIDE = 25'
 REAR = 50'
 MINIMUM SETBACKS FOR SUBSTANDARD LOTS OF RECORD (SEE SECTION 113E)
 MAX. LOT BUILDING COVERAGE = 4%
 FOR BUILDINGS LOTS LESS THAN 10,000 S.F. = 12%
 FOR BUILDING LOTS GREATER THAN OR EQUAL TO 10,000 S.F.
 BUT LESS THAN 12,500 S.F. = 10%
 FOR BUILDING LOTS GREATER THAN OR EQUAL TO 12,500 S.F. = 8%
 ADDITIONAL LOT BUILDING COVERAGE REQUIREMENTS:
 FOR BUILDING LOTS GREATER THAN 8,400 S.F. AND LESS THAN
 12,500 S.F., THE PRINCIPLE STRUCTURE SHALL BE LIMITED TO 1,000 S.F.
 ALL SUBSTANDARD LOTS HAVING AT LEAST 10,000 S.F. OF AREA SHALL BE ALLOWED
 A TOTAL LOT BUILDING COVERAGE (AS APPLIED TO ALL STRUCTURES ON THE LOT) OF
 AT LEAST 1,200 S.F.
 MAXIMUM LOT COVERAGE = 16%
 MAX. HEIGHT:
 MAIN STRUCTURE = 32' **
 ACCESSORY STRUCTURE = 25'
 * LOT BUILDING COVERAGE SHALL BE MEASURED AS A PERCENTAGE OF TOTAL AREA. SEE
 EXEMPTION ALLOWED FOR SUBSTANDARD LOTS UNDER THE PROVISIONS OF SECTION OF
 SECTION 113E(2)(a)
 ** NO PORTION OR ANY SIDE OF A BUILDING SHALL EXCEED 37' IN HEIGHT, AS MEASURED
 FROM FINISHED GRADE

A.P. 17 LOT 31
 EXISTING AREA OF A.P. 17 LOT 31 = 55,561.80 S.F. OR 1.28 AC.
 EXISTING PRINCIPLE STRUCTURE BUILDING COVERAGE = 1,886.27 S.F. OR 3.39%
 EXISTING ACCESSORY BUILDINGS COVERAGE = 682.02 S.F. OR 1.23%
 EXISTING BUILDING COVERAGE = 2,568.29 S.F. OR 4.62%
 PROPOSED ADDITIONS = 1088.41 S.F. - 122.24 S.F. PORCH TO BE REMOVED = 966.17 S.F.
 PROPOSED PRINCIPLE STRUCTURE BUILDING COVERAGE = 2,882.44 S.F. OR 5.18%
 PROPOSED ACCESSORY BUILDING COVERAGE = 682.02 S.F. OR 1.23%
 TOTAL PROPOSED BUILDING COVERAGE = 3,564.46 S.F. OR 6.41%
 EXISTING LOT COVERAGE = 4.62%
 PROPOSED LOT COVERAGE = 6.41%

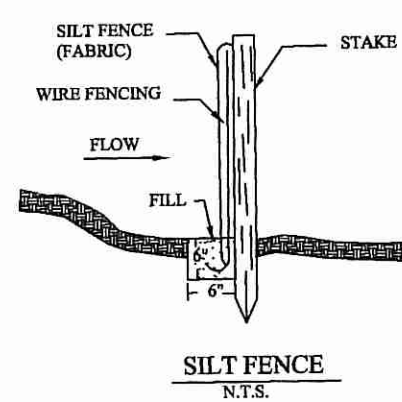
EXISTING LOT AREA = 55,561.80 S.F.
 EXCLUDED AREA (WETLANDS & BUFFER) = 34,825 S.F. ±
 EXISTING DEVELOPABLE LAND AREA = 20,736.8 S.F. ±

* NOTE BUILDING COVERAGE INCLUDES DWELLINGS, STAIRS, DECKS &
 STORAGE AREAS

THE LOT AS DEPICTED IS A PRE-EXISTING NONCONFORMING LOT OF RECORD



LOCATION MAP



EROSION CONTROL NOTES

- Prior to any construction activity silt fencing shall be placed as shown and maintained throughout the construction process.
- All disturbance is to be limited to the areas shown, and is to be kept to an absolute minimum.
- All excavated material (soil) to be used, as backfill shall be stockpiled upland from the silt fencing. Silt fencing should surround this stockpile material. All excess unwanted excavated materials, construction debris etc., shall be removed from the site and disposed of in a proper manner.
- No disturbances shall occur outside of the silt fence line during construction of the proposed improvements.
- All disturbed areas including back filled and graded areas shall be loamed and seeded as soon as possible upon completion of all construction. All slopes and exposed areas shall be stabilized with straw mulch. Jute netting or seed blankets should be utilized where the slope is 3:1 or greater.
- All silt fencing and mulch are to remain in place until after the grass has properly rooted, approximately six to eight weeks.
- The following seed mix is to be used in all disturbed and exposed areas. Before seeding, however, a minimum of four inches of compacted loam is to be placed in the affected areas at a rate of 12.4 cubic yards per 1000 square feet.

SEED MIXTURE-GENERAL PURPOSE

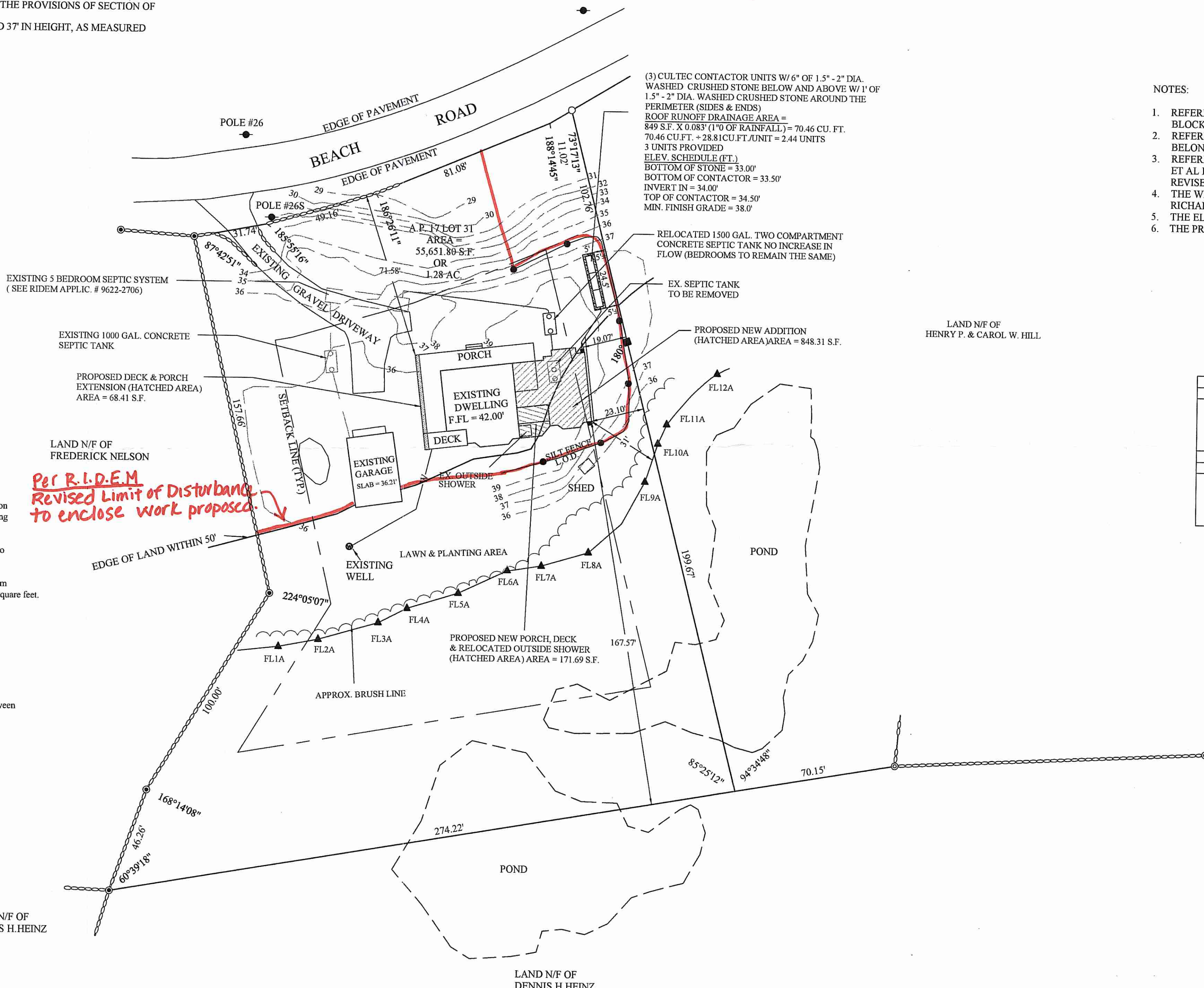
SEED MIXTURE	LBS/ACRE	LBS/1000 square SF
Red Fescue	75	1.75
Kentucky Bluegrass	15	.35
Colonial Bentgrass	5	.11
Perennial Ryegrass	5	.11

The straw mulch is to be applied at a rate of 90 lbs. per 1000 square feet. The grass seed should be planted between April 1-June 15 and August 15-September 30.

LEGEND

These standard symbols will be found in the drawing.

- EXISTING IRON PIPE OR REBAR
- EXISTING STONE BOUND
- EXISTING DRILL HOLE
- ⊙ SET DRILL HOLE
- REBAR TO BE SET
- UTILITY POLE
- EXISTING WELL
- SETBACK LINE
- STONE WALL
- EXISTING BRUSH LINE
- ▲ WETLAND FLAGS
- FL1A FL2A SILT FENCE / LIMIT OF DISTURBANCE
- W EXISTING WATERLINE
- EXISTING CONTOUR



(3) CULTEC CONTACTOR UNITS W/ 6" OF 1.5" - 2" DIA. WASHED CRUSHED STONE BELOW AND ABOVE W/ 1" OF 1.5" - 2" DIA. WASHED CRUSHED STONE AROUND THE PERIMETER (SIDES & ENDS)
 ROOF RUNOFF DRAINAGE AREA = 849 S.F. X 0.083' (1% OF RAINFALL) = 70.46 CU. FT.
 70.46 CU. FT. ÷ 28.81 CU. FT./UNIT = 2.44 UNITS
 3 UNITS PROVIDED
 ELEV. SCHEDULE (FT.)
 BOTTOM OF STONE = 33.00'
 BOTTOM OF CONTACTOR = 33.50'
 INVERT IN = 34.00'
 TOP OF CONTACTOR = 34.50'
 MIN. FINISH GRADE = 38.0'

RELOCATED 1500 GAL. TWO COMPARTMENT CONCRETE SEPTIC TANK NO INCREASE IN FLOW (BEDROOMS TO REMAIN THE SAME)

PROPOSED NEW ADDITION (HATCHED AREA) AREA = 848.31 S.F.

EXISTING DWELLING F.F.L. = 42.00'

EXISTING GARAGE SLAB = 36.21'

PROPOSED NEW PORCH, DECK & RELOCATED OUTSIDE SHOWER (HATCHED AREA) AREA = 171.69 S.F.

EXISTING LAWN & PLANTING AREA

EXISTING WELL

APPROX. BRUSH LINE

EDGE OF LAND WITHIN 50'

EDGE OF PAVEMENT ROAD

EDGE OF PAVEMENT ROAD

EDGE OF PAVEMENT ROAD

EDGE OF PAVEMENT ROAD

EDGE OF PAVEMENT ROAD

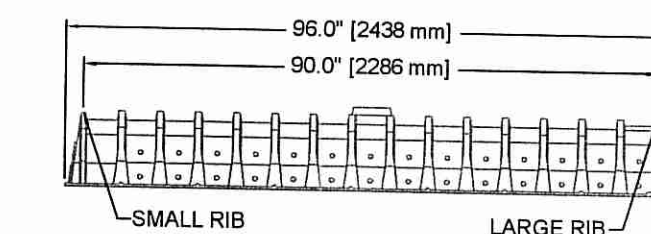
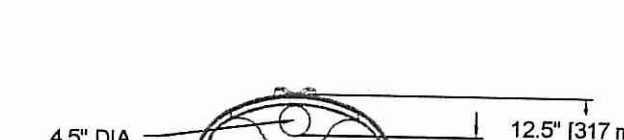
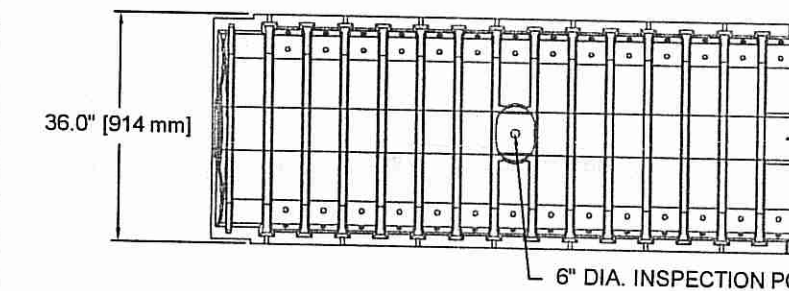
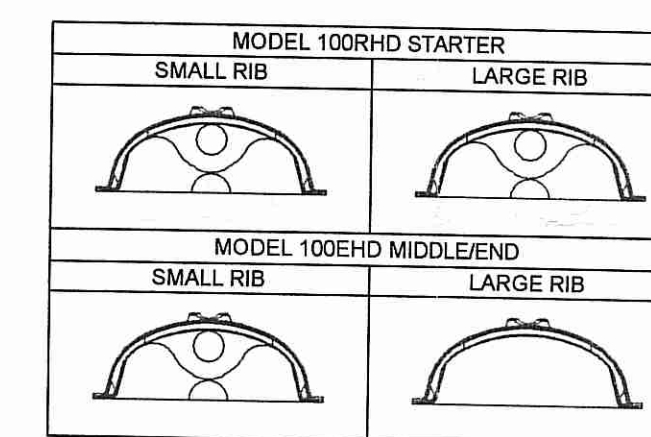
EDGE OF PAVEMENT ROAD

EDGE OF PAVEMENT ROAD

EDGE OF PAVEMENT ROAD

NOTES:

- REFERENCE IS HEREBY MADE TO THAT CERTAIN PLAN ENTITLED "SURVEY PLAN FOR DENNIS HEINZ 1088 CENTER RD. BLOCK ISLAND, R.I. PLAT 17 LOT 33 NEW SHOREHAM, R.I. JAMES P. LAWLESS, RLS SCALE: 1" = 30FT DATE: SEPT. 03"
- REFERENCE IS HEREBY MADE TO THAT CERTAIN PLAN ENTITLED "PLAT OF LAND ON BLOCK ISLAND, NEW SHOREHAM R.I. BELONGING TO JOHN HEINZ SURVEYED AND PLATTED BY MARK W. SCHOFIELD SEPT. 1906 SCALE 50 FEET TO AN INCH"
- REFERENCE IS HEREBY MADE TO THAT CERTAIN PLAN ENTITLED "SUBDIVISION OF LAND OWNED BY FREDERICK H. NELSON ET AL LOCATED ON BLOCK ISLAND TOWN OF NEW SHOREHAM, R.I. OCTOBER 1985 SCALE: 1" = 30' ASSESSOR'S MAP 17 LOT 30 REVISED: DEC. 10, 1985 JUNE 19, 1986 JULY 24, 1986 SEPT. 3, 1986 CHERENZIA & ASSOCIATES, LTD."
- THE WETLANDS AS DEPICTED WERE FLAGGED BY ISLAND ENVIRONMENTAL, CLAIRE MCELDERRY AND FIELD LOCATED BY RICHARD A. GREENE & ASSOCIATES, INC.
- THE ELEVATIONS AS DEPICTED ARE BASED UPON NAVD 88 DATUM.
- THE PROPERTY AS DEPICTED IS OUTSIDE ANY 100 YEAR OR 500 YEAR FLOOD PLAINS AS DEPICTED ON THE FIRM FLOOD RATE MAPS.

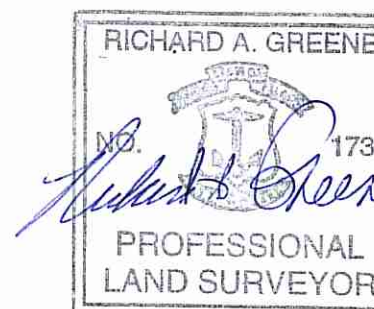


CULTEC CONTACTOR 100HD CHAMBER STORAGE = 1.961 CF/FT
 INSTALLED LENGTH ADJUSTMENT = 65"
 ALL CONTACTOR 100HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS
 AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED APR 24 2011 FILE # 14-0049
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Nancy Freeman

ABUTTING STREET INDEX
 BEACH RD.



PLAN OF LAND
 PREPARED FOR:
HENRY P. & CAROL W. HILL
 ASSESSOR'S PLAT 17, LOT 31
 588 BEACH RD.
 NEW SHOREHAM, RHODE ISLAND
 SCALE: 1" = 30' DATE: FEB. 2014

RICHARD A. GREENE & ASSOCIATES, INC.
 220 RICHMOND TOWNHOUSE RD.
 CAROLINA, RHODE ISLAND 02812
 TEL. 401-364-9405
 FAX 401-364-9403

THIS PLAN AND SURVEY CONFORM TO A CLASS IV STANDARD AS ADOPTED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

RICHARD A. GREENE, P.L.S.

DATE 03/04/12

DATE	REVISIONS

