

# Site Plans

Issued for: **State Permitting**

Date Issued: March 14, 2014

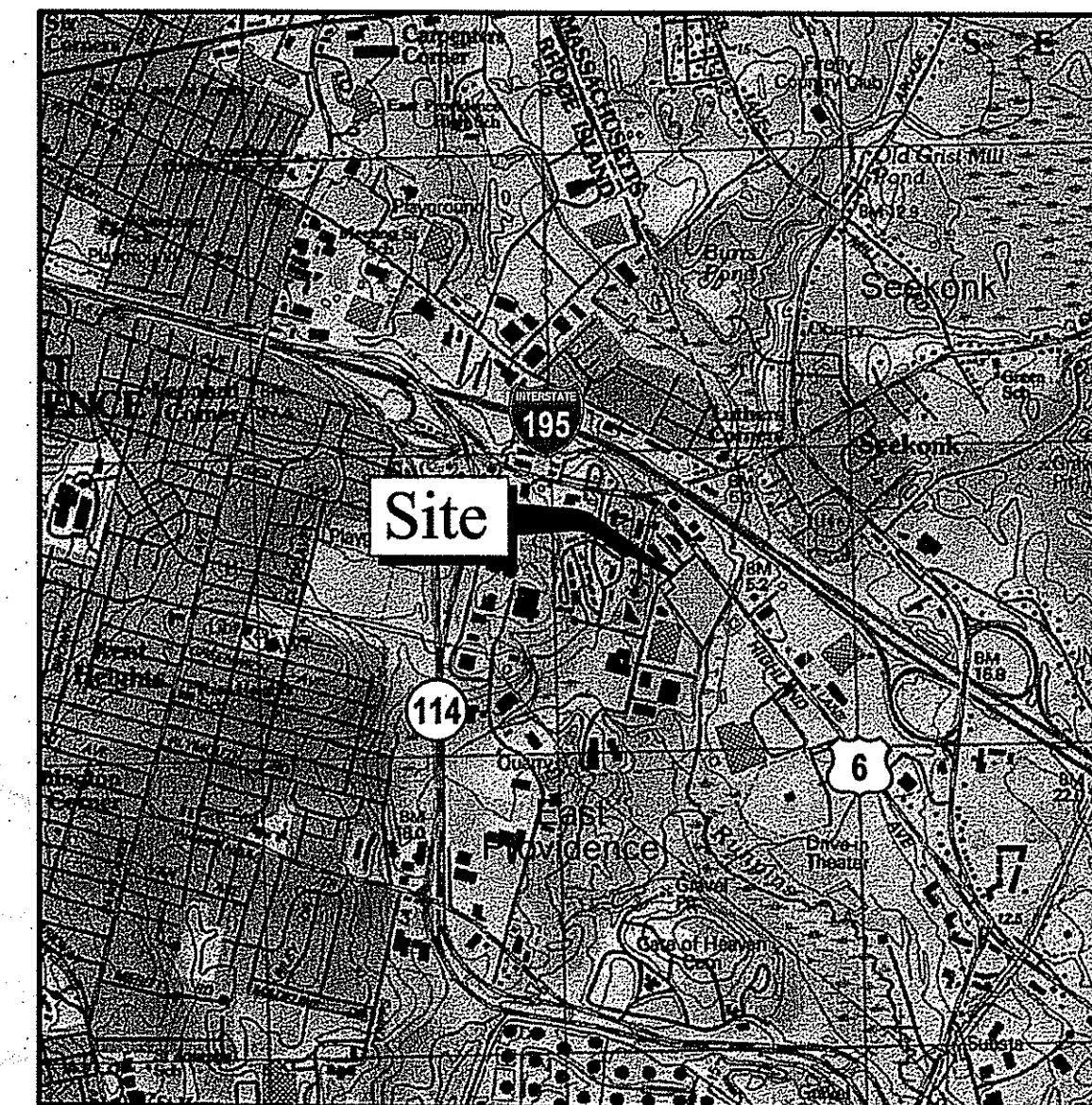
Latest Issue: June 6, 2014

## Sheet Index

Number	Drawing Title	Latest Issue
C-1	Legend and General Notes	3/14/2014
C-2	Vicinity Map	6/6/2014
C-3	Radius Map	6/6/2014
C-4	Layout and Materials Plan	6/6/2014
C-5	Grading and Drainage Plan	6/6/2014
C-6	Utility Plan	6/6/2014
C-7	Site Details 1	6/6/2014
C-8	Site Details 2	3/14/2014
C-9	Site Details 3	3/14/2014
C-10	Site Details 4	6/6/2014
C-11	Site Details 5	6/6/2012
SESC-1	Soil Erosion and Sediment Control Plan	6/6/2014
L-1	Planting Plan	3/14/2014
L-2	Planting Plan Enlargements and Details	3/14/2014
<b>Reference Drawings</b>		
Number	Drawing Title	Latest Issue
	Topographic Survey Plan (By Others)	7/16/2013

# Proposed Retail Development

77 Highland Avenue (Route 6)  
East Providence, Rhode Island



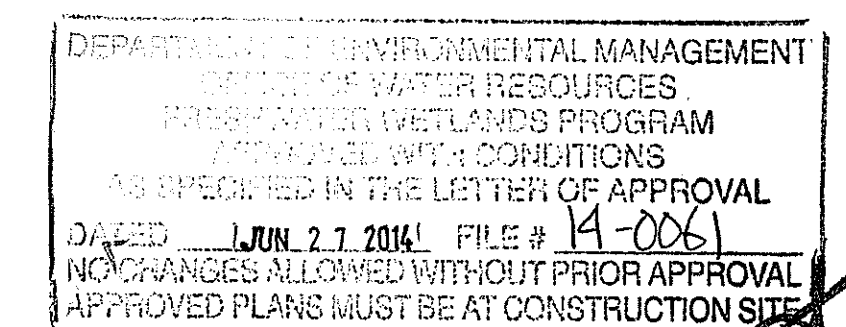
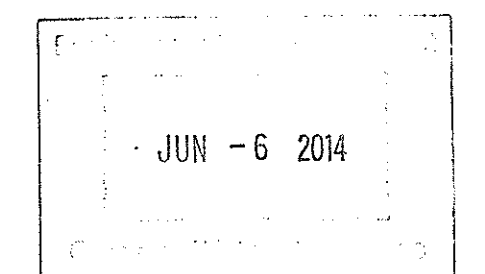
Site Location Map

## Property Owners

Owner:  
**John J Gregory III**  
Trustee of the John J. Gregory Jr.  
"1993 Irrevocable Trust Agreement"  
77 Highland Avenue  
East Providence, RI

Applicant:  
**77 Highland, LLC**  
1150 New London Turnpike  
Cranston, Rhode Island

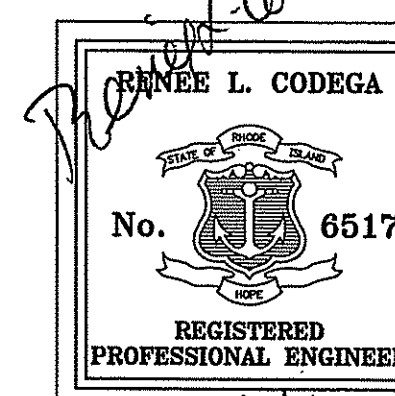
Assessor's Plat: **608 Block 2**  
Lots: **1, 2, and 4**



*Charles A. Hester*



**Vanasse Hangen Brustlin, Inc.**  
Transportation  
Land Development  
Environmental Services  
10 Dorrance Street, Suite 400  
Providence, Rhode Island 02903  
401.272.8100 • FAX 401.273.9694





Vanasse Hangen Brustlin, Inc.

Transportation  
Land Development  
Environmental Services

10 Dorrance Street, Suite 400  
Providence, Rhode Island 02903  
401.272.8100 • FAX 401.273.9694

JUN - 6 2014

Legend

Legend table with columns: Exist., Prop., and descriptions for various site features like PROPERTY LINE, CONCRETE, UNDERDRAIN, etc.

Abbreviations

Abbreviations table with columns: General, Utility, and descriptions for codes like ABAN, ACR, ADJ, etc.

Notes:

- General
1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
...
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
A. WATER PIPES SHALL BE DUCTILE IRON
B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE
D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
...
Demolition
1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
...
Erosion Control
1. REFER TO SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN FOR EROSION CONTROL NOTES.
2. REFER TO SESC PLAN FOR STORMWATER FEATURE PROTECTION DURING CONSTRUCTION.
...
Existing Conditions Information
BASE PLAN: THE PROPERTY LINES, TOPOGRAPHY, AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY OCEAN STATE PLANNERS, INC.
DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: OCEAN STATE PLANNERS, INC.
A. FLAGS MARKING THE WETLANDS WERE LOCATED BY: OCEAN STATE PLANNERS, INC.
TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD.
...
Document Use
1. THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
...
Utilities
1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVES HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.

Proposed Retail Development

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS
AS SPECIFIED IN THE LETTER OF APPROVAL
DATED JUN 27 2014 FILE # 14-0061
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE PERMITTING

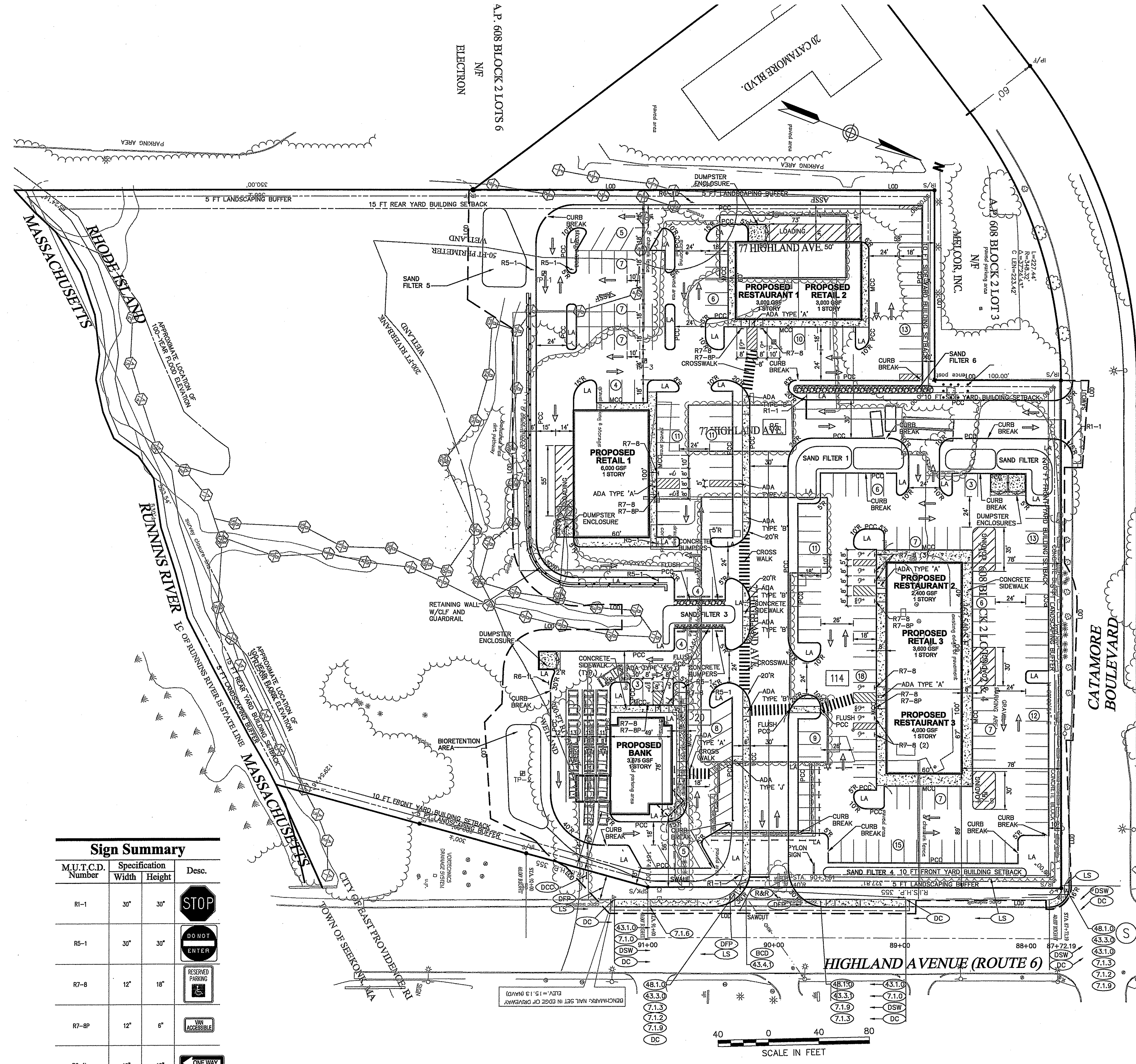
Not Approved for Construction
Drawing Title
Legend and General Notes

REGISTERED PROFESSIONAL ENGINEER
RENE L. CODEGA
No. 6517
3/14/14
Drawing Number C-1
Sheet 1 of 11
Project Number 72550.00

Saved Wednesday, March 19, 2014 10:01:19 AM ERICOBREN Plotted Thursday, June 05, 2014 10:26:28 AM Burke, Genevieve







Sign Summary			
M.U.T.C.D. Number	Specification	Width	Height
RI-1	STOP	30"	30"
RS-1	DO NOT ENTER	30"	30"
R7-B	RESERVED PARKING	12"	18"
R7-BP	VAN ACCESSIBLE	12"	6"
R6-1L	ONE WAY	12"	18"

Zoning Summary Chart		
Zoning District(S):	Commercial 5 (C5)	
Overlay District(S):		
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	0.2 Acres	8.3± Acres
FRONTAGE	40.0 Feet	400± Feet
FRONT YARD SETBACK	10 Feet	47± Feet
SIDE YARD SETBACK	10 Feet	58± Feet
REAR YARD SETBACK	15 Feet	41± Feet
MINIMUM LOT WIDTH	100 Feet	477 Feet
MAXIMUM BUILDING HEIGHT	30 Feet	< 30 Feet
MAXIMUM BUILDING COVERAGE	50.0 %	7± %
MAXIMUM IMPERVIOUS	70.0 %	46± %
MINIMUM INTERIOR PARKING LANDSCAPING	10 SF/SPACE = 2,190 SF	5,402± SF
MINIMUM INTERIOR PARKING SHADE PERCENTAGE	20.0 %	20% Min.
MINIMUM LANDSCAPING BUFFER	5 Feet	10 Feet

Parking Summary Chart				
Description	Size		Total Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9 x 20 or 10 x 18	10 x 18	198	205
STANDARD ACCESSIBLE SPACES *	12 x 18	12 x 18	6	9
VAN ACCESSIBLE SPACES	16 x 18	16 x 18	1	5
TOTAL SPACES			205	219
STACKING REQUIREMENTS	10 x 20 (12 @ curve)	11 x 20 min	9	9
LOADING REQUIREMENTS <4,000 GFA	300 SF	300 SF	3	3
LOADING REQUIREMENT >4,000 GFA	14' x 55'	14' x 55'	1	1

**Parking Requirements:**

BANK	3,675 SF	x 1 SPACES	/	200	=	19 SPACES
BANK TOTAL = 19 SPACES						
RETAIL 1	6,000 SF	x 1 SPACES	/	200	=	30 SPACES
	15 EMP	x 1 SPACES	/	2 EMP	=	8 SPACES
TOTAL RETAIL 1 = 38 SPACES						
RETAIL 2	3,000 SF	x 1 SPACES	/	200	=	15 SPACES
	8 EMP	x 1 SPACES	/	2 EMP	=	4 SPACES
TOTAL RETAIL 2 = 19 SPACES						
RETAIL 3	3,600 SF	x 1 SPACES	/	200	=	18 SPACES
	9 EMP	x 1 SPACES	/	2 EMP	=	5 SPACES
TOTAL RETAIL 3 = 23 SPACES						
RESTAURANT 1	90 SEATS	x 1 SPACES	/	3 SEAT	=	30 SPACES
	8 EMP	x 1 SPACES	/	2 EMP	=	4 SPACES
TOTAL RESTAURANT 1 = 34 SPACES						
RESTAURANT 2	72 SEATS	x 1 SPACES	/	3 SEAT	=	24 SPACES
	6 EMP	x 1 SPACES	/	2 EMP	=	3 SPACES
TOTAL RESTAURANT 2 = 27 SPACES						
RESTAURANT 3	120 SEATS	x 1 SPACES	/	3 SEAT	=	40 SPACES
	10 EMP	x 1 SPACES	/	2 EMP	=	5 SPACES
TOTAL RESTAURANT 3 = 45 SPACES						
TOTAL PARKING REQUIRED = 205 SPACES						

- NOTE:**
- RI STD. DETAIL 43.4.1 APPLIES TO ON ROUTE 6 ONLY.
  - TRAFFIC FLOW ARROWS FOR INFORMATIONAL PURPOSES ONLY. NOT FOR CONSTRUCTION.
  - SEE DETAIL FOR CURB BREAKS.
  - ALL SIDEWALK TO BE CONCRETE.
  - ALL PAVEMENT SHALL BE STANDARD DUTY.
  - ALL ADA SIGNS SHALL BE BOLLARD MOUNTED.

**VHB**  
**Vanasse Hangen Brustlin, Inc.**  
 Transportation  
 Land Development  
 Environmental Services  
 10 Dorrance Street, Suite 400  
 Providence, Rhode Island 02903  
 401.272.8100 • FAX 401.273.9694

- RIDOT LEGEND**
- 7.1.0 PRECAST CONCRETE CURB RI STD. 7.1.0
  - 7.1.2 6'-0" PRECAST CONCRETE TRANSITION CURB RI STD. 7.1.2
  - 7.1.3 PRECAST CONCRETE WHEELCHAIR RAMP TRANSITION CURB RI STD. 7.1.3
  - 7.1.6 PRECAST CONCRETE INLET STONE (FOR ROUND CATCH BASIN) RI STD. 7.1.6
  - 7.1.9 PRECAST CONCRETE RAMP STONE RI STD. 7.1.9
  - 43.1.0 CEMENT CONCRETE SIDEWALK RI STD. 43.1.0
  - 43.3.0 WHEELCHAIR RAMP RI STD. 43.3.0
  - 43.3.1 WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS RI STD. 43.3.1
  - 43.4.1 DRIVEWAY DEVELOPMENT FOR 6'-0" TRANSITION CURB RI STD. 43.4.1
  - 48.1.0 DETECTABLE WARNING SYSTEM RI STD. 48.1.0
  - BCD BITUMINOUS CONCRETE DRIVEWAY 3" BITUMINOUS CONCRETE TYPE 1-2 8" GRAVEL BORROW SUBBASE COURSE
  - DCC DISPOSE CONCRETE CAR STOP
  - DFP DISPOSE FLEXIBLE PAVEMENT
  - DSW DISPOSE SIDEWALK
  - LS 4" LOAM AND SEED
  - XX CALLOUT WITH QUANTITY

No.	Response to Comments	Date	Appr.
1	Response to Comments	6/6/14	

Designed by \_\_\_\_\_ Drawn by \_\_\_\_\_ Checked by \_\_\_\_\_  
 CAD checked by \_\_\_\_\_ Approved by \_\_\_\_\_  
 Scale As Noted Date March 14, 2014  
 Project Title

**Proposed Retail Development**  
 77 Highland Avenue (Route 6)  
 East Providence, Rhode Island  
 Issued for

State Permitting  
 DEPARTMENT OF TRANSPORTATION  
 OFFICE OF PERMITTING  
 FRESHWATER WATER RESOURCES PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 FILE # 14-0001  
 DATED JUN 27 2014  
 ANY CHANGES ALLOWED WITHOUT PERMITTING OFFICE APPROVAL

Not Approved for Construction

Materials Plan

Renewal CODEGA  
 No. 6517  
 REGISTERED PROFESSIONAL ENGINEER  
 6/6/14

Drawing Number  
**C-4**  
 Sheet of 4 11  
 Project Number  
 72550.00  
 72550 PLOT.DWG





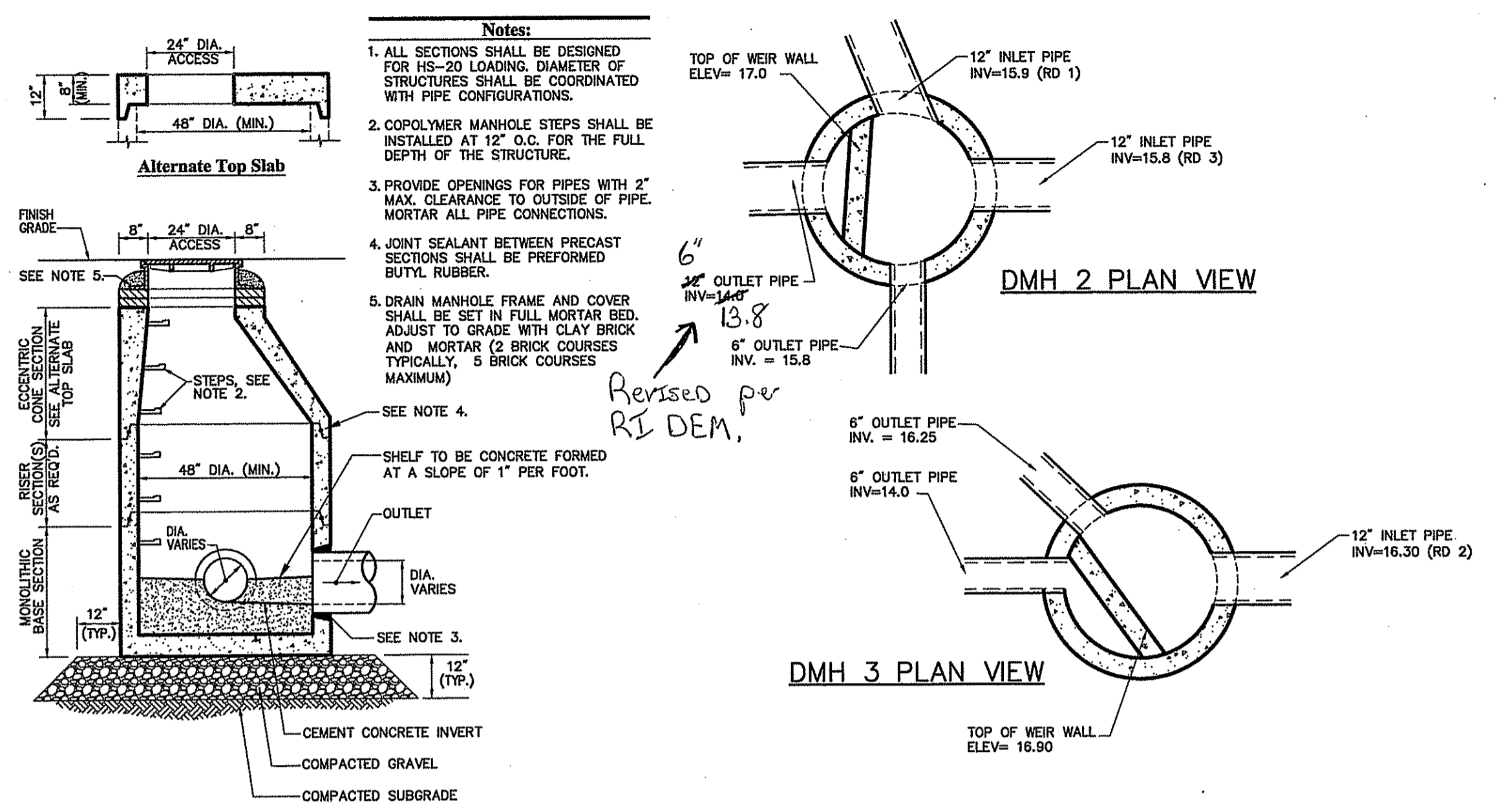
Saved Thursday, June 05, 2014 2:54:07 PM GBURKE Plotted Thursday, June 05, 2014 2:54:31 PM Burke, Genevieve



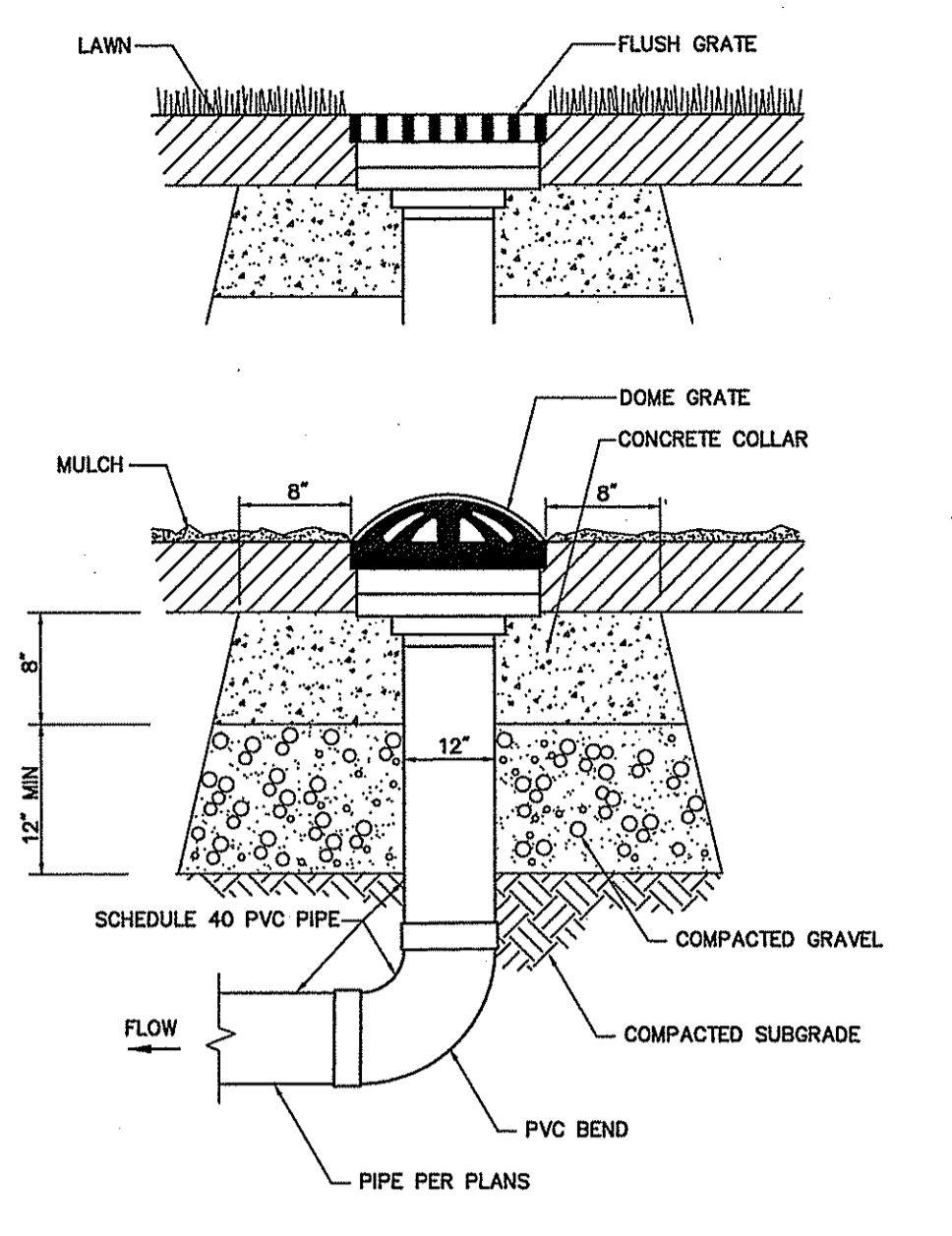
Vanasse Hangen Brustlin, Inc.

Transportation  
Land Development  
Environmental Services

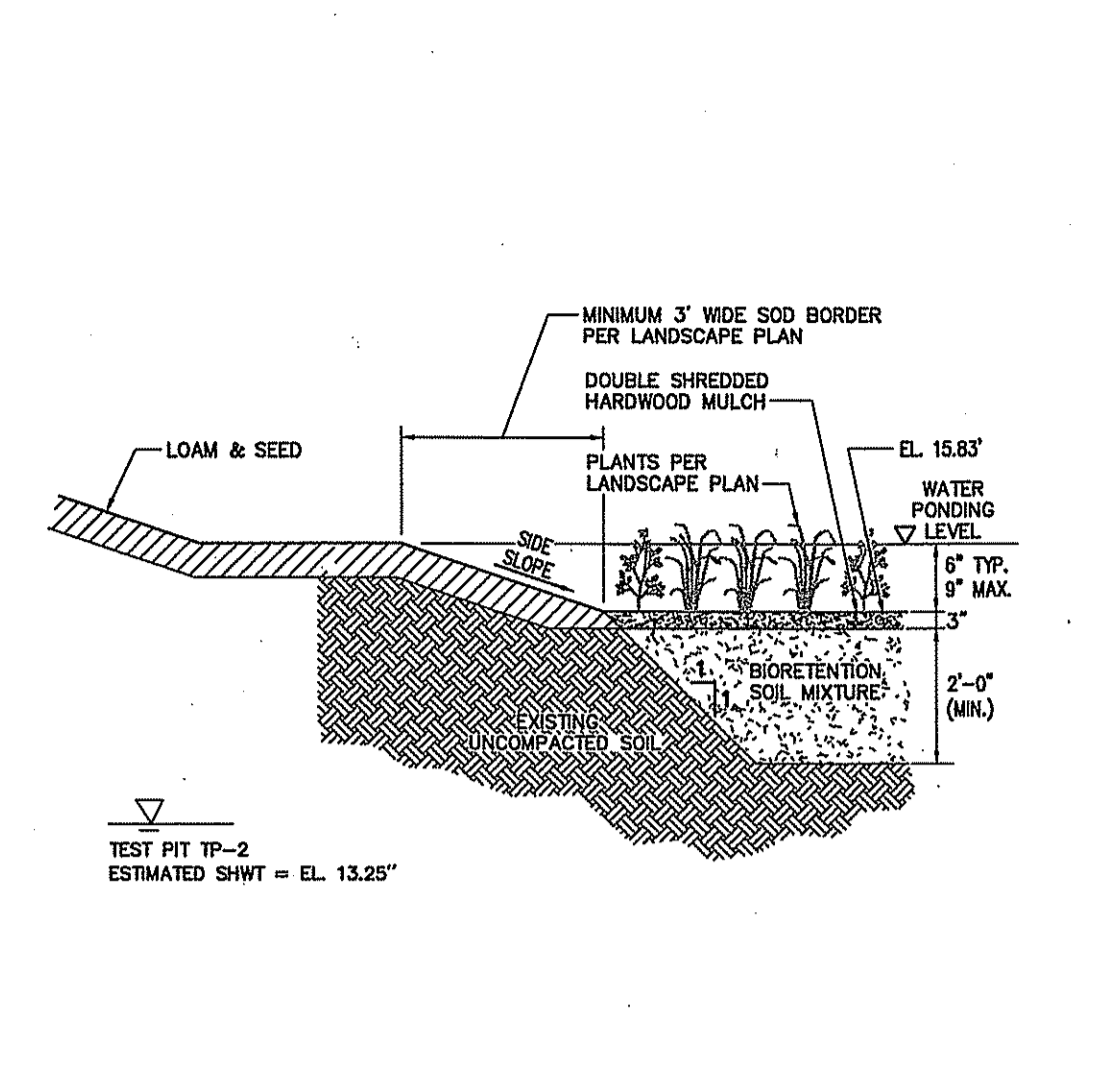
10 Dorrance Street, Suite 400  
Providence, Rhode Island 02903  
401.272.8100 • FAX 401.273.9694



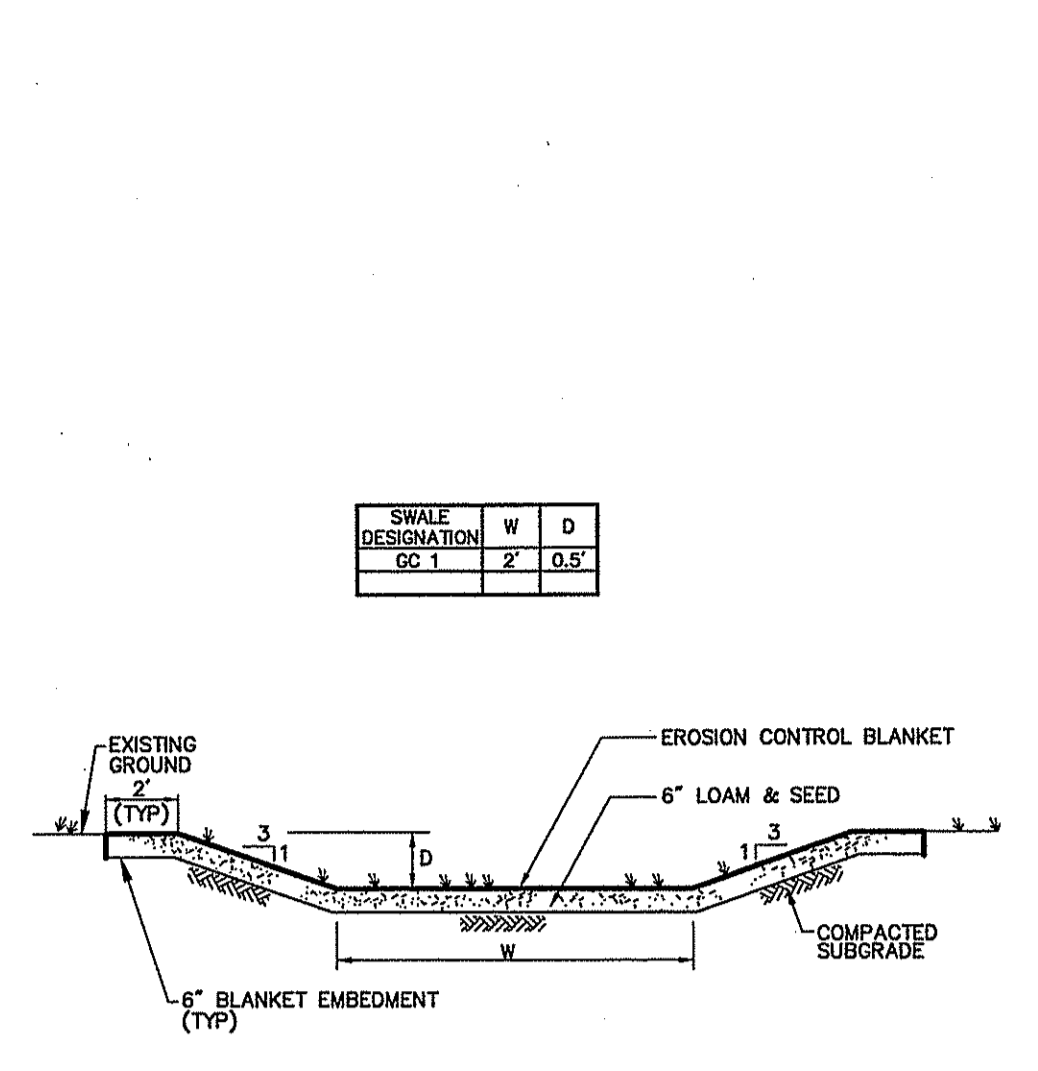
**Drain Manhole (DMH)** 6/03  
 N.T.S. Source: VHB LD\_163



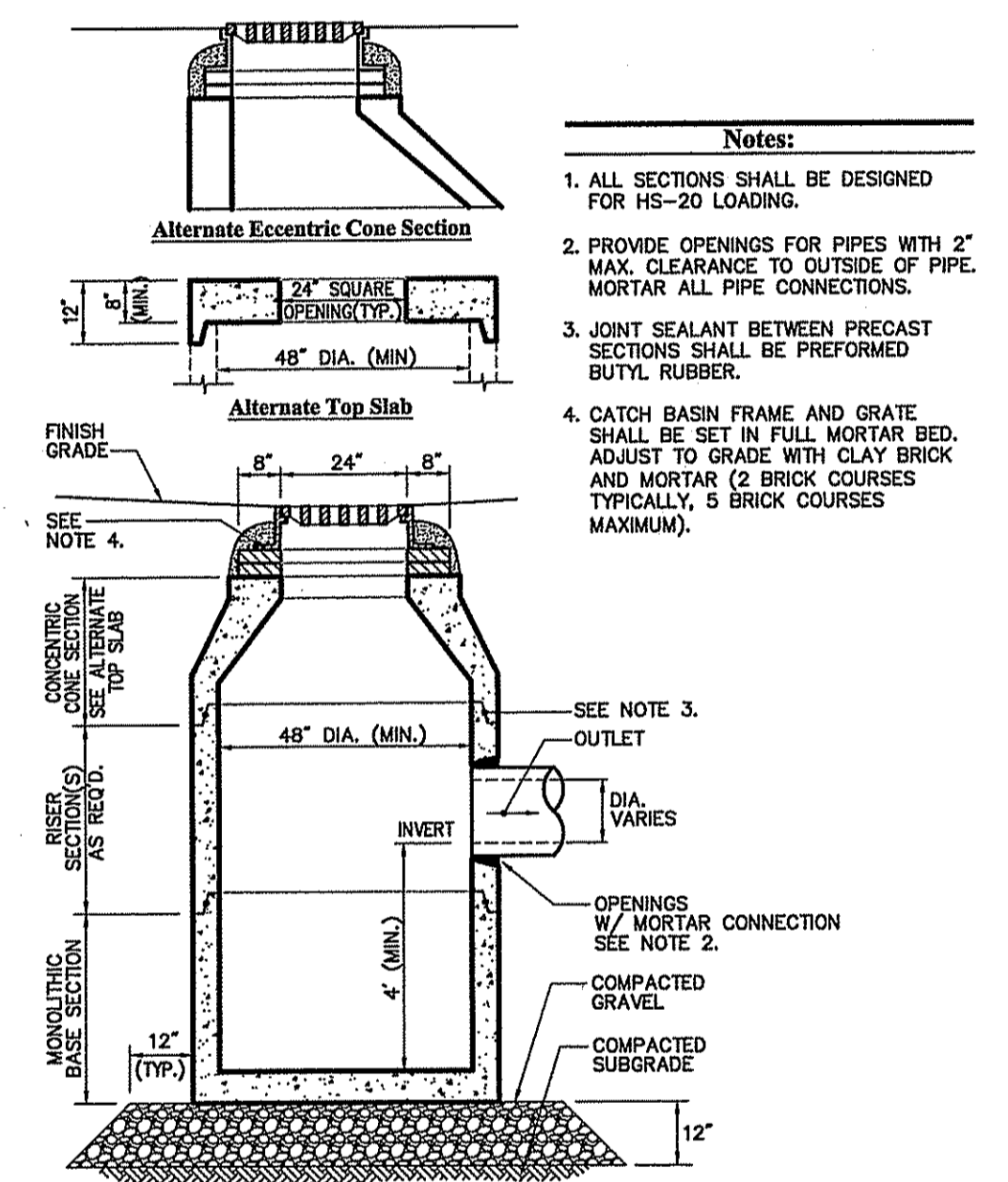
**Yard Drain (YD)** 6/08  
 N.T.S. Source: VHB REV LD\_193



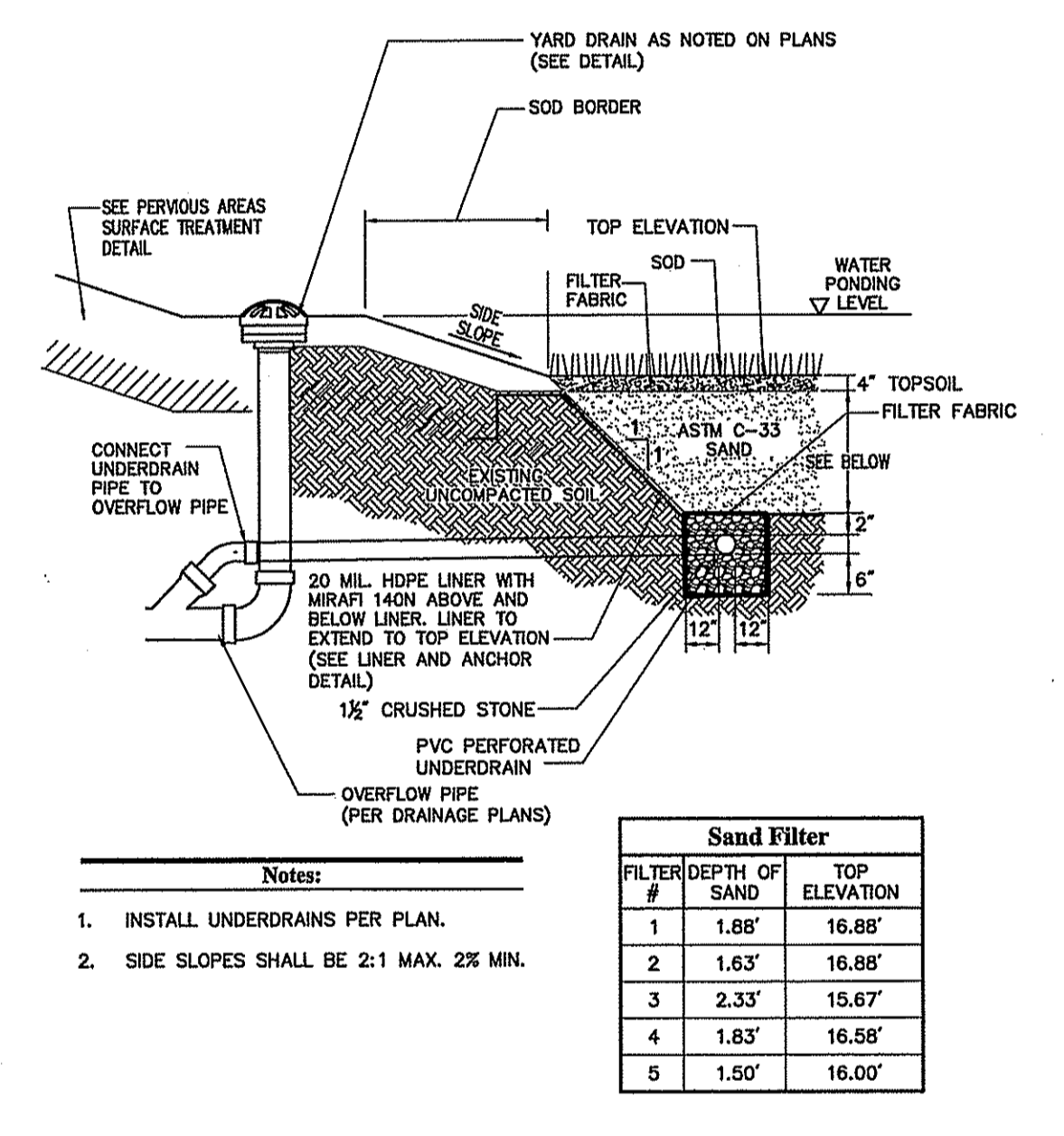
**Biofiltration Area (BIO 1)** 6/08  
 N.T.S. Source: VHB REV LD\_351



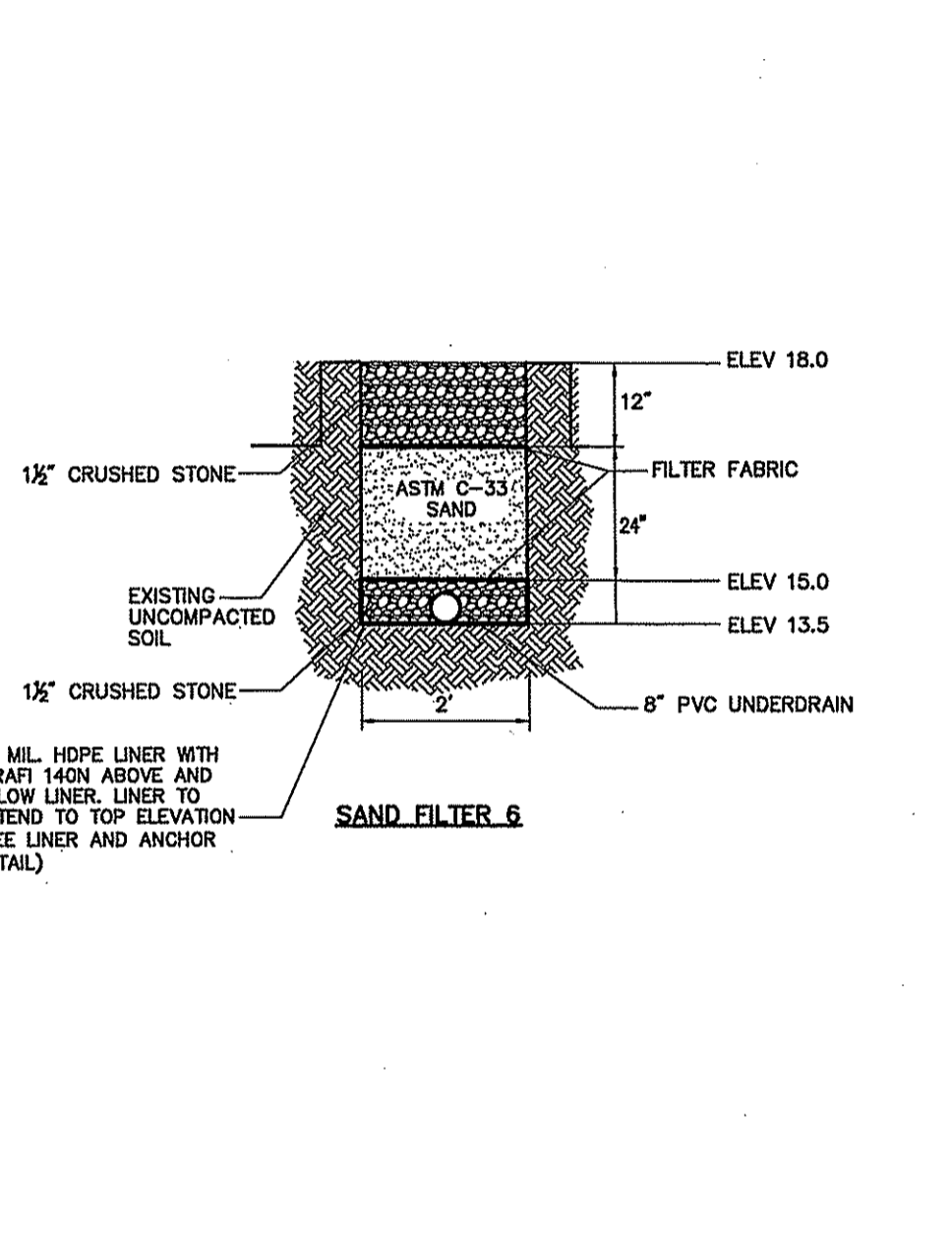
**Grassed Swale** 6/08  
 N.T.S. Source: VHB REV LD\_171



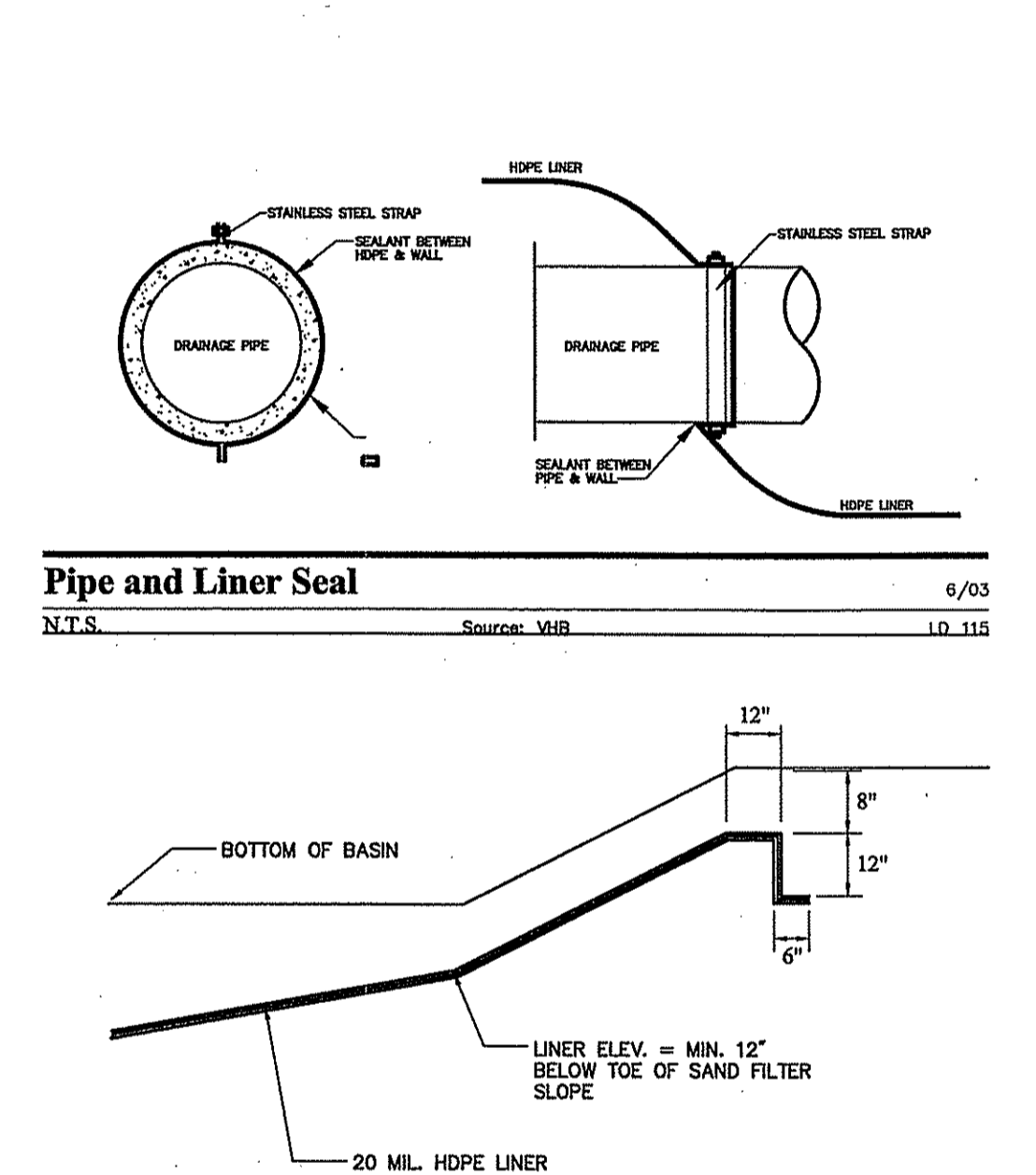
**Catch Basin (CB)** 6/08  
 N.T.S. Source: VHB LD\_100



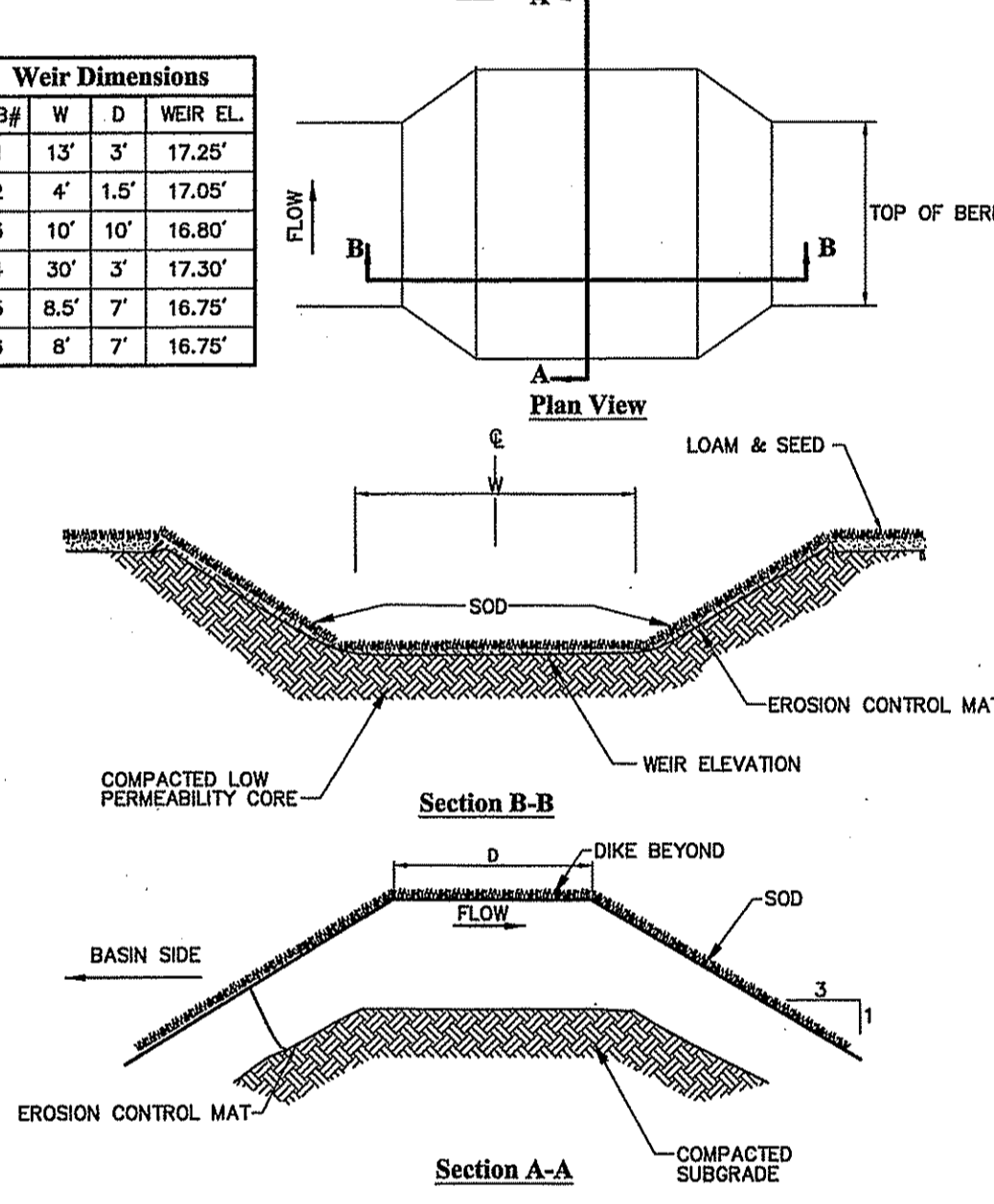
**Sand Filters 1-5** 6/08  
 N.T.S. Source: VHB REV LD\_352



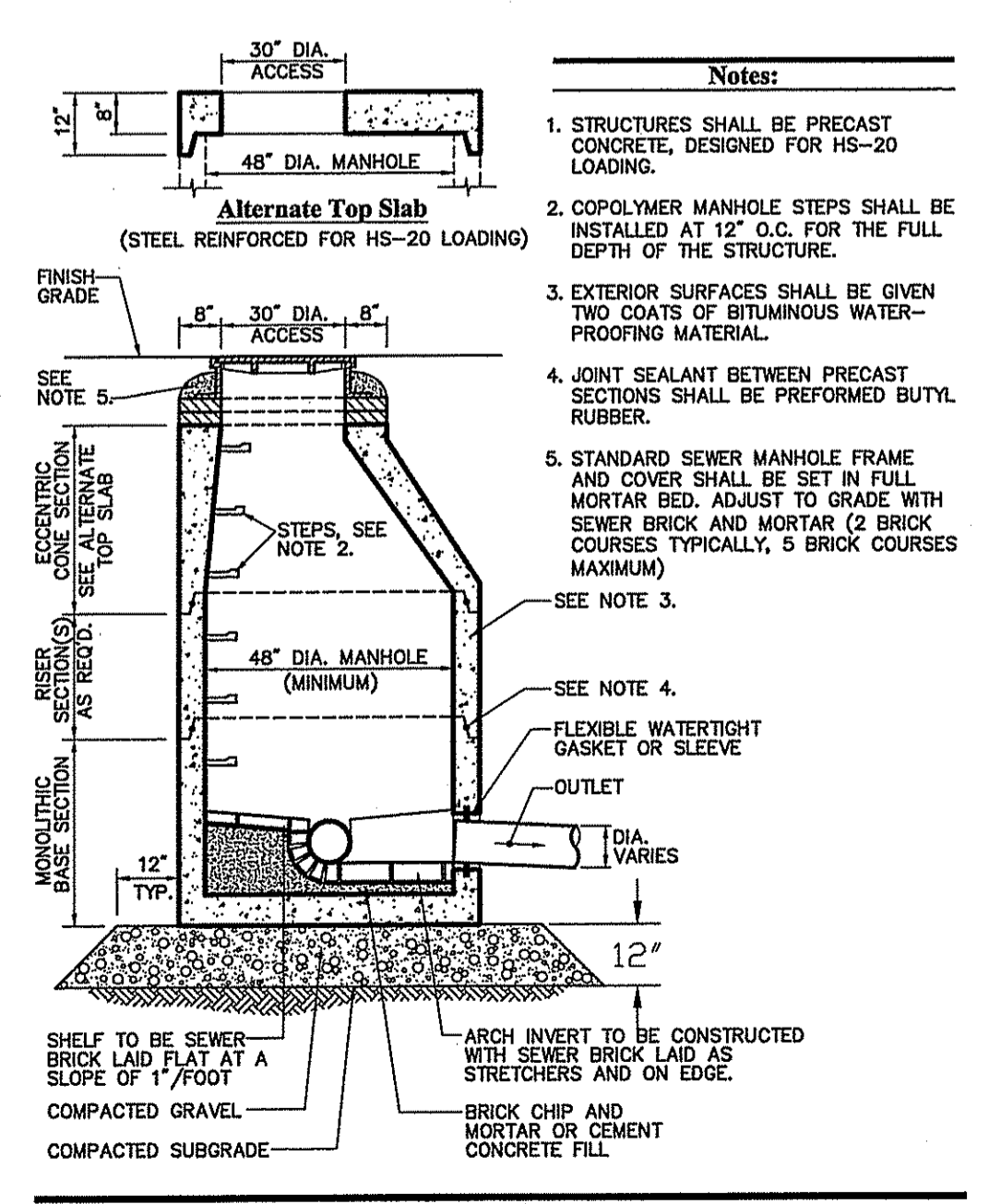
**Sand Filter 6** 6/08  
 N.T.S. Source: VHB REV LD\_352



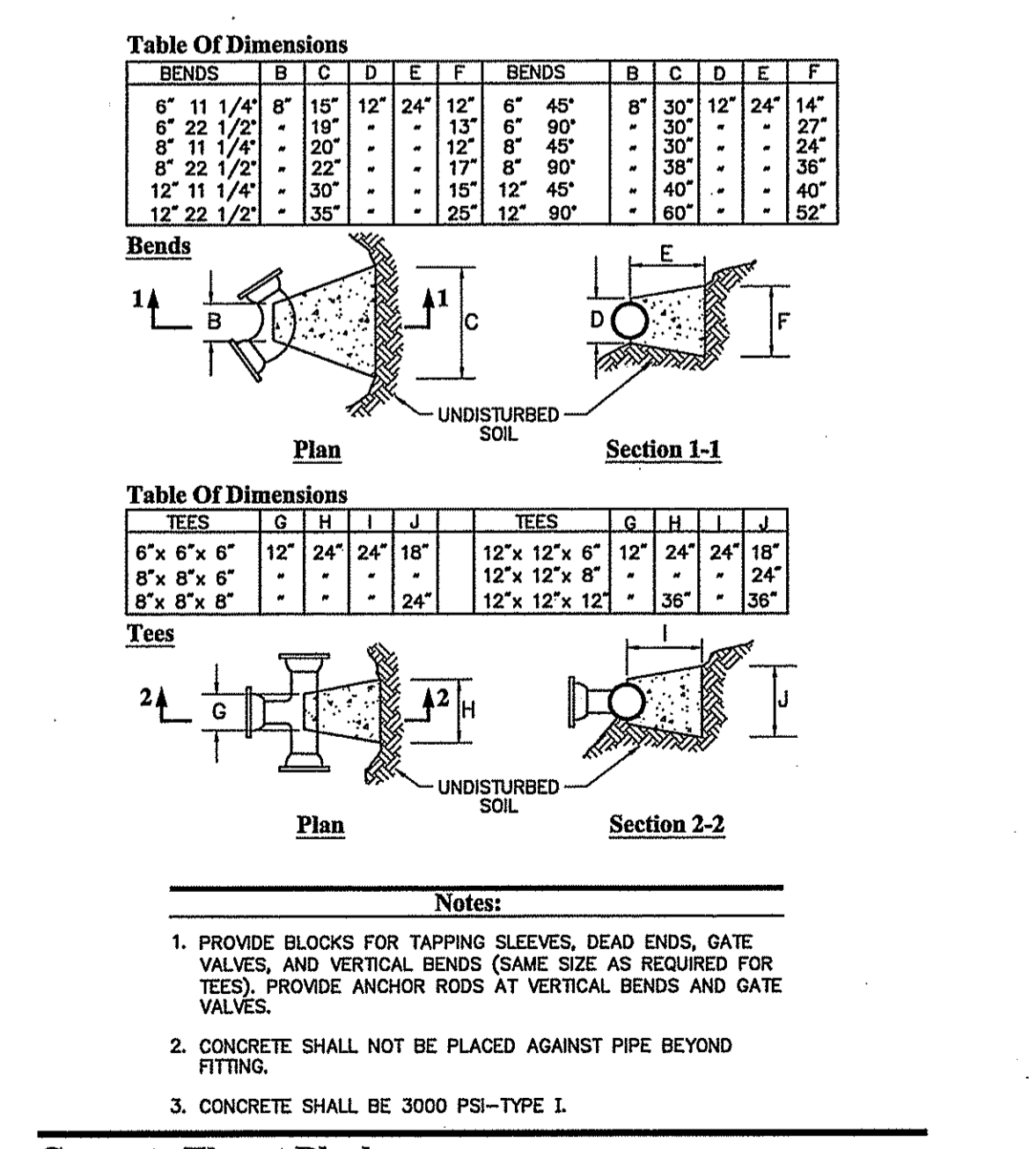
**HDPE Liner & Anchor Detail** 9/04  
 N.T.S. Source: BPM REV LD\_115



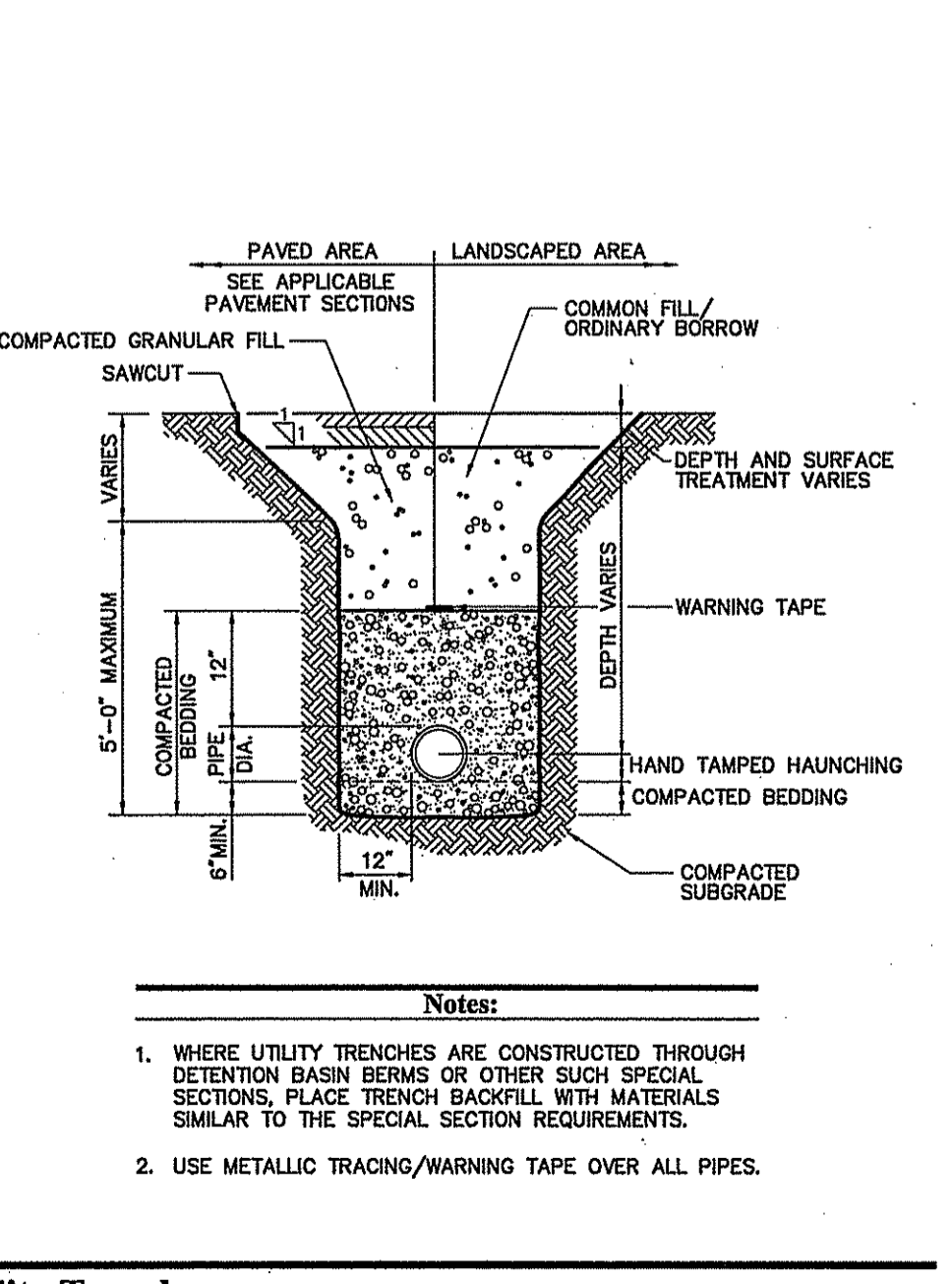
**Overflow Weir** 6/08  
 N.T.S. Source: VHB REV LD\_161



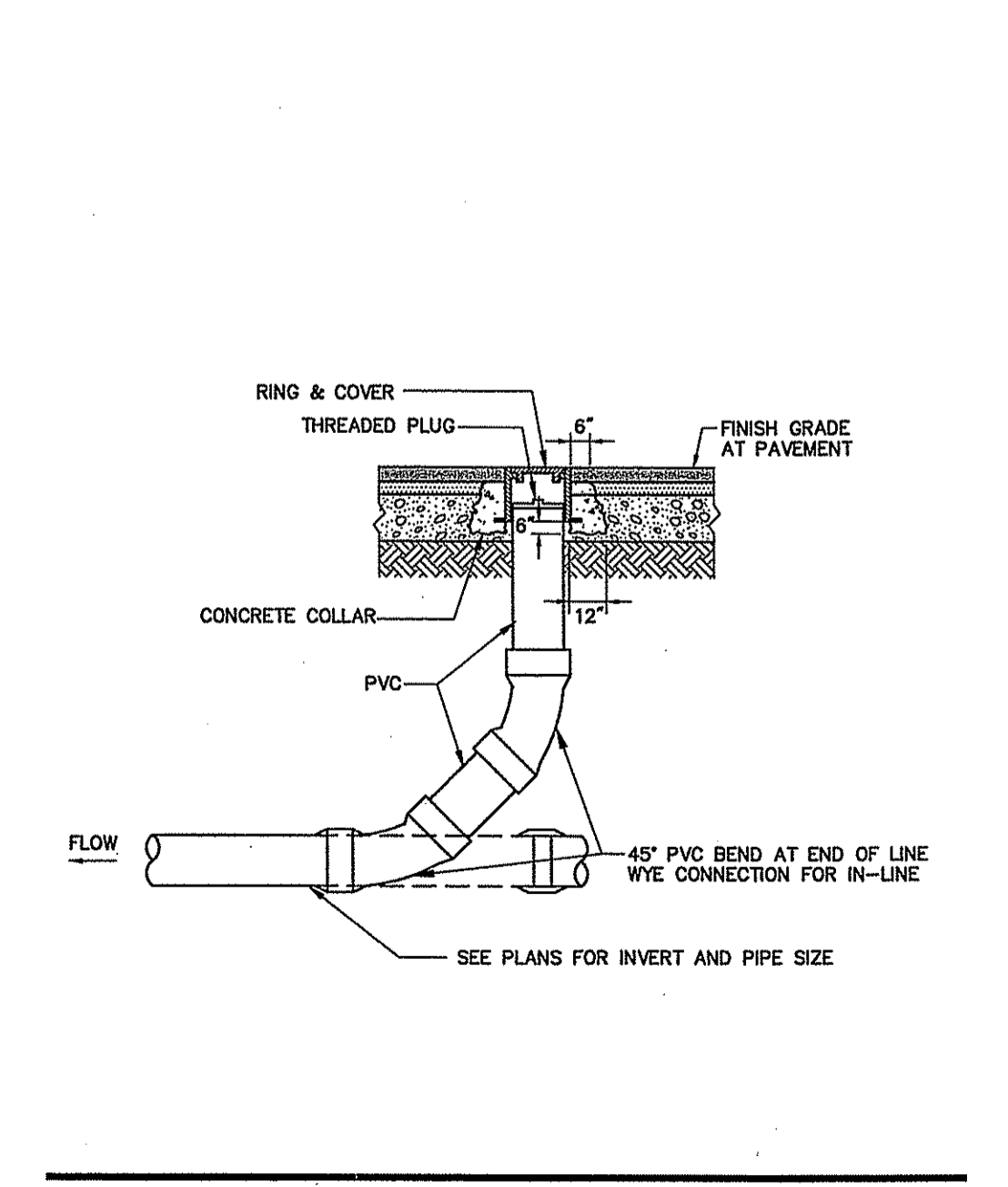
**Sanitary Sewer Manhole (SMH)** 6/08  
 N.T.S. Source: VHB LD\_200



**Concrete Thrust Block** 10/10  
 N.T.S. Source: VHB LD\_260



**Utility Trench** 8/11  
 N.T.S. Source: VHB REV LD\_300



**Cleanout - Paved Area** 5/13  
 N.T.S. Source: VHB LD\_303

JUN -6 2014

No.	Revision	Date	Apprv.
1	Response to Comments	6/6/14	

Designed by **GB** Drawn by **GB** Checked by  
 CAD checked by \_\_\_\_\_ Approved by \_\_\_\_\_  
 Scale \_\_\_\_\_ Date **March 14, 2014**

**Proposed Retail Development**  
 77 Highland Avenue (Route 6)  
 East Providence, Rhode Island  
 Issued for

State Permitting  
 Not Approved for Construction  
 Drawing Title  
**Site Details 1**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 PERMITTED WITH LANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 ISSUED IN THE LETTER OF APPROVAL  
 ANY CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE  
 JUN 27 2014 FILE # 14-0861  
*Charles A. [Signature]*

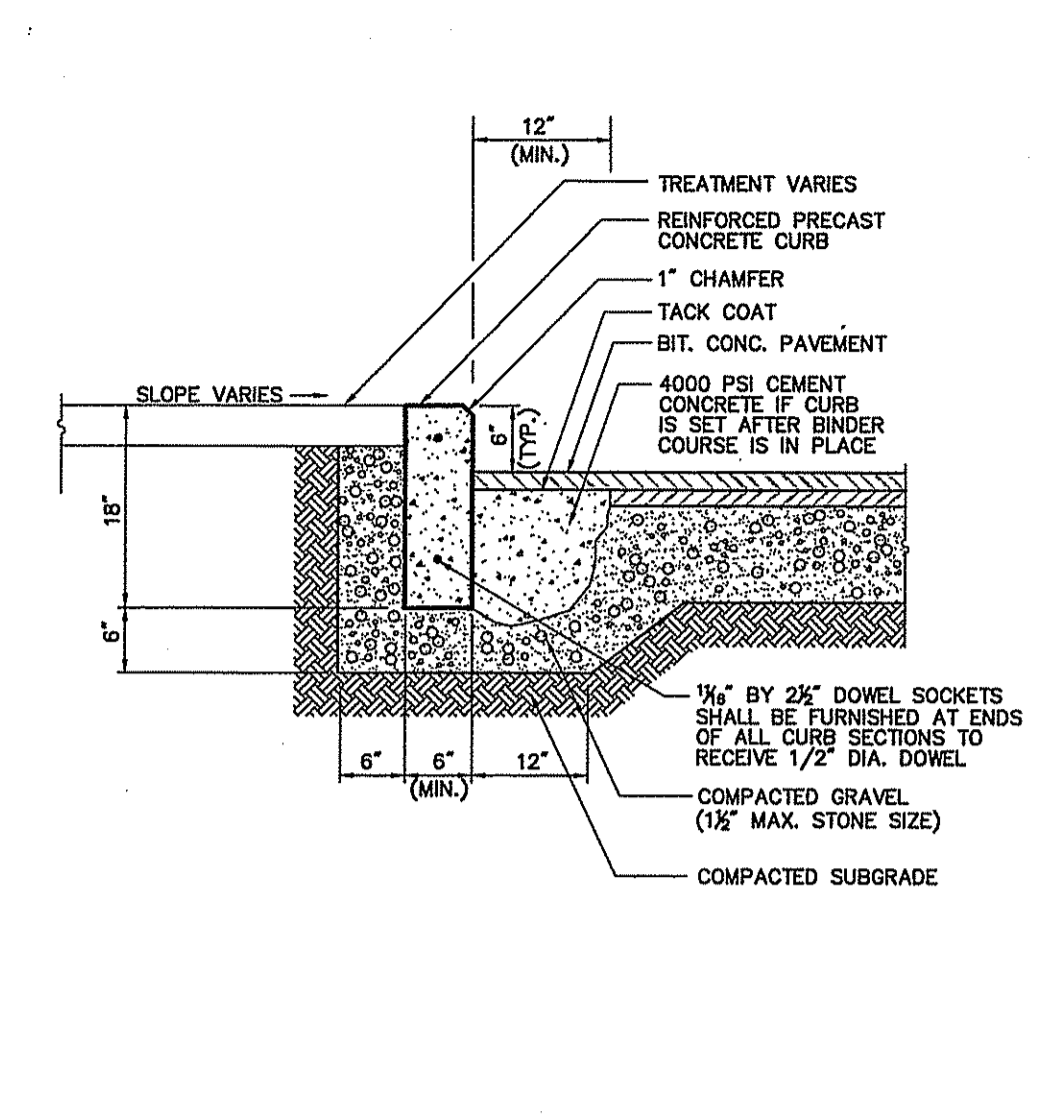
Registered Professional Engineer  
**ROBERT L. CODEGA**  
 No. **6517**  
 SHEET **C-7** OF **7**  
 PROJECT NUMBER **72550.00**  
 6/17/14



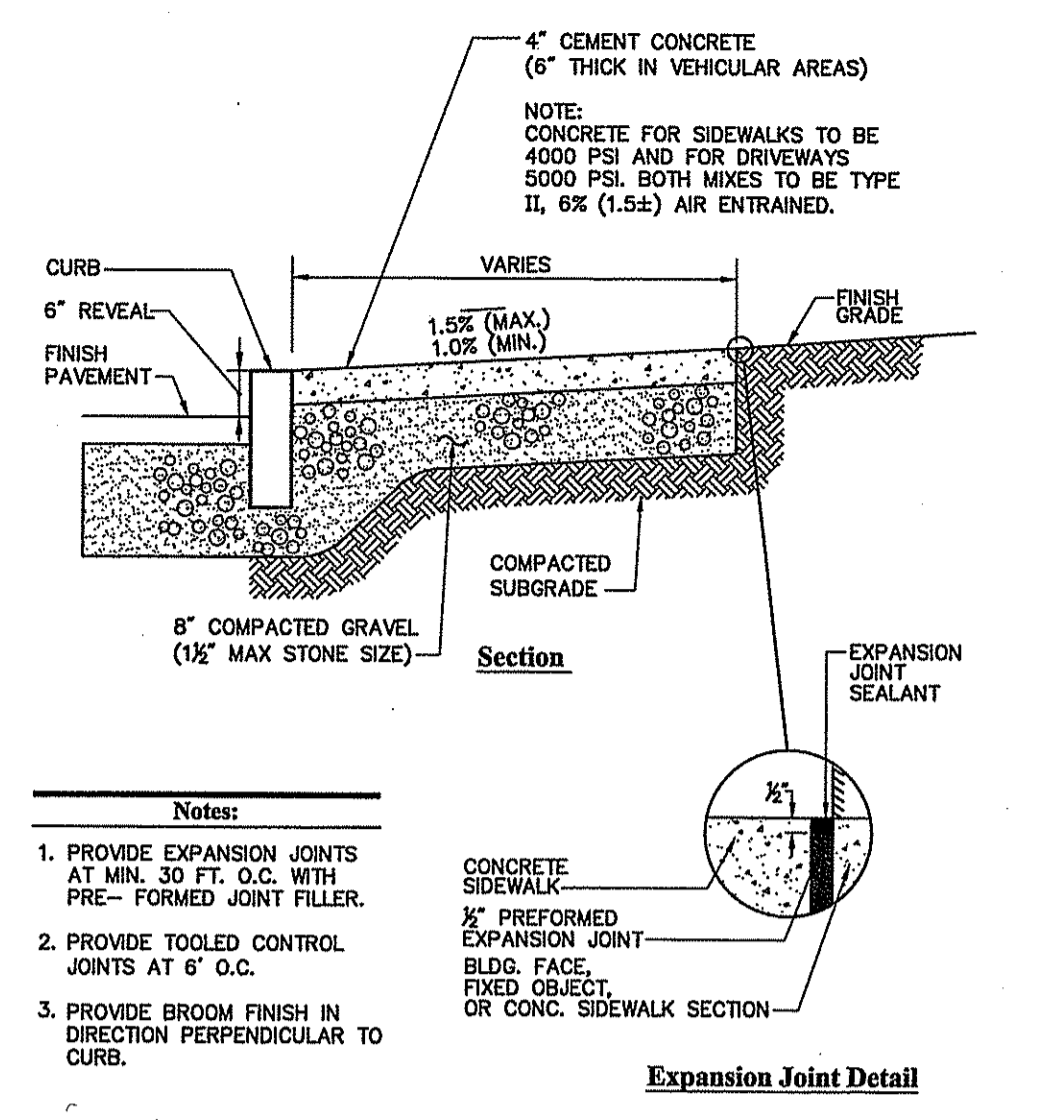
**Vanasse Hangen Brustlin, Inc.**

Transportation  
Land Development  
Environmental Services

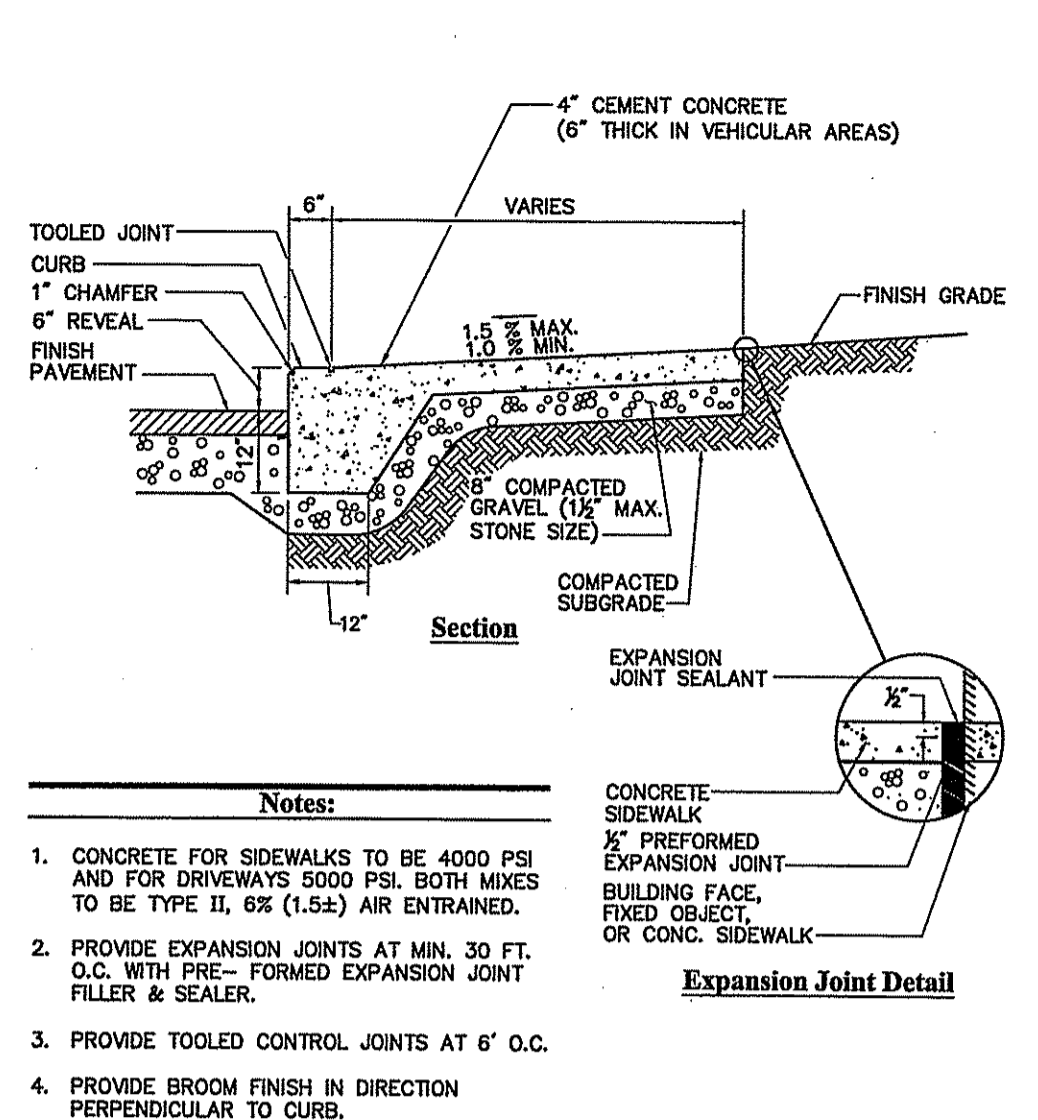
10 Dorrance Street, Suite 400  
Providence, Rhode Island 02903  
401.272.8100 • FAX 401.273.9694



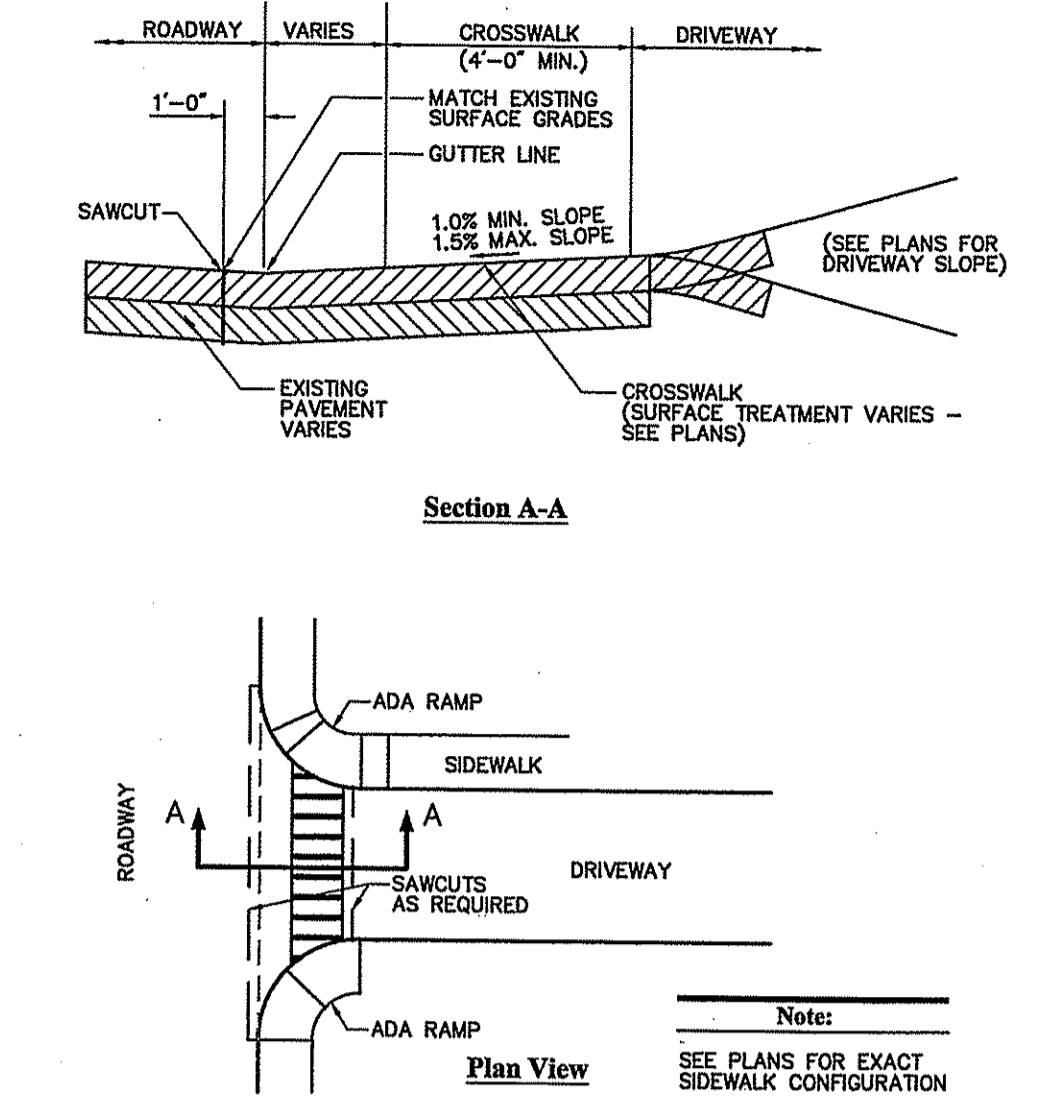
**Precast Concrete Curb (PCC)** 12/11  
N.T.S. Source: VHB LD\_404



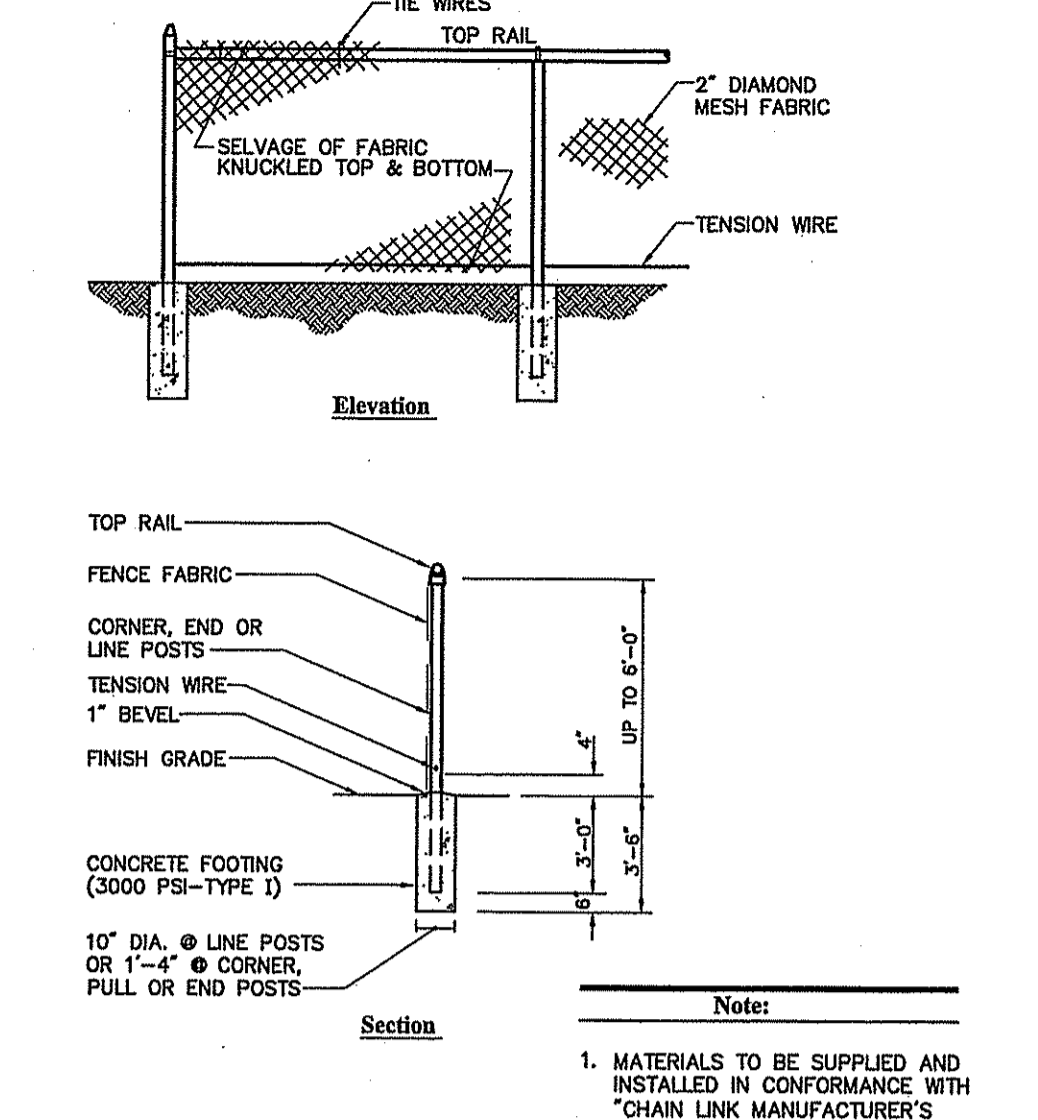
**Concrete Sidewalk** 4/11  
N.T.S. Source: VHB LD\_420



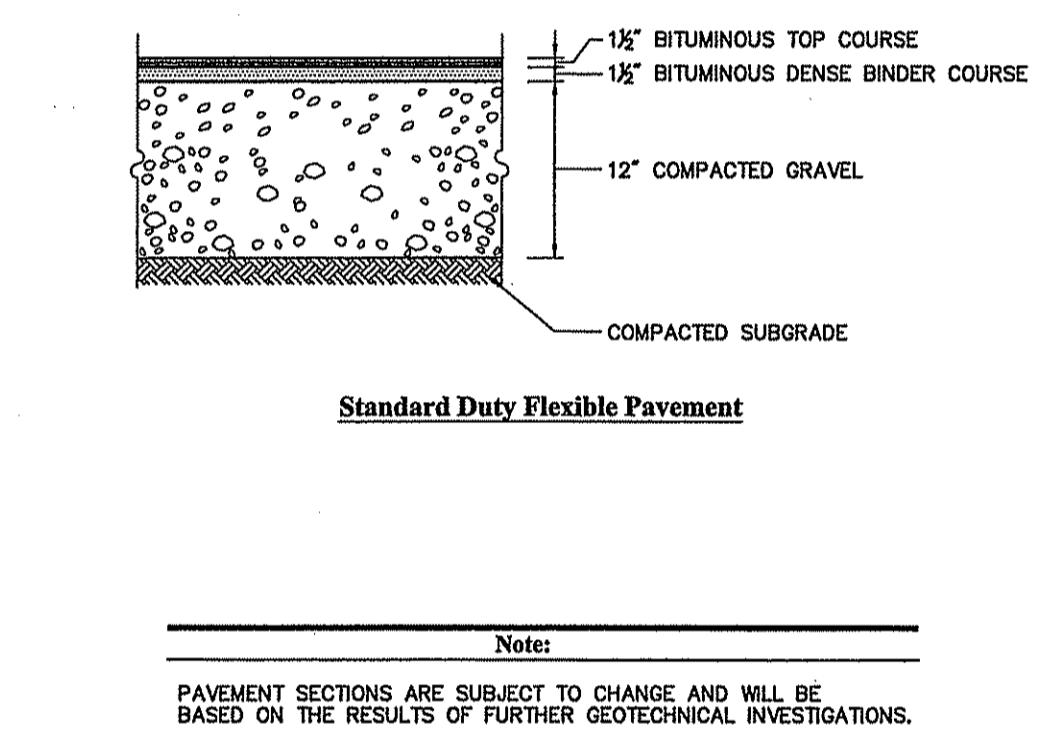
**Monolithic Concrete Curb (MCC) & Sidewalk** 12/11  
N.T.S. Source: VHB LD\_421



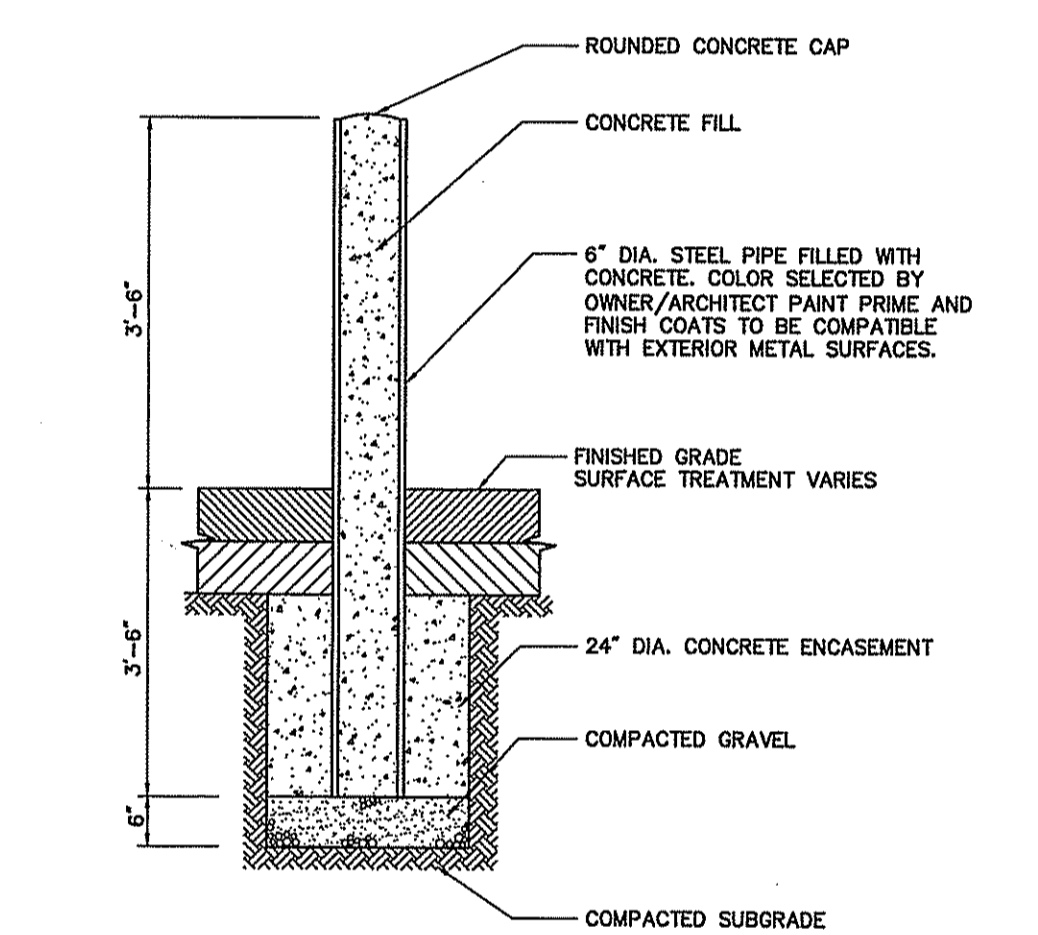
**Driveway Entrance/Crosswalk Section Detail** 6/08  
N.T.S. Source: VHB LD\_423



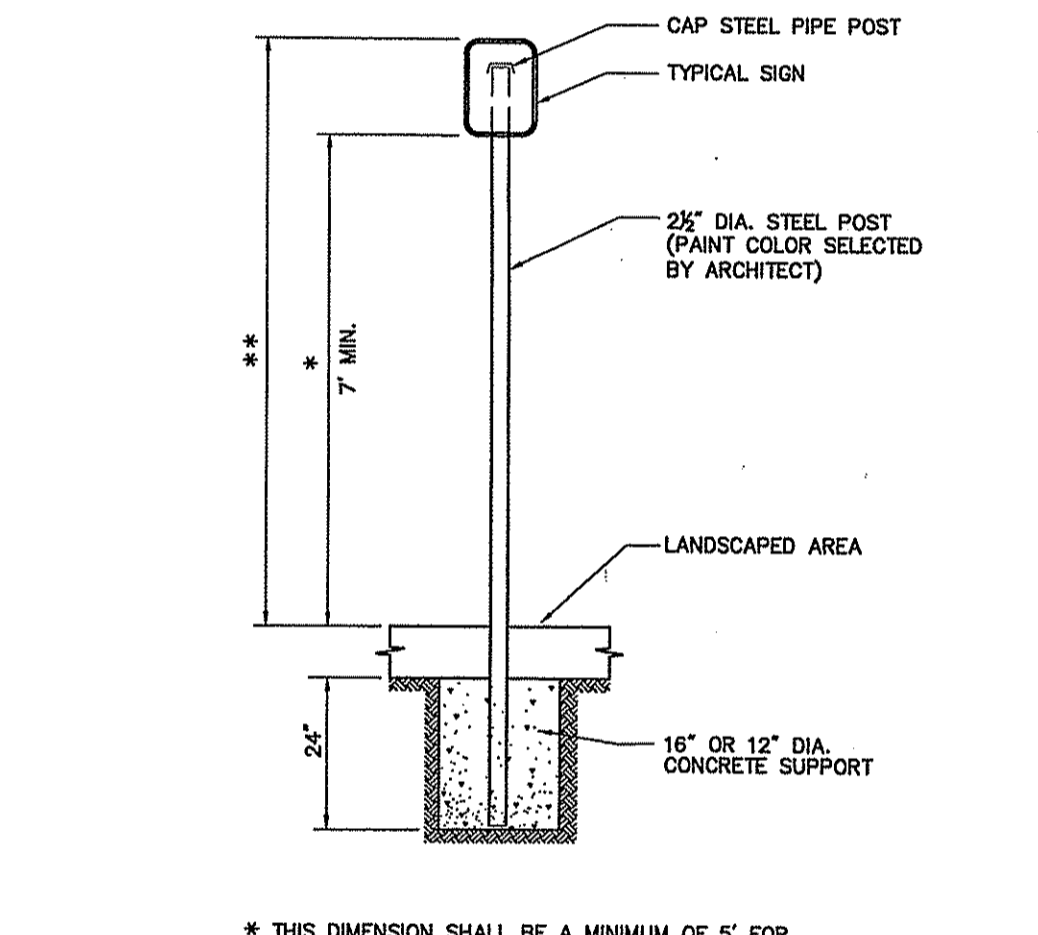
**Chain Link Fence up to 6'** 6/08  
N.T.S. Source: VHB LD\_481



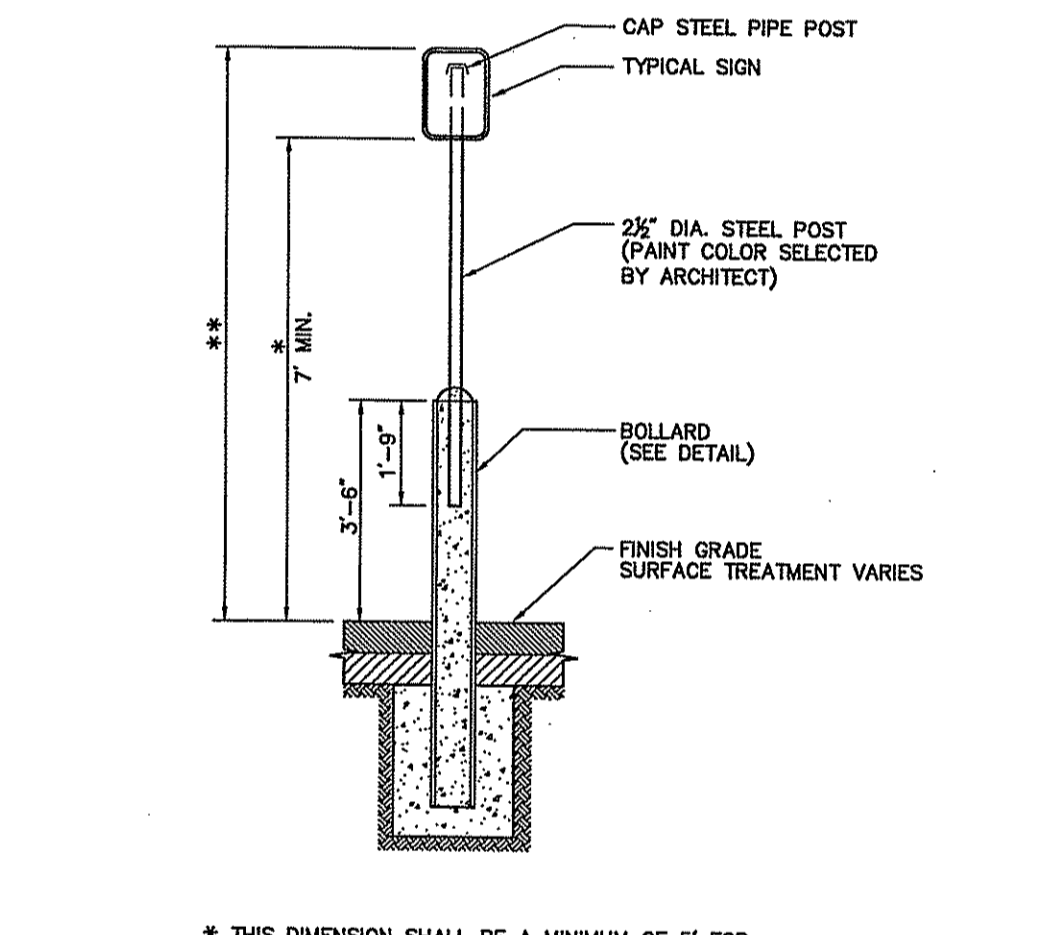
**Standard Duty Flexible Pavement**  
N.T.S. Source: VHB LD\_430



**Bituminous Concrete Pavement Sections** 12/11  
N.T.S. Source: VHB REV LD\_430



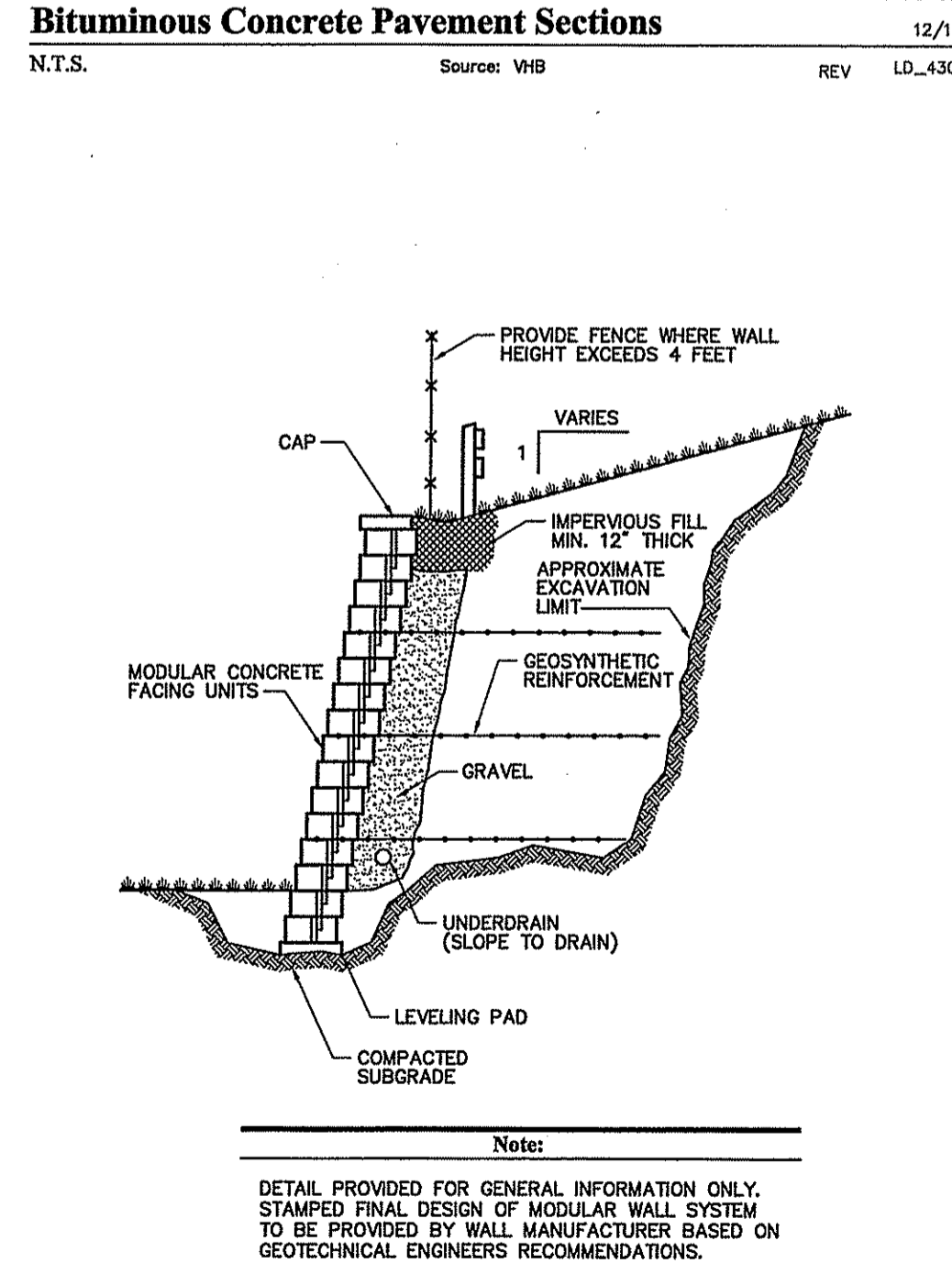
**Sign Post - Type 'A'** 4/12  
N.T.S. Source: VHB LD\_701



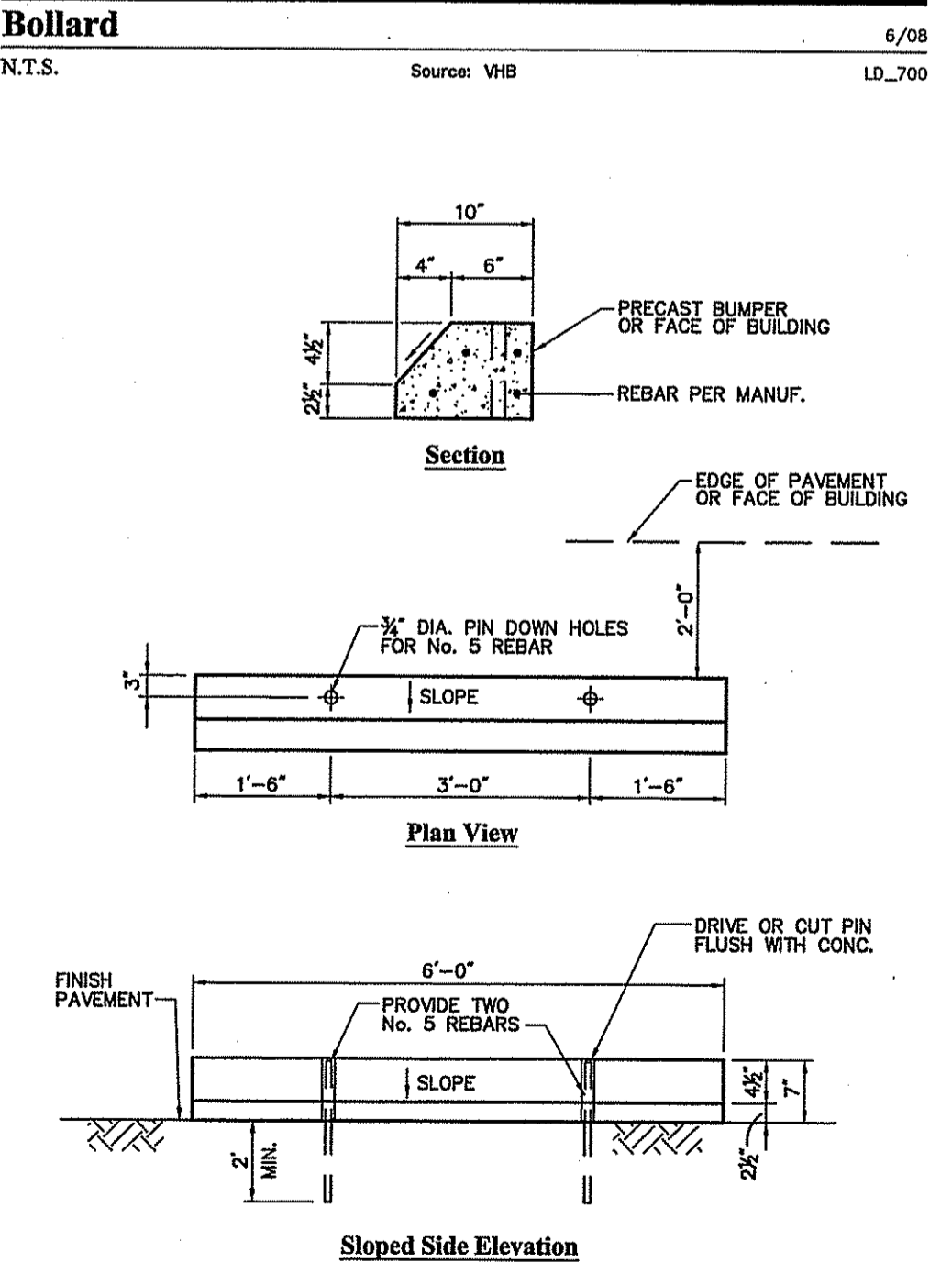
**Bollard Mounted Sign** 4/12  
N.T.S. Source: VHB LD\_703

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED: JUN 27 2014 FILE # 14-006  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

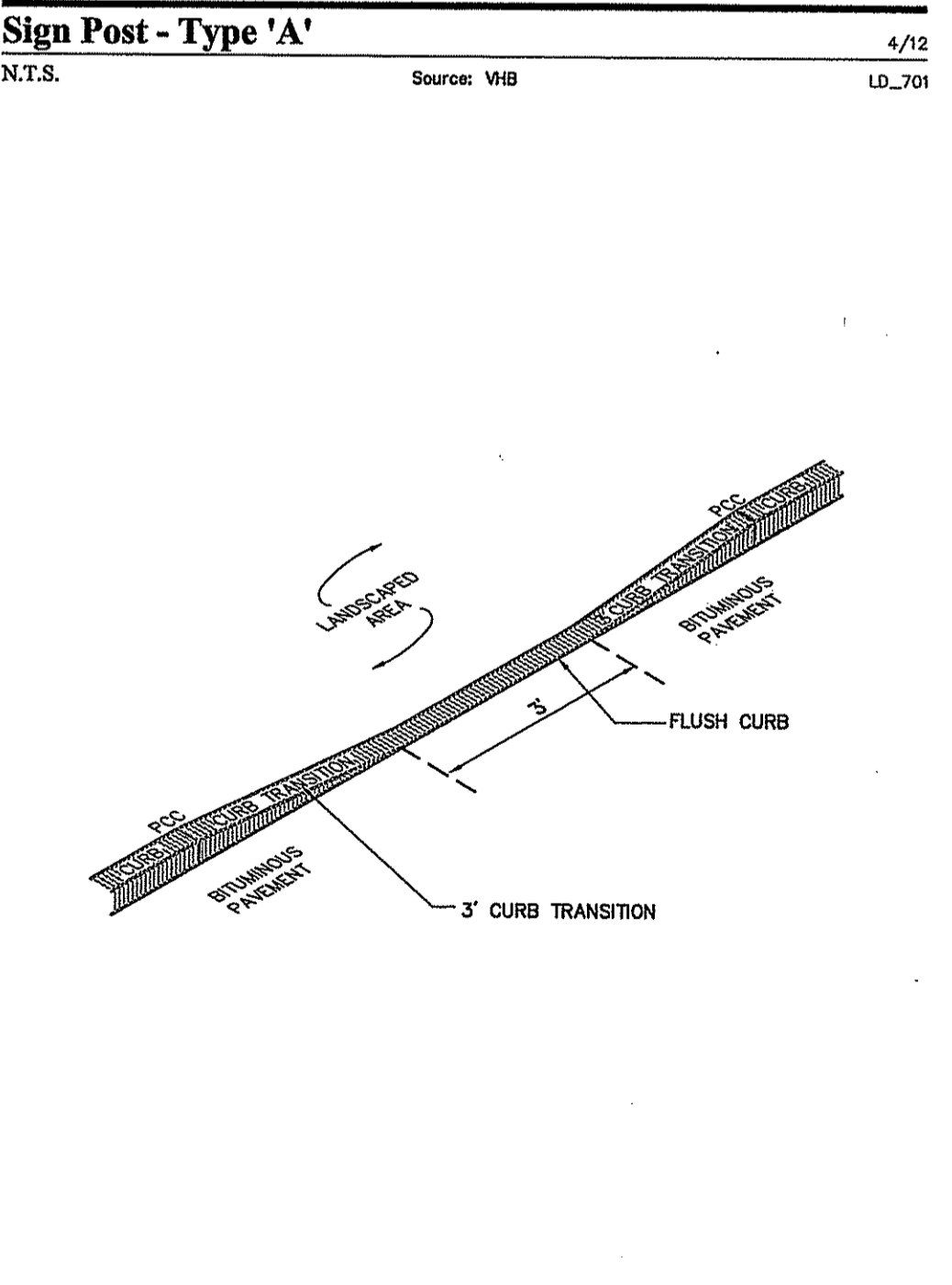
*Charles A. [Signature]*



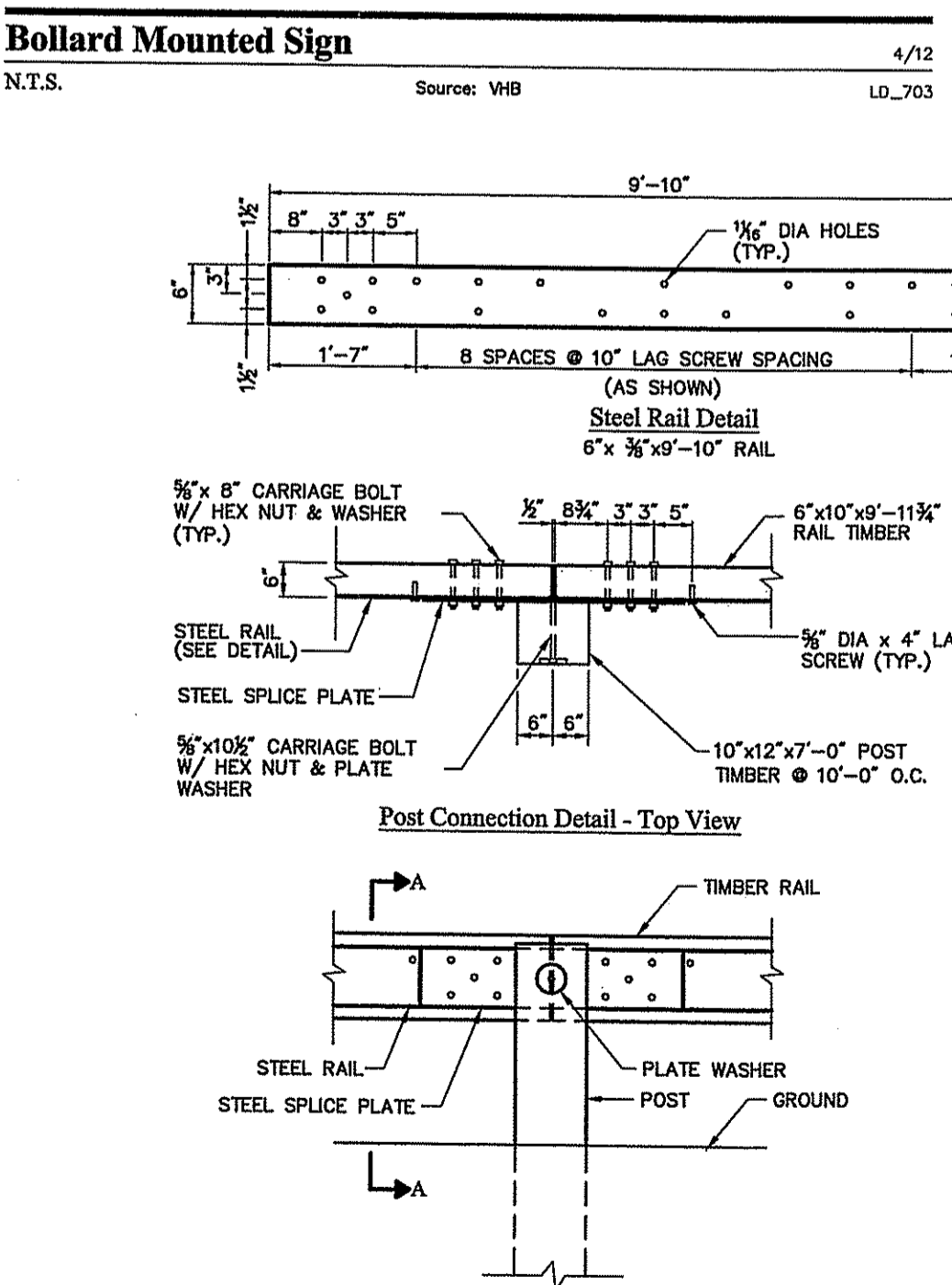
**Modular Retaining Wall** 6/08  
N.T.S. Source: VHB REV LD\_750



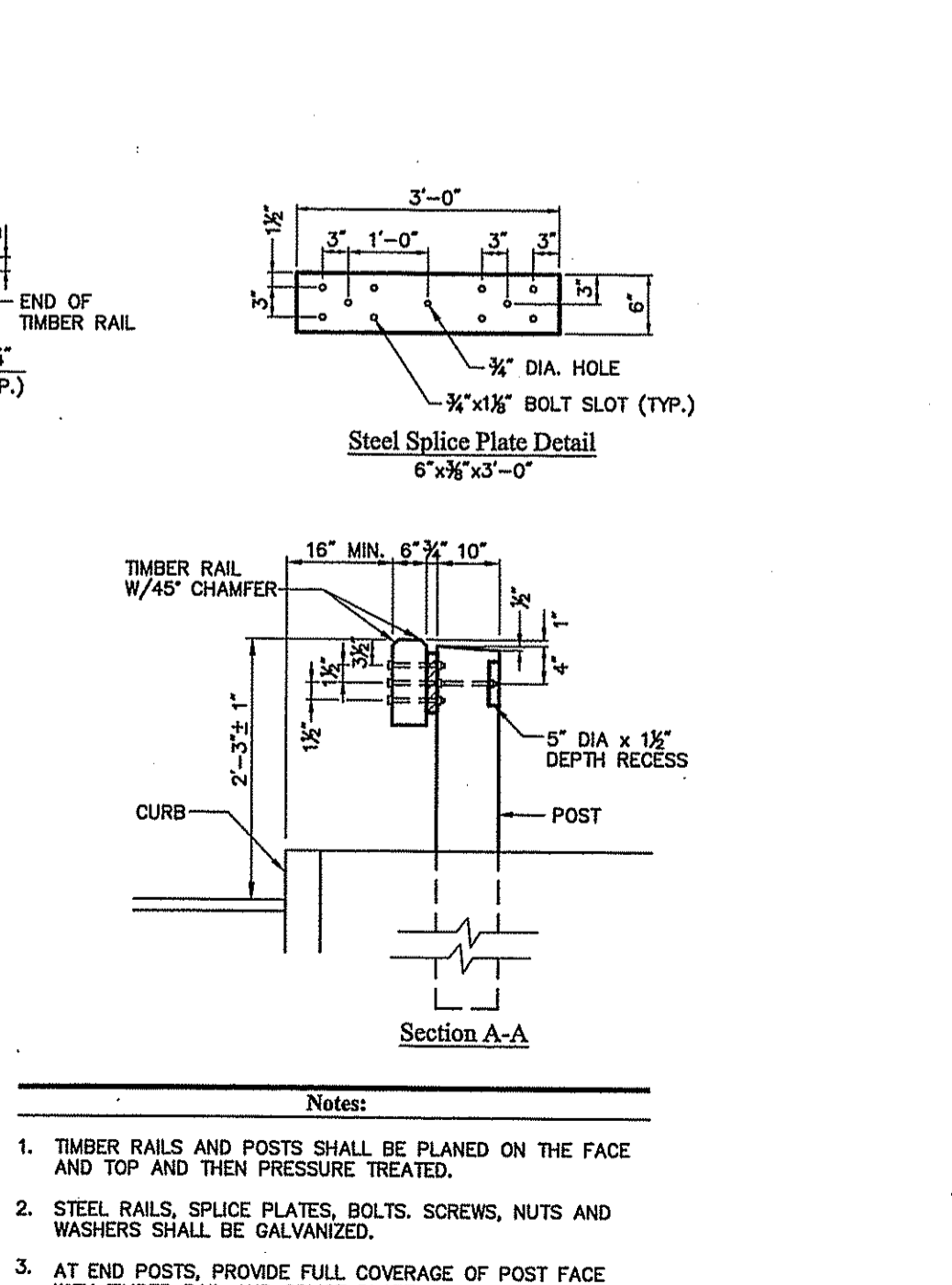
**Concrete Bumper** 6/08  
N.T.S. Source: VHB LD\_417



**Curb Break** 6/08  
N.T.S. Source: VHB REV LD\_500



**Steel-Backed Wood Guardrail** 6/08  
N.T.S. Source: VHB LD\_452



**Proposed Retail Development** 6/08  
N.T.S. Source: VHB LD\_452

No.	Revision	Date	Appr.

Designed by **GB** Drawn by **GB** Checked by  
CAD checked by Approved by  
State Date March 14, 2014  
Project Title

**Proposed Retail Development**  
77 Highland Avenue (Route 6)  
East Providence, Rhode Island  
Issued for

State Permitting  
Not Approved for Construction  
Drawing Title  
**Site Details 2**

RENEE L. CODEGA  
No. 6517  
REGISTERED PROFESSIONAL ENGINEER  
C-8  
Sheet of 8 11  
Project Number 72550.00  
5/14/14





Vanasse Hangen Brustlin, Inc.

Transportation  
Land Development  
Environmental Services

10 Dorrance Street, Suite 400  
Providence, Rhode Island 02903  
401.272.8100 • FAX 401.273.9694

**PRECAST CONCRETE CURB**

REVISIONS  
NO. BY DATE  
1. M.P. 6/15/98

R.I. STANDARD 7.1.0

**6\"/>

REVISIONS  
NO. BY DATE  
1. M.P. 6/15/98

R.I. STANDARD 7.1.2**

**PRECAST CONCRETE WHEELCHAIR RAMP TRANSITION CURB**

TRANSITION LENGTH (FT.)	BATTER (IN.)
6.0	1.3
7.0	1.2
8.0	1.0
11.0	0.8
15.0	0.6
18.0	0.5

REVISIONS  
NO. BY DATE  
1. M.P. 6/15/98

R.I. STANDARD 7.1.3

**Wheelchair Ramp Transition Curb Chart**

REVISIONS  
NO. BY DATE  
1. M.P. 6/15/98

R.I. STANDARD 7.1.3A

**PRECAST CONCRETE RAMP STONE**

REVISIONS  
NO. BY DATE  
1. M.P. 6/15/98

R.I. STANDARD 7.1.9

JUN - 6 2014

**CEMENT CONCRETE SIDEWALK**

REVISIONS  
NO. BY DATE  
1. M.P. 6/15/98

R.I. STANDARD 43.1.0

**WHEELCHAIR RAMP**

REVISIONS  
NO. BY DATE  
1. M.P. 6/15/98

R.I. STANDARD 43.3.0

**DRIVEWAY DEVELOPMENT FOR 6\"/>

REVISIONS  
NO. BY DATE  
1. M.P. 6/15/98

R.I. STANDARD 43.4.1**

**Street Cut and Match Detail**

N.T.S.

**Curb Setting**

N.T.S.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 27 2014 FILE # 14-0061  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

1	Response to Comments	6/8/14	
No.	Revision	Date	Apprv.
Designed by	CS	Drawn by	CS
CAD checked by		Approved by	
Scale		Date	March 14, 2014
Project Title			

**Proposed Retail Development**

77 Highland Avenue (Route 6)  
East Providence, Rhode Island

State Permitting

Not Approved for Construction

**Site Details 4**

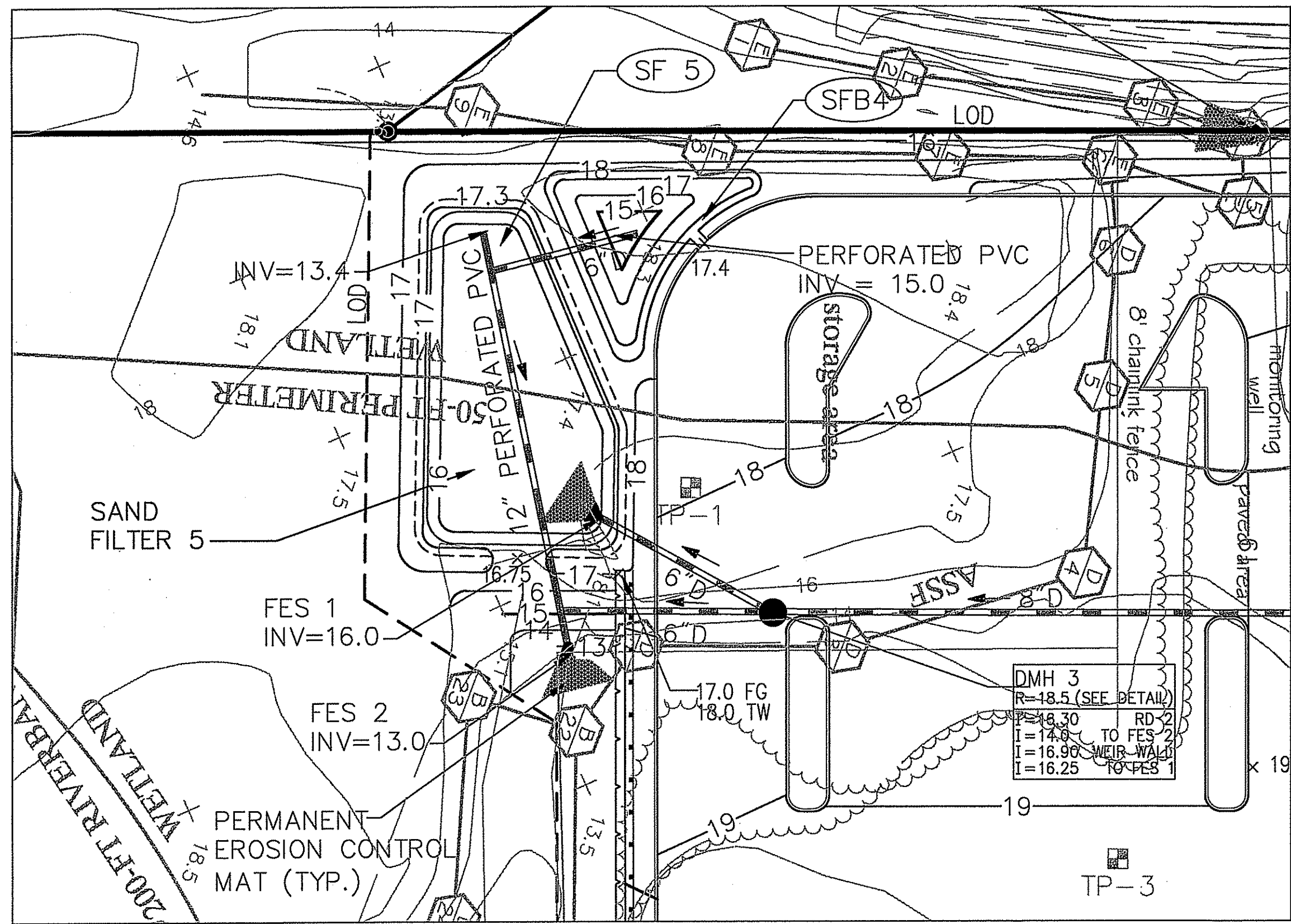
Drawing Number  
**C-10**  
Sheet of  
10 11  
Project Number  
72550.00



Vanasse Hangen Brustlin, Inc.

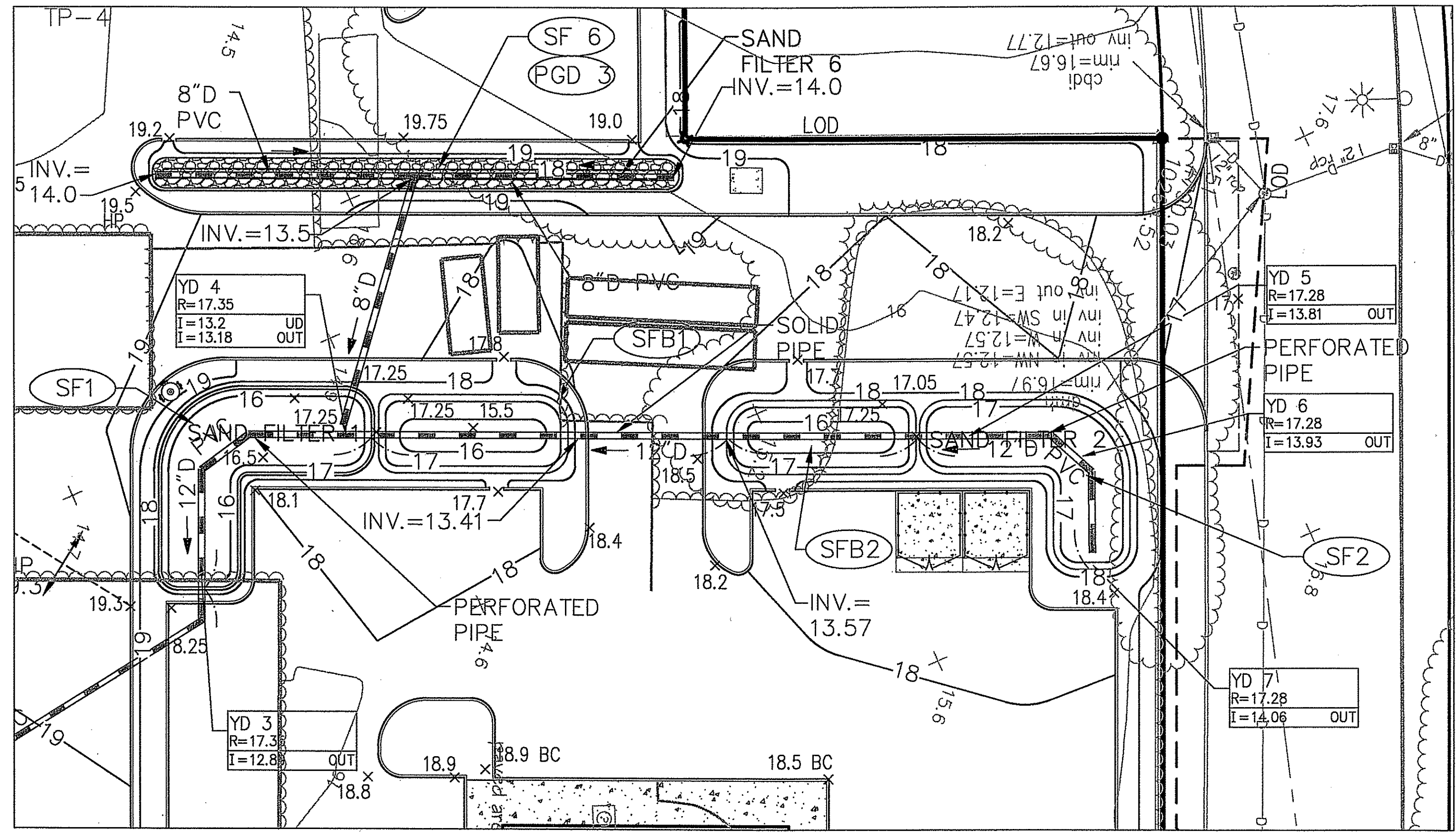
Transportation  
Land Development  
Environmental Services

10 Dorrance Street, Suite 400  
Providence, Rhode Island 02903  
401.272.8100 • FAX 401.273.9694



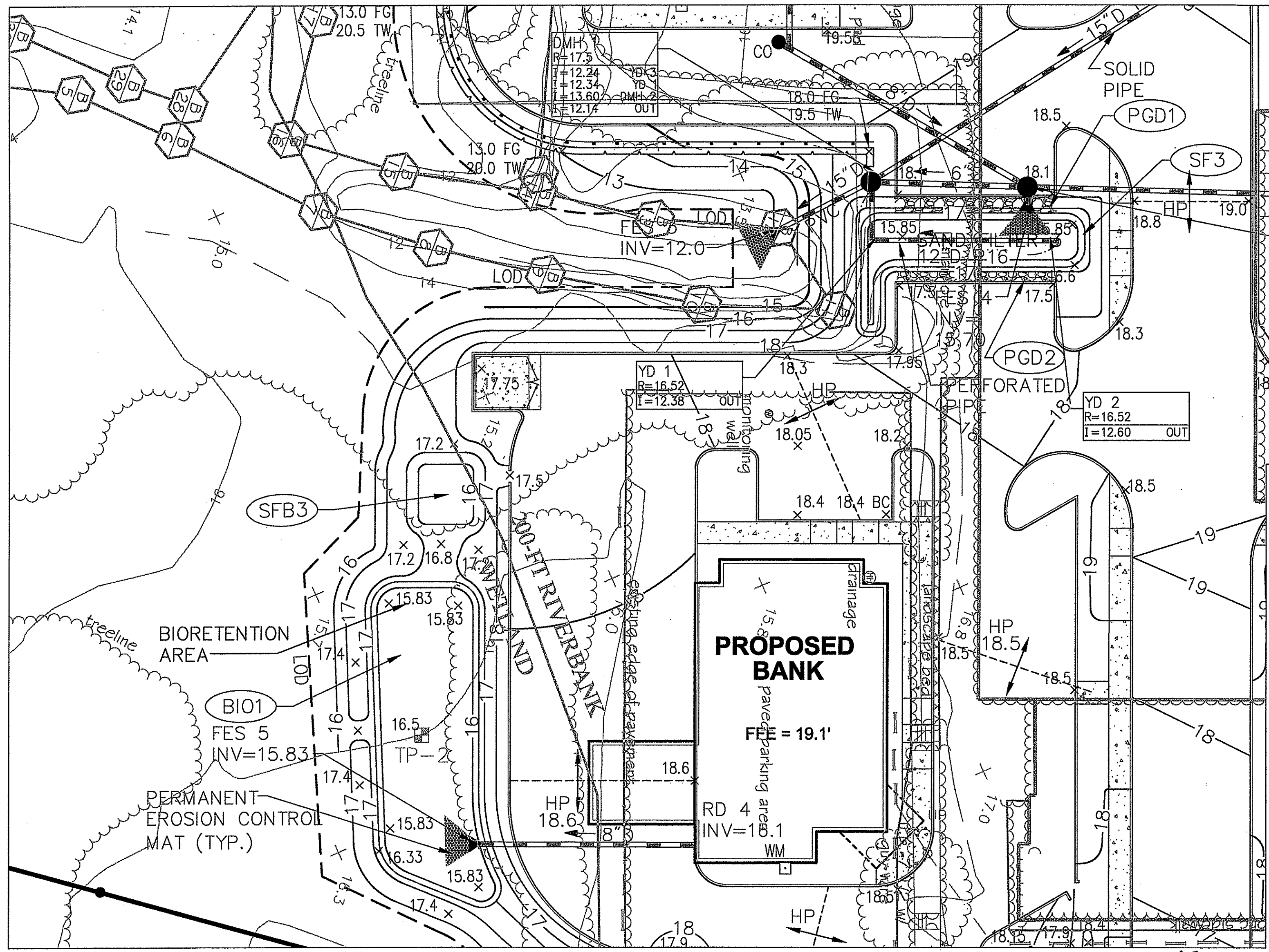
**Sand Filter 5** 6/2014

Source: VHB



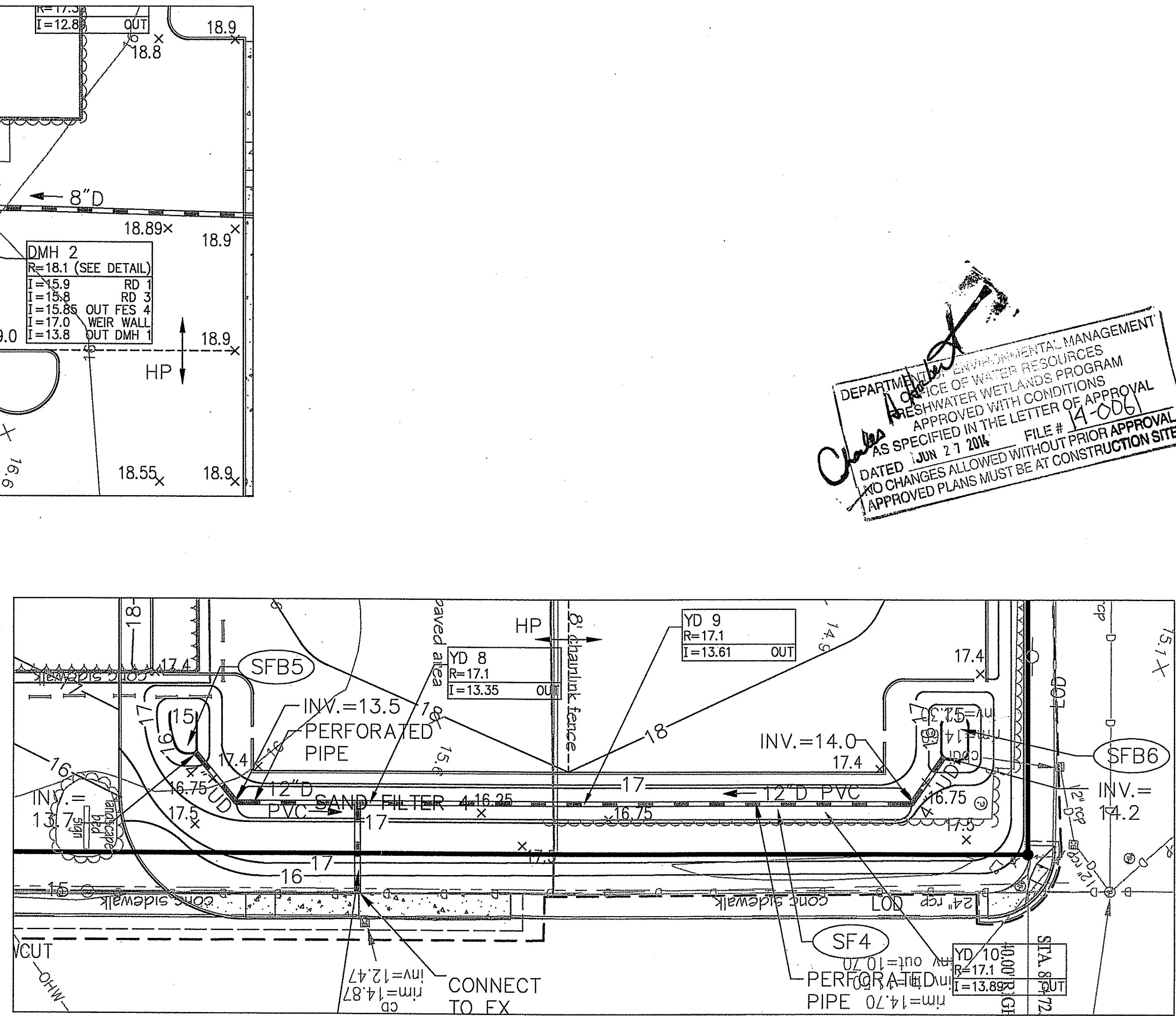
**Sand Filters 1, 2, & 6** 6/2014

Source: VHB



**Sand Filter 3 and Bioretention Area 1** 6/2014

Source: VHB



**Sand Filter 4** 6/2014

Source: VHB



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED JUN 27 2014 FILE # 14-0081  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

1	Response to Comments	6/6/14
No.	Revision	Date
Designed by	GB	Drawn by
CAD checked by		Approved by
Scale		Date
Project Title	March 14, 2014	

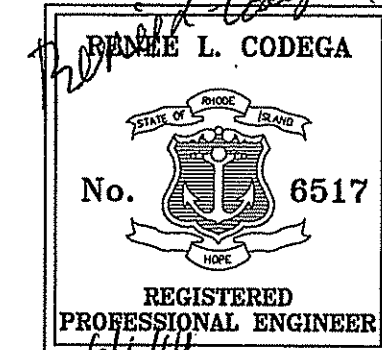
**Proposed Retail Development**

77 Highland Avenue (Route 6)  
East Providence, Rhode Island

State Permitting

Not Approved for Construction

**Site Details 5**



C-11

Sheet of 11 11

Project Number 72550.00

Saved Thursday, June 05, 2014 2:00:27 PM GB/IRE Plotted Thursday, June 05, 2014 2:00:49 PM Burke, Genevieve

Saved Thursday, June 05, 2014 1:30:20 PM G:\URVE Plotted Thursday, June 05, 2014 1:31:27 PM Burke, Genevieve

### Bioretention Area / Sand Filter Protection During Construction

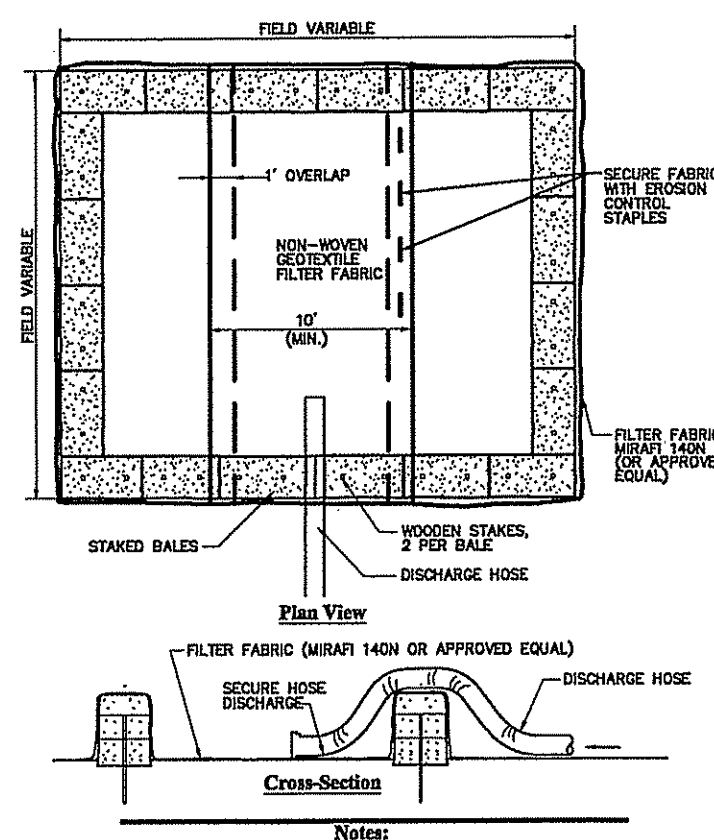
FOR THE LONG-TERM FUNCTION OF THE INFILTRATION SYSTEM, BIOFILTRATION BASIN, AND SAND FILTERS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

1. THESE AREAS SHALL NOT BE USED AS CONSTRUCTION SEDIMENTATION SYSTEMS.
2. ALL STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THESE AREAS.
3. CONSTRUCTION EQUIPMENT, VEHICULAR, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THESE AREAS. THE SUBGRADE BENEATH SHALL NOT BE COMPACTED.
4. EXCAVATION FOR CONSTRUCTION OF THESE SYSTEMS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL FILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACT OF THE SUBGRADE.
5. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE SYSTEMS TO PREVENT THE USE OF THESE AREAS FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES. THE FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.
6. THE BIORETENTION BASIN AND SAND FILTERS SHALL BE PROTECTED WITH EROSION CONTROLS IMMEDIATELY UPON INSTALLATION TO PREVENT CLOGGING OF FILTER MATERIALS. THESE AREAS SHALL NOT BE USED AS SEDIMENTATION OR DEWATERING BASINS.

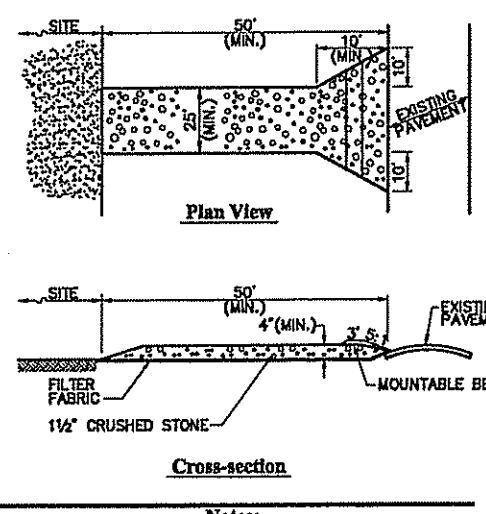
### Grass Channel Protection During Construction

FOR THE LONG-TERM FUNCTION OF THE GRASS SWALES, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

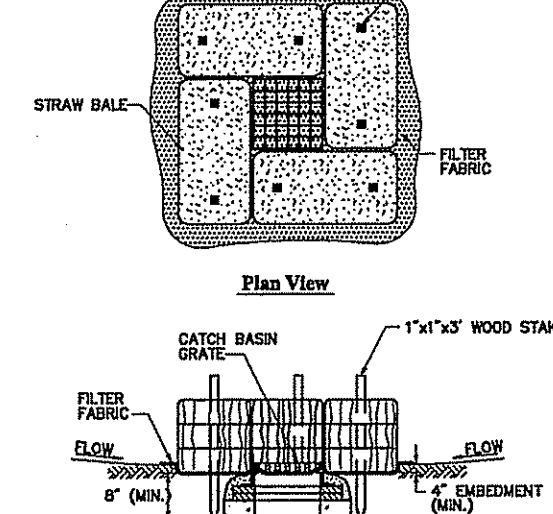
1. THESE AREAS SHALL NOT BE USED AS CONSTRUCTION SEDIMENTATION SYSTEMS.
2. ALL STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THESE AREAS.
3. CONSTRUCTION EQUIPMENT, VEHICULAR, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THESE AREAS. THE SUBGRADE BENEATH SHALL NOT BE COMPACTED.
4. EXCAVATION FOR CONSTRUCTION OF THESE SYSTEMS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL FILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACT OF THE SUBGRADE.
5. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE SYSTEMS TO PREVENT THE USE OF THESE AREAS FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES. THE FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.
6. THE SWALE SHALL BE PROTECTED WITH EROSION CONTROL BLANKETS IMMEDIATELY UPON INSTALLATION TO PREVENT CLOGGING OF FILTER MATERIALS. THESE AREAS SHALL NOT BE USED AS SEDIMENTATION OR DEWATERING BASINS.



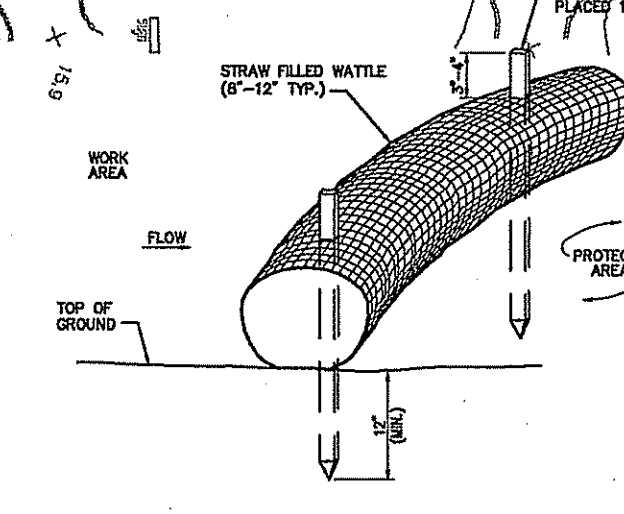
**Dewatering Straw Bale Basin**  
 1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.  
 2. THE BASIN TO BE SIZED TO PREVENT DISCHARGE WATER FROM THE BASIN.  
 N.T.S. Source: VIB 10-2011



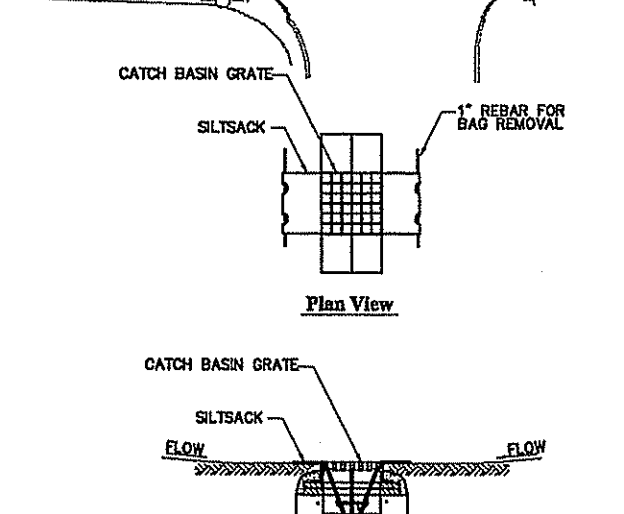
**Stabilized Construction Exit**  
 1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INCREASE OF ELEVATION OCCURS.  
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT STAGNATION OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP AND BOTTOM CLEANING OF THE ENTRANCE. ALL SEDIMENT SPILLS, CLOGS, AND REPAIR OR CLEANUP OF ANY MATERIALS USED TO STABILIZE THE ENTRANCE SHALL BE PERFORMED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.  
 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.  
 N.T.S. Source: VIB 10-2011



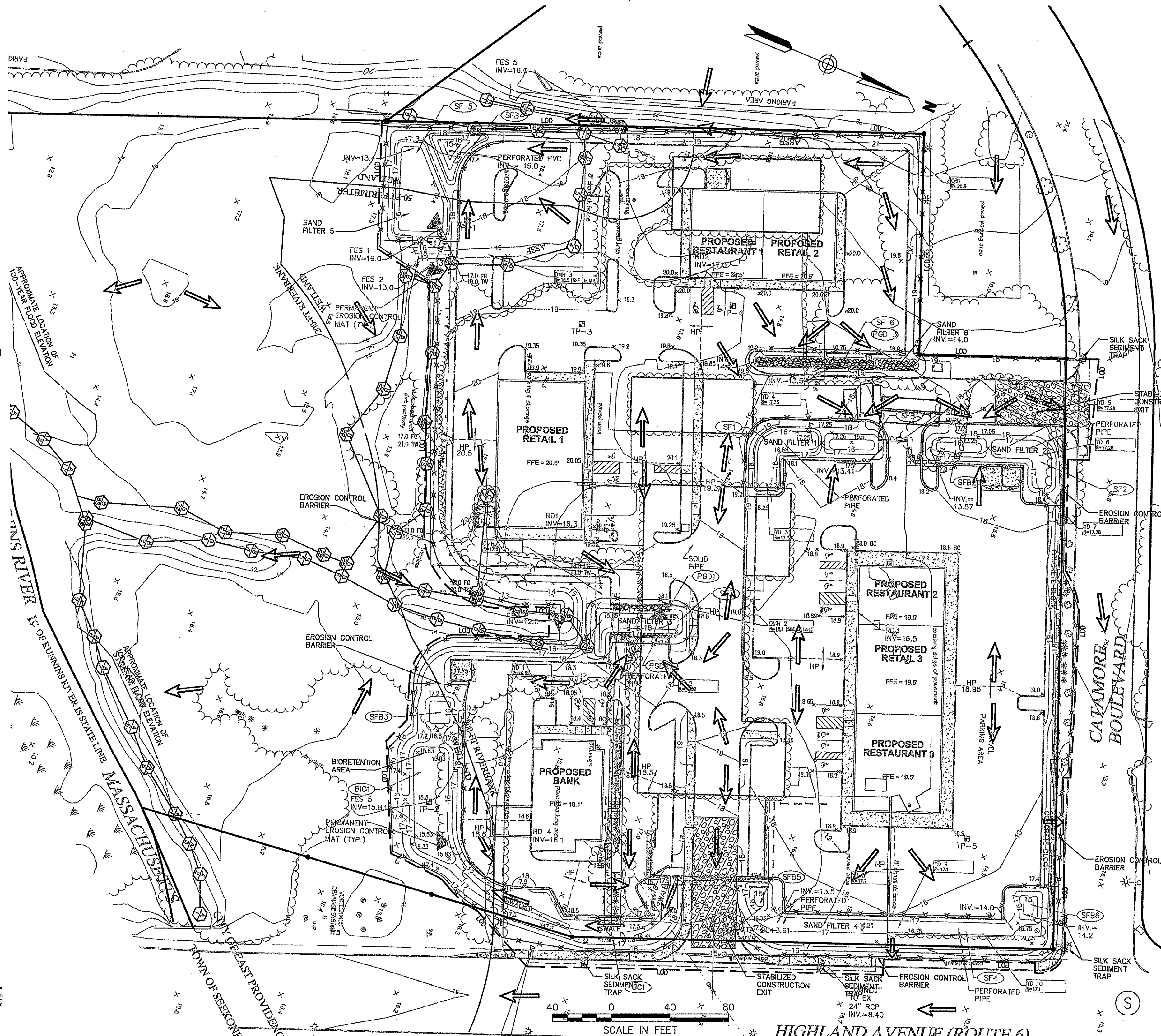
**Catch Basin Sediment Trap**  
 1. ENCLOSE STRUCTURE WITH HANDBRAKE IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION TO MAINTAIN INTO PLACE UNDER COURSE OF CONSTRUCTION. ALL SEDIMENT SPILLS, CLOGS, AND REPAIR OR CLEANUP OF ANY MATERIALS USED TO STABILIZE THE ENTRANCE SHALL BE PERFORMED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.  
 2. IF GRATE IS DAMAGED DURING CONSTRUCTION, GRATE SHALL BE REPLACED IMMEDIATELY.  
 3. GRATE TO BE PLACED OVER FILTER FABRIC.  
 4. BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED IMMEDIATELY AS NEEDED.  
 N.T.S. Source: VIB 10-2011



**Straw Wattle - Erosion Control Barrier**  
 1. STRAW WATTLE SHALL BE AS MANUFACTURED BY EARTHSAVER OR APPROVED EQUAL.  
 2. STRAW WATTLES SHALL OVERLAP A MINIMUM OF 12 INCHES.  
 3. STRAW WATTLE SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED IMMEDIATELY AS NEEDED.  
 4. TEMPORARY STRAW WATTLES TO BE REMOVED BY CONTRACTOR, ALL OTHERS TO REMAIN IN PLACE UNLESS DIRECTED OTHERWISE BY ENGINEER.  
 5. IF NON BIODEGRADABLE NETTING IS USED, THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.  
 N.T.S. Source: VIB 10-2011



**Siltsack Sediment Trap**  
 1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER FINISH COURSE IS PLACED AND MAY BALES HAVE BEEN REMOVED.  
 2. GRATE TO BE PLACED OVER SILTSACK.  
 3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED IMMEDIATELY AS NEEDED. MAINTENANCE UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.  
 N.T.S. Source: VIB 10-2011



### General

1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 6 INCHES LOAM AND SEED.
4. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
5. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECTED MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
7. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
8. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
9. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE RIDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND RIDEM/CRMC JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A NOTICE OF INTENT WITH THE RIDEM AND PREPARE AND MAINTAIN A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE RIDES REGULATIONS.
10. STAGING AND STOCKPILE AREAS SHALL NOT BE LOCATED WITHIN ANY WETLAND AND ABUTTING RESOURCE AREA AND SHALL BE LOCATED WITHIN THE LOD.
11. THE CONTRACTOR SHALL RED LINE THE SOIL EROSION AND SEDIMENT CONTROL PLAN BY ADDING THE FOLLOWING:  
 a. BUILDING MATERIALS STAGING AREAS  
 b. STOCKPILE AREAS. EROSION CONTROLS SHALL BE PLACED AT THE BASE OF ALL STOCKPILES.  
 c. DESIGNATED WASHOUT AREAS.  
 d. TEMPORARY SEDIMENT BASIN AREAS.

### Erosion Control

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
6. STABILIZED CONSTRUCTION EXIT. A CROSS SLOPE WILL BE PLACED IN THE ENTRANCE TO DIRECT RUNOFF TO A PROTECTED SETTLING AREA. IF DETERMINED NECESSARY AFTER CONSTRUCTION BEGINS, A WASH PAD MAY BE INCLUDED TO WASH OFF VEHICLE WHEELS BEFORE LEAVING THE PROJECT SITE.
7. TEMPORARY SEDIMENT/DEWATERING BASINS WILL BE DESIGNED EITHER AS EXCAVATIONS OF BERMED STORMWATER DETENTION STRUCTURES THAT WILL RETAIN RUNOFF FOR A SUFFICIENT PERIOD OF TIME TO ALLOW SUSPENDED SOIL PARTICLES TO SETTLE OUT PRIOR TO DISCHARGE. BASINS WILL BE LOCATED AS DETERMINED BY THE CONTRACTOR BASED ON CONSTRUCTION NEEDS. POINT OF DISCHARGE FROM SEDIMENT BASINS WILL BE STABILIZED TO MINIMIZE EROSION. BASINS SHALL NOT BE LOCATED IN PERMANENT INFILTRATION AREAS, SAND FILTERS OR SWALES. ALL PROPOSED TEMPORARY SEDIMENT BASINS SHALL BE SIZED IN ACCORDANCE WITH MINIMUM STANDARD 10 OF THE RIDISM AND ENGINEERING CALCULATIONS SHALL BE PROVIDED.
8. VEGETATIVE SLOPE STABILIZATION WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR STEEPER. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SODDING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

**VHB**  
**Vanasse Hangen Brustlin, Inc.**  
 Transportation  
 Land Development  
 Environmental Services  
 10 Dorrance Street, Suite 400  
 Providence, Rhode Island 02903  
 401.272.8100 • FAX 401.273.9694

### NOTES:

1. TOTAL SITE AREA = 8.6± ACRES  
 TOTAL SOIL DISTURBANCE = 5.3± ACRES
2. NO PORTION OF SITE FALLS WITHIN OR DIRECTLY DISCHARGES TO A NATURAL HERITAGE AREA (NHA), OR OTHERWISE IMPACTS THREATENED SPECIES OR HABITATS.
3. RECEIVING WATERS: RUNNINS RIVER.

JUN - 6 2014

### LEGEND

- (SFB) SEDIMENT FOREBAY
- (SF) SAND FILTER
- (GC) GRASS CHANNEL
- (BIO) BIOFILTRATION AREA
- (PGD) PEA GRAVEL DIAPHRAGM
- (Arrow) PROPOSED STORMWATER RUNOFF FLOW PATH

No.	Revision	Date	Apprv.
1	Response to Comments	6/6/14	

Designed by **GB** Drawn by **GB** Checked by  
 CAD checked by Approved by  
 Scale **As Noted** Date **March 14, 2014**  
 Project Title

**Proposed Retail Development**  
 77 Highland Avenue (Route 6)  
 East Providence, Rhode Island  
 issued for

**State Permitting**  
 Not Approved for Construction  
 Drawing Title

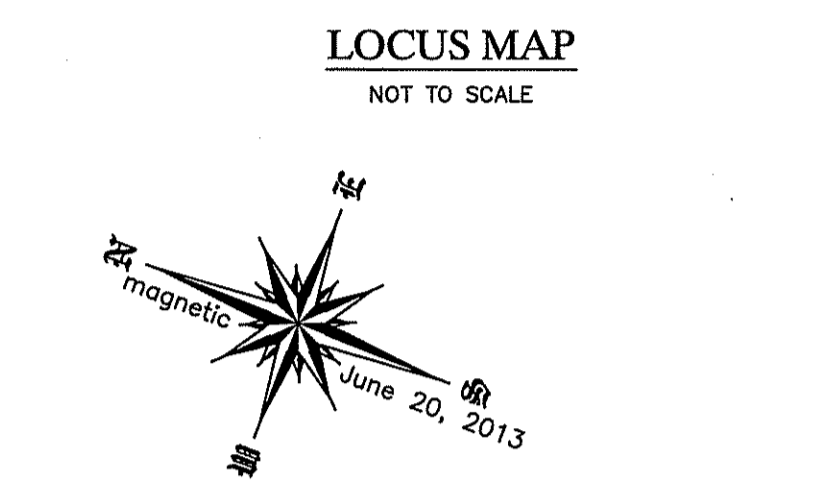
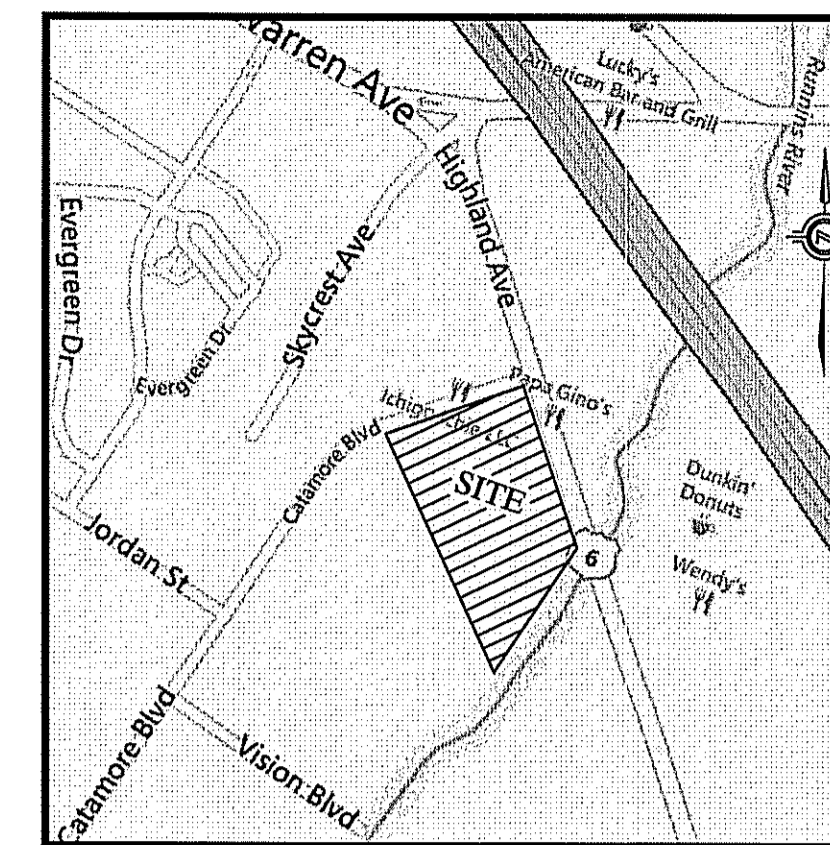
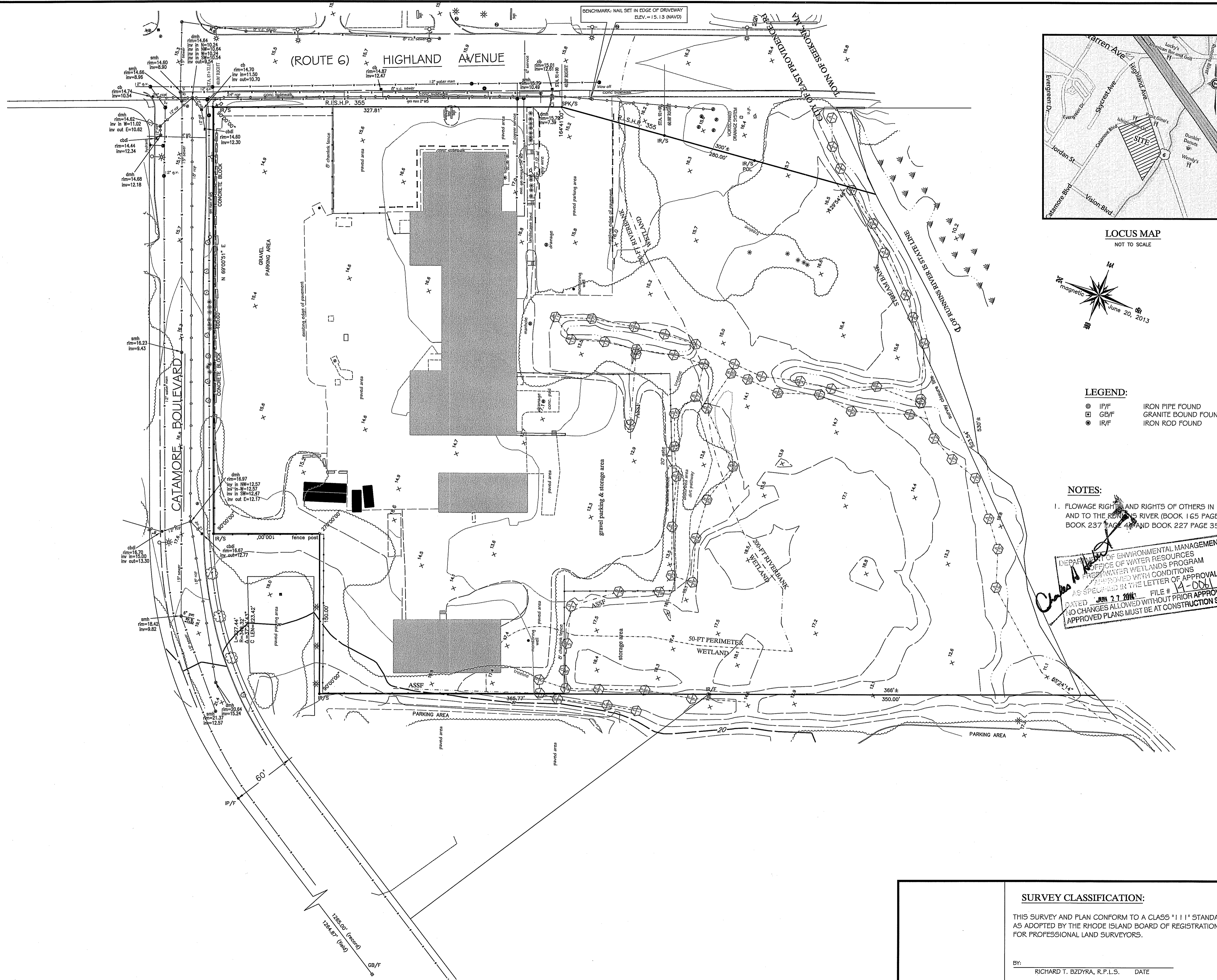
**Soil Erosion and Sediment Control Plan**

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 BUREAU OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED **JUN 27 2014** FILE # **14-0861**  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

6517  
 REGISTERED PROFESSIONAL ENGINEER  
**SESC-1**  
 Sheet 1 of 1  
 Project Number 72550.00  
 72550 SESC.DWG







**LEGEND:**  
 ○ IP/F IRON PIPE FOUND  
 □ GB/F GRANITE BOUND FOUND  
 ● IR/F IRON ROD FOUND

**NOTES:**  
 1. FLOWAGE RIGHTS AND RIGHTS OF OTHERS IN AND TO THE SHEWAN RIVER (BOOK 165 PAGE 350, BOOK 237 PAGE 43 AND BOOK 227 PAGE 357)

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 APPROVED WITH CONDITIONS  
 AS SPECIFIED IN THE LETTER OF APPROVAL  
 DATED JUN 27 2014 FILE # 14-DD-01  
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**SURVEY CLASSIFICATION:**  
 THIS SURVEY AND PLAN CONFORM TO A CLASS "1" STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS.

By: RICHARD T. BZDYRA, R.P.L.S. DATE

**TOPOGRAPHIC SURVEY PLAN**  
 A.P. 608, BLOCK 2, LOTS 1, 2 & 4  
 77 HIGHLAND AVENUE  
 EAST PROVIDENCE, RHODE ISLAND  
 Prepared For:  
 LINK COMMERCIAL PROPERTIES, LLC

JUN - 6 2014

**Ocean State Planners, Inc.**  
 SURVEYORS • ENGINEERS • DESIGNERS  
 1255 OAKLAWN AVENUE CRANSTON, RHODE ISLAND  
 PHONE (401) 463-9696 FAX (401) 463-9039

REVISION:  
 DATE: JULY 16, 2013  
 DRAWN BY: DCD  
 SCALE: 1" = 40'  
 GRAPHIC SCALE  
 SHEET  
**1**  
 OF 1 SHEETS  
 JOB NO. 8311  
 DWG. NO. 8311 - TOPO