

- General Notes:**
1. THE SITE IS LOCATED ON THE TOWN OF MIDDLETOWN ASSESSOR'S PLAT 111, LOTS 13 AND 14.
  2. THE SITE IS 4.65± ACRES AND IS ZONED TRAFFIC SENSITIVE MEDIUM DENSITY - R-20A.
  3. THE OWNER OF AP 111 LOTS 13 AND 14 ARE: WILLIAM J. AND ELIZABETH GILL, 1669 WEST MAIN ROAD, MIDDLETOWN, RI 02842
  4. THIS SITE IS LOCATED WITHIN A ZONE X FEMA FLOOD ZONE. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44005000914, MAP REVISED SEPTEMBER 4, 2013. ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN
  5. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS FROM OTHERS, OR INFORMATION PROVIDED TO DIPRETE ENGINEERING AND ARE SUBJECT TO CHANGE. PRIOR TO CONSTRUCTION, THE PROPER UTILITY ENGINEERING DEPARTMENTS SHALL BE CONTACTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHALL BE DETERMINED IN THE FIELD. CALL THE DIG SAFE CENTER TOLL FREE AT 1-888-723-3723, 72 HOURS PRIOR TO EXCAVATION. ANY DAMAGE TO UTILITIES WHICH ARE SHOWN ON THE PLANS OR DETAILED BY DIG SAFE SHALL BE THE SITE CONTRACTORS RESPONSIBILITY.
  6. THE BOUNDARY LINE AS SHOWN ON THIS PLAN IS APPROXIMATE. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD.
  7. THE WETLAND FLAG LOCATIONS SHOWN WERE FLAGGED AND SURVEYED BY DIPRETE ENGINEERING.
  8. THE CONTOUR INTERVAL IS 2 FEET & TOPOGRAPHY IS TAKEN FROM THE TOWN OF MIDDLETOWN GIS DATABASE.
  9. THIS PLAN IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH A CLASS IV STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY AND MAY BE SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.

**Certification Note:**

THE EXISTING DATA COMPILED ON THIS CONCEPT/STUDY PLAN IS FROM EXISTING MAPS AND RECORDED DATA. DUE TO METHODS OF COMPILATION AND ACCURACY OF SOME MAPS USED TO COMPLETE THIS PLAN, THERE MAY BE SOME DEVIATIONS FROM SAID MAPS AND/OR DATA AND THIS PLAN. THERE ARE MANY FACTORS WHICH LEAD TO THIS, INCLUDING THE ACCURACY OF SAID MAPS AND DATA, AND KNOWN SITE FEATURES SUCH AS STONE WALLS, ROADWAYS, AND BUILDINGS. THESE DEVIATIONS ARE COMMON WHEN COMPILING MAPS AND DATA FROM VARIOUS SOURCES AND CANNOT BE AVOIDED WITHOUT AN ACTUAL FIELD SURVEY AND DEED RESEARCH. THIS PLAN IS TO BE UTILIZED FOR DISCUSSION PURPOSES ONLY.

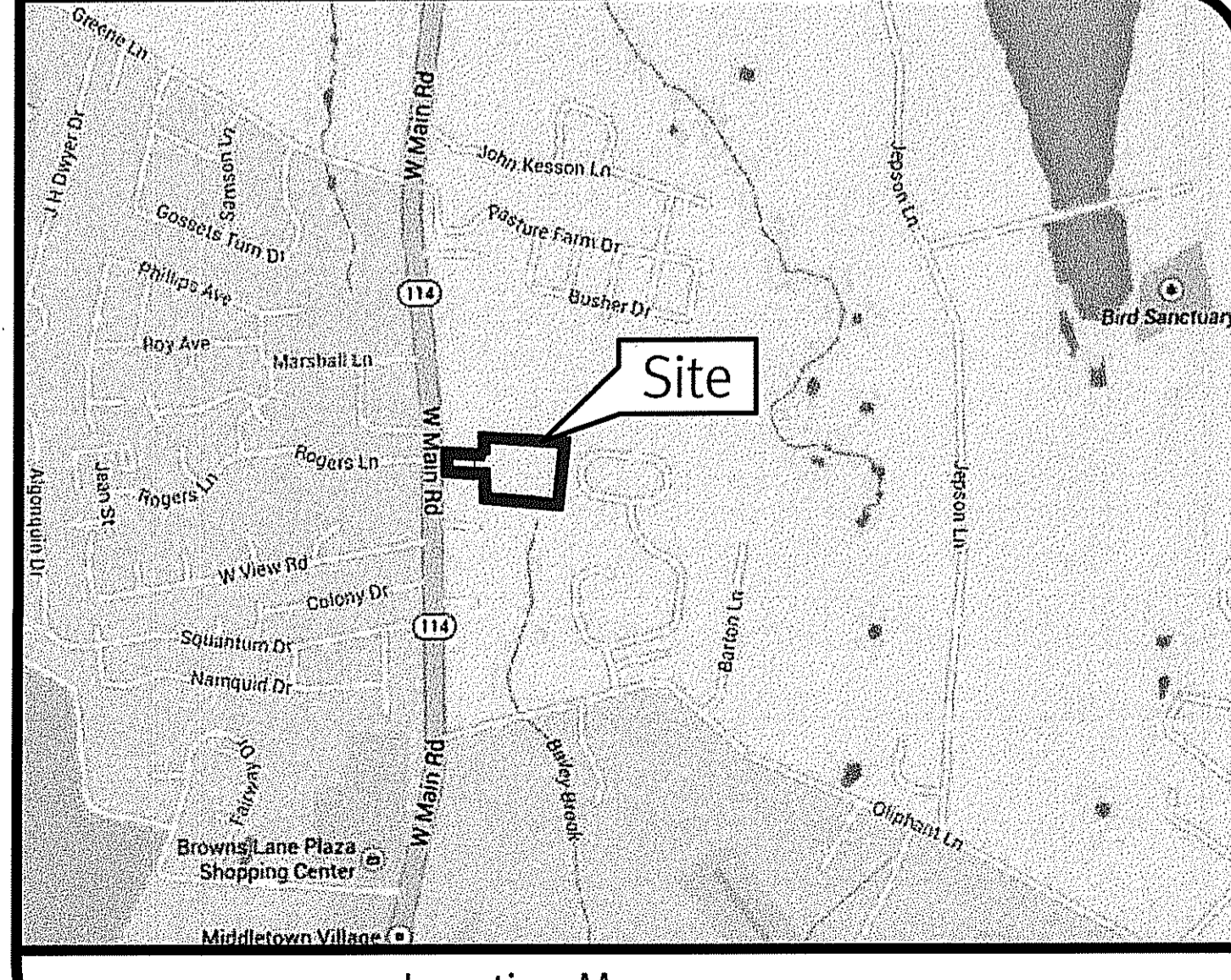
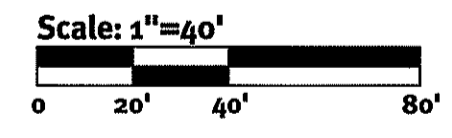
**Soil Descriptions:**

**PmB**  
PITTSFORD SILT LOAM - 3 TO 8 PERCENT SLOPES. THIS GENTLY SLOPING, MODERATELY WELL DRAINED SOIL IS ON SIDE SLOPES OF GLACIAL UPLAND HILLS AND DRUMMINS. AREAS ARE OVAL AND RANGE MOSTLY FROM 5 TO 100 ACRES. TYPICALLY THE SURFACE LAYER IS VERY DARK GRAYISH BROWN SILT LOAM ABOUT 9 INCHES THICK. THE SUBSOIL IS 20 INCHES THICK. IT IS DARK YELLOWISH BROWN AND OLIVE BROWN SILT LOAM THAT IS MOTTLED IN THE LOWER PART. THE SUBSTRATUM IS OLIVE GRAY, MOTTLED CHANNERY SILT LOAM TO A DEPTH OF 60 INCHES OR MORE. THE PERMEABILITY OF THIS SOIL IS MODERATE IN THE SURFACE LAYER AND SLOW IN THE SUBSTRATUM. AVAILABLE WATER CAPACITY IS MODERATE, AND RUNOFF IS MEDIUM. THIS SOIL HAS A SEASONAL HIGH WATER TABLE AT A DEPTH OF ABOUT 20 INCHES FROM LATE FALL THROUGH MIDSRING. THE SOIL IS VERY STRONGLY ACID THROUGH MEDIUM ACID.

**Se**  
SIDING SILT LOAM - THIS NEARLY LEVEL, POORLY DRAINED SOIL IS ON GLACIAL UPLAND HILLS AND DRUMMINS IN THE SOUTHEASTERN PART OF THE STATE. SLOPES RANGE FROM 0 TO 3 PERCENT. AREAS ARE IRREGULAR IN SHAPE AND RANGE MOSTLY FROM 5 TO 150 ACRES. TYPICALLY THE SURFACE LAYER IS VERY DARK GRAY SILT LOAM ABOUT 8 INCHES THICK. THE SUBSOIL IS DARK GRAYISH BROWN, MOTTLED SILT LOAM 7 INCHES THICK. THE SUBSTRATUM IS DARK GRAY, MOTTLED SILT LOAM TO A DEPTH OF 60 INCHES OR MORE. INCLUDED WITH THIS SOIL IN MAPPING ARE SMALL AREAS OF MODERATELY WELL DRAINED PITTSFORD SOILS AND VERY POORLY DRAINED MANSFIELD SOILS. ALSO INCLUDED ARE SMALL AREAS OF SOILS THAT HAVE STONES ON THE SURFACE AND A FEW SMALL AREAS OF SOILS WITH A SURFACE LAYER AND SUBSOIL OF SANDY LOAM. INCLUDED AREAS MAKE UP ABOUT 10 PERCENT OF THIS MAP UNIT. THE PERMEABILITY OF THIS SOIL IS MODERATE IN THE SURFACE LAYER AND SLOW IN THE SUBSTRATUM. AVAILABLE WATER CAPACITY IS MODERATE, AND RUNOFF IS SLOW. THIS SOIL HAS A SEASONAL HIGH WATER TABLE NEAR THE SURFACE FROM LATE FALL THROUGH SPRING. THE SOIL IS EXTREMELY ACID THROUGH MEDIUM ACID.

**Legend:**

	WETLAND FLAG		ASSESSOR'S PLAT
	PROPERTY LINE		ASSESSOR'S LINE
	WETLAND LINE		2' CONTOUR
	50' PERIMETER WETLAND		10' CONTOUR
	100' RIVERBANK WETLAND		
	STREAM		
	SOIL BOUNDARY LINE AND DESIGNATIONS		



**DiPrete Engineering**  
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Engineers • Planners • Surveyors

CHRISTOPHER A. DUHAMEL  
No. 1844  
PROFESSIONAL LAND SURVEYOR

1	6/26/2014	RIESEA Wetlands Verification Reexamination	M.S.C.	Design By: CAD
2	05/16/2014	RIESEA Wetlands Verification	D.R.	
3		RIESEA Wetlands Verification	D.R.	
4		RIESEA Wetlands Verification	D.R.	
5		RIESEA Wetlands Verification	D.R.	
6		RIESEA Wetlands Verification	D.R.	
7		RIESEA Wetlands Verification	D.R.	
8		RIESEA Wetlands Verification	D.R.	
9		RIESEA Wetlands Verification	D.R.	
10		RIESEA Wetlands Verification	D.R.	

Existing Conditions  
**1669 West Main Road**  
Assessor's Plat 111, Lots 13 & 14  
Middletown, Rhode Island  
**William J. and Elizabeth Gill**  
1669 West Main Road, Middletown, RI 02842

