

**General Notes:**

1. THIS PLAN IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH A CLASS IV STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS AN ACCURATE SURVEY AND MAY BE SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.
2. THE SITE IS LOCATED ON THE TOWN OF WEST WARWICK ASSESSOR'S PLAT 29 LOT 4.
3. THE SITE IS APPROXIMATELY 19.8± ACRES AND IS ZONED R-10 (RESIDENCE 10).
4. LIMITED EXISTING CONDITIONS, TOPOGRAPHY AND WETLAND FLAGGING OBTAINED FROM A FIELD SURVEY BY DIPRETE ENGINEERING IN DECEMBER 2013. ELEVATIONS, IN US SURVEY FEET ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).
5. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44063C001176, EFFECTIVE DATE DECEMBER 3, 2010.
6. WETLAND SERIES A1-A7 SHOWN ON THIS PLAN WERE DELINEATED AND LOCATED BY DIPRETE ENGINEERING ON OCTOBER 18, 2013. OTHER WETLANDS SHOWN FROM PLAN ENTITLED "CONCEPT PLAN, AP 29, LOT 4, EAST GREENWICH AVENUE, WEST WARWICK, RI 02893," BY INSITE ENGINEERING SERVICES LLC, DATED JUNE 25, 2008.
7. THE SOILS IN THE AREA OF THE SITE TO BE DISTURBED ARE:  
Rc RAYPOL SILT LOAM

OTHER SOILS ON THE SITE ARE:  
 Aa ADRIAN MUCK  
 BnB BRIDGEHAMPTON SILT LOAM, TILL SUBSTRATUM, 0-3% SLOPES  
 BnB BRIDGEHAMPTON-CHARLTON COMPLEX, VERY STONY, 0-8% SLOPES  
 NdB NARRAGANSETT VERY STONY SILT LOAM, 0-8% SLOPES  
 Rc RAYPOL SILT LOAM  
 Sb SCARBORO MUCKY SANDY LOAM  
 ScA SCIO SILT LOAM, 0-3% SLOPES  
 WcB WAPPING VERY STONY SILT LOAM, 0-8% SLOPES

(REFERENCE: SOIL SURVEY OF RHODE ISLAND, U.S.D.A. SOIL CONSERVATION SERVICE)

8. THE SITE IS ENTIRELY VEGETATED.
9. FINAL GRADING SHALL DIRECT ROOF RUNOFF INTO THE PROPOSED RAIN GARDENS.
10. ROOF RUNOFF MITIGATION PROVIDED THROUGH RAIN GARDENS SIZED TO ACCOMMODATE 1,500 SF OF ROOF RUNOFF PER TABLES 7, AND 8. RAIN GARDEN SIZING GUIDANCE FOR SILTY SOILS\* FOUND IN THE "STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT," UPDATED MAY 20, 2011.

**RAIN GARDEN SIZING CALCULATION**

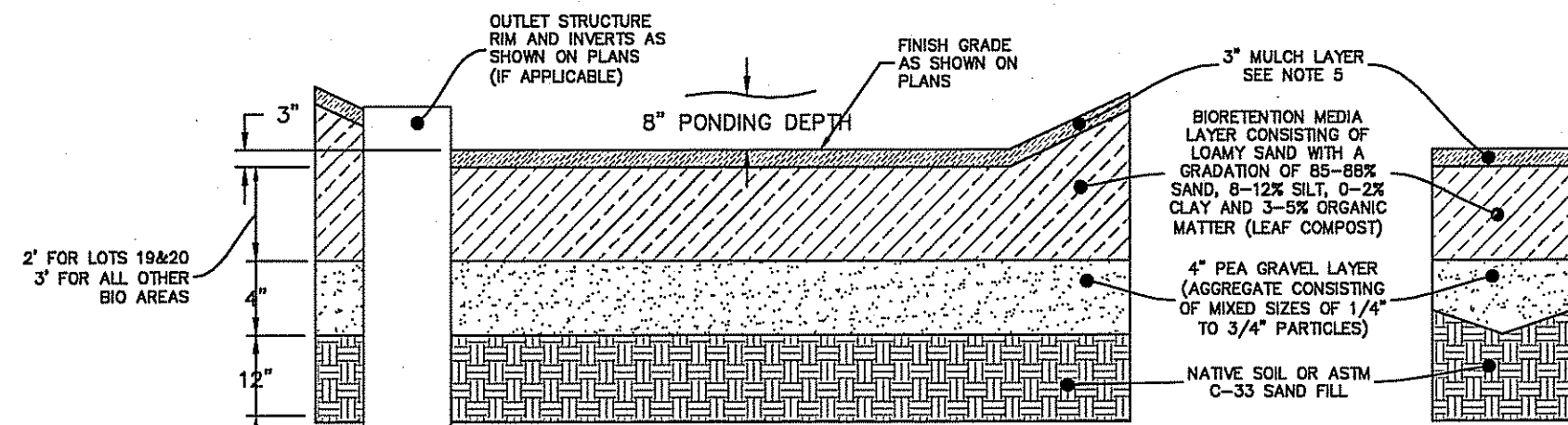
PROPOSED BUILDING IMPERVIOUS AREA (ROOF AREA): 1,920 SF  
 REQUIRED SURFACE AREA FOR 1,000 SF DRAINAGE AREA = 160 SF FOR 8" DEEP GARDEN  
 REQUIRED SURFACE AREA FOR 1,000 SF DRAINAGE AREA = 160 SF FOR 8" DEEP GARDEN  
 TOTAL SURFACE AREA REQUIRED FOR AN 8" RAIN GARDEN FOR 2,000 SF ROOF RUNOFF: 320 SF  
 RAIN GARDEN SURFACE AREA PROVIDED: 320 SF

\* RAIN GARDEN SURFACE AREA IN SILTY SOILS USED IN LIEU OF SOIL TEXTURE DETERMINATION

11. PROPOSED ELECTRIC, SEWER AND WATER SERVICES TO TIE INTO EXISTING SERVICES AND TO BE COORDINATED WITH APPROPRIATE UTILITY COMPANY/ AUTHORITY AND ENGINEERED BY OTHERS.

**NOTES:**

1. BIORETENTION AREAS SHALL BE PLANTED PER APPENDIX B OF THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION MANUAL OR LANDSCAPE PLANS. LANDSCAPE FEATURES ON LANDSCAPE PLANS SUPERCEDE THESE PLANS.
2. BIORETENTION AREAS SHALL BE HAND COMPACTED ONLY. NO MACHINES SHALL BE DRIVEN THROUGH OR OPERATED WITHIN THE BIORETENTION FOOTPRINT.
3. BIORETENTION AREAS SHALL BE PROTECTED WITH SILT FENCE (RIDOT STD 9.2.0) OR APPROVED EQUAL ONCE BIORETENTION SOIL HAS BEEN INSTALLED. AREA IS TO REMAIN PROTECTED UNTIL ALL TRIBUTARY AREAS HAVE BEEN STABILIZED AND APPROVAL FROM THE DESIGN ENGINEER. NO CONSTRUCTION TRAFFIC IS ALLOWED ON BIORETENTION MEDIA.
4. BIORETENTION AREAS DESIGNED AS AN INFILTRATION SYSTEM SHALL BE PROTECTED WITH SILT FENCE (RIDOT STD 9.2.0) OR APPROVED EQUAL AT THE START OF CONSTRUCTION. NO CONSTRUCTION TRAFFIC IS ALLOWED WITHIN BIORETENTION LIMITS THROUGHOUT CONSTRUCTION.
5. THE MULCH LAYER SHALL BE SHREDDED HARDWOOD MULCH THAT IS WELL (AGED STOCKPILED/STORED FOR AT LEAST 6 MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS (WEED SEEDS, SOIL, ROOTS ETC.).

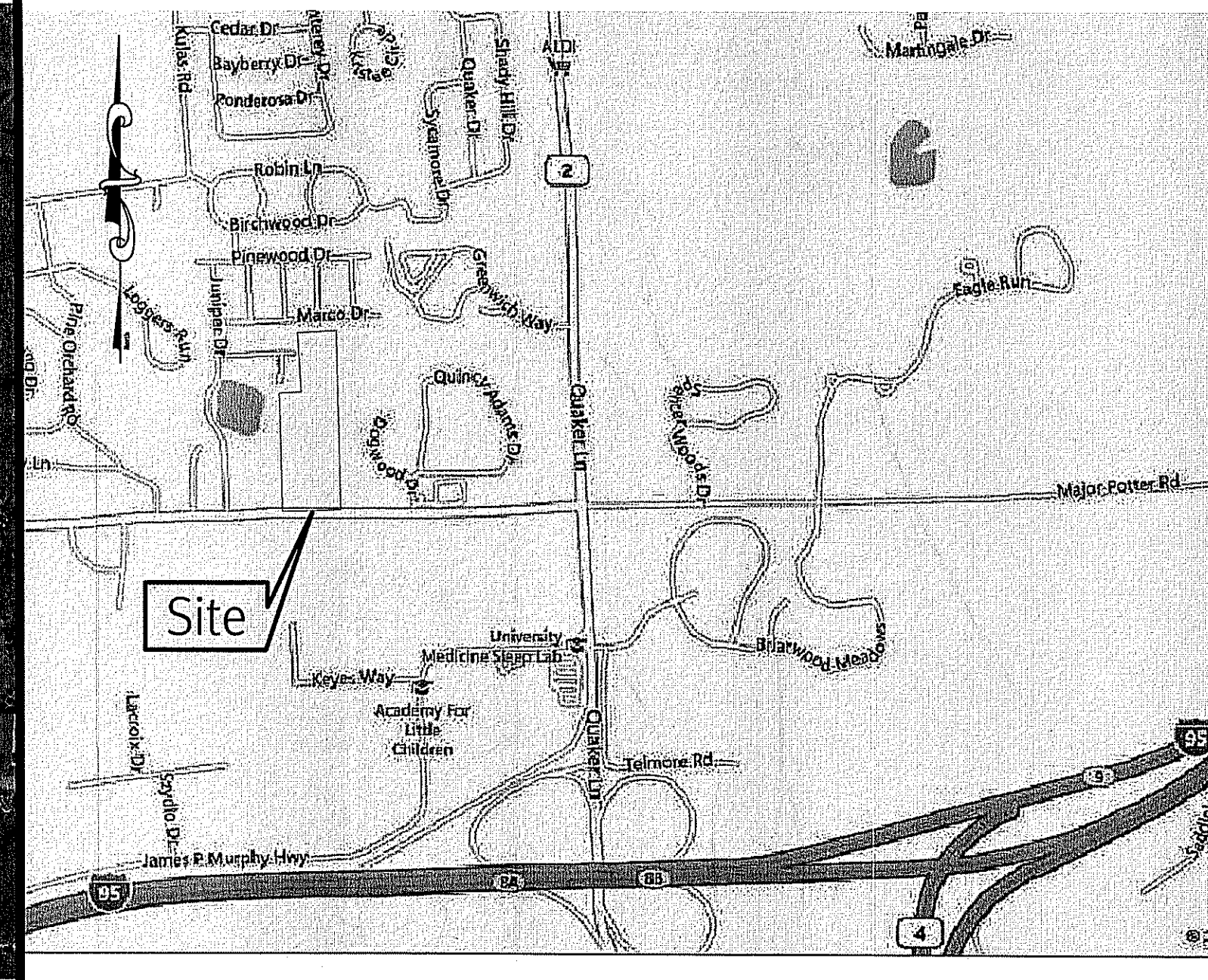


**TYPICAL RAIN GARDEN 8" DEEP CROSS SECTION**

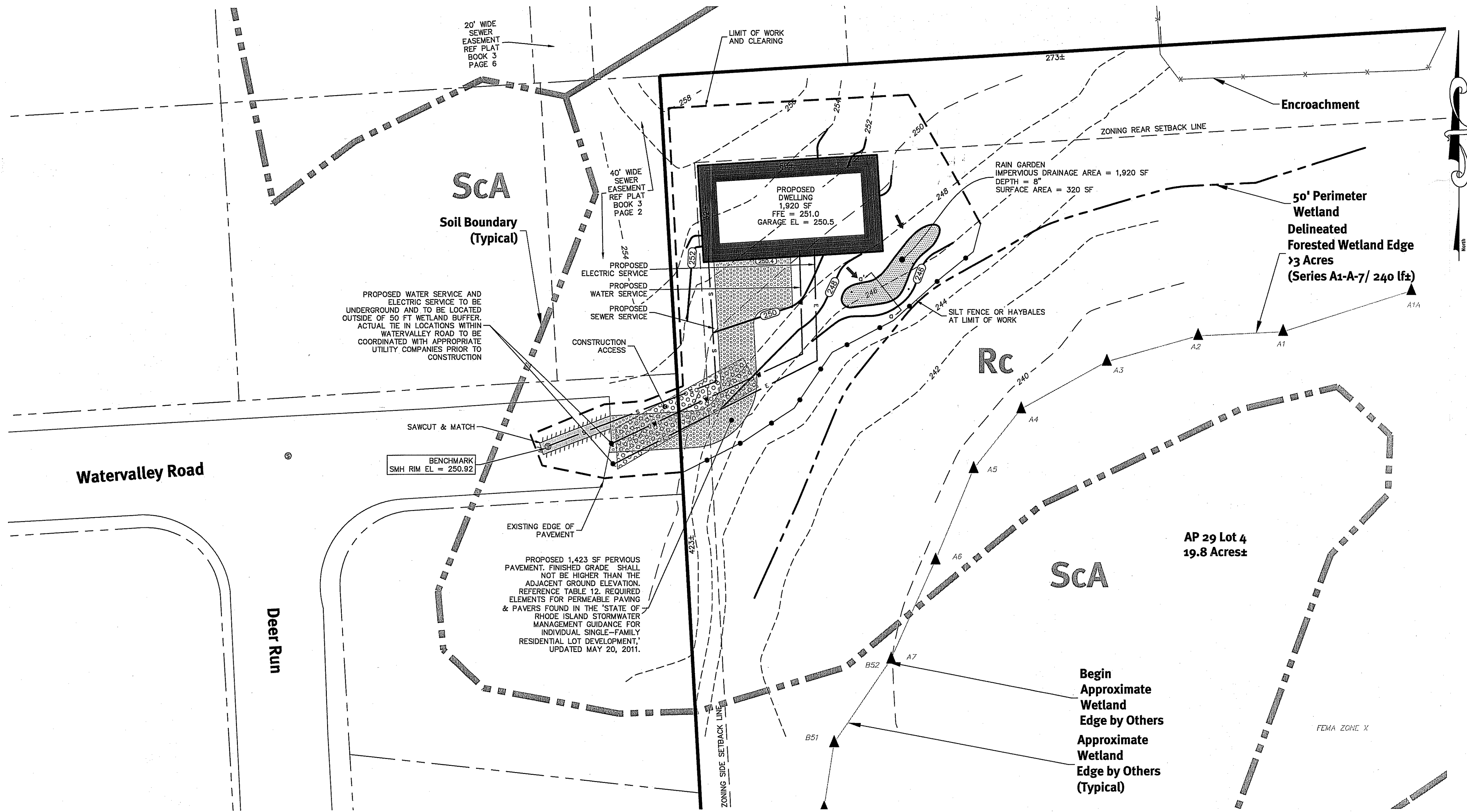
(a-a')  
NOT TO SCALE



Overall Site Plan Scale: 1"=250'



Locus Map Not to Scale



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
 OFFICE OF WATER RESOURCES  
 FRESHWATER WETLANDS PROGRAM  
 REVIEWED SITE PLAN APPLICATION NO.: 14-0075  
 DATED MAY 13 2014  
 SEE LETTER OF SAME DATE.  
 Matthew D. Wenczek

**Dimensional Regulations:**

CURRENT ZONING:	R-10
MINIMUM LOT AREA:	10,000 SF
MINIMUM FRONTAGE:	80'
MINIMUM FRONT AND CORNER SIDE YARD:	30'
MINIMUM SIDE YARD:	10'
MINIMUM REAR YARD:	30'
MAXIMUM STRUCTURE HEIGHT:	30'
MINIMUM LANDSCAPED OPEN SPACE:	20%

**Legend:**

- PROPERTY LINE
- ASSESSOR'S LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- PROPOSED WATERLINE
- PROPOSED ELECTRIC LINE
- PROPOSED SEWER LINE
- LIMIT OF WORK
- SILT FENCE/HAYBALES
- DIRECTIONAL FLOW ARROW
- SAWCUT & MATCH
- SOIL BOUNDARY
- 50' PERMITER WETLAND
- WETLAND FLAG

**Diprete Engineering**  
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 Engineers • Planners • Surveyors

**CHRISTOPHER A. DUHAMEL**  
 REGISTERED PROFESSIONAL ENGINEER

This regulatory submission set shall not be used for construction purposes unless stamped 'Issued for Construction' and signed by a Diprete Engineering representative.  
 The contractor is responsible for all of the means, methods, safety precautions and requirements, and OSHA conformance in the implementation of this plan and design.

DATE	DESCRIPTION	DESIGN BY
05/02/2014	Final Submission	CA
04/24/2014	Final Preliminary Determination	BR
No.	Date	Description
		Drawn By: JCA/CA

**Site Plan**  
**Watervalley Road**  
 Assessor's Plat 29, Lot 4  
 West Warwick, Rhode Island  
 Applicant: **HA Fisher Homes**  
 831 Bald Hill Road, Warwick, Rhode Island 02886  
 tel. (401) 739-9500  
 DE/Job No. 0216-042 Copyright 2014 by Diprete Engineering Associates, Inc.

**MAINTENANCE: SHORT TERM / LONG TERM.**

- THE STONE STABILIZATION PADS AT THE SITE ENTRANCE SHALL BE MAINTAINED BY THE CONTRACTOR. THE MAINTENANCE SHALL INCLUDE TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND OR AS DIRECTED BY THE ENGINEER. ALL SEDIMENTS SPILLED, DROPPED, WASHED, OR TRACKED ON THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
- ALL HAY BALES/SILT FENCE, TEMPORARY TREATMENTS (HAY, STRAW, ETC.), AND TEMPORARY PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. HAY BALES/SILT FENCE SHALL BE INSPECTED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH STORM EVENT OR EVERY 7 DAYS, WHICHEVER COMES FIRST, FOR UNDERMINING AND DETERIORATION. A STORM EVENT SHALL BE DEFINED AS 0.25 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE HAY BALES/SILT FENCE SHALL BE REPAIRED OR REPLACED AS WARRANTED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY BALES/SILT FENCE BECOMES FILLED IN WITH SEDIMENT. THE HAY BALES/SILT FENCE SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. FOLLOWING CONFIRMATION FROM THE OWNER AND OR THE PROJECT ENGINEER THAT AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER HAS BEEN ESTABLISHED THE HAY BALES/SILT FENCE SHALL BE REMOVED.
- THE CONTRACTOR SHALL MAINTAIN ALL TOPSOIL STOCKPILES AND SEDIMENT BARRIERS THROUGHOUT CONSTRUCTION. EXTREME CARE SHALL BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT SPILL OVER THE SEDIMENT BARRIER. HAY BALES OR SILT FENCE SHALL BE STAKED AROUND THE STOCKPILES.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEED, PROTECTED, AND MAINTAINED BY THE CONTRACTOR FOLLOWING FINAL GRADING AND CONSTRUCTION. THE CONTRACTOR SHALL CHECK ALL SEEDING AREAS REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. THE CONTRACTOR MUST REPAIR OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND INSPECTION OF THE DRAINAGE BMP'S DURING AND UP TO A YEAR AFTER COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE OWNER. THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER. THE DRAINAGE BMP'S SHALL BE INSPECTED/MAINTAINED AS DETAILED BELOW.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, MAINTENANCE AND REPAIR TO ALL DRAINAGE STRUCTURES AND RELATED APPURTENANCES ON SITE DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION FOR A MAXIMUM OF ONE YEAR, OR UNTIL ACCEPTANCE BY THE ENGINEER AND THE OWNER AND THE OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE THEREAFTER.
- A LEGALLY BINDING AND ENFORCEABLE MAINTENANCE AGREEMENT SHALL BE EXECUTED BETWEEN THE OWNER AND THE RESPONSIBLE AUTHORITY TO ENSURE THE FOLLOWING MAINTENANCE SCHEDULES ARE FOLLOWED.
- DURING THE FIRST SIX (6) MONTHS OF OPERATIONS, INSPECTIONS SHALL BE ACCOMPLISHED IN EACH DRAINAGE BMP AFTER EVERY RAINFALL EVENT, TO CHECK FOR CLOGGING OR, CONVERSELY, TOO RAPID A STORMWATER RELEASE, FOLLOWING THE SIX (6) MONTHS, INSPECTIONS SHALL BE CONDUCTED, AT A MINIMUM, ANNUALLY.
- IF STANDING WATER IS OBSERVED WITHIN THE DRAINAGE BMP'S FOR MORE THAN THREE (3) DAYS AFTER A RAINFALL, THEN FAILURE OF THE SYSTEM MAY HAVE OCCURRED AND SHALL BE ADDRESSED THROUGH REPAIR OR REPLACEMENT.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR THE MAINTENANCE PROGRAM DURING THE CONSTRUCTION PHASE AND FOR A PERIOD OF ONE YEAR AFTER CONSTRUCTION. THE SUPERINTENDENT SHALL SEE THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- AFTER ACCEPTANCE OF THE SITE BY THE OWNER, THE OWNER SHALL HAVE OVERALL RESPONSIBILITY FOR IMPLEMENTING THE MAINTENANCE PROGRAM FOR THE STORMWATER MANAGEMENT PLAN.
- THE RESPONSIBLE PARTY FOR THE STORMWATER MANAGEMENT PROGRAM IS THE OWNER OF THE SITE. THE FUNDING FOR THE STORMWATER MANAGEMENT PROGRAM IS BY THE OWNER. ONCE THE PROPERTY IS SOLD, THE RESPONSIBILITY OF THE STORMWATER MANAGEMENT PROGRAM WILL BE TRANSFERRED TO THE NEW OWNER.

**THE FOLLOWING MAINTENANCE PROCEDURES SHALL BE FOLLOWED FOR THE RAIN GARDENS:**

- RAIN GARDENS SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE RAIN GARDEN SHALL BE MONITORED AND MAINTAINED TO ASSURE PROPER FUNCTIONING. PLANT GROWTH AND SURVIVAL PLANTS SHALL BE REPLACED ON AN AS-NEEDED BASIS DURING THE GROWING SEASON.
- SILT/SEDIMENT SHALL BE REMOVED FROM THE RAIN GARDEN WHEN THE ACCUMULATION EXCEEDS ONE INCH, OR WHEN WATER PONDS ON THE SURFACE OF THE RAIN GARDEN FOR MORE THAN 48 HOURS. THE TOP FEW INCHES OF MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH SOIL MIXTURE AND MULCH.
- PRUNING OR REPLACEMENT OF WOODY VEGETATION SHALL OCCUR WHEN DEAD OR DYING VEGETATION IS OBSERVED.
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
- FERTILIZER OR PESTICIDES SHALL NOT BE APPLIED TO PLANTS WITHIN RAIN GARDENS.
- PERENNIAL PLANTS AND GROUND COVERS SHALL BE REPLACED AS NECESSARY TO MAINTAIN AN ADEQUATE VEGETATED GROUND COVER. ANNUAL PLANTS MAY ALSO BE USED TO MAINTAIN GROUND COVER.

**SEQUENCE OF CONSTRUCTION OF CONSTRUCTION AND STAGING OF LAND DISTURBING ACTIVITIES**

- CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL (SE & SC) ON SITE. SEQUENCE OF CONSTRUCTION PROVIDED MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH PRIOR APPROVAL FROM OWNER OR THEIR REPRESENTATIVE.
- CONSTRUCTION TO BEGIN IN THE SPRING OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- SURVEY AND STAKE THE DRAINAGE BMP'S (RAIN GARDEN), WATER LINE, SEWER LINE, AND ELECTRIC LINE AND LIMIT OF SEDIMENTATION BARRIERS/LIMIT OF DISTURBANCE.
- PLACE SEDIMENTATION BARRIERS (HAY BALES OR SILT FENCE) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS PLACE BARRIERS AROUND RAIN GARDENS. NO CONSTRUCTION TRAFFIC IS PERMITTED IN THESE AREAS.
- INSTALL TEMPORARY SEDIMENTATION CONTROL MEASURES AND DEVICES AS WARRANTED. ALL TEMPORARY CONTROL DEVICES SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK.
- BEGIN CLEARING AND GRUBBING IN AREA OF THE BUILDING, DRAINAGE BMP'S, DRIVEWAY AND OTHER AREAS AS INDICATED ON THE PLANS. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN APPROVED LOCATIONS. TOPSOIL STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS AND COVERED OR TEMPORARILY SEED.
- BEGIN EARTHWORK OPERATIONS AND CONSTRUCTION OF THE BUILDING FOUNDATION AND STRUCTURE.
- BEGIN CONSTRUCTION OF THE UTILITIES AND DRAINAGE BMP'S
- ONCE THE SITE IS STABILIZED THE DRAINAGE BMP'S AND DRAINAGE NETWORK MAY BE BROUGHT ONLINE WITH THE APPROVAL OF THE DESIGN ENGINEER.
- REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

**ESTABLISHMENT OF VEGETATIVE COVER**

- SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON. THE CONTRACTOR SHALL INITIATE APPROPRIATE VEGETATIVE PRACTICES ON ALL DISTURBED AREAS AS SOON AS POSSIBLE BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEED OR PROTECTED.
- THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M.20.
- THE TEMPORARY SEEDING DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
ANNUAL RYEGRASS	40
PERENNIAL RYEGRASS	60

- THE NEW ENGLAND EROSION CONTROL/RESTORATION SEED MIX SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
UPLAND BENTGRASS	1.0
CREeping BENTGRASS	1.0
BIG BLUESTEM	8.0
NEW ENGLAND ASTER	1.0
FOX SEDGE	8.0
VIRGINIA WILD RYE	28.0
BONESET	1.0
GRASS LEAVED GOLDENROD	1.0
CREeping RED FESCUE	24.0
SOFT RUSH	0.5
SENSITIVE FERN	1.0
SWITCH GRASS	8.0
LITTLE BLUESTEM	15.0
GREEN BULLRUSH	1.0
WOOL GRASS	0.5
BLUE VERVAIN	1.0

- THE GENERAL PURPOSE SEED MIX SHALL BE COMPRISED URI #2 OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	40
IMPROVED PERENNIAL RYE GRASS	20
IMPROVED KENTUCKY BLUEGRASS	30
KENTUCKY BLUEGRASS	10

EARLY SPRING OR LATE SUMMER SEEDING IS RECOMMENDED. SEEDING SCHEDULE SHOULD CONFORM WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, L.O2.03.1 SEEDING DATES. PERMANENT SEEDING SHALL BE DURING THE APRIL 1 TO MAY 31 OR AUGUST 15 TO OCTOBER 15. TEMPORARY SEEDING MAY BE DONE ANYTIME BETWEEN MARCH 15 AND NOVEMBER 15 WITH THE APPROVAL OF THE ENGINEER OF RECORD. FERTILIZE AS REQUIRED BY SOIL TESTING TO COMPLEMENT OR UPGRADE EXISTING CONDITIONS. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS AND BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUMS FOR EACH VARIETY.

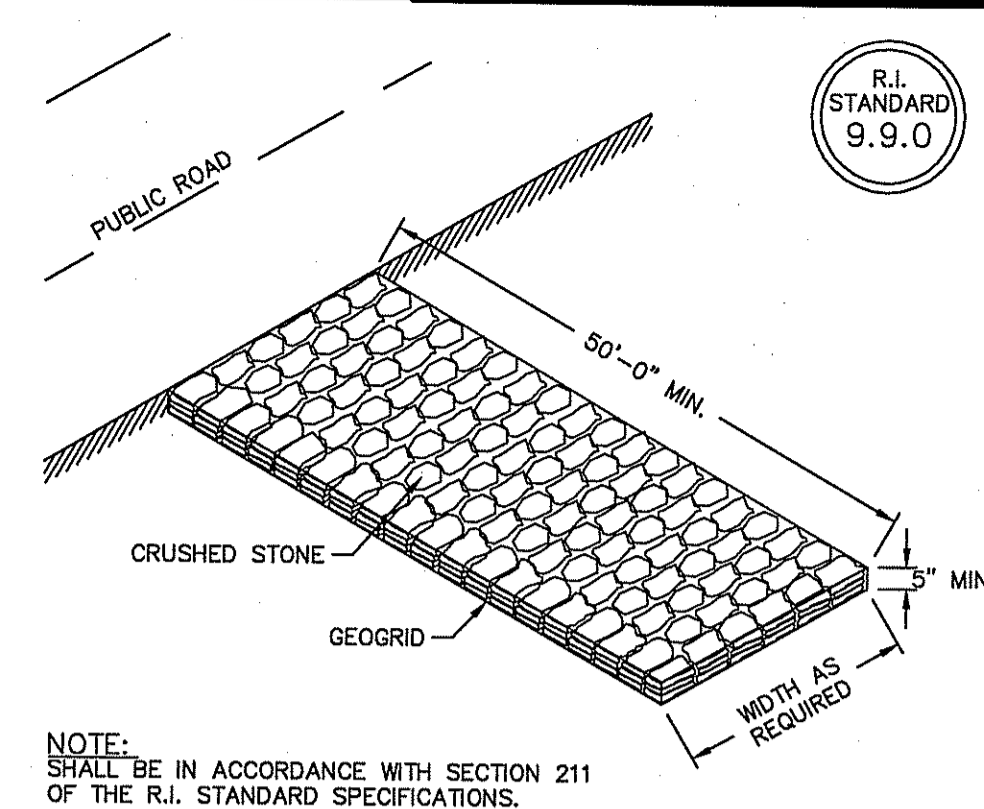
- TEMPORARY TREATMENTS SHALL CONSIST OF HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING. TEMPORARY HAY MULCH TO BE TACKED IN PLACE WITH NYLON MESH NETTING. SIDE SLOPES OF BASINS SHALL BE TREATED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKETS SUCH AS SISO OR APPROVED EQUAL. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 2 TONS/ACRE.
- ALL HAY BALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 202.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED.
- ALL AREAS PROPOSED TO BE VEGETATED THAT ARE DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISH GRADING. PERMANENTLY SEEDING AREAS SHALL BE PROTECTED DURING ESTABLISHMENT WITH MULCH. ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STANDARD IS MAINTAINED. WELL ESTABLISHED VEGETATION SHALL BE MAINTAINED. BARE OR ERODED AREAS SHALL BE IMMEDIATELY REPAIRED AND RESEED BY THE CONTRACTOR. ACTIVITIES SHALL BE CONFINED TO WITHIN THE LIMIT OF WORK AS SHOWN ON THE PLANS.
- MAXIMUM PERMANENT GRADED SLOPE WITHIN THE SITE IS TO BE 3:1 UNLESS NOTED OTHERWISE.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK" PREPARED BY THE USDA SOIL CONSERVATION SERVICE 1989 AS A GUIDE.

**STRUCTURAL MEASURES**

- RUNOFF WATER QUALITY IS IMPROVED UTILIZING A RAIN GARDEN. CONSTRUCTION OF THE BMP'S SHALL BE SUPERVISED BY THE PROJECT ENGINEER.
- A STONE STABILIZATION PAD IS LOCATED AT THE SITE ENTRANCE TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT OF WAY.
- HAY BALES OR SILT FENCE SHALL BE INSTALLED DOWNSTREAM OUTSIDE THE LIMITS OF ANY PROPOSED CONSTRUCTION AS SHOWN ON THE SITE PLANS AND PRIOR TO THE COMMENCEMENT OF THE PROPOSED ALTERATION.
- TEMPORARY BERMS AND / OR SWALES SHALL BE USED DURING CONSTRUCTION TO DIRECT SURFACE TO TEMPORARY SEDIMENTATION BASINS TO CAPTURE AND TREAT THE MAXIMUM AMOUNT OF STORM WATER.
- THE RAIN GARDEN ARE NOT TO BE USED AS SEDIMENTATION BASIN DURING CONSTRUCTION AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES (I.E. HEAVY MACHINERY) TO PREVENT COMPACTION. THE CONTRACTOR SHALL CONSTRUCT ANY SEDIMENTATION BASINS WHICH ARE REQUIRED TO MEET ALL GUIDELINES IN THE RHODE ISLAND SOIL EROSION SEDIMENT CONTROL HANDBOOK.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE THE OVERALL RESPONSIBILITY FOR STRUCTURAL MEASURE IMPLEMENTATION AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDS SOIL CONSERVATION SERVICE 1989, AS A GUIDE.

**NON-STRUCTURAL MEASURES**

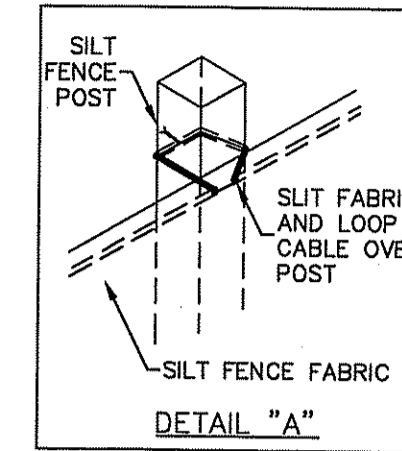
- CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE ACCESS ROAD, UTILITY EASEMENTS AND AREAS TO BE GRADED.
- TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATION SHALL BE SUBJECT TO APPROVAL BY THE PROJECT ENGINEER. A SEDIMENT BARRIER SHALL SURROUND ALL TOPSOIL STOCKPILES.
- ALL TYPES OF WASTE GENERATED AT THE SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND APPLICABLE REGULATIONS. CONSTRUCTION DEBRIS SHALL BE DISPOSED OF DAILY TO AVOID EXPOSURE TO PRECIPITATION.
- THE CONSTRUCTION SUPERINTENDENT SHALL HAVE OVERALL RESPONSIBILITY FOR PLAN IMPLEMENTATION OF NON-STRUCTURAL MEASURES AND FOR SEEING THAT THE APPROPRIATE WORKERS ARE AWARE OF THE PROVISIONS OF THE PLAN.
- REFERENCE THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE USDS SOIL CONSERVATION SERVICE 1989, AS A GUIDE.



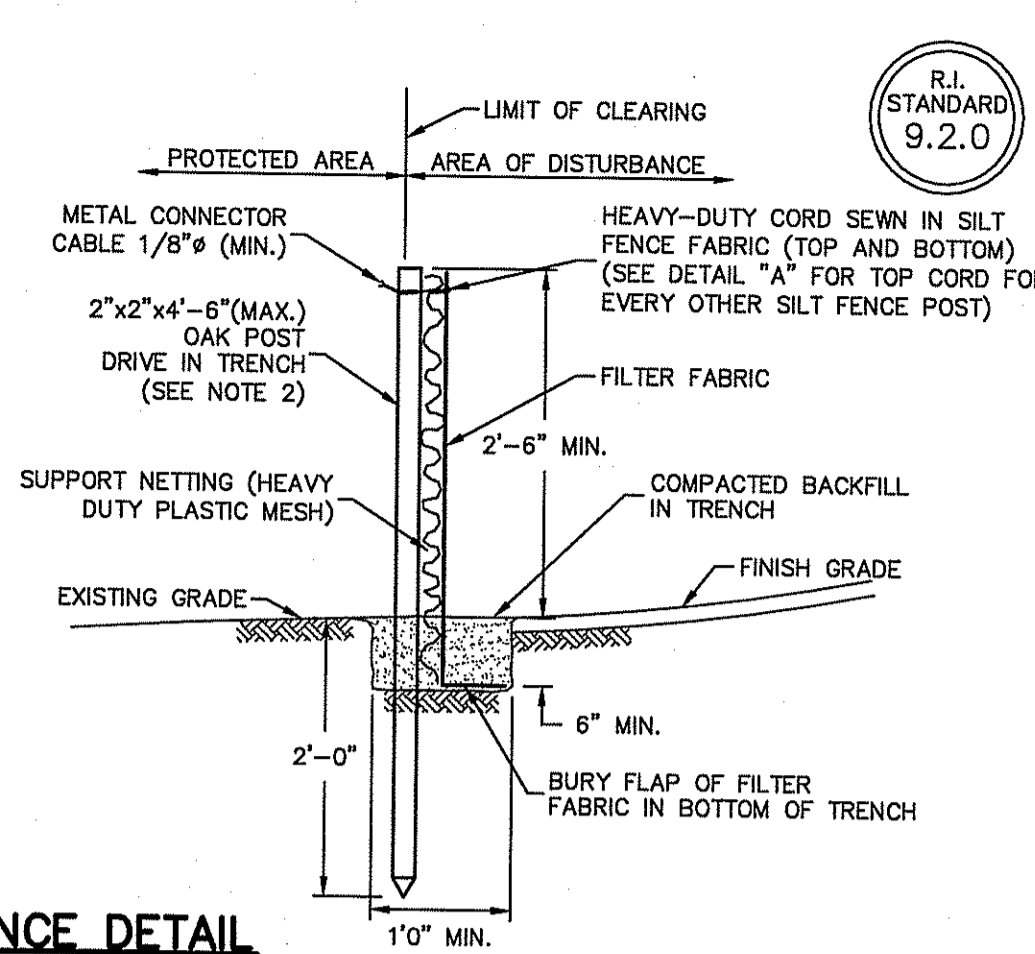
**CONSTRUCTION ACCESS**

NOT TO SCALE

- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
  - 2"x2"x4'-6"(MAX.) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAX.) O.C. IN WETLAND AREAS AND 4'-0" (MAX.) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
  - 1"x1"x4'-6"(MIN.) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
  - SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.

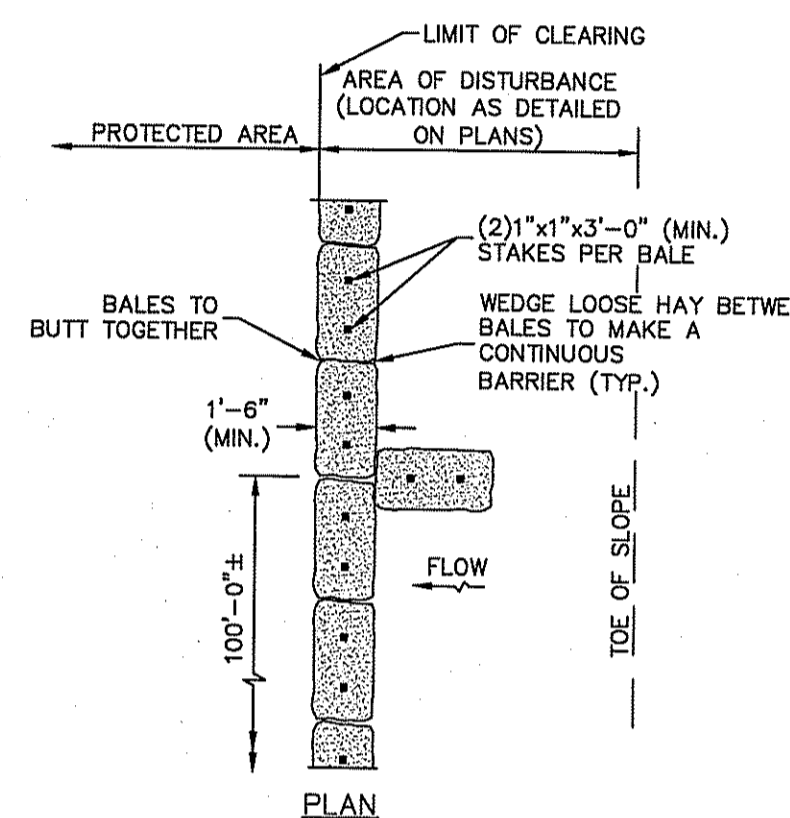


DETAIL "A"



**SILT FENCE DETAIL**

NOT TO SCALE



**BALED HAY EROSION CHECK**

NOT TO SCALE

- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
  - TO BE USED WHERE THE EXISTING GROUND SLOPES AWAY FROM THE HIGHWAY EMBANKMENT AS CALLED FOR ON PLANS.
  - AT APPROXIMATE 100'-0" INTERVALS A BALE OF HAY IS TO BUTT PERPENDICULARLY.

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
REVIEWED SITE PLAN APPLICATION NO.: 14-0075  
DATED MAY 13 2014  
SEE LETTER OF SAME DATE.

Environmental Management  
MAY 12 2014  
Office of Water Resources

Detail Sheet  
Watervalley Road

Applicant  
HA Fisher Homes  
881 Bald Hill Road, Warwick, Rhode Island 02886  
tel: (401) 739-9200

Diprete Engineering  
Two Stafford Court, Cranston, RI 02930  
tel: 401-943-3000 fax: 401-943-6006 www.Diprete-Eng.com

CHRISTOPHER A. DUHAMEL  
REGISTERED PROFESSIONAL ENGINEER

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The contractor is responsible for all of the means, methods, safety, precautions and requirements, and OSHA conformance in the implementation of this plan and design.

No.	Date	By	Description
1	05/07/2014	CD	Design
2	05/13/2014	CD	Design

Design By: CAD  
Drawn By: JAC/CA  
Checked By: JAC/CA  
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