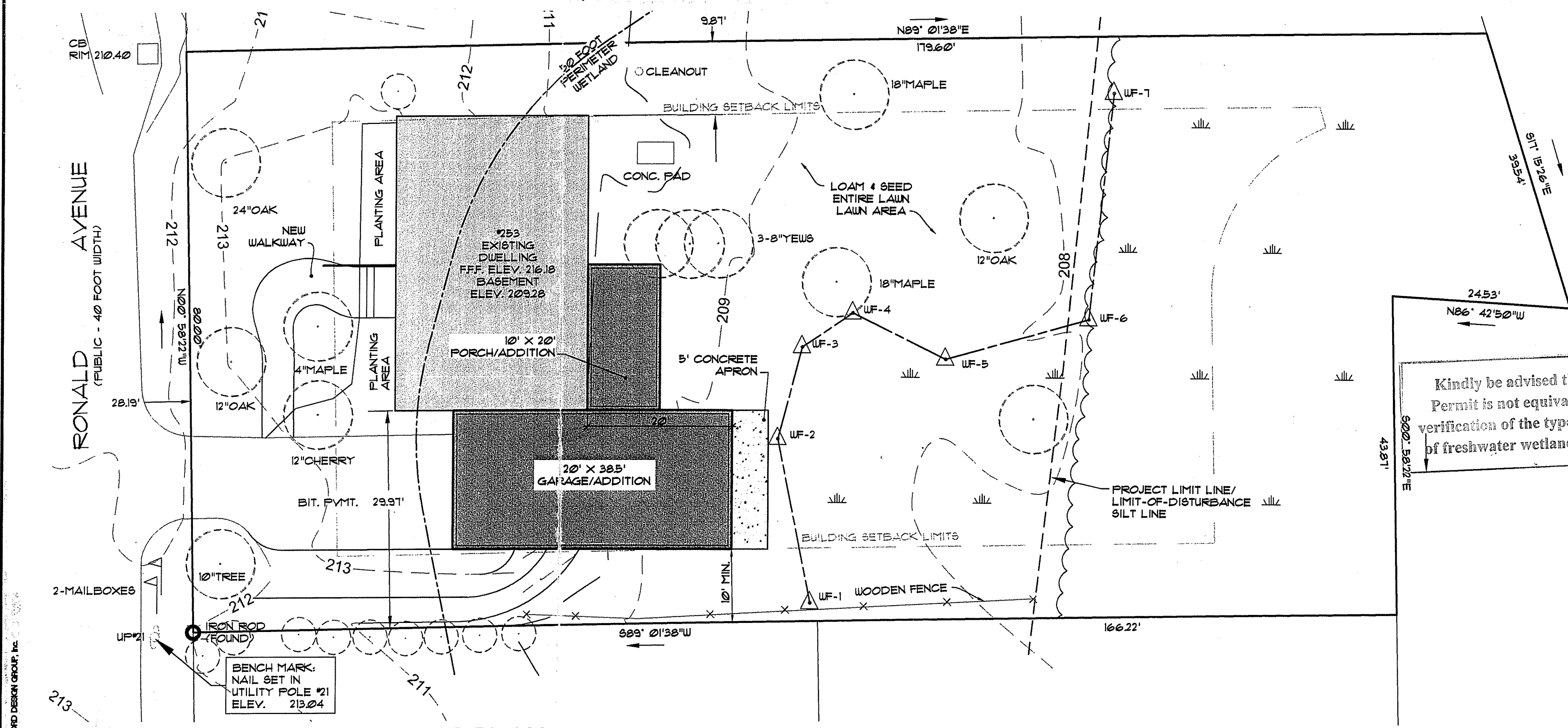
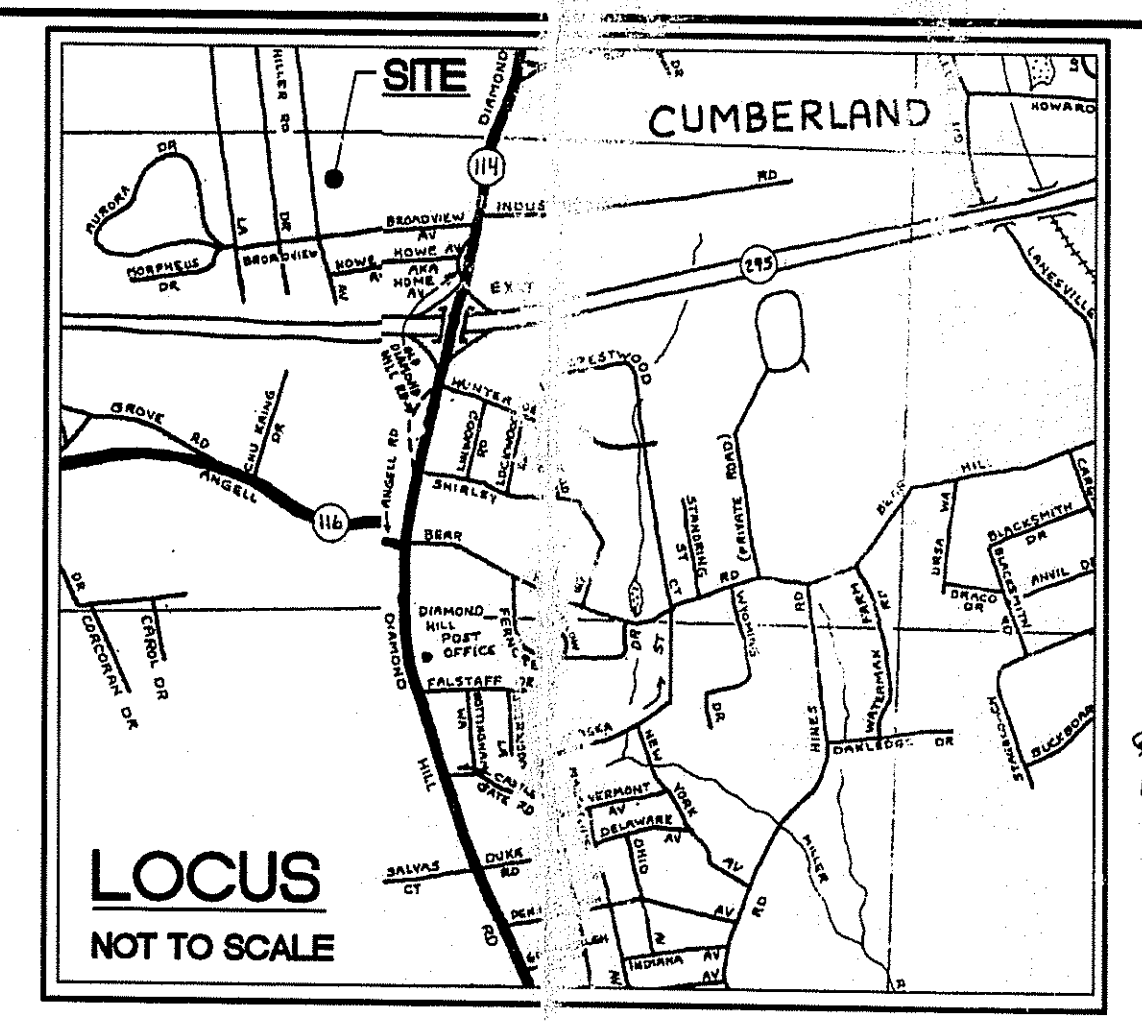


**EXISTING CONDITIONS SITE PLAN**  
SCALE: 1" = 10'



**PROPOSED CONDITIONS SITE PLAN**  
SCALE: 1" = 10'

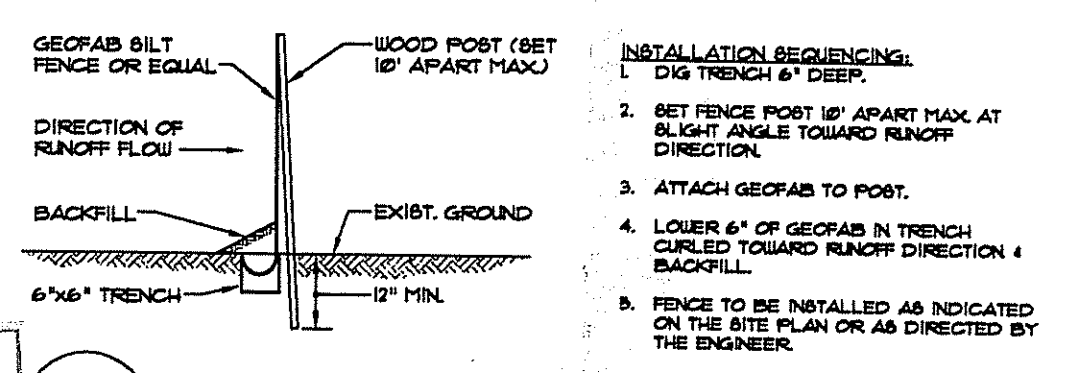


**GENERAL NOTES:**

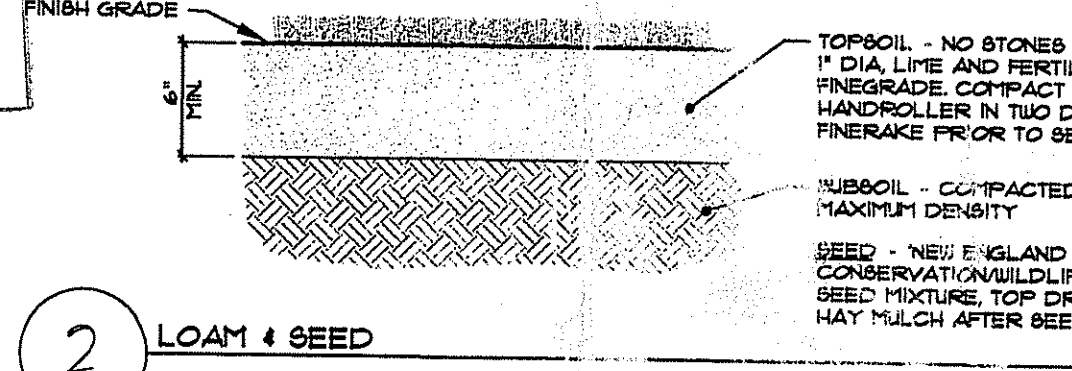
- UTILITIES PLOTTED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH THE 'DIG SAFE PROGRAM LAWS' ENACTED BY THE RHODE ISLAND LEGISLATURE AND BY CONTACTING 1-888-344-1233 AND INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY CITY, STATE OR FEDERAL AGENCY THAT MAY BE APPLICABLE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR TO CHECK ALL CONDITIONS, DIMENSIONS AND OTHER INFORMATION SHOWN ON THIS PLAN AGAINST ACTUAL FIELD CONDITIONS.
- EXTREME CARE SHALL BE TAKEN NOT TO DAMAGE ANY PORTIONS OF THE EXISTING SITE NOT INDICATED TO BE REMOVED OR ON THE PLANS INCLUDING BUT NOT LIMITED TO CURBS AND PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR FOR ANY SUCH DAMAGE.
- BEFORE THE START OF SITE CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREETS OR RIGHTS-OF-WAY AND FOR SAFE CONSTRUCTION SITE ACCESS AND EGRESS. THE CONTRACTOR TO OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COUNTY PUBLIC SAFETY OFFICIALS.
- CONTRACTOR TO DISPOSE OF ALL MATERIAL SPECIFIED FOR REMOVAL AND DISPOSAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
- NO STOCKPILES SHALL OCCUR WITHIN ANY REGULATED WETLANDS. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE FOR LOCATION OF STOCKPILING OPERATIONS.
- THIS SITE DOES NOT FALL WITHIN A 100 YEAR FLOOD ZONE (FEMA #44067C0185G).

**SEDIMENTATION CONTROL & SOIL STABILIZATION PROGRAM**

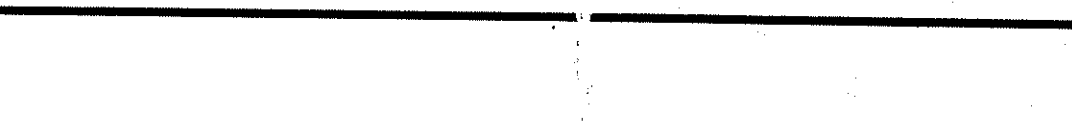
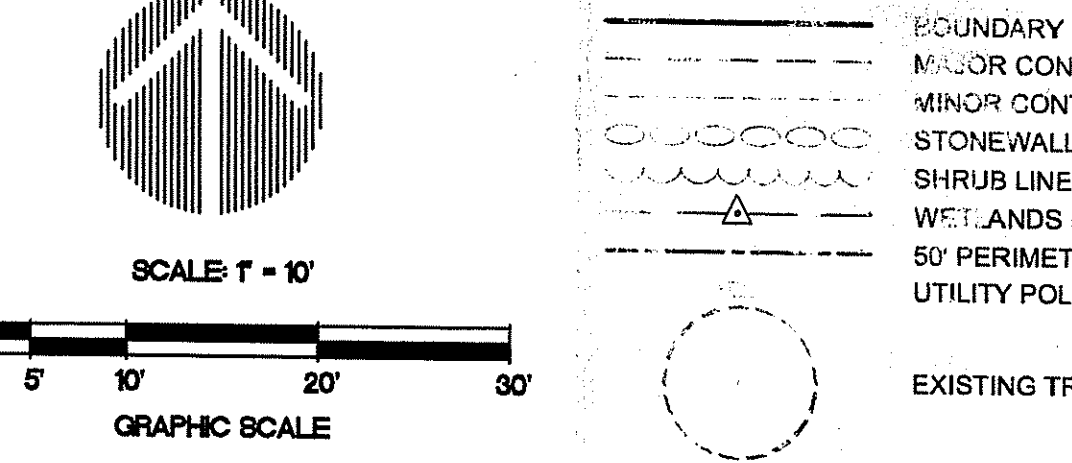
- DISTURBED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
- A SILTATION BARRIER (SILT FENCE) IS TO BE INSTALLED AND MAINTAINED WITHIN INDICATED LIMITS TO DISTURBED AREAS OF THE PROJECT SITE. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE REGULATED AREAS AND BEYOND THE LIMIT OF WORK AREA.
- BANKS OR SLOPES OVER 5% SHALL BE SEEDDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
- DURING CONSTRUCTION THE CONTRACTOR AND DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
- SEDIMENTATION CONTROL DEVICES SHALL BE INSTALLED, MAINTAINED AND PROMPTLY AFTER EACH RAINFALL.
- CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN REGULATED AREAS, AND OUTSIDE OF THE LIMIT OF DISTURBANCE.
- ADDITIONAL SILT FENCE, HAYBALES OR OTHER SEDIMENT CONTROL MEASURES SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL EXPENSE TO OWNER.
- REFERENCE THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, AS AMENDED, AND THE STATE OF RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, AS A GUIDE.
- ALL SILT FENCE OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED, AND SOIL ARE STABILIZED PROMPTLY. PROMPTLY REMOVE ALL SEDIMENTATION CONTROLS FOLLOWING STABILIZATION OF DISTURBED SOILS.
- STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOODPLAINS. THEY SHALL HAVE SLOPE SIDES NO GREATER THAN THIRTY (30) PERCENT.



**1 SILT FENCE DETAIL**  
NOT TO SCALE

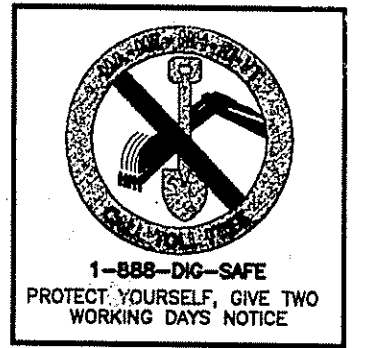


**2 LOAM & SEED**  
NOT TO SCALE



No:	Revision:	Date:
1	RIDEM Telephone deficiency of 7-3-14	7-12-2014

REFERENCES:  
1. PLAN ENTITLED: "EXISTING CONDITIONS", PREPARED FOR: David A. & Linda A. Sarro; PREPARED BY: National Surveyors-Developers, Inc.; SHEET 1 OF 1, SCALE: 1"=10', DATED: APRIL 2014.  
2. FEMA FLOOD MAP ID #44007C0185G

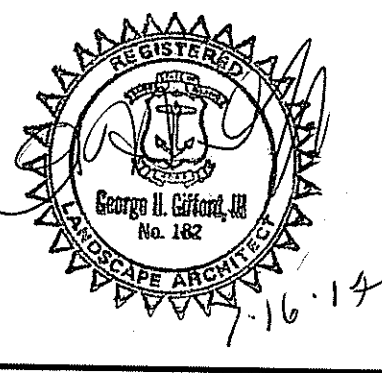


**SARRO RESIDENCE HOUSE ADDITION**

253 RONALD AVENUE  
CUMBERLAND, RI

**OWNER:**  
DAVID A. & LINDA A. SARRO  
DEED BOOK 418 PAGE 210  
253 RONALD AVENUE  
CUMBERLAND, RHODE ISLAND

**THE GIFFORD DESIGN GROUP, Inc.**  
LANDSCAPE ARCHITECTURE  
ENVIRONMENTAL PLANNING  
4096 MENDON ROAD, CUMBERLAND, RHODE ISLAND 02864  
PHONE (401) 671-6336 FAX (401) 671-6466



DEPARTMENT OF ENVIRONMENTAL MANAGEMENT  
OFFICE OF WATER RESOURCES  
FRESHWATER WETLANDS PROGRAM  
APPROVED WITH CONDITIONS  
AS SPECIFIED IN THE LETTER OF APPROVAL  
DATED Aug 05 2014 FILE # 14-0109  
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL  
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

**EXISTING and PROPOSED SITE PLAN**

PROJECT NO. 308.775 DRAWING 1 OF 1  
DATE: MAY 2014 DRAWING NO: 1  
SCALE: 1" = 10'-0"  
DRAWN BY: WS  
CHECKED BY: GHG